

HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2015

Agenda Item No: 1

HDRC CASE NO: 2015-231
ADDRESS: 636 MISSION ST
LEGAL DESCRIPTION: NCB 2913 BLK 2 LOT N 45 FT OF 9
ZONING: RM4 H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Jeffrey Szarek
OWNER: Jeffrey Szarek
TYPE OF WORK: Replace concrete walkway; tree removal

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to remove two mature crape myrtles in order to replace the concrete walkway at 636 Mission St. The concrete walkway and landing will be replaced with matching concrete and leveled to eliminate current trip hazards. The walkway will also be positioned to ensure proper water drainage away from house.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

FINDINGS:

- a) Generally, removal of mature trees can have a negative impact on the character of a historic district. Every attempt should be made to protect and maintain mature trees that are in good health consistent with the Guidelines for Site Elements 3.D.i.
- b) Should the trees be removed from necessity, replacement trees should be selected and planted consistent with the Guidelines for Site Elements 3.D.ii.
- c) The proposed walkway and landing replacement will match the existing walkway in materials, dimension and alignment consistent with the Guidelines for Site Elements 5.A.


RECOMMENDATION:

Staff recommends that every attempt be made to replace the walkway without removing the trees. If damaging the trees to a point at which they must be removed is required in order to replace the walkway, then staff recommends approval with the stipulation that trees of a similar variety are replanted on the property based on finding b.

CASE MANAGER:

Cory Edwards





636 Mission Street

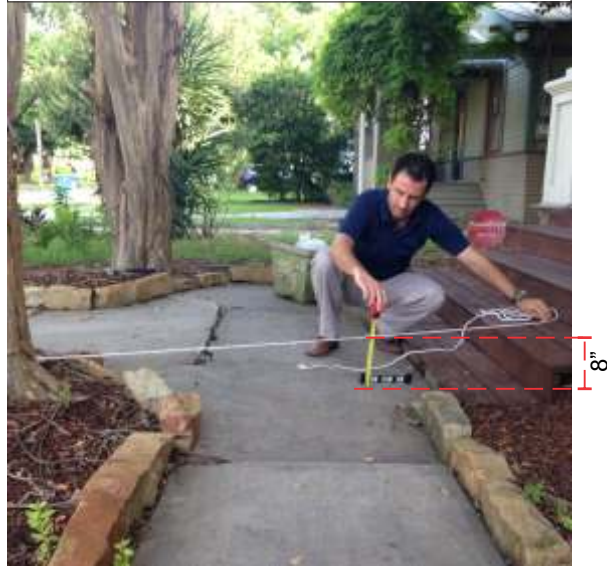
Printed: May 26, 2015

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6" distance from existing side walk to highest tree root .



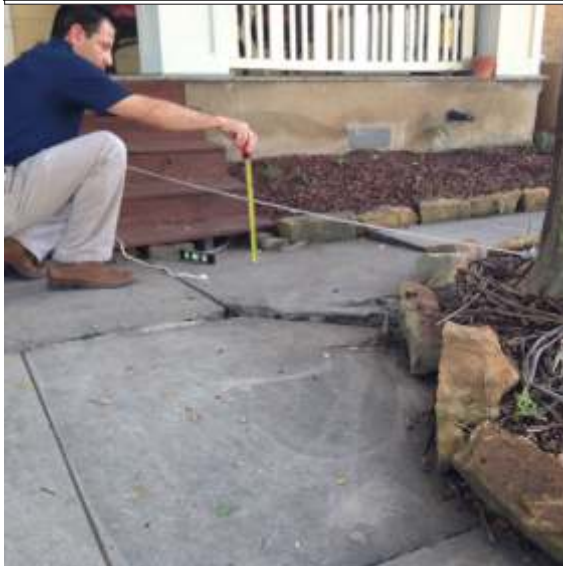
8" distance from existing side walk to porch steps if the side walk is extended at the same level without a decline to drain water away from home.
The 1st step would be completely covered with concrete.



14" distance from existing side walk to porch steps if the side walk is poured with a decline to divert water away from the home.
The 1st and second steps would be completely covered with concrete



Other view with side walk at decline to divert water away form home



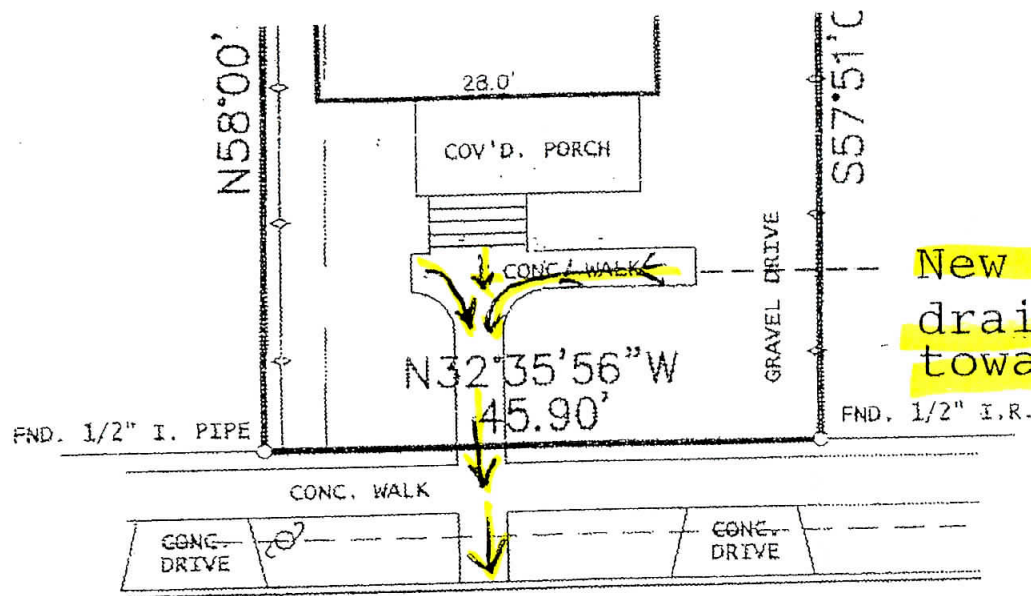
Close up photo of side walk



3" decline from top of existing side walk to bottom of existing side walk at area closest to home



636 Mission Street
San Antonio, TX 78210



New sidewalk with
drainage going
towards street

MISSION STREET

50' WIDE R.O.W.

FIRST AMERICAN TITLE
GF # 1903907-SA27

BUYER: Jeffrey S. Szarek and Laura L. Berjon

SURVEY PLAT OF
SOUTH 5. (FIVE FEET) OF LOT 9
AND ALL OF LOT 10, BLOCK 2,
NEW CITY BLOCK 2913, CITY OF
SAN ANTONIO, BEXAR COUNTY,
TEXAS

ADDRESS: 636 MISSION ST
SAN ANTONIO, TEXAS 78210

C&W
Surveying

P.O. Box 692202
San Antonio, TX 78269
12703 Spectrum Dr, SA, TX 78249
210-613-2097, 210-558-0396
210-690-8241 Fax, Firm #10052900



I, Kevin Ray Wilson, Registered Professional Land Surveyor number 5787, do hereby certify that a survey was made on the ground, under my supervision, on date of February 18, 2014, of the property hereon described, and I do declare there are no conflicts known to me except as shown.

JOB NO. 2063-029















