

# HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2015

Agenda Item No: 3

**HDRC CASE NO:** 2015-282  
**ADDRESS:** 504 E MULBERRY AVE  
**LEGAL DESCRIPTION:** NCB 3090 BLK 6 LOT 4  
**ZONING:** MF33 H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Christopher Romstad  
**OWNER:** Christopher Romstad  
**TYPE OF WORK:** Construct rear addition  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to construct a one story rear addition.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 1. Massing and Form of Residential Additions

#### A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

#### B. SCALE, MASSING, AND FORM

- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

### 3. Materials and Textures

#### A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

#### C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

### 4. Architectural Details

#### A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

## FINDINGS:

- i. Consistent with the Guidelines for Additions, new additions should be located at the rear of the building to minimize views from the street, and utilize a similar roof pitch, form, overhang, and orientation as the historic structure. The proposed small rear addition is in keeping with the main house in roof pitch, form, overhang and orientation.
- j. According to the Guidelines for Additions, a setback or recessed area should be used to differentiate a new addition from the existing structure. The proposed addition is setback from the original house and is consistent with the guidelines.
- k. As recommended by the Guidelines for Additions, materials that match the historic structure in type, color, and texture should be used. The proposed wood siding and asphalt shingles are consistent with the guidelines.
- l. Consistent with the Guidelines for Additions, historic materials should be salvaged and reused if possible. Existing siding and wood windows along the back of the house should be salvaged and reused in the addition if possible.
- m. According to the Guidelines for Additions, architectural details that are in keeping with the architectural style of the original structure should be used. Although the proposed clipped gable ends at the addition are consistent with the guidelines, there appears to be a conflict between the rear elevation and roof plan as submitted. A detail showing construction of the new clipped gable where it attaches to the existing clipped gable may be necessary.

**RECOMMENDATION:**

Staff recommends approval based on findings a-e with the following stipulations:

- a. Existing siding and wood windows are salvaged and incorporated into the new design
- b. A detail is submitted for review showing construction of the rear clipped gable

**CASE MANAGER:**

Adriana Ziga











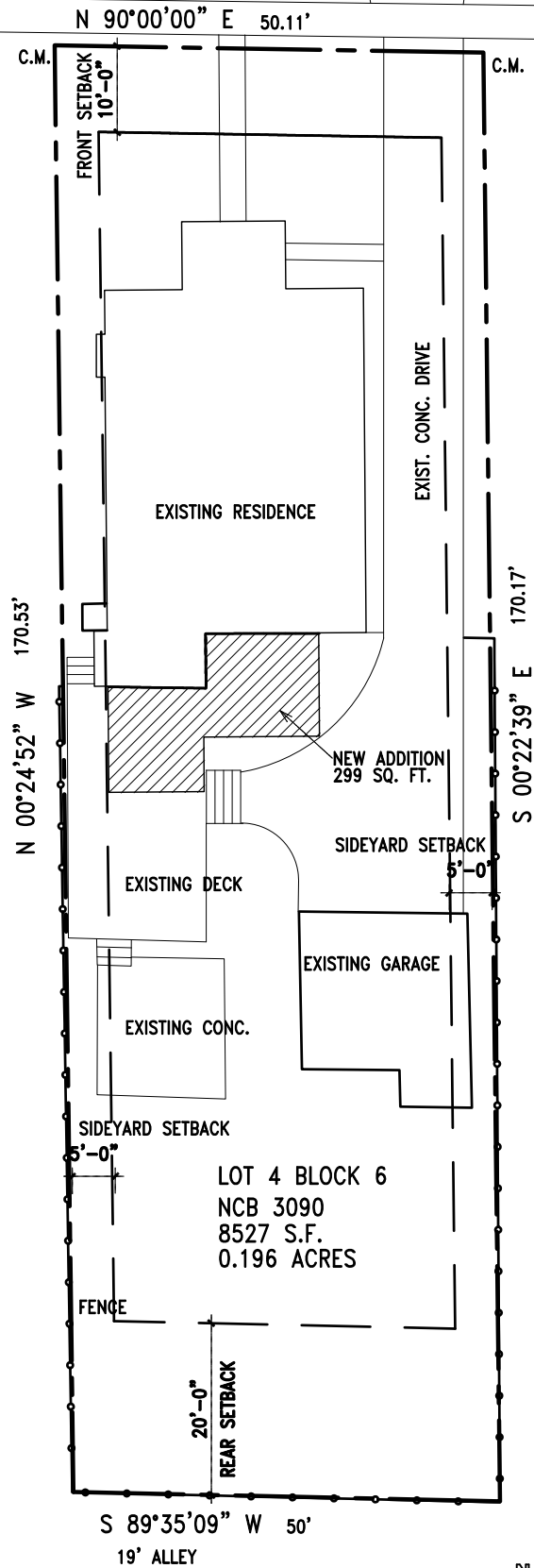






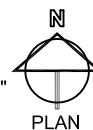


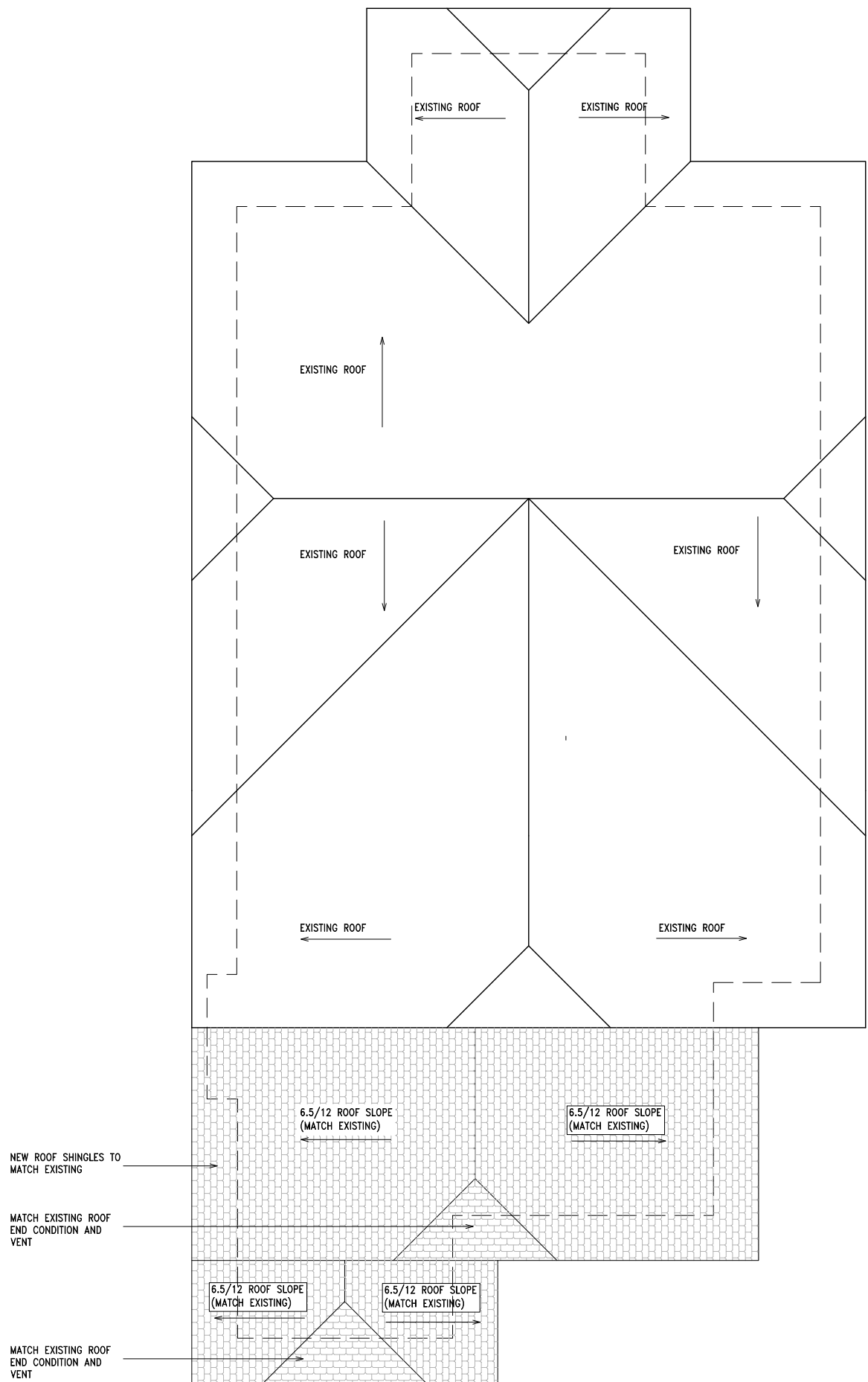
E. MULBERRY AVENUE  
50' R.O.W.



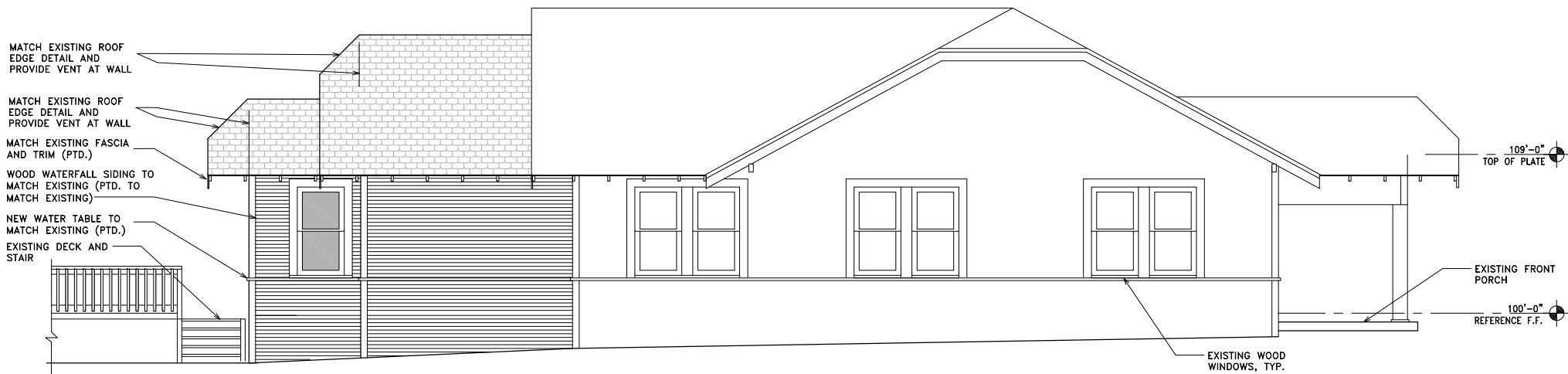
# 1 SITE PLAN

SCALE: 1/16" = 1'-0"





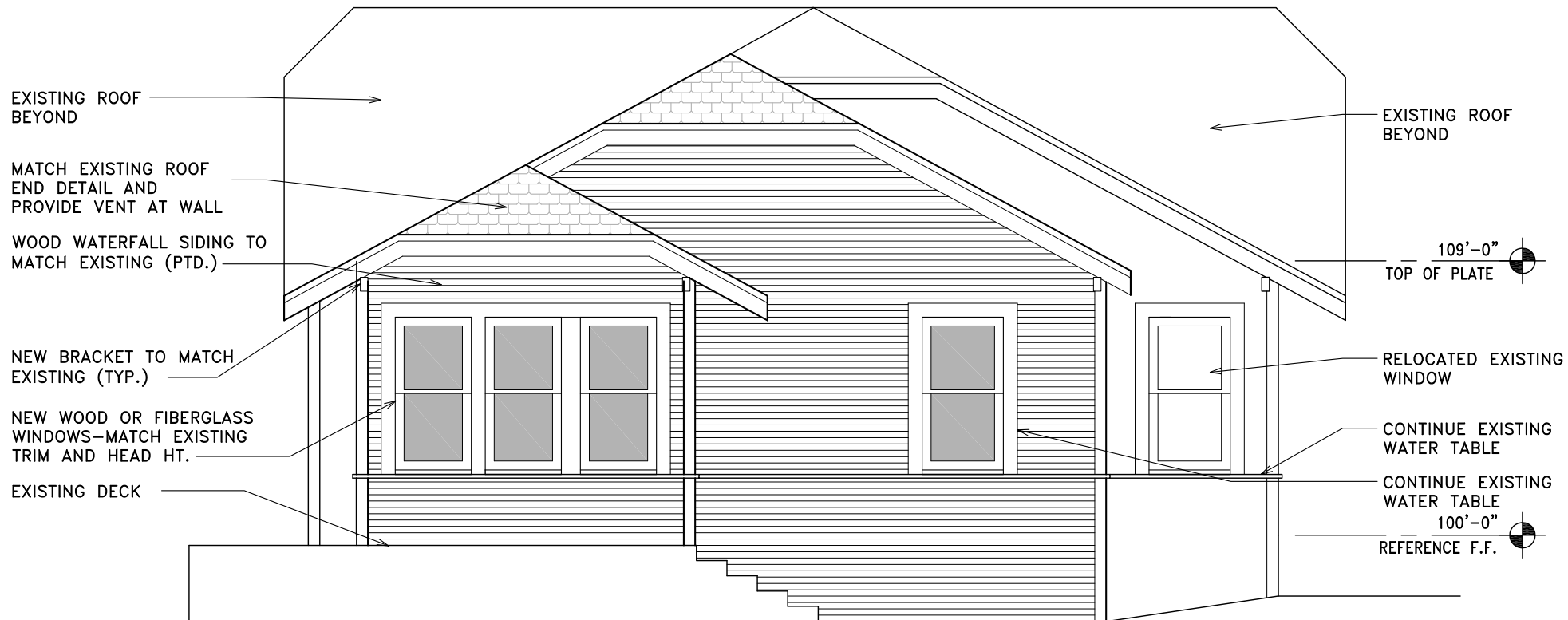
# 1 NEW ROOF PLAN



**5 EAST ELEVATION**

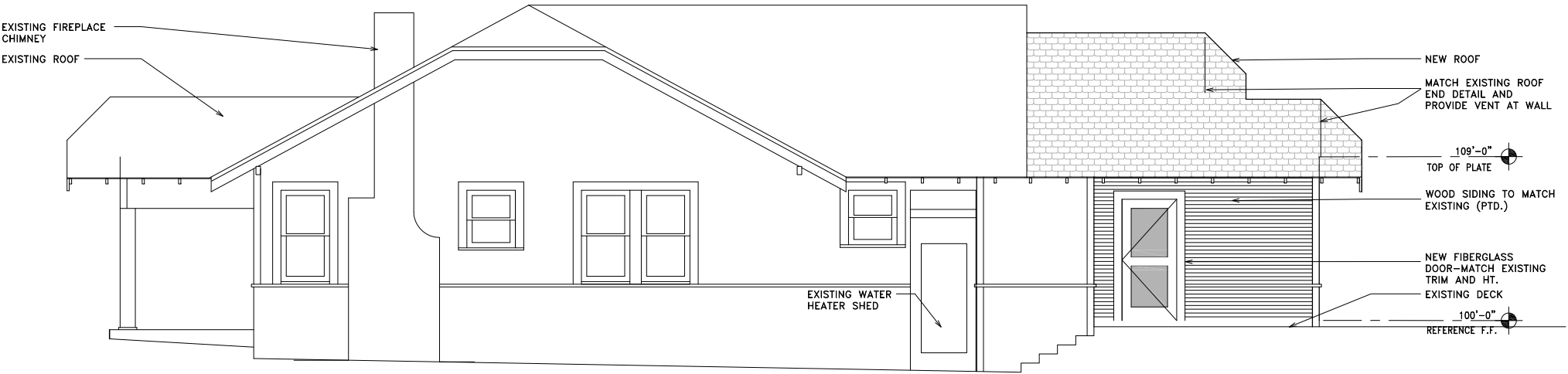
SCALE: 1/4" = 1'-0"





### 3 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

