

## HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2015

Agenda Item No: 7

**HDRC CASE NO:** 2015-276  
**ADDRESS:** 722 S ST MARYS  
**LEGAL DESCRIPTION:** NCB 902 BLK LOT 24 AT 724 ST MARY"S  
**ZONING:** IDZ H HS  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Lavaca Historic District  
**LANDMARK:** El Mirador  
**APPLICANT:** Davis Sprinkle / Sprinkle & Co. Architects  
**OWNER:** Christopher Hill/Sendero Ranch Development, LTP.  
**TYPE OF WORK:** Exterior modifications, site improvements  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish an existing wood trellis on the north side of the El Mirador Restaurant.
2. Open an existing glass vestibule on the north façade of the El Mirador Restaurant.
3. Construct a new brick entry and ramp to the north of the El Mirador Restaurant covered by a fabric canopy.
4. Install new landscaping to the north of the El Mirador Restaurant including a crushed granite pathway and new turf.
5. Construct a fence to the north of the El Mirador Restaurant to screen mechanical equipment.
6. Construct a fence to the south of the El Mirador Restaurant to screen a storage area.
7. Construct a new hardscape area with parking drainage to the south of the El Mirador Restaurant.
8. Construct a new 3 foot tall limestone wall along the public right of way at S St Mary's.
9. Construct a new 4 foot tall limestone wall with fireplace between the El Mirador Restaurant and the King William Garden House.
10. Install crushed granite, a fountain and an outdoor fire place in the existing courtyard between the El Mirador Restaurant and the King William Garden House.
11. Install a new trellis toward the rear (east) of the King William Garden House.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

#### 10. Commercial Facades

##### A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence.

Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

## 11. Canopies and Awnings

### A. MAINTENANCE (PRESERVATION)

*i. Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

*i. Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

*ii. New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

*iii. Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

*iv. Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

*v. Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

*vi. Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

## 2. Fences and Walls

### B. NEW FENCES AND WALLS

*i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

*ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

*iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

*iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

*v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

### A. PLANTINGS

*i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

*ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such

as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

*iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

*iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

*v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

## B. ROCKS OR HARDSCAPE

*i. Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

*ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

*iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## FINDINGS:

- a. The applicant has proposed to demolish an existing, non contributing wood trellis on the north side of the El Mirador Restaurant as well as to open an existing glass vestibule on the north side of the restaurant. Staff finds the removal of this trellis as well as the opening of the vestibule appropriate.
- b. According to the Guidelines for Site Elements 3.B.i., large pavers should not be introduced where not historically found. The applicant has proposed to install a brick entry and ramp to the north of the El Mirador Restaurant. This brick paver system is to be 9 feet in width and approximately 30 feet in length. Staff finds this proposal appropriate given that this is an esthetic improvement over the existing hardscape at that location. The applicant has proposed to cover this brick entry way and ramp with a new fabric canopy to replace the existing wood trellis system. This is consistent with the Guidelines for Exterior Maintenance and Alteriations 11.B.ii.
- c. The applicant has proposed to install new landscaping at various locations to the north of the El Mirador Restaurant. These landscaping installations include a crushed granite pathway, turf and various plantings. The applicant will be removing an existing brick paver system. This is consistent with the Guidelines for Site Elements 3.A.iii. and 3.B.ii.
- d. The Guidelines for Site Elements 2.B. addressed new fences and walls in historic districts. New fences and walls should appear to be similar to those used historically within the district, should be no taller than 4 feet in the front where seen from the public right of way and should be constructed of appropriate materials. The applicant has proposed a fence on the north side of the El Mirador Restaurant to screen mechanical equipment and one at the rear of the restaurant on the south east corner to screen a storage area. The applicant has proposed for both of these fences to be no taller than 6 feet and to be constructed of cedar. This is consistent with the Guidelines.
- e. In addition to the proposed landscaping on the north side of the El Mirador Restaurant, the applicant has proposed to remove the existing paving to the east of the proposed fenced storage area and install a new hardscape area with native planting, consistent with the Guidelines for Site Elements 3.A.iii. Staff finds that this is an improvement over the existing site design and is appropriate.
- f. The applicant has proposed to construct two limestone walls, the first is to be 3 feet in height and run parallel to the public right of way at S St Mary's from the south of the El Mirador Restaurant along the public right of way to the extent of the site. The second is to be 4 feet in height, contain an outdoor fire place and be constructed between the restaurant and the King William Garden House at the rear of the existing courtyard. The height of both walls as well as the chosen material, limestone, are consistent with the Guidelines for Site Elements 2.B.i.,ii,iii, and v. The fireplace is to feature a chimney that is to be approximately 9 feet in height with a spark arrestor. Staff finds this proposal appropriate.
- g. The applicant has proposed to redesign the existing courtyard between the El Mirador Restaurant and the King William Garden House to include a new seating arrangement, crushed granite paving, modified planting beds with

native plants, an outdoor fireplace, as noted in finding f and an a decorative fountain. The applicant's proposed paving method is consistent with the Guidelines for Site Elements 3.B.ii.

- h. According to the Guidelines for Exterior Maintenance and Alterations 11.B.ii., new awnings and canopies should be based on the architectural style of the building's façade to which they will be introduced. The applicant has proposed to construct a steel framed trellis with steel decking at the rear of the King William Garden House. While the proposed material is not currently featured on the King William Garden House, the site in general features a similar trellis system. The proposed materials will be easily identifiable from this historic structure. Staff finds this proposal appropriate. Staff recommends that the new, steel trellis system be completely detached from any architectural or structural element of the King William Garden House.

**RECOMMENDATION:**

Staff recommend approval of items #1 through #11 with the following stipulation:

- i. That the new, steel trellis system be completely detached from any architectural or structural element of the King William Garden House.

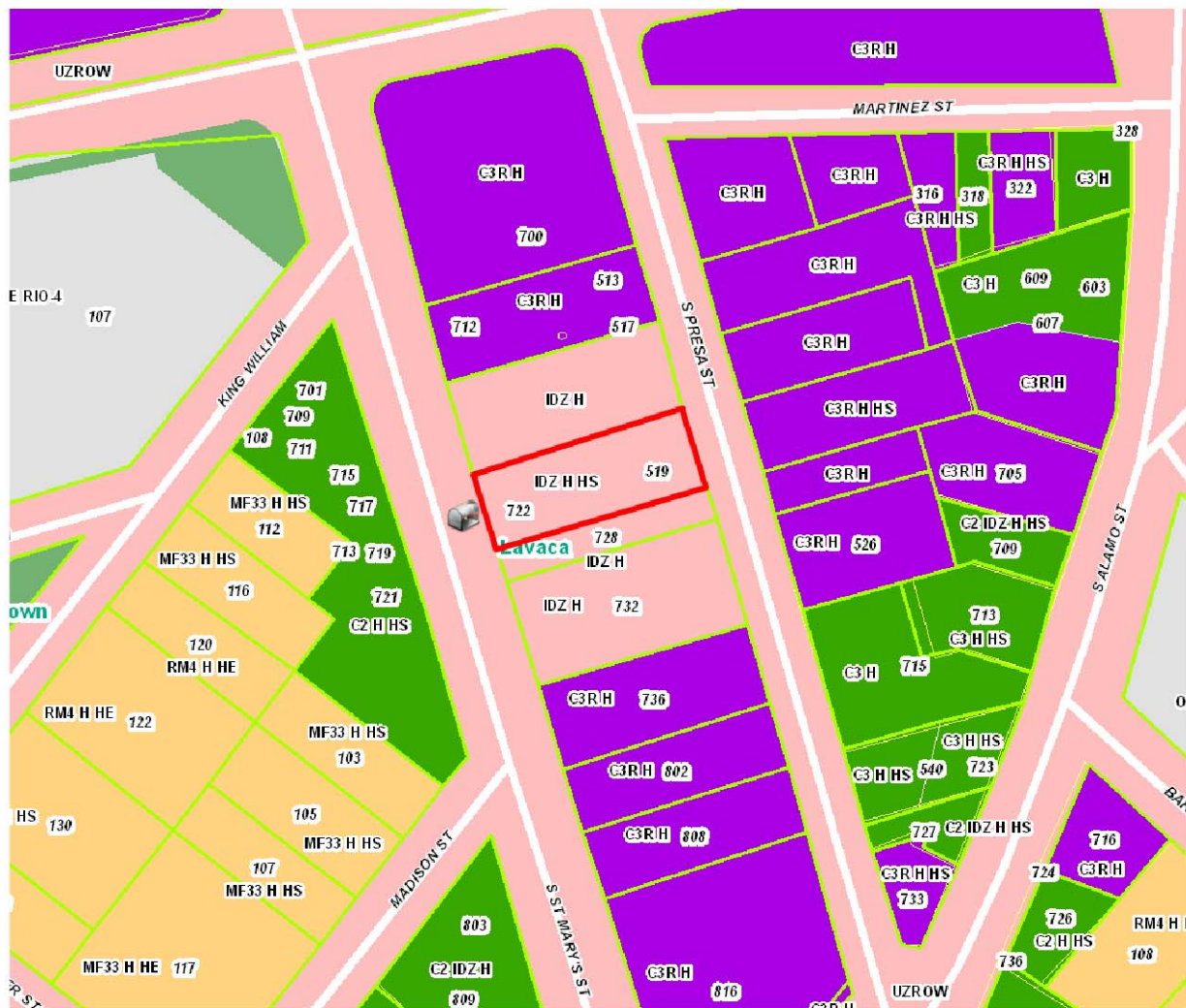
**CASE COMMENT:**

The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514.

**CASE MANAGER:**

Edward Hall







## Flex Viewer

Powered by ArcGIS Server

Printed: Jul 06, 2015

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Proposed Improvements

# **El Mirador Restaurant 722 S. St. Mary's**

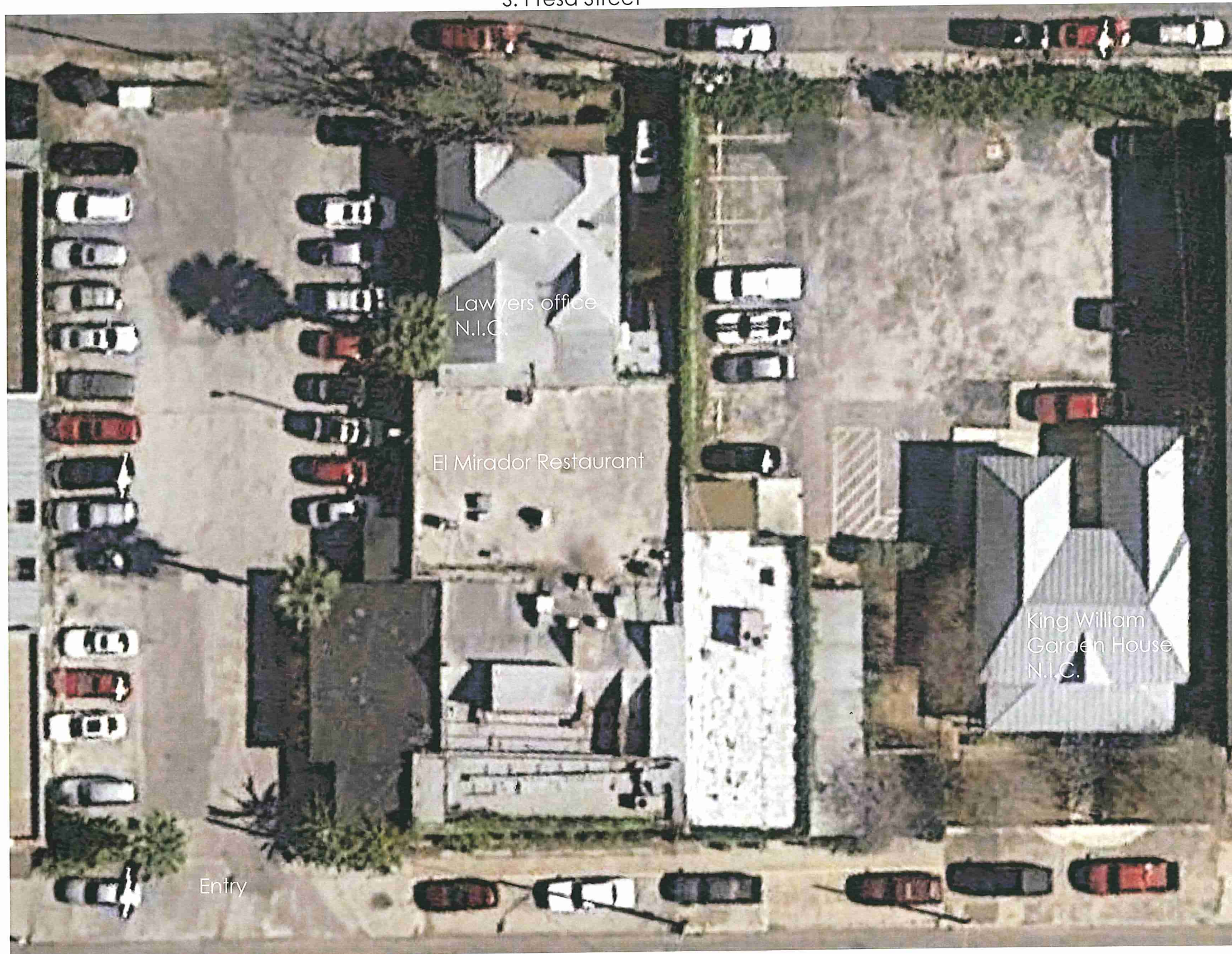
**SPRINKLE & CO.**  
ARCHITECTS







S. Presa Street



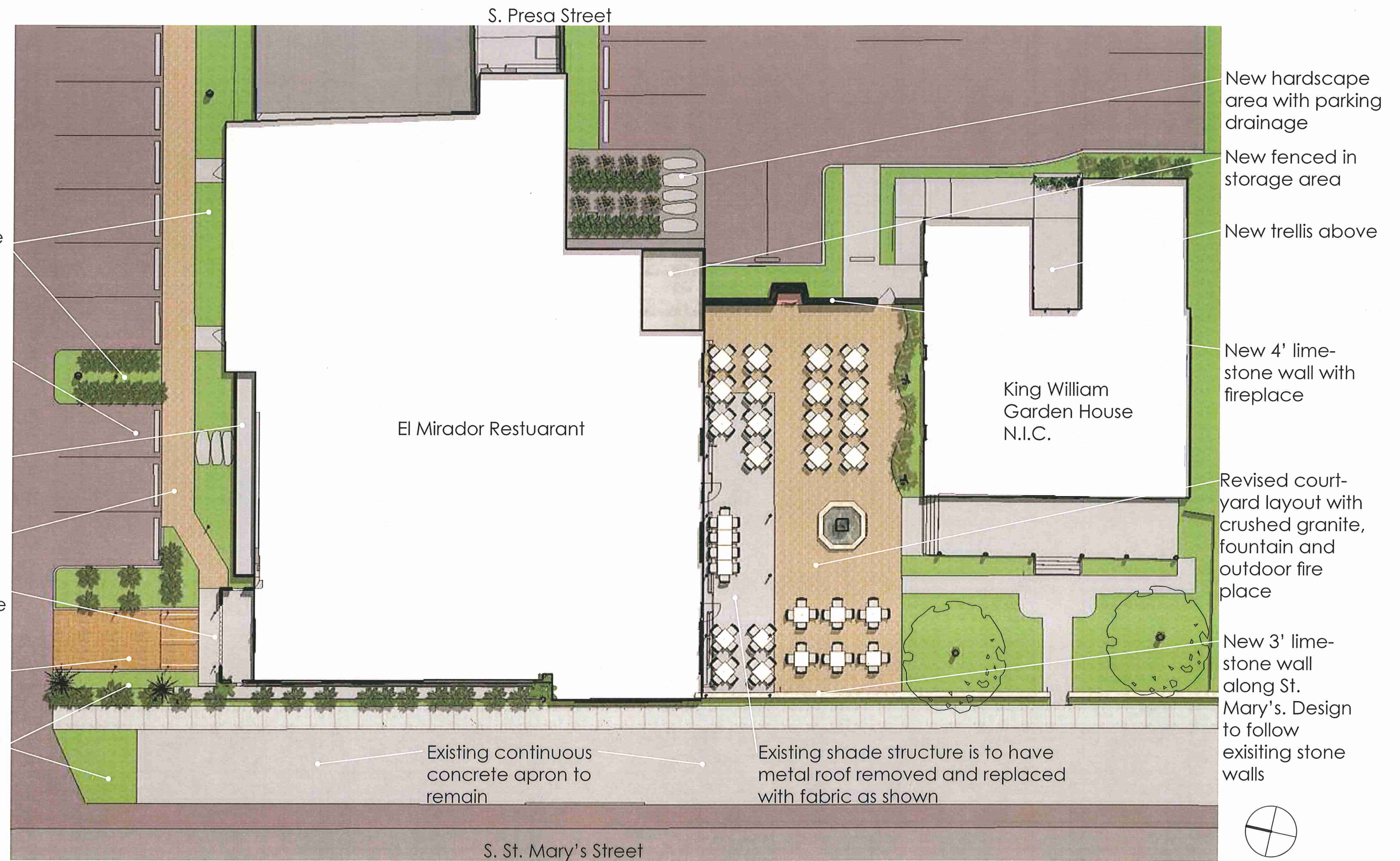
S. St. Mary's Street

Existing Site Conditions



**SPRINKLE & CO.**  
ARCHITECTS





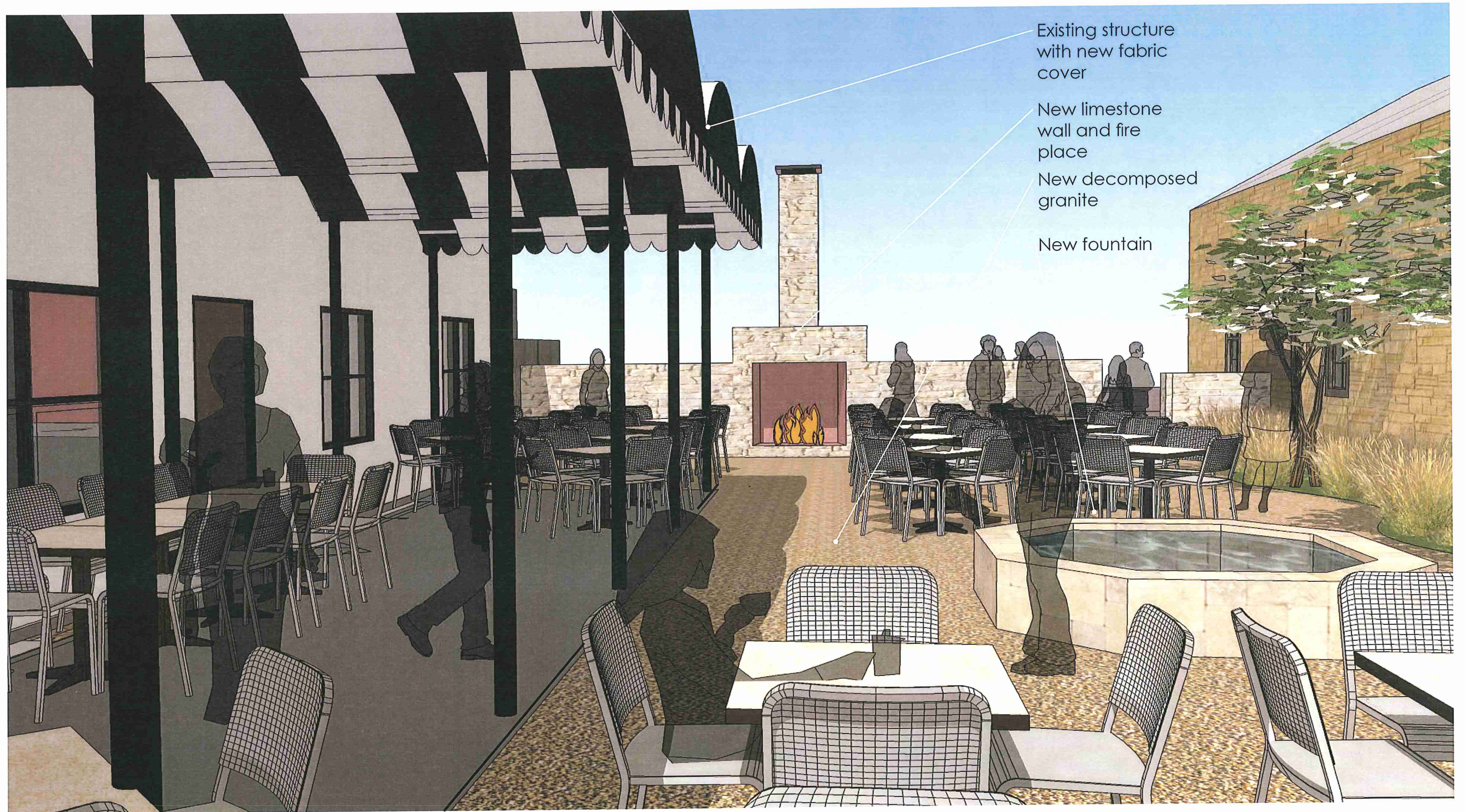
Plan View





Front Entry





Courtyard View





Courtyard Aerial





Existing Site Conditions





Existing Site Conditions





Existing Site Conditions



CODE REVIEW SUMMARY

DESCRIPTION  
RESTAURANT REMODEL

ADDRESS  
722 S. ST. MARY'S  
SAN ANTONIO TX, 78210

BUILDING AREA  
6,903 SF

CODE BASIS  
International Building Code 2012  
International Fire Code 2012  
International Mechanical Code 2012  
International Plumbing Code 2012  
International Fuel Gas Code 2012  
National Electric Code 2011  
International Energy Conservation Code 2012  
American s with Disability Act 2010 (ADA)  
Texas Accessibility Standards 2012 (TAS)

TEXAS EAB#  
TBD

DRAWING INDEX

ARCHITECTURAL

A1 SITE PLAN  
A2 DEMO PLAN  
A3 FLOOR PLAN  
A4 REFLECTED CEILING PLAN  
A5 INTERIOR ELEVATIONS/SECTIONS/DETAILS  
A6 EXTERIOR ELEVATIONS/INTERIOR ELEVATIONS

KITCHEN

K1 KITCHEN EQUIPMENT LAYOUT  
K2 KITCHEN EQUIPMENT ELECTRICAL/PLUMBING  
K3 KITCHEN EQUIPMENT SPECIAL CONDITIONS  
K4 HOOD DRAWINGS  
K4.1 HOOD DRAWINGS  
K4.2 HOOD DRAWINGS  
K4.3 HOOD DRAWINGS

GENERAL NOTES

- All work is to be done by the General Contractor, except as noted otherwise.
- The General Contractor shall execute all work, supply all materials, and equip. in accordance with local and national governing codes.
- The General Contractor shall check and field verify all dimensions and conditions, reporting any discrepancies in writing, to the Architect before beginning any phase of construction. This is the same for lack of full knowledge of existing conditions under which the Contractor will be obligated to operate. Conditions shown on these documents are based on information supplied by the Owner.
- Dimensions are typically to a finished surface or to an assembly, fixture, centerline, etc. Report all discrepancies in dimensions in writing to the Architect prior to beginning any phase of construction. Work shall be true and level as indicated. All work shall result in an orderly and workman-like appearance. Where figures or dimensions have been omitted from the drawings, the drawings shall not be scaled. The Contractor shall immediately request dimensions in writing from the Architect.
- The General Contractor is to provide temporary light, telephone, faxing, clean-up service and toilets. All temporary work is to be removed prior to completion.
- The General Contractor is responsible for having the sub-contractors coordinate their work with the other trades including work not in contract.
- The General Contractor is to file for and secure all approvals, permits, tests, inspections and certificates of compliance required.
- The General Contractor is to keep a full set of up-to-date construction documents including addenda, field sketches, clarifications and supplements available at the job site at all times.
- The General Contractor is responsible for initiating, maintaining and supervising all safety programs and precautions necessary for completion of work and for protection of workers, visitors and the public.
- The General Contractor is to provide adequate barricades as per local building codes and ordinances to insure the safety of persons and property on the site occupied by the Owner and in the adjacent public right of way.
- Carbon monoxide emissions are prohibited from all interior work. Should fume hazards occur, the general contractor is responsible for the monitoring and testing of affected areas.
- The general contractor is to repair, replace, patch and match any materials, areas or systems as required and called for to insure proper installation and neat appearance of the work.
- Specified items have been selected because they reflect the standards of quality desired, possess features required to preserve the design concept. The architect, therefore, reserves the right to require the use of specified items. Any requests for substitutions for the specified items must be submitted to the architect, in writing, along with a sample and proof of equality of such items. In all cases, the burden of proof of equality shall be with the bidder and the decision of the architect shall be final architect, in writing, along with a sample and proof of equality of such items. In all cases, the burden of proof of equality shall be with the bidder and the decision of the architect shall be final.
- The Owner, Architect, or Engineer will not be responsible for any verbal instructions.
- All scrap materials are to be removed from the site on a daily basis. Trash shall not be allowed to accumulate.
- The General Contractor is to notify Owner's representative and Architect upon finding conditions not identified on drawings.
- The adjacent properties shall in no way be inconvenienced or disturbed by vehicles, debris, signs, odors, unsightly conditions, or non-construction noise. The General Contractor shall be responsible for the conduct of all persons on site at all times and for the behavior of individuals with respect to adjacent areas. The project site shall be drug and alcohol free.
- Refer to additional notes by MEP disciplines. Where various disciplines indicate work for differing disciplines (for example, mechanical work which would require structural modifications), the General Contractor is to notify the Architect prior to commencing the work.
- Every drawing detail and specification item is to be utilized in this project. If it is not clear where a specific detail is to be utilized, or a required quantity, it is the Contractor's responsibility to obtain a written clarification prior to bid award.

OCCUPANCY TYPE  
GROUP A-2

OCCUPANCY LOAD PER TABLE 1004.1.2  
TOTAL OCCUPANCY - 219

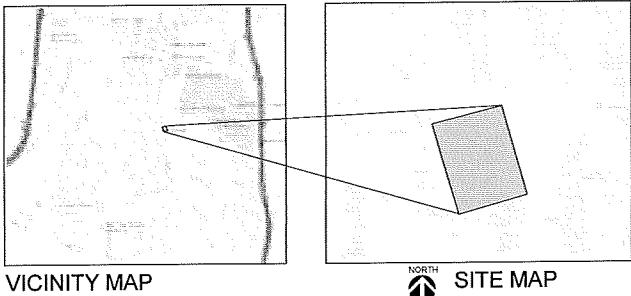
NUMBER OF EXITS REQUIRED  
THREE PROVIDED AT STREET LEVEL

EXIT SEPARATION DISTANCE 62'-0"

PLUMBING FIXTURES PER TABLE 2902.1  
3 WATER CLOSETS MALE  
3 WATER CLOSET FEMALE  
2 LAVATORIES  
1 SERVICE SINK

CONSTRUCTION TYPE  
II B

FIRE ALARM  
YES

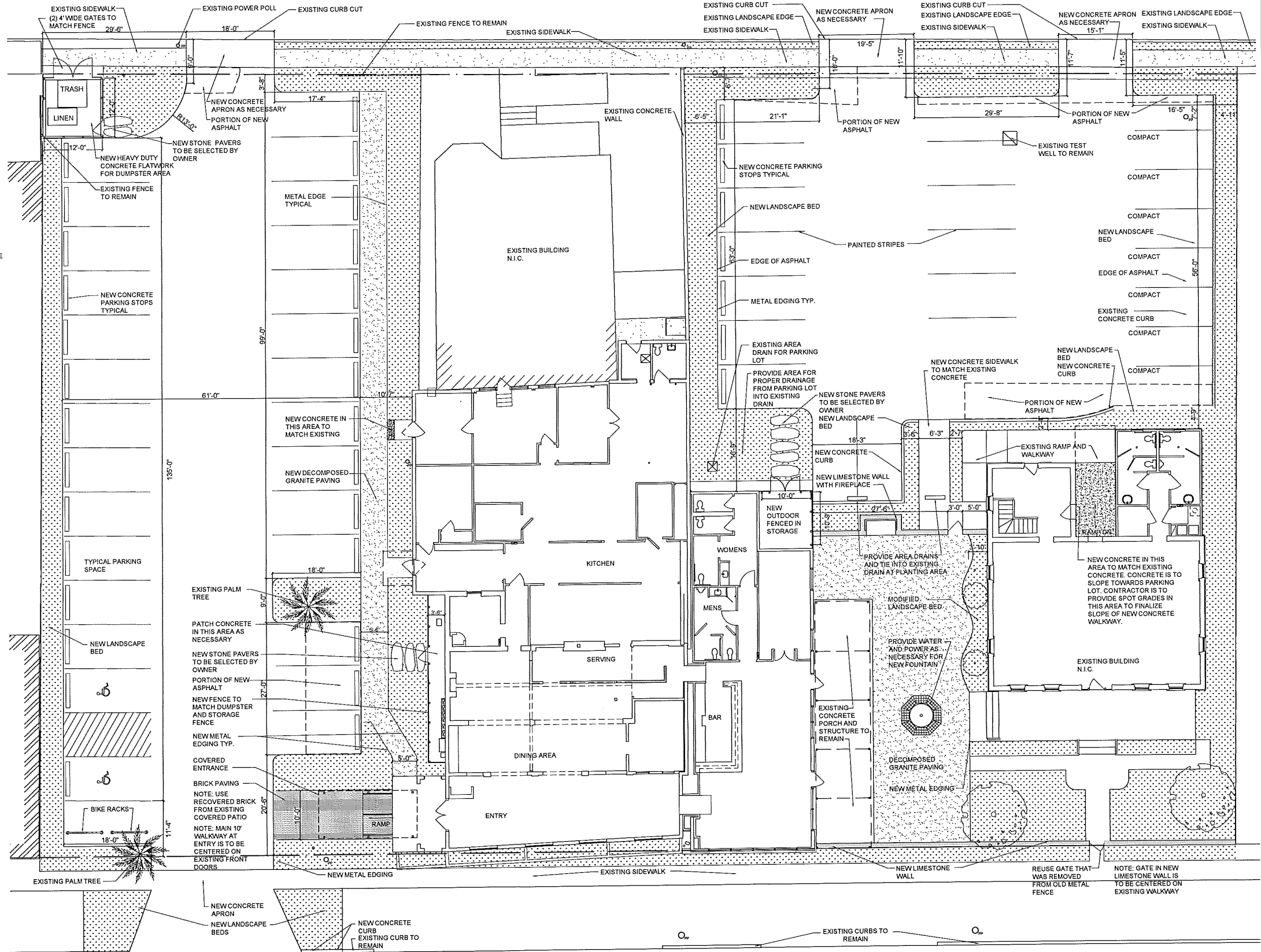


VICINITY MAP

SITE MAP

GENERAL SITE NOTES:

- THE CONTRACTOR IS ADVISED TO VISIT THE EXISTING SITE FOR THE PURPOSES OF DETERMINING THE EXTENT OF DEMOLITION, PATCHING, REPAIRING, AND NEWWORK REQUIRED BY THE DRAWINGS OR SPECIFIED HEREIN AND TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH HE MUST WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYING ALL EXISTING CONDITIONS, LOCATIONS OF EXISTING PLUMBING SYSTEMS, EXISTING FLOOR, WALL, AND CEILING SYSTEMS, AND EXISTING FINISHES AS THEY RELATE TO THE PERFORMANCE OF THE WORK OUTLINED IN THE CONSTRUCTION DRAWINGS.
- PARKING: PARKING BY THE CONTRACTORS WORKERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR SOLELY. THE OWNER SHALL BE HELD HARMLESS FOR ANY VEHICLE, EQUIPMENT, AND MATERIALS NOT PROPERLY SECURED AND OFF THE SITE.
- STORAGE: CONSTRUCTION MATERIALS MAY BE STORED WITHIN THE CONSTRUCTION AREA AS DESIGNATED BY THE OWNER. EXITS SHALL REMAIN CLEAR AT ALL TIMES. AT NO TIME SHALL CORRIDORS, EXIT WAYS, OR EXIT DOORS BE OBSTRUCTED BY STORED MATERIALS. FLOORS WITHIN THE BUILDING WHERE MATERIALS ARE STORED SHALL BE PROTECTED BY 1/2" PLYWOOD SHEETS. REPAIR ANY DAMAGE TO EXISTING FLOORS DUE TO MATERIALS STORAGE AT NO EXPENSE TO THE OWNER.
- BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND GENERALLY BE LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT. DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.
- TREES DESIGNATED FOR PRESERVATION SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION PROCEDURES.
- THE CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY VERTICAL AND HORIZONTAL ALIGNMENT.
- STRIPING SHALL BE USED TO INDICATE PARKING SPACES. PARKING SPACES SHALL BE INDICATED BY 4 INCH PAINTED WHITE STRIPES, 9 FEET ON CENTER OR AS SPECIFIED BY DRAWINGS. NO PARKING AREAS SHALL BE NOTED BY 4 INCH PAINTED YELLOW LINES WITH 12 INCH SEPARATION, PAINTED DIAGONALLY ACROSS THE AREA.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNERS, ARCHITECTS, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL, OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



1 SITE PLAN  
A-1  
SCALE: 1" = 10'-0"

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INTERIOR AND EXTERIOR RENOVATION  
722 S ST MARY'S SAN ANTONIO TX, 78210  
SPRINKLE & CO. ARCHITECTS, AIA, LLC  
506 BROOKLYN AVENUE  
SAN ANTONIO, TX 78215  
(210) 227-7722

ISSUE DATE  
06/23/2015

REVISIONS  
NOT FOR CONSTRUCTION


SHEET:  
A1


**INTERIOR AND EXTERIOR RENOVATION**  
**722 S ST MARY'S SAN ANTONIO TX, 78210**  
**SPRINKLE & CO. ARCHITECTS, AIA, LLC**  
 SAN ANTONIO, TX 78215 (210) 227-7722

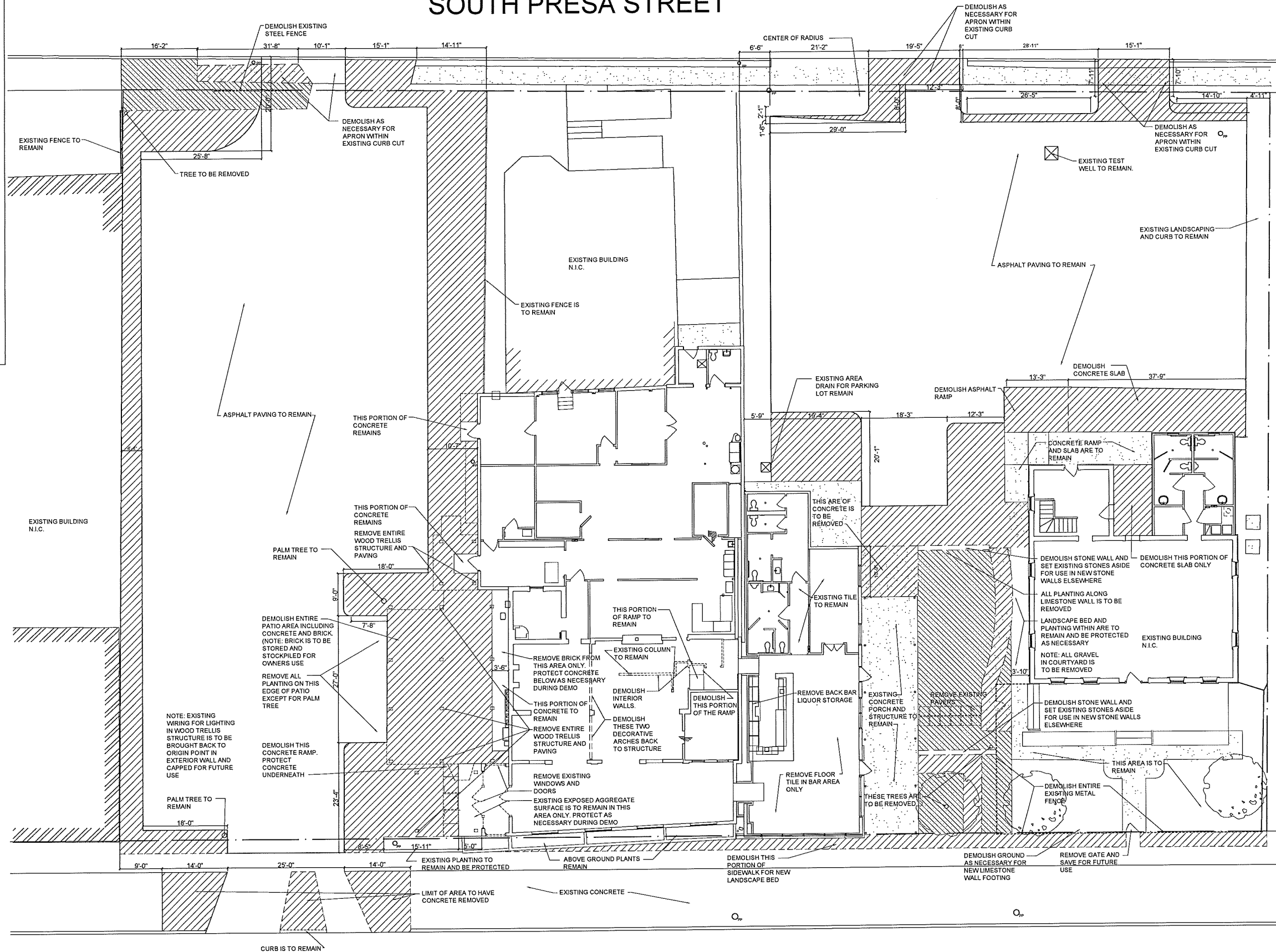
REVISIONS  
NOT FOR CONSTRUCTION

SHEET:  
**A 2**

SOUTH SAINT MARY'S STREET

 ALL ASPHALT, CONCRETE, AND BRICK PAVING IN THIS AREA TO BE DEMOLISHED UNLESS OTHER WISE NOTED

 ALL GRAVEL AND LANDSCAPING TO BE REMOVED IN THIS AREA UNLESS OTHER WISE NOTED



**INTERIOR AND EXTERIOR RENOVATION**  
722 S ST MARY'S SAN ANTONIO TX, 78210  
**SPRINKLE & CO. ARCHITECTS, AIA, LLC**  
506 BROOKLYN AVENUE SAN ANTONIO, TX 78215  
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A 3



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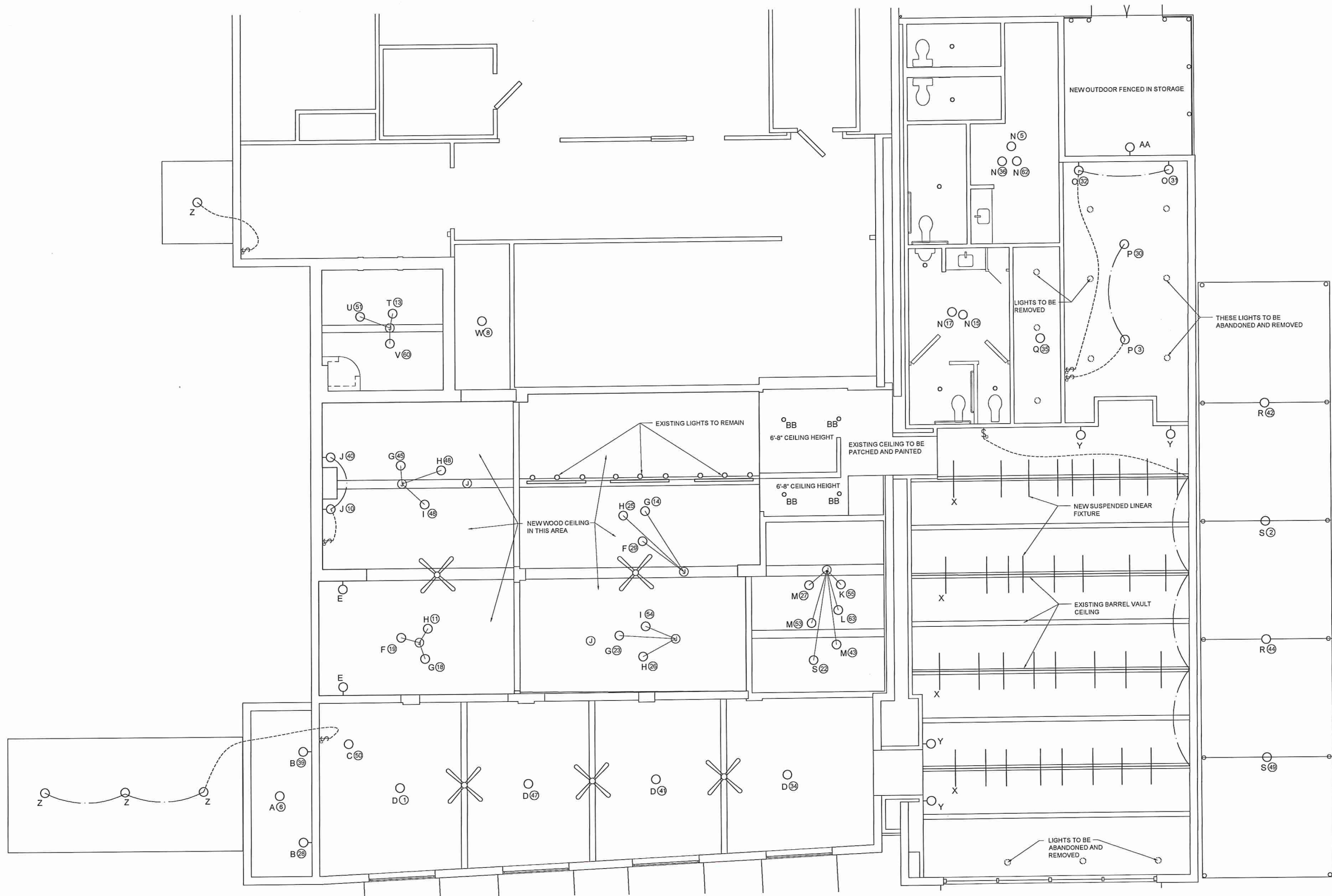
**INTERIOR AND EXTERIOR RENOVATION**  
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SAN ANTONIO, TX 78215 (210) 227-7722

ISSUE DATE  
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NOT FOR CONSTRUCTION

SHEET:

A 4



1 REFLECTED CEILING PLAN  
A-4 SCALE: 1/4" = 1'-0"

LIGHTING SCHEDULE					LIGHTING SCHEDULE CONTD.				
NOTE: ALL FIXTURES ARE SUPPLIED BY OWNER AND TO BE INSTALLED BY CONTRACTOR					NOTE: ALL FIXTURES ARE SUPPLIED BY OWNER AND TO BE INSTALLED BY CONTRACTOR				
KEY	DESCRIPTION	MANUF.	MODEL	LAMPS	KEY	DESCRIPTION	MANUF.	MODEL	LAMPS
A	PENDANT SMALL GREEN BUBBLE			LED	O	SCONCE RED BUBBLE CANTEEN			LED
B	SCONCE GREEN PINAS			LED	P	PENDANT AMBER BARREL			LED
C	PENDANT PURPLE BUBBLE			LED	Q	PENDANT COBALT CALABAZA			LED
D	PENDANT PAPAYA			LED	R	PENDANT GREEN PAPAYA			LED
E	SCONCE RED BALLS			LED	S	PENDANT LARGE GREEN CALABAZA			LED
F	PENDANT AMBER CANTEEN			LED	T	PENDANT CLEAR CALABAZA			LED
G	PENDANT LARGE CALABAZA			LED	U	PENDANT GREENISH CANTEEN			LED
H	PENDANT BONDAGE			LED	V	PENDANT CLEAR TALL BUBBLE CAGE			LED
I	PENDANT BUBBLE CANTEEN			LED	W	PENDANT BLUE BALL BONDAGE			LED
J	SCONCE BLUE CALABAZA			LED	X	CUSTOM LIGHT FIXTURE			LED
K	PENDANT AMBER PINA			LED	Y	SCONCE TO MATCH CUSTOM LIGHT FIXTURE		TO BE DETERMINED BY OWNER	
L	PENDANT TALL BUBBLE CAGE			LED	Z	ENTRY CANOPY LIGHTS		TO BE DETERMINED BY OWNER	
M	PENDANT CALABAZA			LED	AA	OUTDOOR SCONCE			
N	PENDANT AMBER SWIRLS			LED	BB	RE-PURPOSED ABANDONED CAN LIGHT			

GENERAL NOTES:

ALL NEW FIXTURES ARE TO USE LED LAMPS.

ALL NEW LIGHTING IS TO BE TIED TO EXISTING SWITCHES UNLESS OTHERWISE NOTED.

WHERE EXISTING LIGHTS ARE ELIMINATED, CEILING IS TO BE PATCHED AND MADE TO MATCH EXISTING CEILING.

ALL LIGHTS IN CIGAR ROOM AND BATHROOM HALLWAY ARE TO BE SAVED AND REUSED AS NOTED IN DRAWINGS.

ALL LIGHTS IN KITCHEN ARE TO REMAIN.

ALL NEW PENDANT FIXTURES LOCATION WILL BE DETERMINED BY OWNER. WIRES FROM EACH FIXTURE WILL SWAG TO THE EXISTING J.BOX FOR POWER.

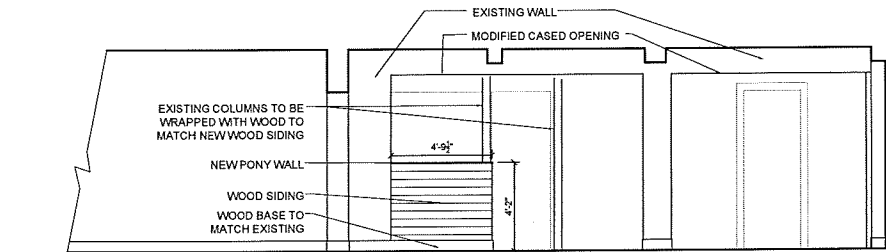
ALL NEW LIGHTS THAT WILL BE TIED TO EXISTING J.BOX'S WILL NEED TO BE FITTED WITH DIMMER SWITCHES

LEGEND

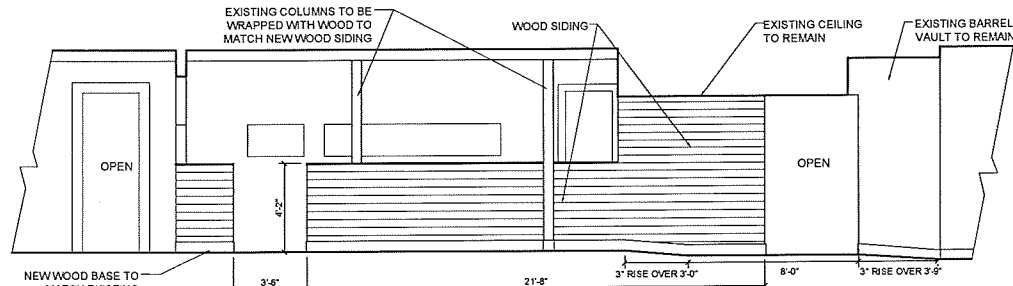
ⓐ EXISTING JUNCTION BOX

NEW LIGHT

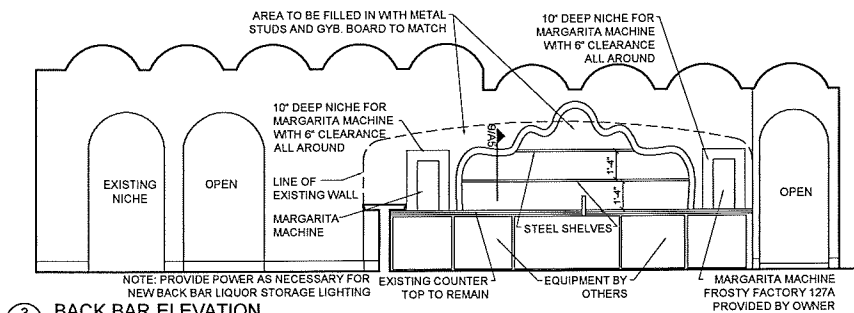
☐ LIGHTS TO BE ABANDONED



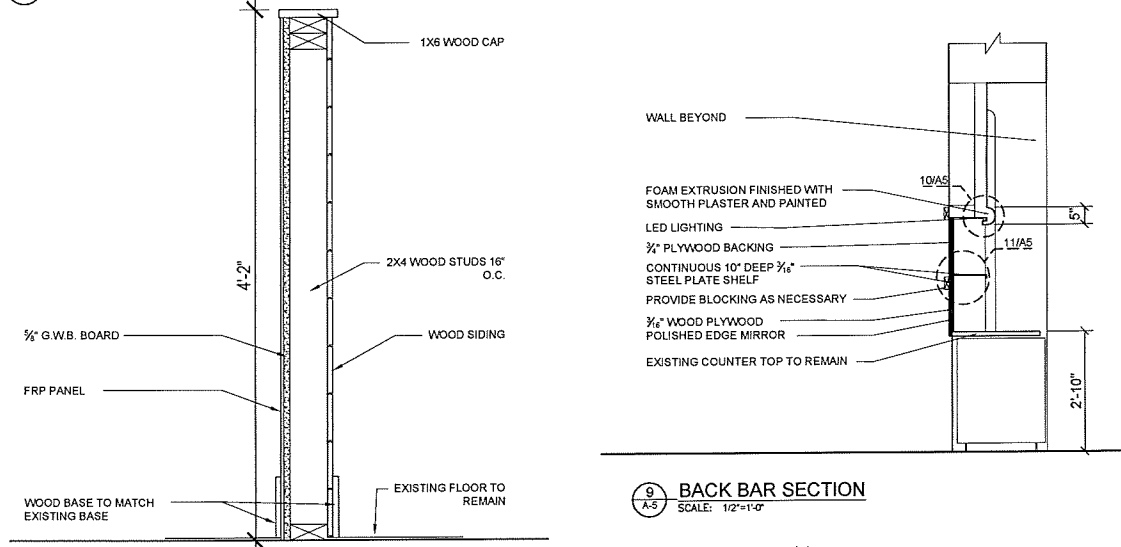
1 DINING ELEVATION  
SCALE: 1/4"=1'-0"



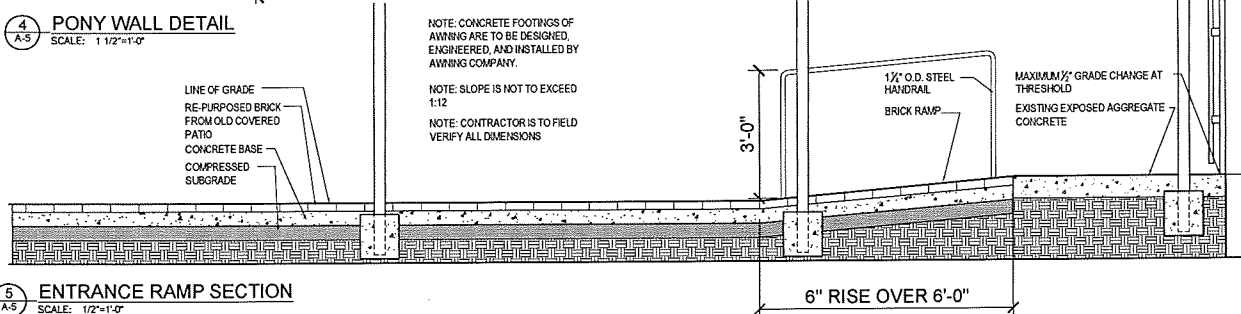
2 SERVICE ELEVATION  
SCALE: 1/4"=1'-0"



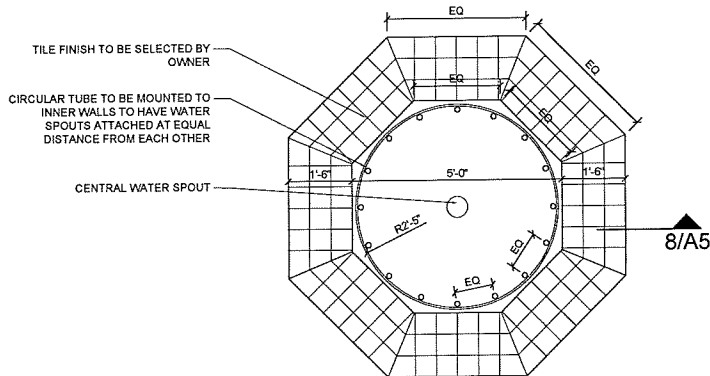
3 BACK BAR ELEVATION  
SCALE: 1/4"=1'-0"



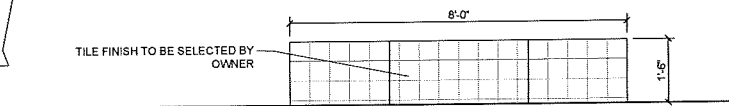
9 BACK BAR SECTION  
SCALE: 1/2"=1'-0"



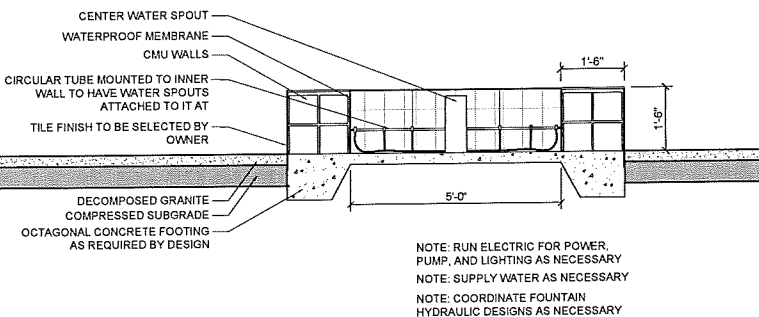
5 ENTRANCE RAMP SECTION  
SCALE: 1/2"=1'-0"



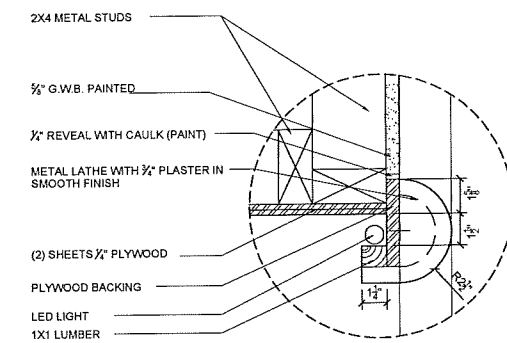
6 FOUNTAIN PLAN  
SCALE: 1/2"=1'-0"



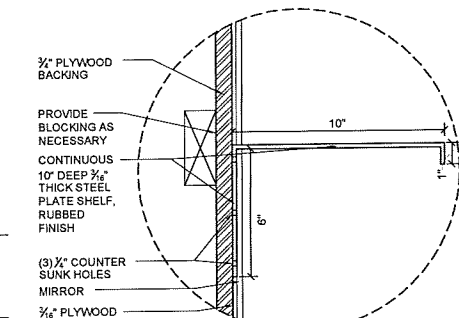
7 FOUNTAIN ELEVATION  
SCALE: 1/2"=1'-0"



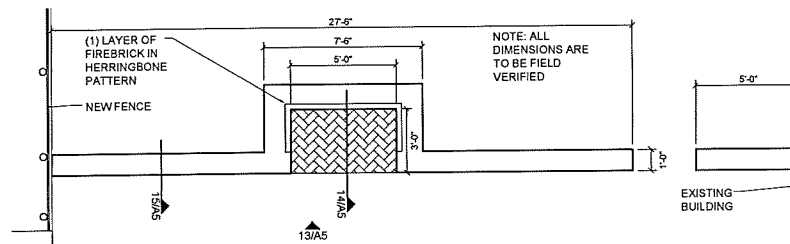
8 FOUNTAIN SECTION  
SCALE: 1/2"=1'-0"



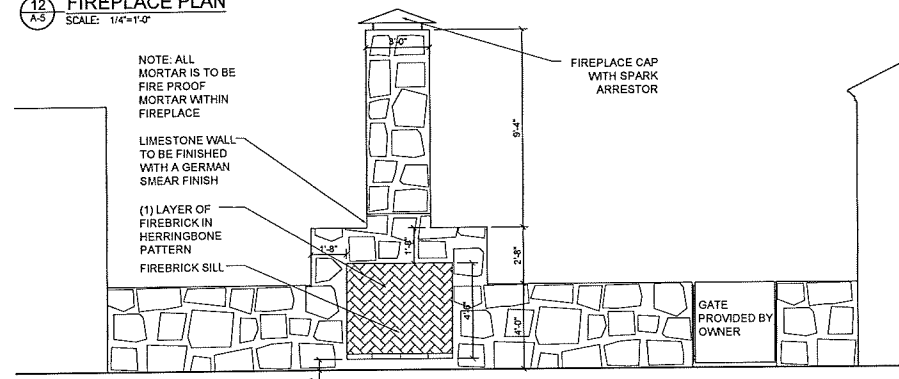
10 BACK BAR TRIM DETAIL  
SCALE: 3/4"=1'-0"



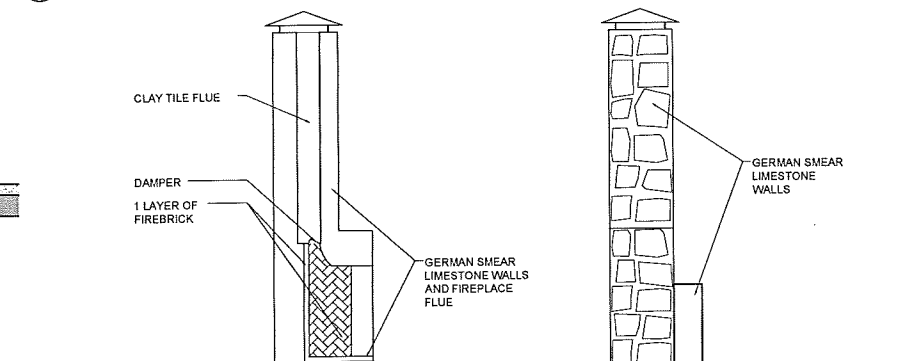
11 BACK BAR BRACKET DETAIL  
SCALE: 3/4"=1'-0"



12 FIREPLACE PLAN  
SCALE: 1/4"=1'-0"

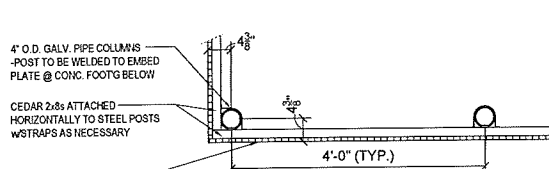


13 FIREPLACE ELEVATION  
SCALE: 1/4"=1'-0"

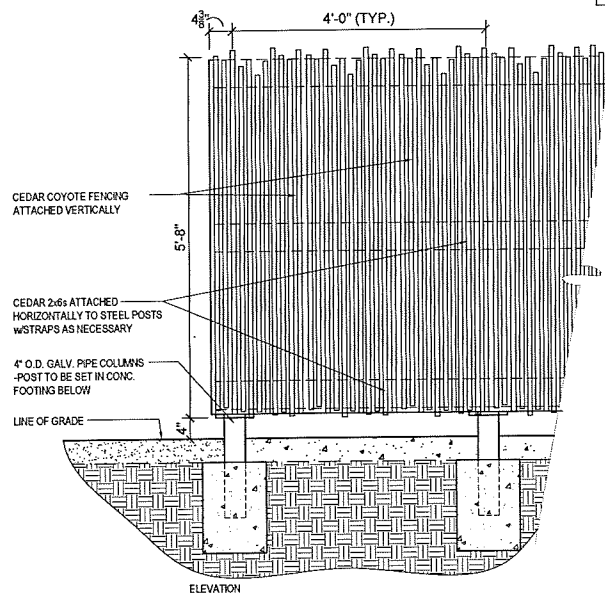


14 FIREPLACE SECTION  
SCALE: 1/4"=1'-0"

15 FIREPLACE SECTION  
SCALE: 1/4"=1'-0"



PARTIAL DUMPSTER ENCLOSURE PLAN



16 DUMPSTER AND STORAGE FENCE DETAIL  
SCALE: 3/4"=1'-0"

- NOTES:
1. TOP OF FENCE TO BE @ 6'-4" A.F.F.
  2. PROVIDE (2) GATES OF SAME CONSTRUCTION AND APPEARANCE AS FENCE DESIGN. PROVIDE HEAVY DUTY CONTINUOUS HINGES AND LOCKS.
  3. PROVIDE (1) 3' GATE OF SAME CONSTRUCTION AND APPEARANCE AS FENCE DESIGN ON SOUTH SIDE FOR EMPLOYEES

# INTERIOR AND EXTERIOR RENOVATION

722 S ST MARY'S SAN ANTONIO TX, 78210  
SPRINKLE & CO. ARCHITECTS, AIA, LLC  
506 BROOKLYN AVENUE  
SAN ANTONIO, TX 78215  
(210) 227-7722

ISSUE DATE  
06/23/2015

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