

HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2015

Agenda Item No: 18

HDRC CASE NO: 2015-237
ADDRESS: 510 ADAMS ST
LEGAL DESCRIPTION: NCB 2914 BLK 3 LOT 3
ZONING: RM4 H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Juan Barrera
OWNER: Juan & Romanita Barrera
TYPE OF WORK: Addition and rehabilitation
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace the existing asphalt shingle roof with a standing seam metal roof.
2. Rehabilitate the rear garage.
3. Paint the existing structure, remove the existing burglar bars and window a/c units.
4. Construct a 530 square foot addition to the rear of the house.
5. Demolish the existing concrete porch and reconstruct it with a wood porch featuring wood railing.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 1, Guidelines for Exterior Maintenance and Alterations

1. Materials: Woodwork

A. MAINTENANCE (PRESERVATION)

iv. Repainting—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See General Paint Type Recommendations in Preservation Brief #10 listed under Additional Resources for more information.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Façade materials—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.

ii. Materials—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.

iii. Replacement elements—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Roof replacement—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. Roof form—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. Roof features—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

9. Outbuildings, Including Garages

A. MAINTENANCE (PRESERVATION)

- i. *Existing outbuildings*—Preserve existing historic outbuildings where they remain.
- ii. *Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street.
Addition height

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. This request was heard by the Historic and Design Review Commission on June 17, 2015, where the applicant withdrew the request in order to obtain a site plan. Since that time, the applicant has provided staff with a site plan.
- b. The applicant has proposed to replace the existing asphalt shingle roof with a new standing seam metal roof. While this structure historically would have featured an asbestos shingle roof, a standing seam metal roof is also appropriate for this style. This is consistent with the Guidelines for Exterior Maintenance and Alterations 3.B.iv.
- c. According to the Guidelines for Exterior Maintenance and Alterations 9.A., in kind materials or materials that match

the existing materials in color, durability and texture should be used when repairing outbuildings including garages. The applicant has proposed to rehabilitate the existing rear garage on the property which will include foundation repair, wood siding repair and replacement and painting to match that of the house. The applicant's proposal is consistent with the Guidelines.

- d. Regarding maintenance to the primary structure, the applicant has proposed remove the existing burglar bars, window air conditioning units and to paint the exterior of the structure the existing color. This work is appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations.
- e. The Guidelines for Additions 1.A. states that residential additions should be sited at the side or rear of the primary historic structure whenever possible, that views of the addition should be limited from the public right of way and that additions should be designed to be in keeping with the historic context of the block all while featuring a transition between the original structure and the addition. The applicant has proposed to site the proposed addition to the side and rear of the original structure, has limited the amount of the addition that will be viewable from the public right of way and has designed the addition that is appropriate in regards to historic context all while featuring aspects that distinguish it from the original structure. This is consistent with the Guidelines.
- f. In regards to scale, massing and form, residential additions should be designed to be subordinate to the principal façade of the original structure, should feature a footprint that responds to the size of the lot and should feature a height that is consistent with the original structure. The applicant has designed the addition in a more modest form regarding detailing and has designed it at 530 square feet. This is appropriate with the Guidelines for Additions 1.B.
- g. The applicant has proposed for the ridge height of the proposed addition to be slightly taller than that of the existing structure. This is not consistent with the Guidelines for Additions 1.B.v. Staff recommends that the applicant reduce the height of the addition's ridgeline to a height shorter than that of the existing structure to become consistent with the Guidelines.
- h. The applicant has proposed materials consisting of wood siding, wood windows and doors and an asphalt shingle roof. This is consistent with the Guidelines for Additions 3.A.
- i. The applicant has proposed an addition that is in keeping with the historic context of the block as well as an addition that incorporates appropriately scaled architectural details. This is consistent with the Guidelines for Additions 4.A.
- j. The applicant has proposed to demolish the existing concrete porch and reconstruct it with wood, matching the existing additions. The applicant has also proposed wood handrails, but at this time has not provided staff with \ information regarding the proposed handrails. The Guidelines for Exterior Maintenance and Alterations 7.A.iii. states that original wood or concrete porch floors should be preserved. In this particular case, this structure would have historically featured a concrete front porch as do a majority on this block of Adams. If the existing concrete porch is structurally unsound, the applicant should repair in kind.

RECOMMENDATION:

Staff recommends approval of items #1 through #4 as submitted based on findings a through h with the following stipulations:

- i. That any wood windows that are removed to accommodate the proposed addition be restored and used in the new addition.
- ii. That the applicant reduce the height of the addition's ridgeline to a height shorter than that of the existing structure to become consistent with the Guidelines.

Staff does not recommend approval of item #5 based on finding j. If the existing concrete porch must be replaced, staff recommends that the applicant replace in kind. Additionally, if front porch railings are requested, the applicant should provide the proper architectural documents for that specific scope of work.

CASE MANAGER:

Edward Hall





Flex Viewer

Powered by ArcGIS Server

Printed: Jun 09, 2015

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Historic & Design Review Commission Application Form Narrative

Residential Property Address:

510 Adams San Antonio, TX 78210

King William

Contact Information: **703-477-4681 (cell)**

jbarrera757@gmail.com (email)

Submitted by Owners: **Juan A. Barrera and Romanita Matta-Barrera**

Exterior renovations for 510 Adams include the following:

- Addition. The addition to the existing single structure of 530 sq. ft the rear of the house. This addition consists of one bedroom with one full bathroom plus an extension to the existing kitchen.
- Materials. This addition will use the same materials of the existing home consisting of wood paneling for the extension.
- Roof. The existing roof is old and will be replaced by xxxx over the existing roof and in the extension.
- Paint exterior of home and remove burglar bars and old air conditioning window units.
- Renovation for back garage include removing old wood planks and painting exterior to match the home. (Exterior paint colors to be determined).

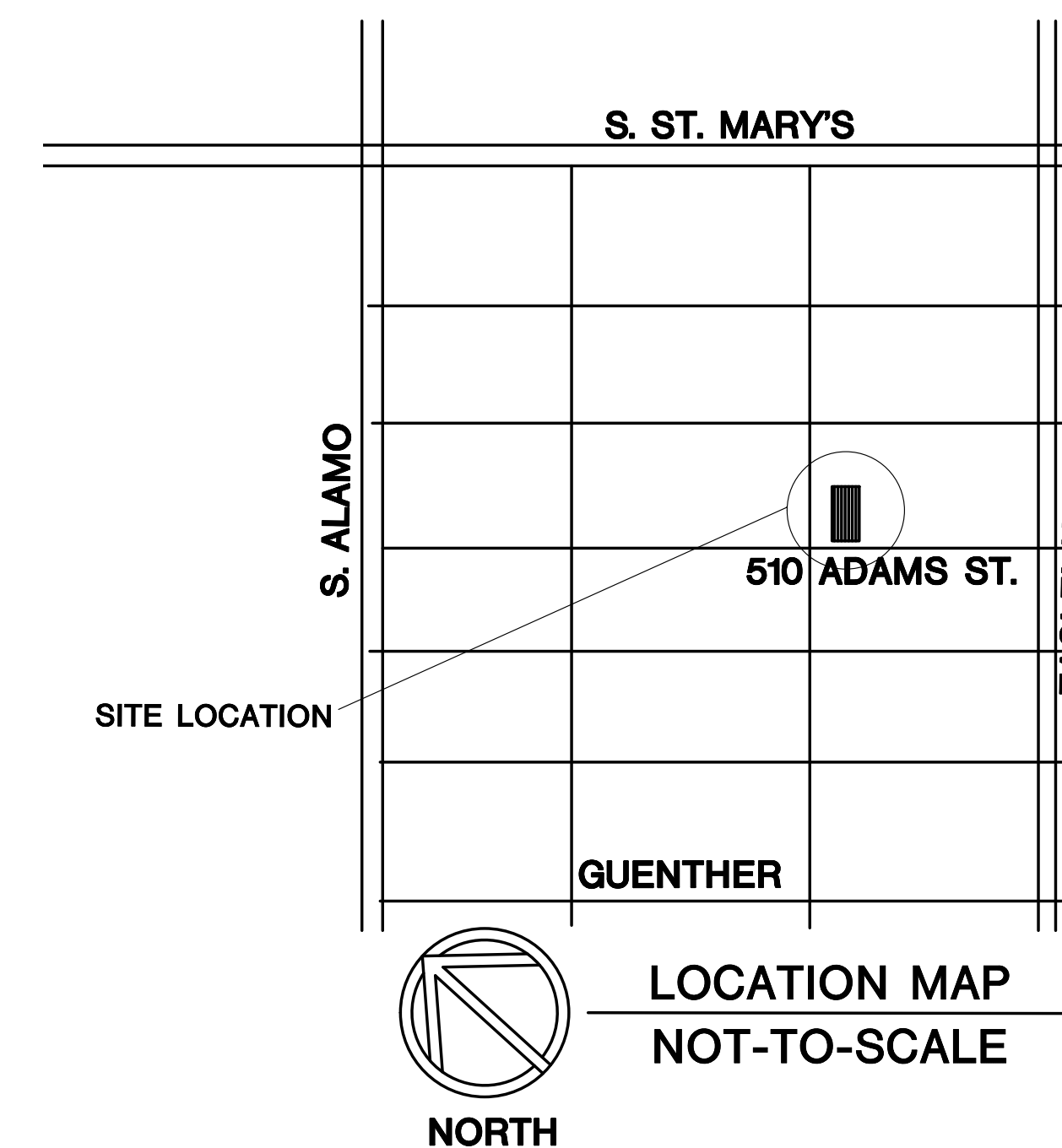
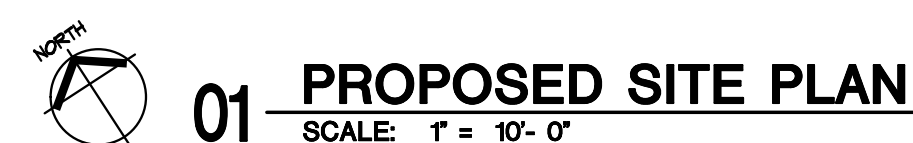
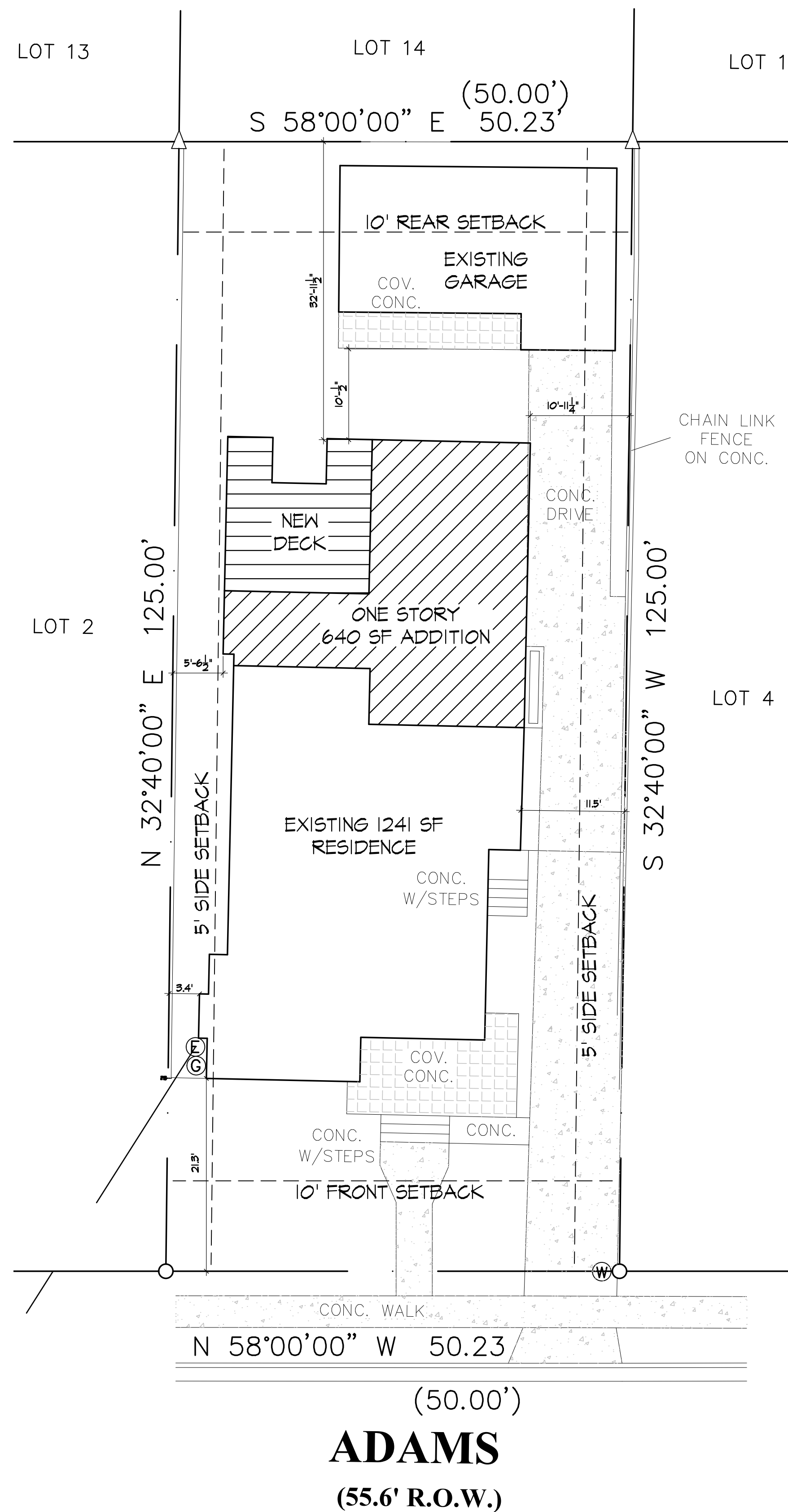
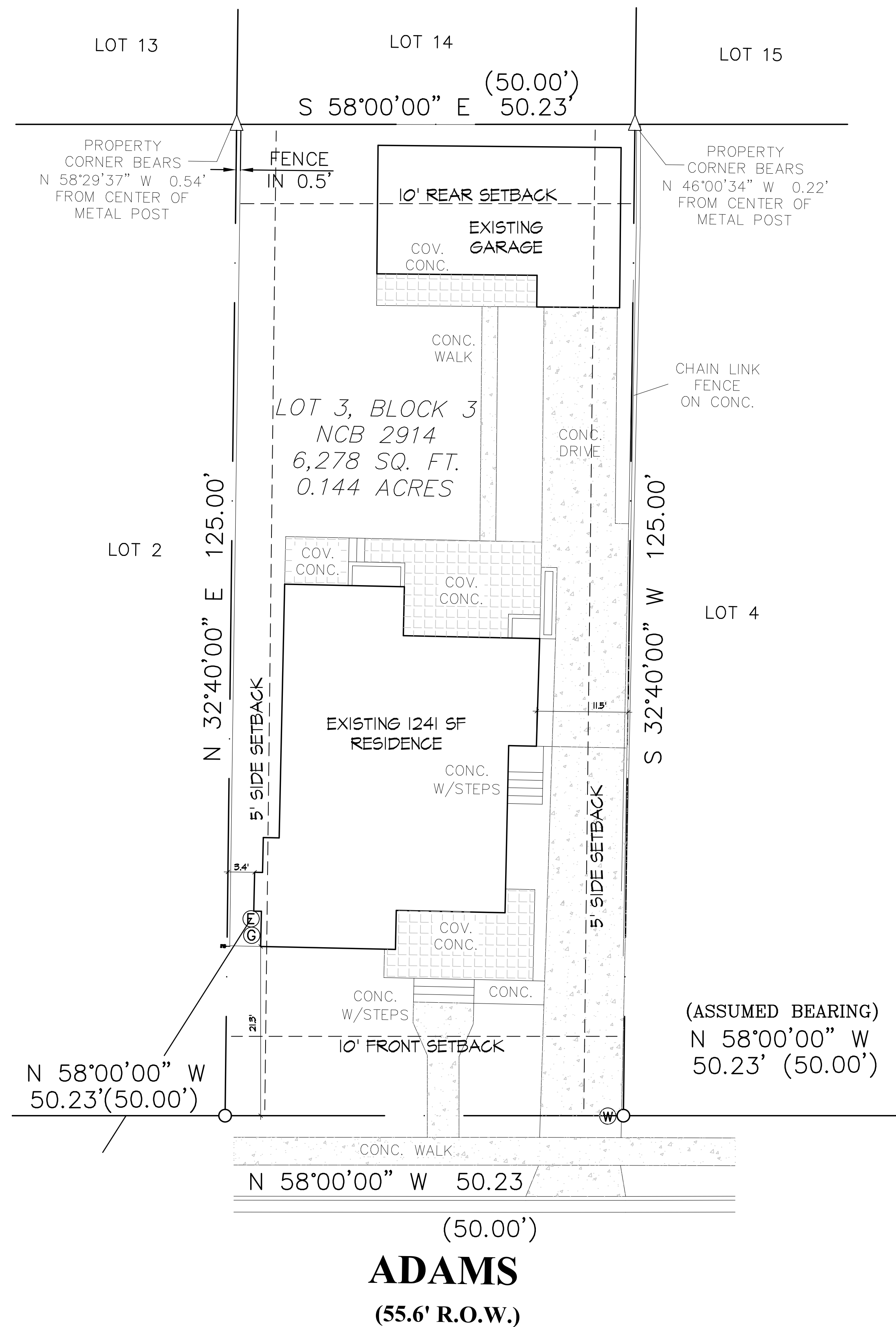
Interior renovations for 510 Adams include:

- Replace wood flooring with new wood flooring and renovate existing kitchen and bathroom.
- Renovation for back garage include leveling floor and redoing walls and painting.

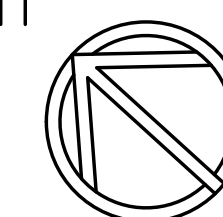
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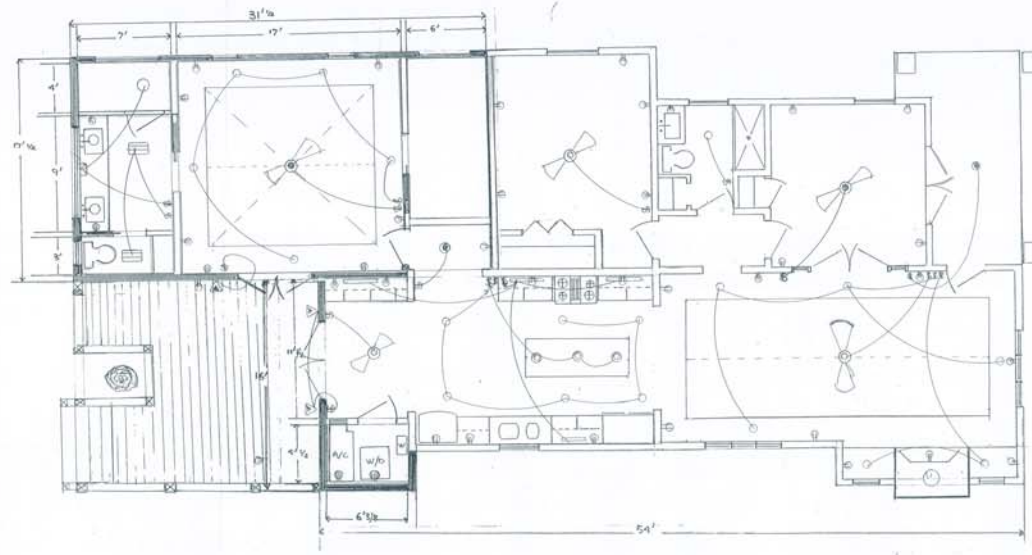
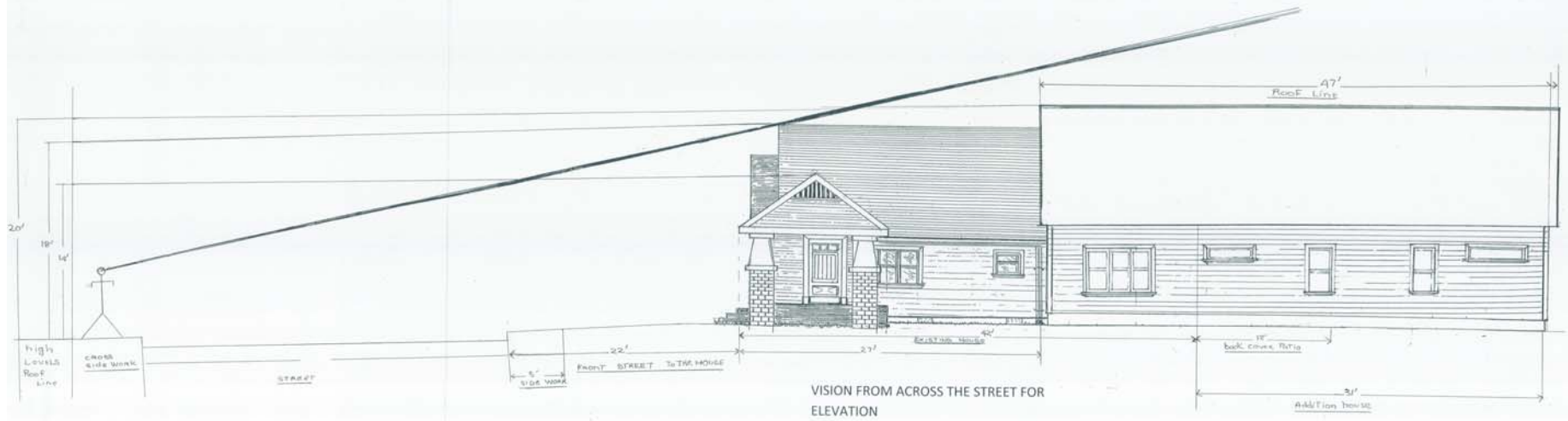
PROJECT NO.
2015.039

DATE
06.30.2015



LEGAL DESCRIPTION:
 LOT 3, BLOCK 3, NCB 2914,
 IN THE CITY OF
 SAN ANTONIO, BEXAR COUNTY, TEXAS.





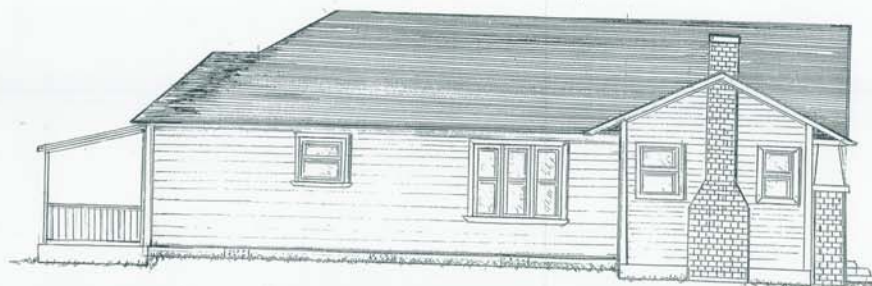
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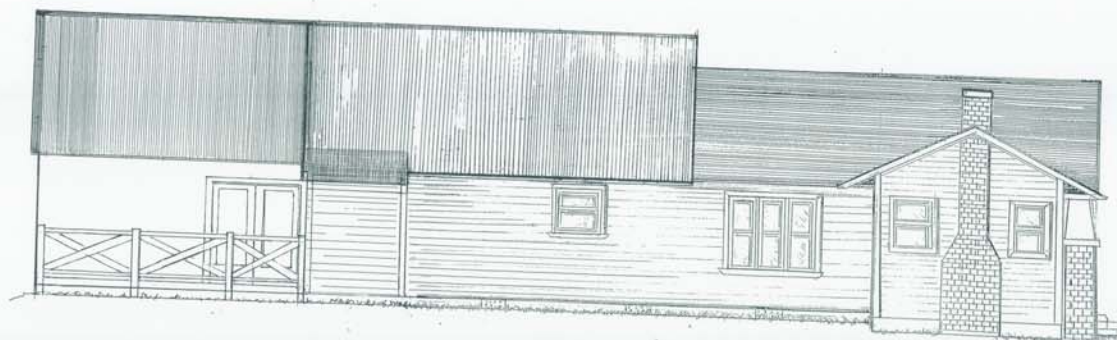
EAST SIDE EXISTING



EAST SIDE ADDITION



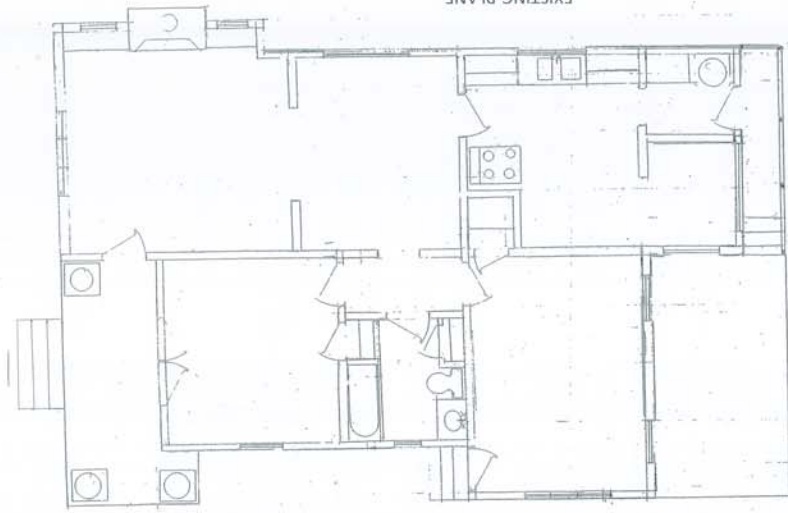
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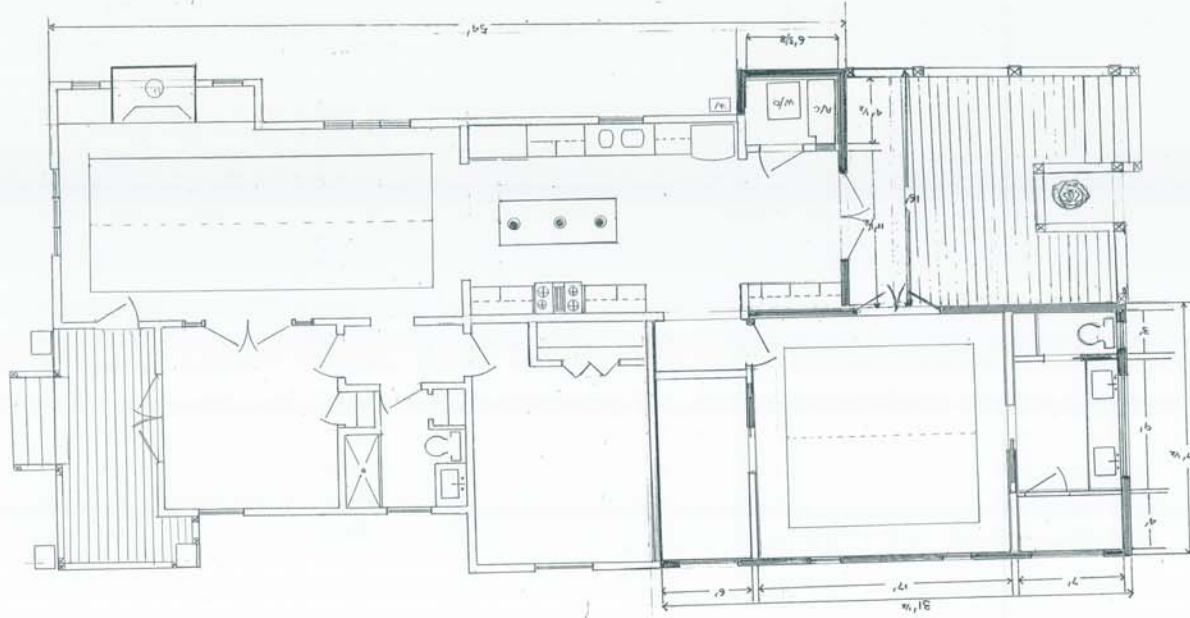
WEST SIDE ADDITION

510 ADAMS STREET-SAN ANTONIO-TX-78210

EXISTING PLANE



ADDITION PLANE

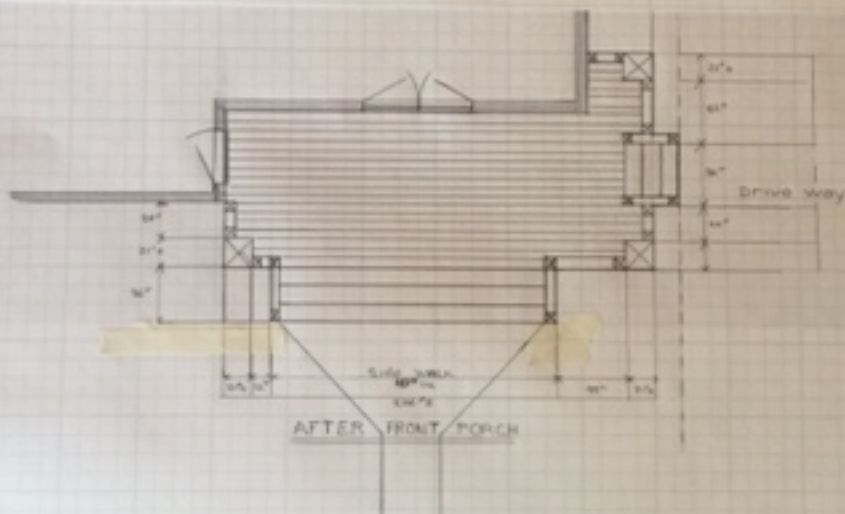
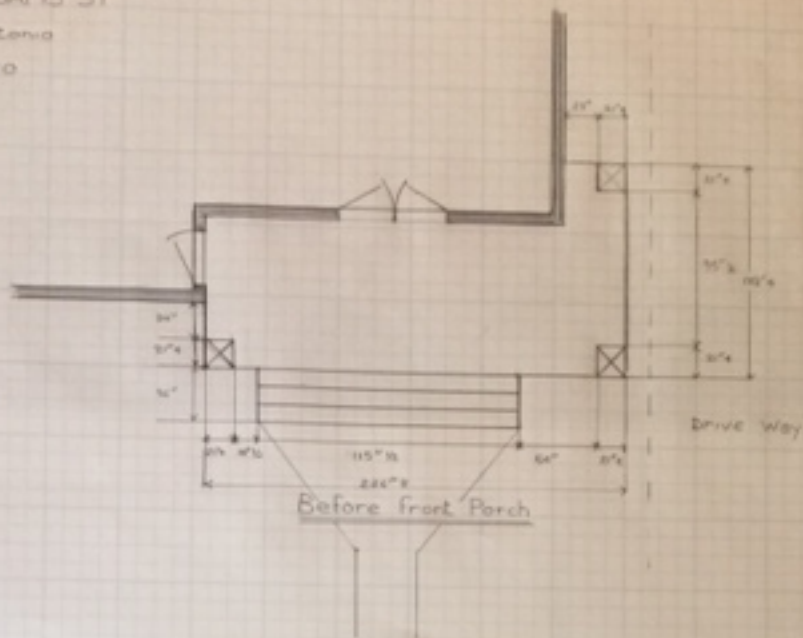


Scale 1/8" = 1'-0"

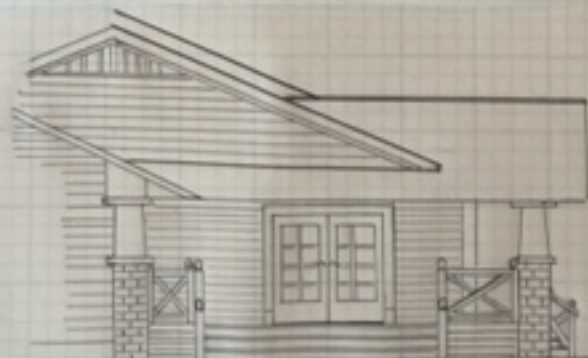
510 ADAMS ST

San Antonio

TX 78210



EAST SIDE Porch



SOUTH SIDE Porch



















