

# HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2015

Agenda Item No: 21

**HDRC CASE NO:** 2015-268  
**ADDRESS:** 123 MAY  
**LEGAL DESCRIPTION:** NCB 1373 BLK 1 LOT 18 19 E 27 FT OF 17  
**ZONING:** RM4 H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** Loren Drum  
**OWNER:** Christina Vidal, Carlos Vidal  
**TYPE OF WORK:** Construct detached storage/shop outbuilding  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to construct a 32ftx40ft shop/storage building. The proposed building will be single story timber frame construction with a loft. The structure will be clad in cedar planks finished in natural color and will have wood windows.

## APPLICABLE CITATIONS:

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

#### B. SETBACKS AND ORIENTATION

i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.

ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

### *Unified Development Code, Sec. 35-451, Certificate of Appropriateness*

(h) **Scope of Approval.** A certificate of appropriateness shall authorize only those modifications to a building or structure requested in the application and approved as provided herein. The historic and design review commission shall recommend approval, denial, or approval with conditions for the application before it, unless said application is revised with the consent of the applicant. Following commission approval of final design, defined as eighty (80) percent working drawings, and issuance of a certificate, an applicant must secure permits within one hundred eighty (180) days and start work within one hundred eighty (180) days of issuance of permits or the certificate becomes null and void and of no force or effect. Thereafter, the applicant must reapply for reissuance of a certificate to the historic preservation officer. The historic preservation officer will determine whether significant changes have occurred to the final design. If the historic preservation officer determines that significant changes have occurred, then plans must be resubmitted to the commission for rehearing and action.

## FINDINGS:

- a. The case was heard by the HDRC on July 1, 2015, at that time it was referred to the Design Review Committee.

The DRC reviewed the project on July 7, 2015, at that time the Committee noted the accessory structure may be large but due to its location on the site, it would not overwhelm the main house. However, the Committee was concerned with the scale of the two story accessory building and its relationship to the one story houses along Goodloe Alley. The DRC recommended the applicant provide more information on the context.

- b. The property is currently subdivided in multiple lots. The only existing structure is the house at 117 May. The existing house is built in the Minimal Traditional style with a low pitch hip roof, deep overhangs, and plank siding.
- c. Consistent with the Guidelines for New Construction, new outbuildings should be visually subordinate to the principal historic structure in terms of height, massing and form. The proposed structure will be taller and appear larger than the main house; however it will be located on the opposite side of the property which will reduce the appearance of height compared to the main house. Although the proposed garage will be surrounded by mostly vacant lots, the existing adjacent structures are one and one-half story houses along Goodloe Alley and across May Street. Due to its location on the site and surrounding context, additional height may be appropriate.
- d. According to the Guidelines for New Construction, new garages should relate to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details. The proposed structure does not relate to the Minimal Traditional style of the main house in roof form, pitch, and overhang dimension which is not consistent with the guidelines.
- e. As recommended by the Guidelines for New Construction, windows and door openings should be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions. The proposed design is consistent with the guidelines.
- f. According to the Guidelines for New Construction, the predominant garage orientation found along the block should be matched. There are no other garages on May Street and a predominant pattern along the block does not exist. The proposed orientation is consistent with the guidelines.
- g. Consistent with the Guidelines for New Construction, the historic setback pattern of similar structures along the streetscape or district should be followed. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. The proposed garage will be located on the front yard of the property and will align with the front of the main structure which is not consistent with the guidelines.

#### **RECOMMENDATION:**

Staff does not recommend final approval at this time based on findings a-g. Staff recommends the following:

- a. New structure should relate to style and period of construction of the main house
- b. Reduce height to be more consistent with surrounding structures
- c. Garage should be located towards the rear of the property behind the main house.
- d. Additional information including window specifications, foundation type, and dimensioned site plan is submitted for review so that drawings demonstrate 80% completion as required by the UDC.

#### **CASE COMMENTS:**

If approved, the applicant will be re-platting to combine the multiple lots prior to construction.

#### **CASE MANAGER:**

Adriana Ziga





# 123 May

Powered by ArcGIS Server

Printed: Jun 19, 2015

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View of Goodloe Alley at May





View of May St. at Goodloe Alley



117 May - Main House





View of proposed location



## Bexar CAD

[Property Search](#) [Map Search](#) [Map Administration](#) [Login](#)[Property Search Results](#) > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2016[New Search](#)[Help](#)Details [Flag](#)

Account  
Property ID: 114630  
Geo. ID: 01772-001 0100  
Type: 651  
Legal Description: MCE 1373 BLK 1 LOT 16 18 E 27 FT OF 17

Location  
Site Address: 122 MAY SAN ANTONIO, TX 78202

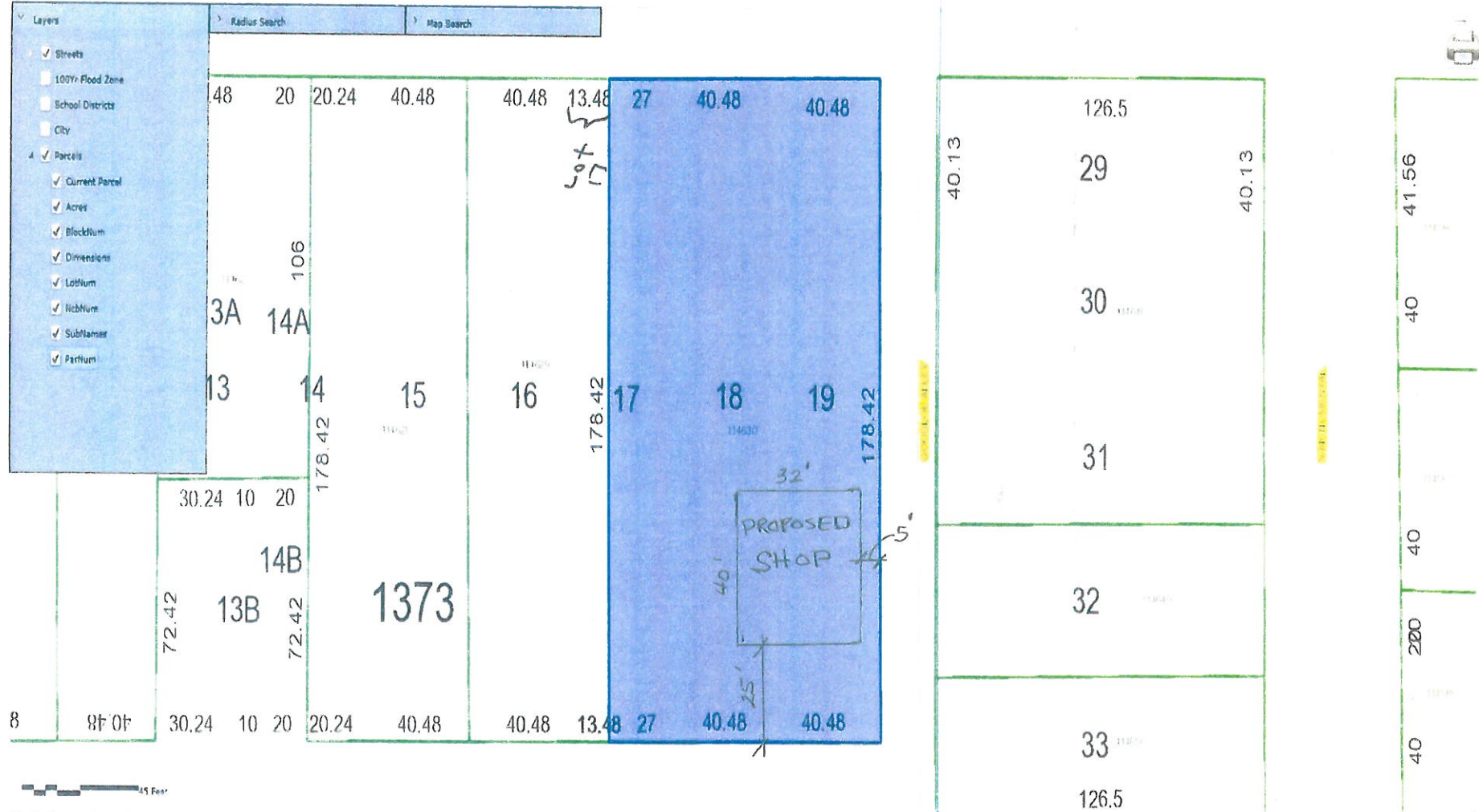
Neighborhood: NS4D code11820

Mapscor: 61785

Jurisdictions: 09, 57, 10, CAD, 06, SA011 11, 21, 09

Owner  
Owner Names: VIDAL CHRISTINA JOYCE  
Mailing Address: 4833 CHEEDER DR, SAN ANTONIO, TX 78228-5303

Property  
Appraised Value: \$28,500.00

**DISCLAIMER**

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## Bexar CAD

[Property Search](#) [Map Search](#) [Map Administration](#) [Login](#)[Property Search Results](#) > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2015[New Search](#)[Help](#)Details [Map](#)

## Account

Property ID: 114630

Geo. ID: 04272-001-0100

Type: Real

Legal Description: NCE 1072 BLK 1 LOT 18 19 E 27 FT OF 17

## Location

Site Address: 123 MAY SAN ANTONIO, TX 78202

Neighborhood: NBHD ccds11820

Mapscor: 61785

Jurisdictions: 09, 57, 10, CAD, 06, SAR11, 11, 21, 08

## Owner

Owner Name: VIDAL CHRISTINA JOYCE

Mailing Address: 4823 CHEEDER DR, SAN ANTONIO, TX 78229-5303

## Property

Appraised Value: \$29,570.00

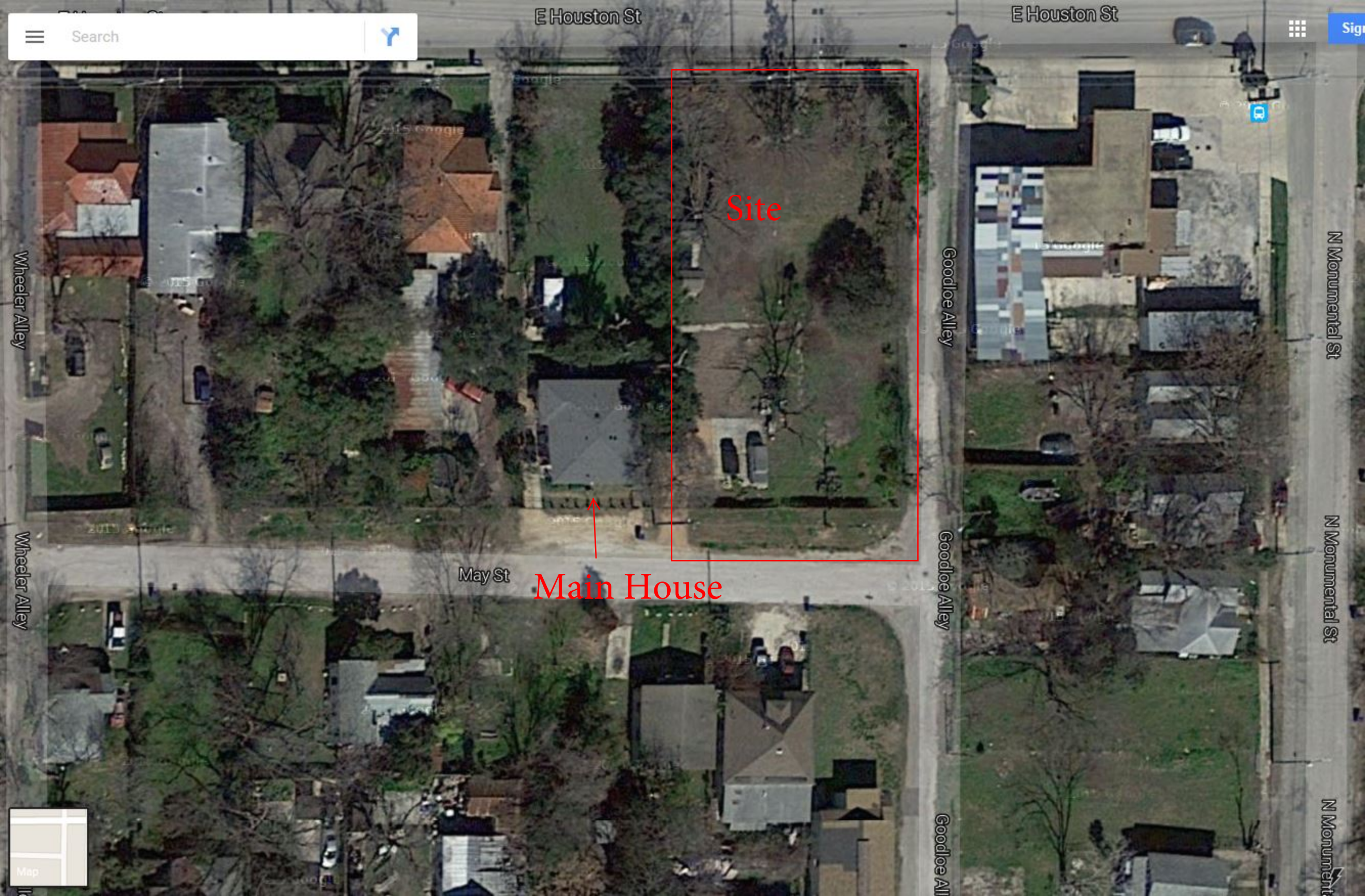
**DISCLAIMER**

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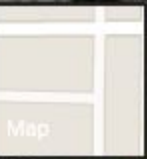






Site

Main House



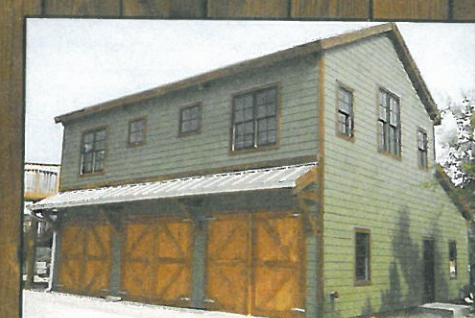


# GARAGES & HOBBY BARNs



TRADITIONAL WOOD BARNs







## GENERAL NOTES AND RECOMMENDATIONS

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAND CREEK POST & BEAM.

2. THESE DRAWINGS PROVIDE SUGGESTED DESIGN AND MATERIALS ONLY AND ARE NOT PRECISE TO ANY EXTENT OF ENGINEERING. PROFESSIONAL SERVICES MAY BE REQUIRED TO FACTOR THIS PLAN TO YOUR SITUATION BECAUSE LOCAL CODES VARY. BE SURE YOU TAKE THESE PLANS TO YOUR LOCAL INSPECTOR TO HAVE THEM VERIFIED. SAND CREEK POST & BEAM LOCAL BUILDING OFFICIALS HAVE THE PROJECT'S STRUCTURAL REQUIREMENTS AND/OR EXISTING CONDITIONS SPECIFIC TO THE SITE. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS LISTED WITHIN THIS SET OF PLANS AND APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE MORE STRINGENT PROVISION BE FOLLOWED DURING CONSTRUCTION. VARIATIONS REQUESTED BY LOCAL BUILDING OFFICIALS SHALL NOT BE BASED ON THE DESIGNER OF SAND CREEK POST & BEAM.

3. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS BUT BECAUSE SAND CREEK POST & BEAM CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.

4. ALL WRITTEN DIMENSIONS DO NOT USE SCALED DIMENSIONS. IF DIMENSION IS NEEDED CONSULT SAND CREEK POST & BEAM BEFORE PROCEEDING.

5. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGNED TO BE PROVIDED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.

6. ALL DIMENSIONS ARE FULL DIMENSION UNLESS NOTED. SHELL PLATE IS 2X6 DIMENSION RED CEDAR. WE RECOMMEND SHELL PLATE BE NAILLED BEHIND THE SHELL PLATE.

7. WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE, EVERY SO THAT THE NUTS CAN BE ACCESSIBLE FROM THE INTERIOR OF THE BARN. THE BOLTS OR NUTS MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.

8. VERIFY HATCHES AND JOINTS BEFORE BEGINNING.

9. WE RECOMMEND A BREAKER BOARD BE INSTALLED AT SEAM SPACES. WE RECOMMEND THAT THE CONTRACTOR INSTALL: 1. FLASHING AT ALL BREAKER BOARD LOCATIONS. IF 2. FLASHING IS INSTALLED IT IS TO BE PROVIDED BY GENERAL CONTRACTOR.

10. FURTHER FLASHING TO BE INSTALLED AT ALL INTERSECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING IS TO BE PROVIDED BY CONTRACTOR OR GENERAL CONTRACTOR.

11. DO NOT APPLY EXCESSIVE LOADS PLACED IN THE LOFT MAY CAUSE STRUCTURAL DAMAGE.

12. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT LISTED IN YOUR CONTRACT OR REQUIRED BY THE SAND CREEK POST & BEAM MATERIALS LIST ARE TO BE PROVIDED BY THE USER.

### LOCATION SAFETY NOTES

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

### FOUNDATION NOTES

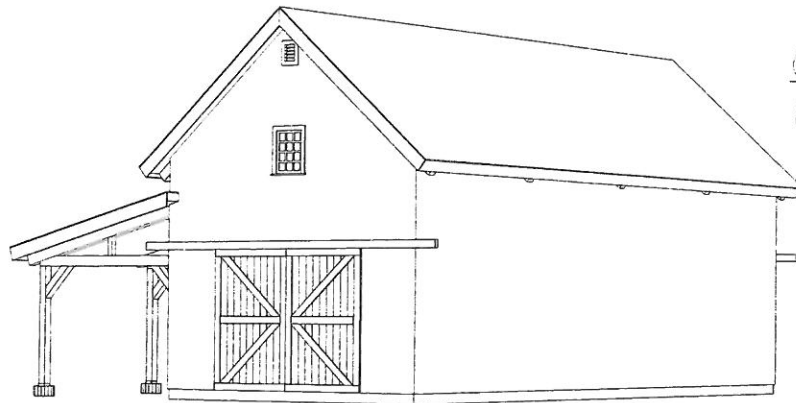
LOCAL BUILDING CODE SPECIFICATIONS HAVE PROVIDED OVER THE STANDARD INFORMATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER OR ON-SITE FOUNDATION CONTRACTOR TO VERIFY THE LOCAL BUILDING CODE REQUIREMENTS FOR FOUNDATION. PROVIDE OTHER LOCAL CODES, NOTES, CONCURRENCES AND MAKE VARIATIONS TO BE BUILTERS FIRST. FOUNDATION FACTOR IN TERMS OF FOOTINGS AND RELATED DETAILS. FOOTINGS AND DETAILS SHOULD BE FOR ILLUSTRATION ONLY. POST AND BEAM PROVIDED (TYPICALLY) THINER (LEAVE) CONCENTRATED LOADS THROUGH THE POSTS TO THE FOUNDATION. WE RECOMMEND FOUNDATION PERSON TIME THIS INTO CONSIDERATION.

### PROJECT LOCATION

ADDRESS: 11111 1ST STREET  
SAN ANTONIO, TX 78201

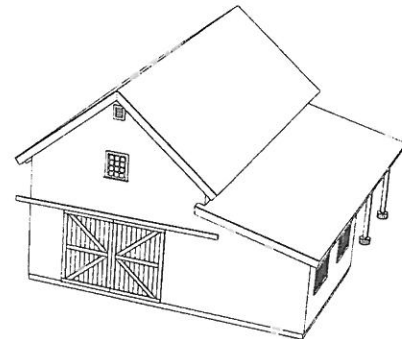
### WOOD TYPE

STRUCTURAL FRAMING: PONDERSOSA BURN



## COVER SHEET

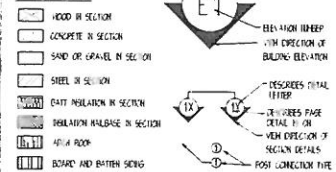
NOTE: ALL DIMENSIONS SHOWN ON LOWER SHEET  
SHEET NO. 1001-1001-1001-1001-1001  
NOT INTENDED FOR USE IN CONSTRUCTION DRAWINGS



### REVISION HISTORY

REV#	DATE	DESCRIPTION
0	01/01/2024	REVISIONS
1	01/01/2024	
2	01/01/2024	
3	01/01/2024	
4	01/01/2024	
5	01/01/2024	
6	01/01/2024	
7	01/01/2024	
8	01/01/2024	
9	01/01/2024	

### SYMBOLS



### STANDARD ABBREVIATIONS

CONC	CONCRETE	MAX	MAXIMUM
CON	CONCRETE	MIN	MINIMUM
CEL	CELLULOSE	NIS	NOT TO SCALE
CF	CEILING FIP	OC	ON CENTER
EA	EACH	ON	ONLINE 42
EXT	EXTERIOR	SPD	SAND CREEK POST & BEAM
FF	FINISHED FLOOR	STC	STANDARD
FIS	FINISHED	TAG	TYPICAL
INS	INSULATION	11P	11' PITCH
INT	INTERIOR		

**SAND CREEK**  
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 1112 PONDERSOSA BURN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

PH: (402) 687-5810  
FAX: (402) 687-5812  
TOLL-FREE: 1-877-483-1000

SHEET #:

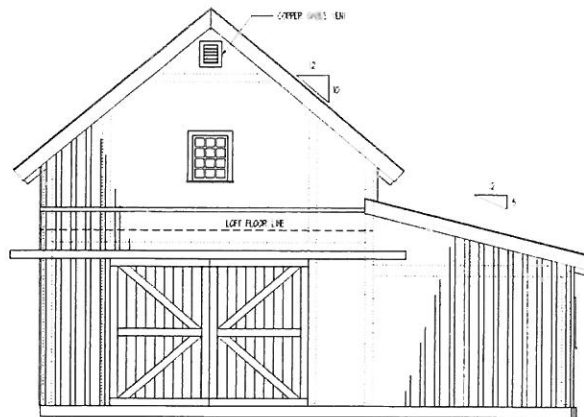
JOB CODE: JOB CODE

REVISION: 0

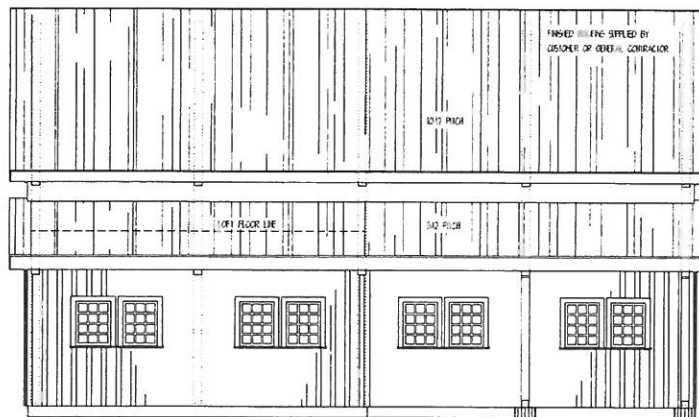
DRAWING STATUS: NOT FOR CONSTRUCTION







**E3 REAR ELEVATION**  
SCALE: 1/4" = 1'



**E4 LEFT ELEVATION**  
SCALE: 1/4" = 1'

**NOTES:**  
1. DIMENSIONS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED ON SITE. TO MATCH SOME LOCAL PRINTING.  
2. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE. EXACT LOCATIONS TO BE VERIFIED BY ARCHITECT AND GENERAL CONTRACTOR ON SITE.  
3. FINISHED BUILDING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING MATERIAL PROVIDED BY SAND CREEK POST & BEAM.

**SAND CREEK**  
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 10'0' PONDERSO BARN

DRAWN BY: SCFB DRAFTER

SAND CREEK POST & BEAM  
116 W. 1ST ST.  
WAYNE, NE 68787

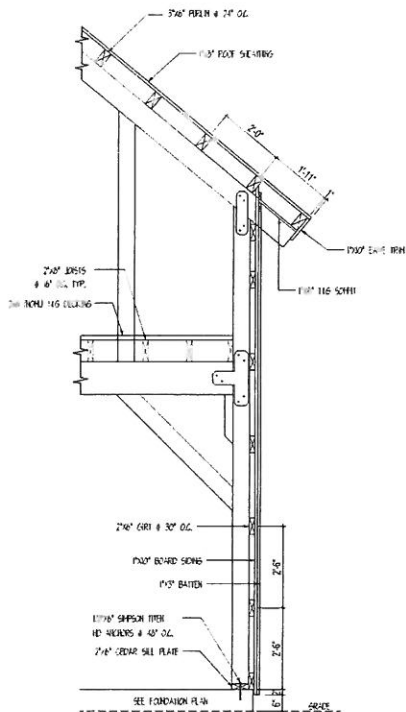
JOB CODE: JOB CODE

REVISION: 0

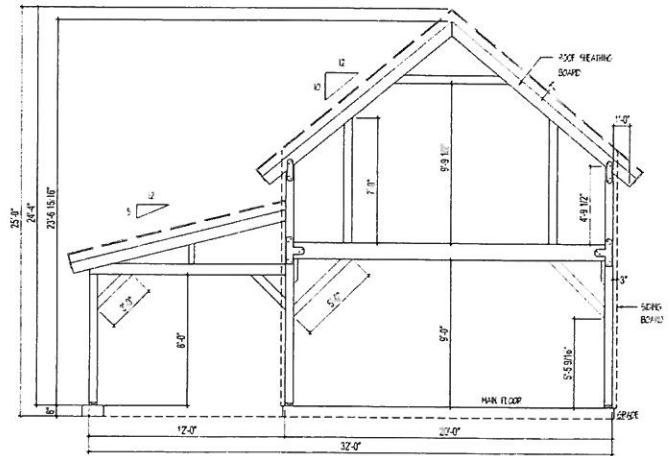
DRAWING STATUS: NOT FOR CONSTRUCTION

PH: (408) 833-4410  
FAX: (408) 833-4410  
TOLL-FREE: 1-800-450-2410

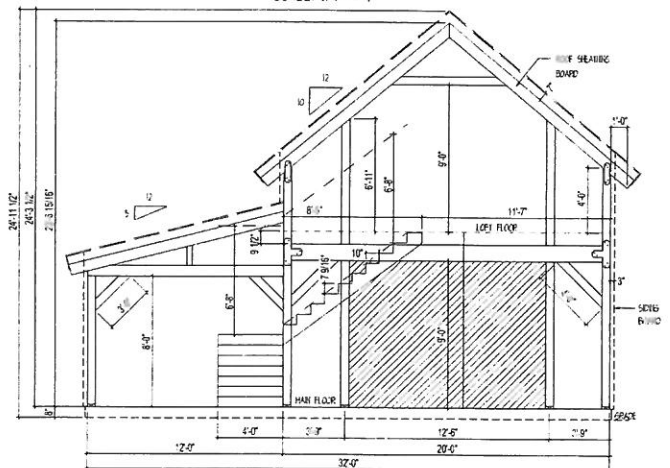
SHEET #: 3



**A** EXTERIOR WALL DETAIL  
SCALE 1/2" = 1'-0"



**TYP. BUILDING SECTION**  
SCALE 1/4" = 1'



**TYP. BUILDING SECTION**  
SCALE 1/4" = 1'

**SAND CREEK**  
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: TWO PONDERSA BARN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM

116 W. 1st St.

WAYNE, NE 68787

JOB CODE: JOB CODE

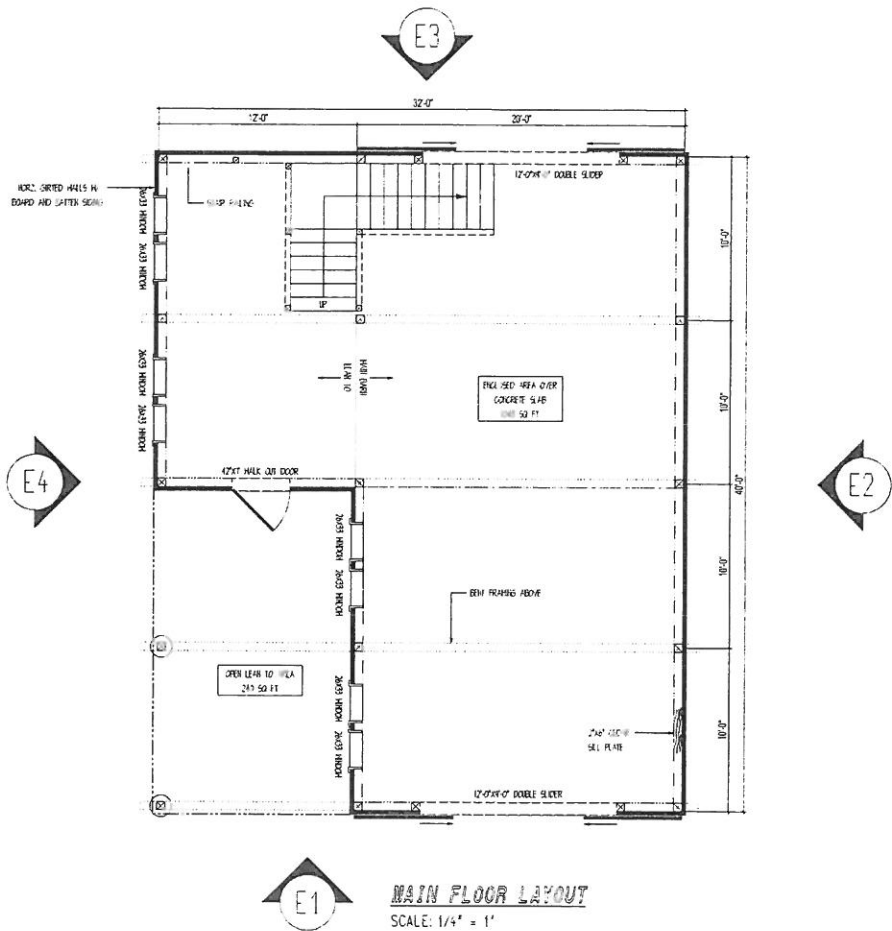
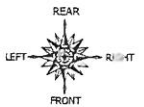
REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

PH: (402) 833-0033  
FAX: (402) 833-5412  
WebSite: 1.878-79-3813

SHEET #: 4





- SHEET NOTES:**
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED FOR ARCHITECTURAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
  2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR EXISTING ELECTRICAL, PLUMBING AND HVAC PLANS.
  3. INTERIOR FLOORING, WALLS, WINDOWS, DOORS, AND FINISHES ARE PROVIDED BY OWNER OR GENERAL CONTRACTOR.
  4. CHANGING OPENING, JOINT OPENING, AND FINISHES REQUIREMENTS ARE THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR.
  5. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY THE OWNER AND GENERAL CONTRACTOR.



CUSTOMER: CUSTOMER NAME  
JOB CODE: JOB CODE

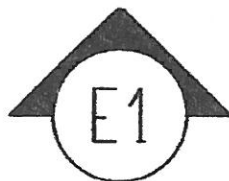
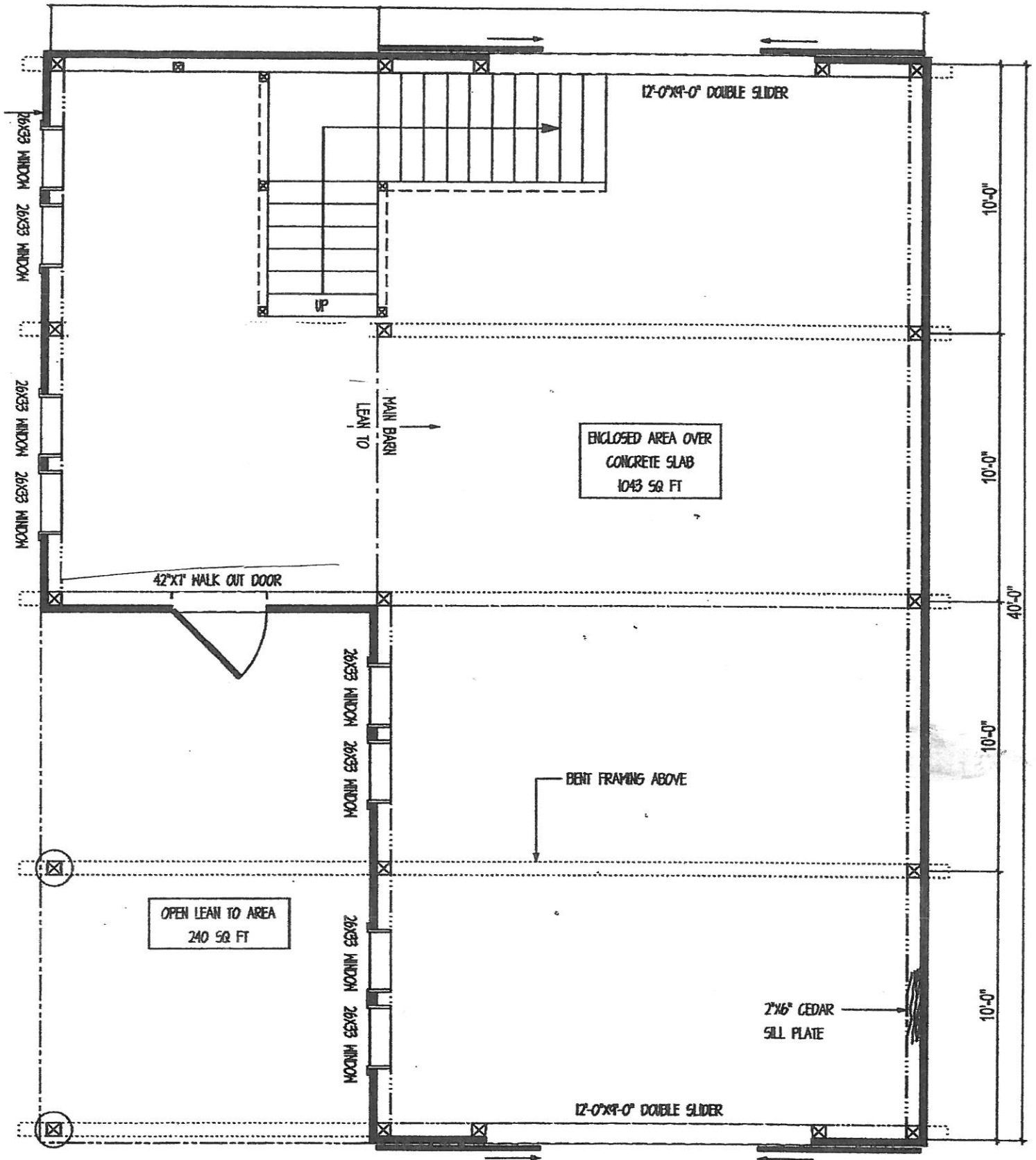
STYLE: 140 RINGERBORN BARN  
REVISION: 0

DRAWN BY: SCFD CHAPTER  
DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

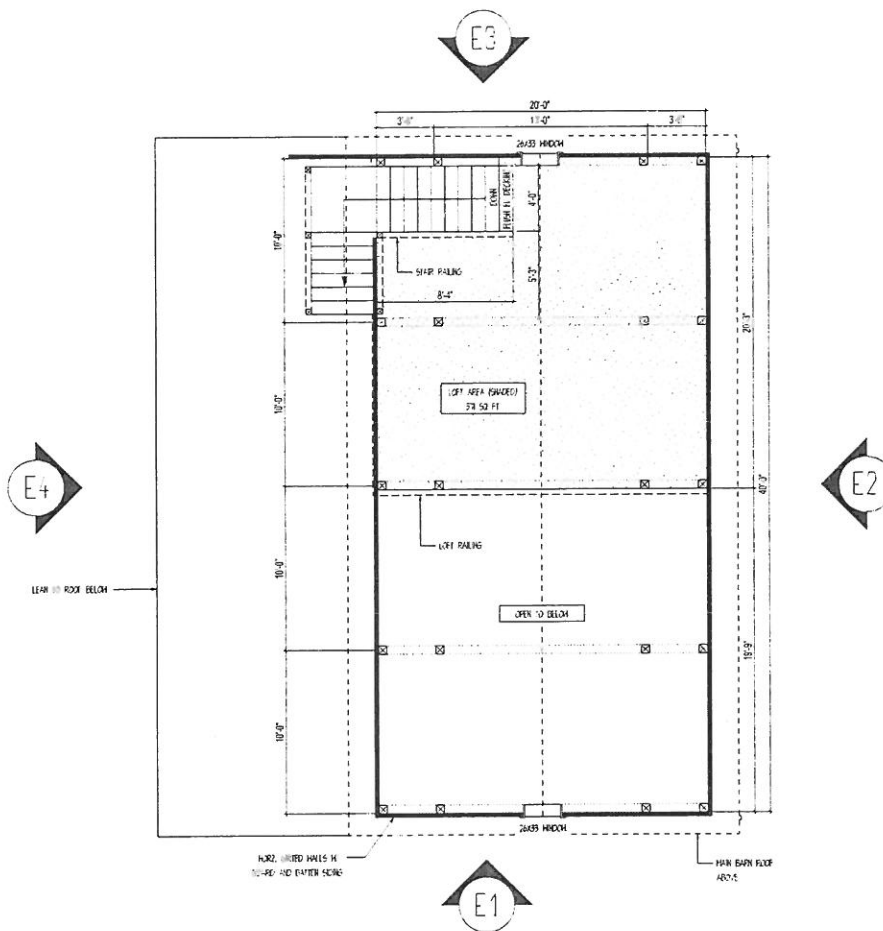
PH: (402) 844-5500  
FAX: (402) 844-5522  
TOLL FREE: 1-800-485-5483

SHEET #: 5



# **MAIN FLOOR LAYOUT**

SCALE: 1/4" = 1'



- NOTE: 1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SUPPLIES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.
4. CHIMNEY, JOISTS, TIE BEAMS, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER CONTRACTOR.
5. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY THE DESIGNER AND GENERAL CONTRACTOR.

### LOFT FLOOR LAYOUT

SCALE 1/4" = 1'

**SAND CREEK**  
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 142 PONDROSA EARN

DRAWN BY: SCPB DRAFTER

JOB CODE:      JOB CODE

REVISION: 2

DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

PH: (412) 833-4633  
FAX: (412) 833-4632  
Toll-free: 1-800-368-1601

SHEET #: 5