

HISTORIC AND DESIGN REVIEW COMMISSION

August 05, 2015

Agenda Item No: 21

HDRC CASE NO: 2015-311
ADDRESS: 214 W LULLWOOD AVE
LEGAL DESCRIPTION: NCB 6533 BLK 13 LOT 29, AND 30
ZONING: R5 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Adan Ochoa
OWNER: Michelle Nievaard
TYPE OF WORK: Amendment to New Construction of a Garage
REQUEST:

The applicant is requesting to amend a previously approved Certificate of Appropriateness at 214 W. Lullwood Ave. The requested design amendments include:

1. Moving the stairs from the west side of the structure to the east side.
2. Construct one garage opening (as opposed to two) along the alley.

APPLICABLE CITATIONS:

Historic Design Guidelines

Chapter 4. Guidelines for new construction

5. Garages and Outbuildings

A. Design and character

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.

FINDINGS:

- a. The applicant received approval from the HDRC for demolition and new construction of an accessory building on May 4, 2014.
- b. Consistent with the design guidelines for new construction of garages and outbuildings 4.B.i., the proposed location of the exterior stairs is appropriate and compatible with the building's orientation.
- c. The proposed garage door configuration will not feature appropriate proportions that are typically found in the district. This is not consistent with the design guidelines for new construction of garages and outbuildings 5.A.3 & 5.

RECOMMENDATION:

Staff recommends approval of item 1 based on finding b. Staff does not recommend approval of item 2 based on finding c.

CASE MANAGER:

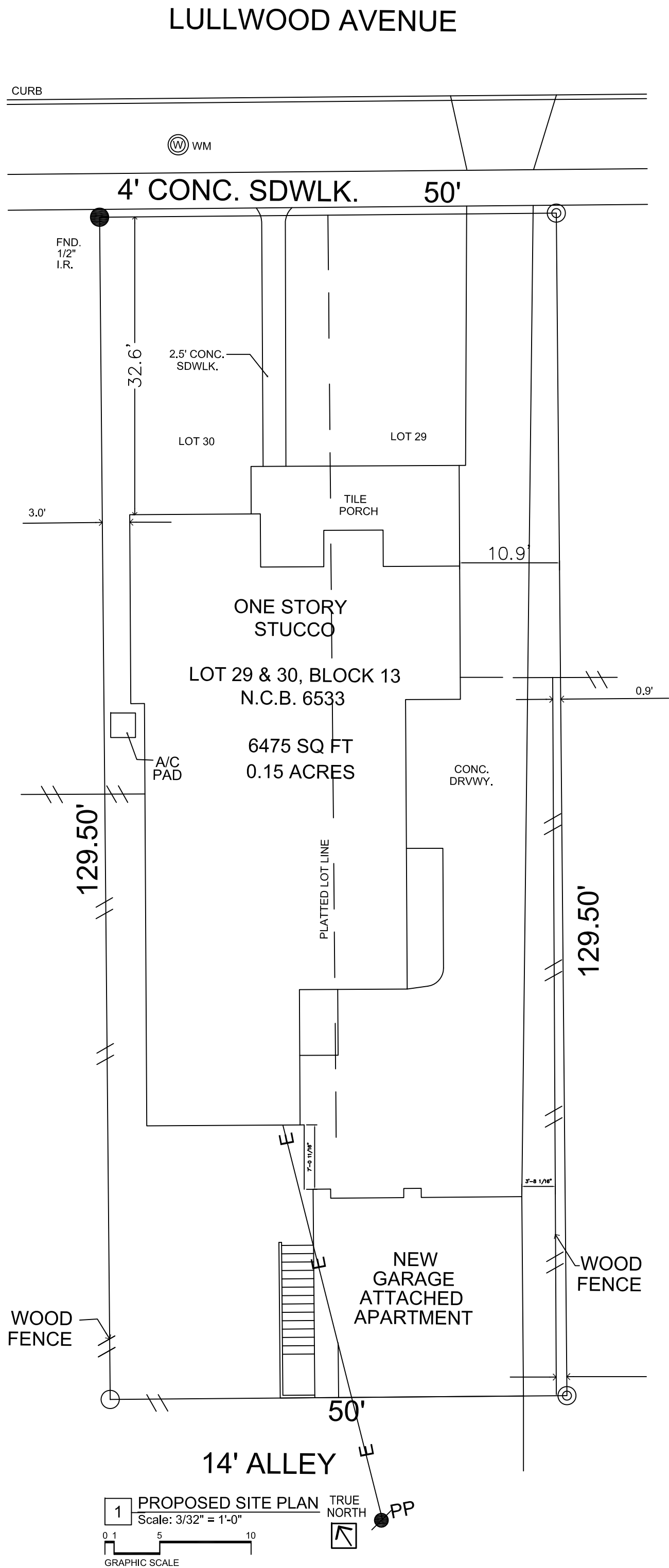
Alyson Smith



214 W. Lullwood







- General Notes**
1. THE INTENT OF THESE DRAWINGS IS TO PROVIDE LEVEL, AND SQUARE CONSTRUCTION UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ DESIGNER FOR CLARIFICATION.
 2. DO NOT SCALE DRAWINGS: ALL DRAWINGS SHALL HAVE PREFERENCE OVER SCALED AND FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ DESIGNER BEFORE COMMENCING WORK.
 3. DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ DESIGNER PRIOR TO COMMENCEMENT OF WORK. OWNER AND/OR PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
 4. VERIFY EXACT LOCATION OF REMODEL AT JOB SITE WITH OWNER.
 5. CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND COORDINATE W/ENGINEER/ DESIGNER ON ANY DISCREPANCIES.
 6. CONTRACTOR SHALL VERIFY AND CONFORM TO ALL LOCAL CODES, DEED RESTRICTIONS AND REQUIREMENTS GOVERNING THIS PROJECT. WORKMANSHIP SHALL CONFORM TO STANDARD TRADE PRACTICES.
 7. WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS. ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/ DESIGNER.
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 9. CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE WATERPROOFING / FLASHING JOB AND SHALL NOTIFY DESIGNER IN WRITING OF ANY CONDITIONS THAT MAY REQUIRE FLASHING NOT SPECIFICALLY IDENTIFIED IN THE DRAWINGS SO THAT THE DESIGNER CAN ASSIST IN THE PROPER DETAILING OF SUCH CONDITIONS. IF THE CONTRACTOR FINDS ANY DETAILS WHICH ARE UNSOUND OR IF HE/SHE IS ABLE TO RECOMMEND AN ALTERNATE APPROACH WHICH IS SUPERIOR TO THE DESIGNER'S DETAILS, IT IS HIS/HER DUTY TO NOTIFY THE ENGINEER/ DESIGNER BEFORE PROCEEDING WITH THE WORK.
 11. ALL WORK TO BE PERFORMED IN ACCORDANCE TO 2010 IBC.
 12. ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR BETTER. CONTACT ENGINEER FOR MATERIAL CHANGE APPROVAL.

LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—//—	WOOD FENCE	⊙	WATERMETER
— — —	CHAIN LINK FENCE	○	POINT OF REFERENCE
— · — · —	PLATTED LOT LINE	●	FOUND IRON ROD
— E —	OVERHEAD ELECTRIC	●	POWER POLE
⊙	SET IRON ROD		

Previously Approved Plans

SITE PLAN

ao

DESIGN

AO DESIGN, LLC

ADAN OCHOA

234 GROSVENOR

SAN ANTONIO, TEXAS

T. 210-632-2154

E. aodesign.ochoa@gmail.com

214 W. LULLWOOD

SHEET INDEX	
1	A0.0 COVER SHEET
2	A0.1 PROJECT INFORMATION
3	A1.0 SITE PLAN
4	D1.0 DEMOLITION PLAN
5	A2.0 OVERALL FLOOR PLAN
6	A2.1 INT/ EXT FLOOR PLAN
7	A3.0 EXTERIOR ELEVATIONS
8	A4.0 ROOF PLAN
9	A5.0 RM./WD/DR SCHEDULE
10	A6.0 REFLECTED CEILING PLAN

AO DESIGN, LLC,
DESIGN DRAWINGS AND SPECS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN EXCLUSIVE PROPERTY OF THE DESIGNER WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS TO BE EXECUTED OR NOT AND SHALL BE RETURNED TO HIM/ HER UPON THE COMPLETION OF THE CONSTRUCTION WORK. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING FROM THE DESIGNER. ANY CHANGERS MADE OUTSIDE THE SCOPE OF WORK AND/ OR AFTER THE APPROVAL OF THE CITY WILL BE THE SOLE RESPONSIBILITY OF THE CLIENT.

PROJECT NO. XXX-XX
DATE: APRIL 07, 2014
DATE REVISED:
DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet

A1.0

3 of 10

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General Notes

- INTERIOR FRAMING TO BE 2X4 WOOD STUDS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FROM FINISH TO FINISH.
- CEILING TO CONSIST OF 5/8" TYPE "X" GYPSUM BOARD, UNLESS OTHERWISE NOTED.
- PROVIDE WOOD BLOCKING OR OTHER SOLID ATTACHMENT MATERIAL BEHIND GYPSUM BOARD FOR ATTACHMENT OF GRAB BARS/ CURTAINS/ ETC.
- ALL CORNER GUARDS ARE TO BE AT FULL HEIGHT AND SECURED WITH MASTIC.
- NO SUBSTITUTIONS FOR MATERIALS FOR THOSE INDICATED SHALL BE MADE WITHOUT THE PROJECT DESIGNER'S WRITTEN APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SERVICES EXISTING OR NEW.
- ALL INTERIOR WALLS TO BE CONSTRUCTED OUT OF 2X4 WOOD STUDS, TO BE PLACED 16 INCH ON CENTER AND COVERED WITH 1/2" TYPE "X" GYPSUM BOARD, UNLESS OTHERWISE NOTED AND PREP FOR PAINT.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT JOB SITE AND NOTIFY ANY DISCREPANCIES TO PROJECT MANAGER.
- SYMBOL (X) INDICATES DOOR TYPE, SEE SHEET A5.0 FOR DOOR SCHEDULE INFORMATION.
- SEE SHEET A5.0 FOR PARTITION TYPES.
- SEE SHEET A5.0 FOR WINDOW TYPES SHOWN AS

Partition Types

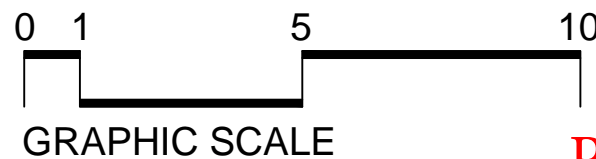
- EXISTING EXTERIOR TO RECEIVE 1/2" OSB, METAL LATH AND STUCCO FINISH.
- EXISTING INTERIOR WALL TO RECEIVE 1/2" GYPSUM BOARD TYPE "X" AND INSULATION.
- INTERIOR 2X4 WOOD STUDS @ 16 O.C. WITH 1/2" GYPSUM BOARD TYPE "X".
- NEW EXTERIOR WALL TO RECEIVE 2X WOOD STUDS @ 16 O.C. WITH 1/2 OSB, METAL LATH AND STUCCO FINISH. INTERIOR SIDE TO RECEIVE BATT INSULATION AND 1/2 GYPSUM BOARD.
- NEW EXTERIOR WALL TO RECEIVE 2X WOOD STUDS @ 16 O.C. WITH 1/2 OSB, METAL LATH WITH STUCCO FINISH.
- NEW WALL TO RECEIVE 1/2" MOISTURE RESISTANT GYPSUM BOARD.
- NEW WALL TO RECEIVE 1/2" BACKER BOARD, MORTAR, TILE AND GROUT.

LEGEND

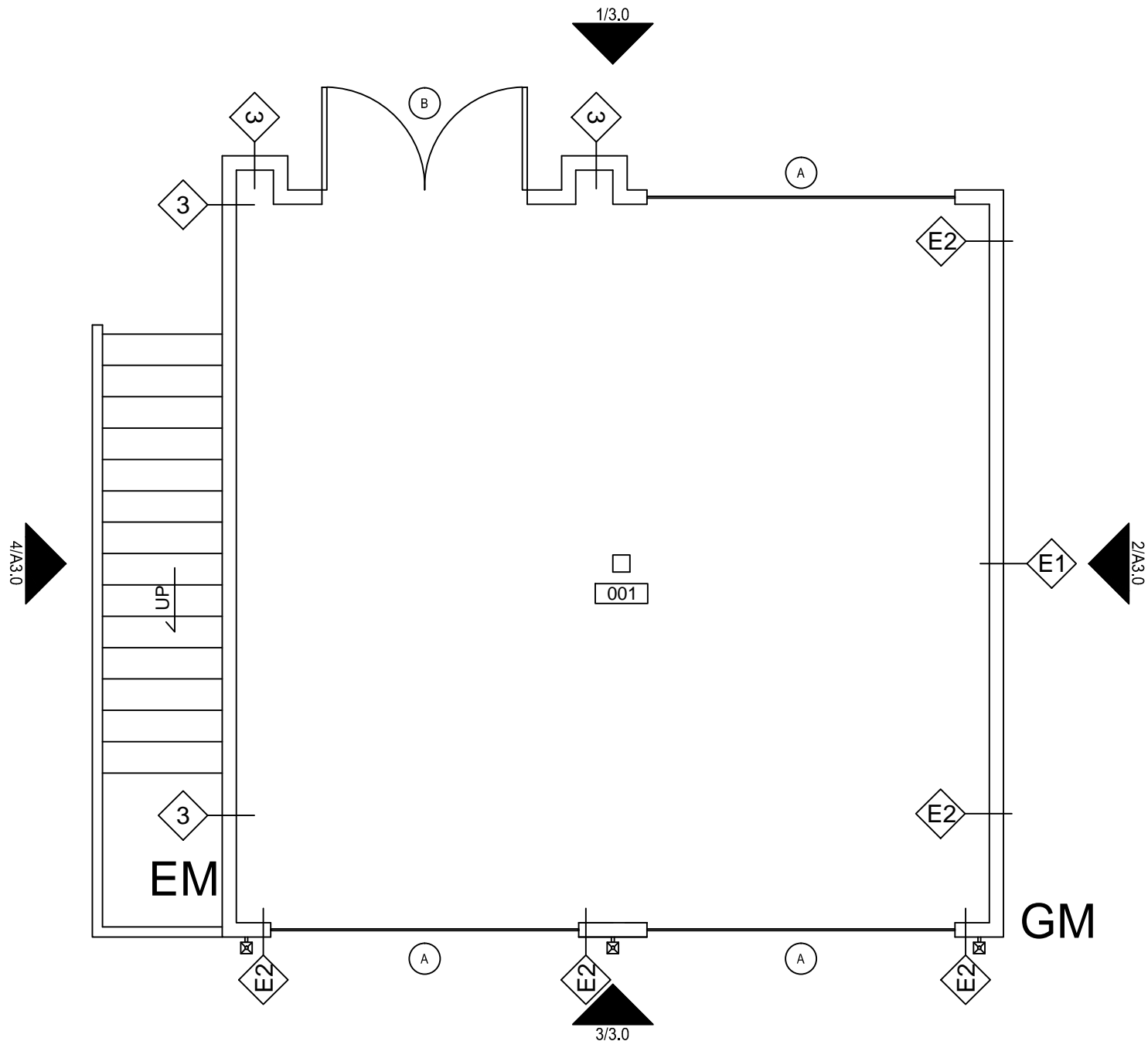
TWO CAR GARAGE LIVING ROOM BEDROOM
 KITCHEN BATHROOM

NOTES:

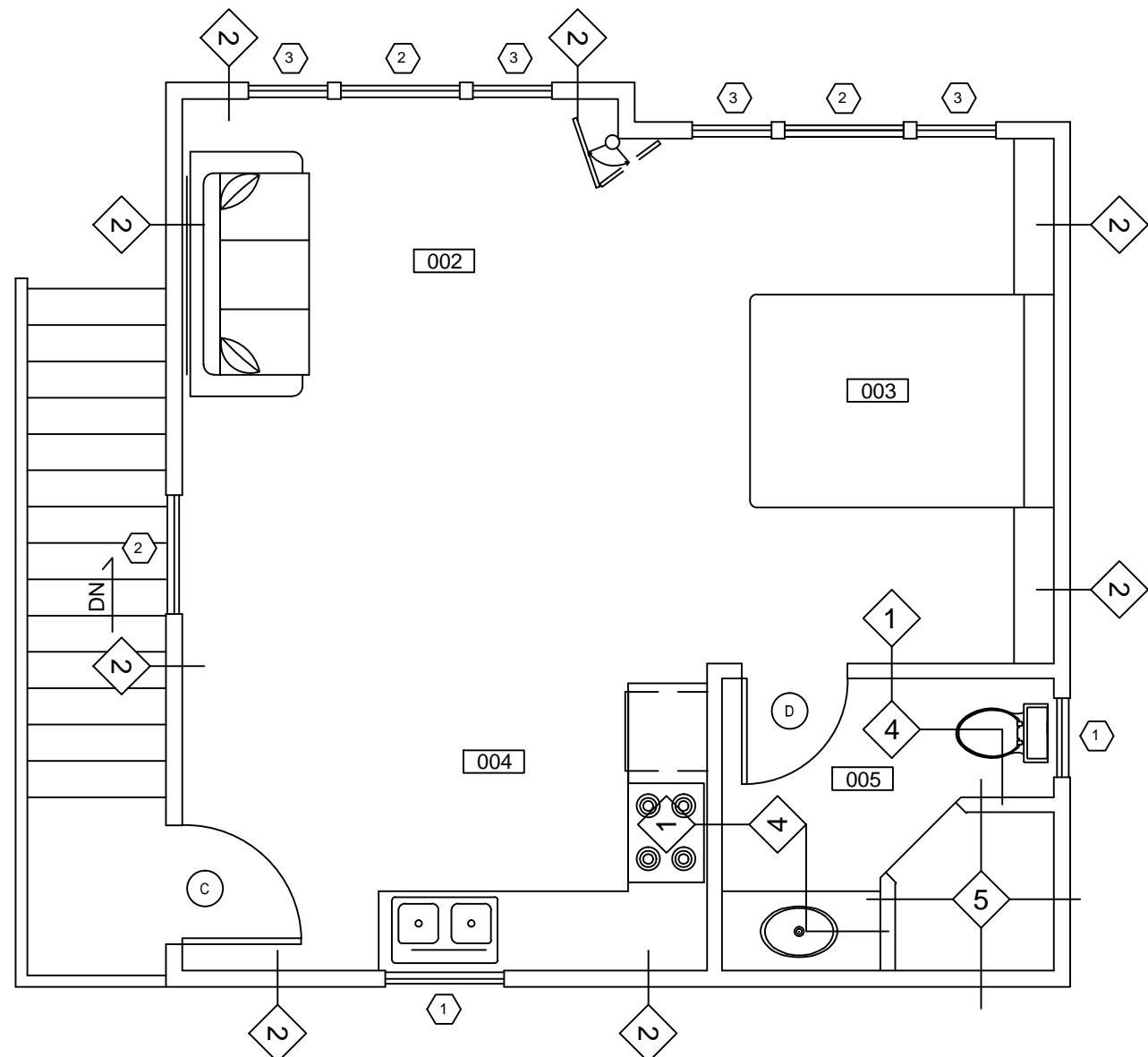
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Previously Approved Plans



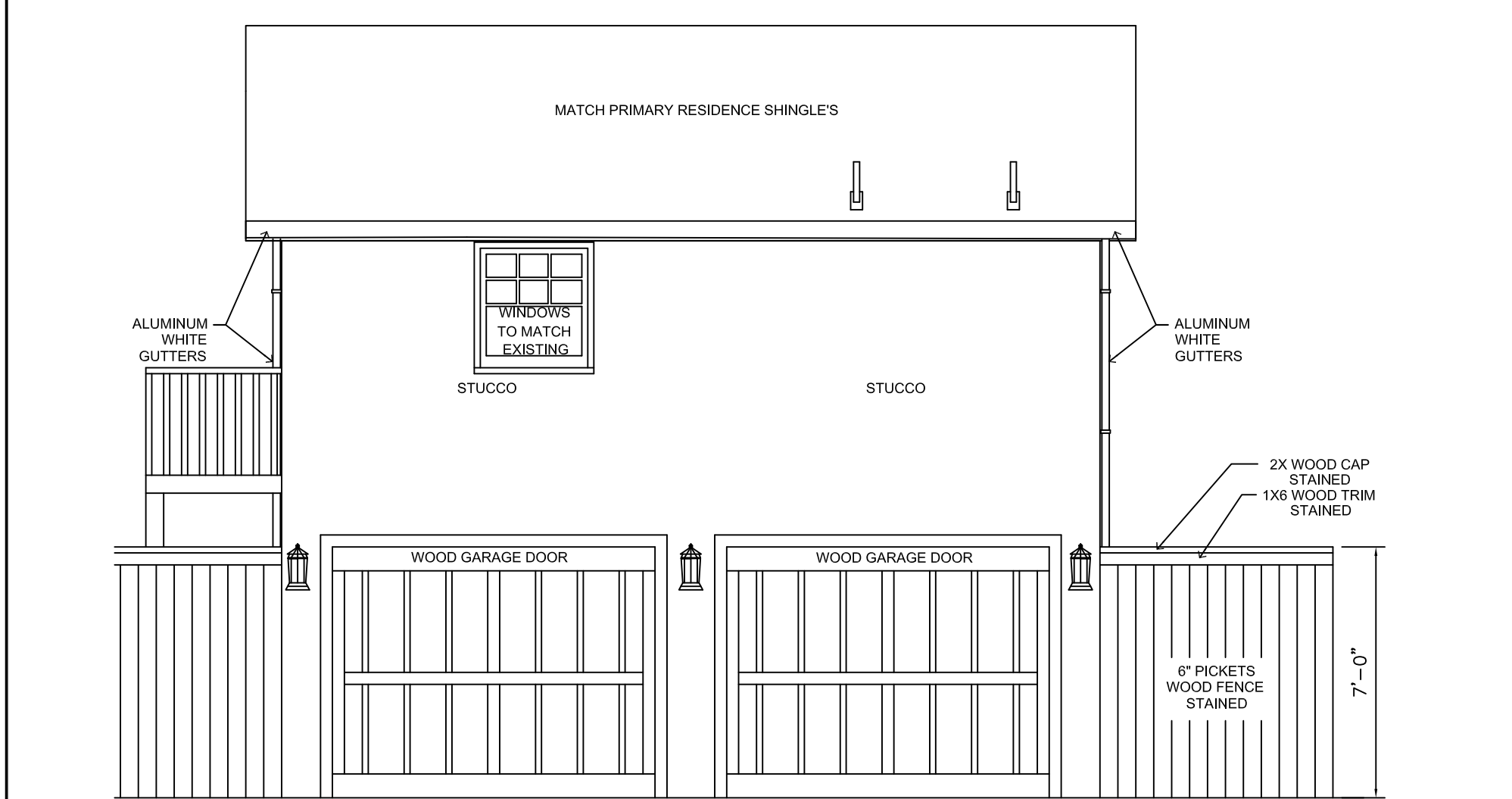
1 OVERALL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 OVERALL SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

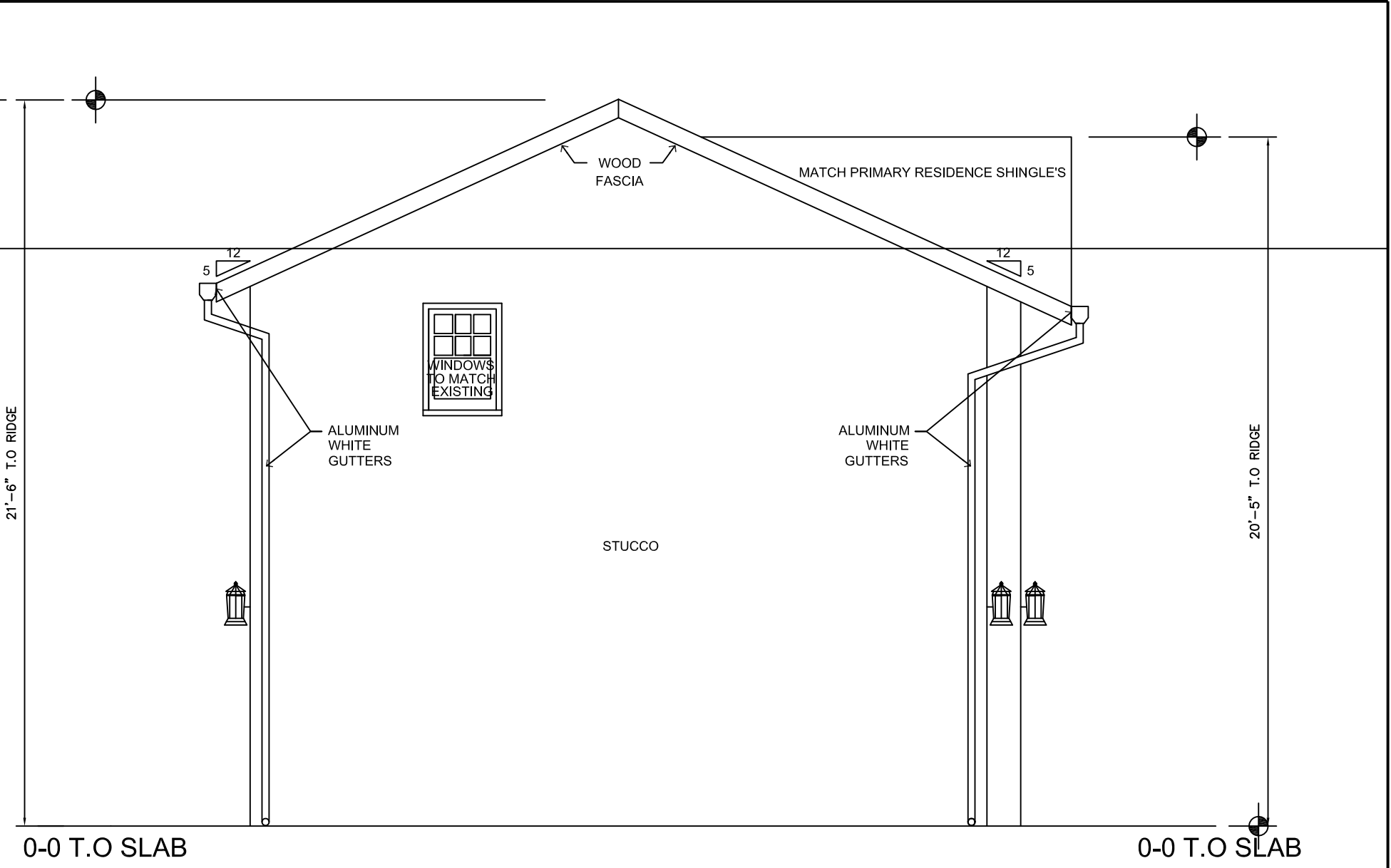


1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"
GRAPHIC SCALE

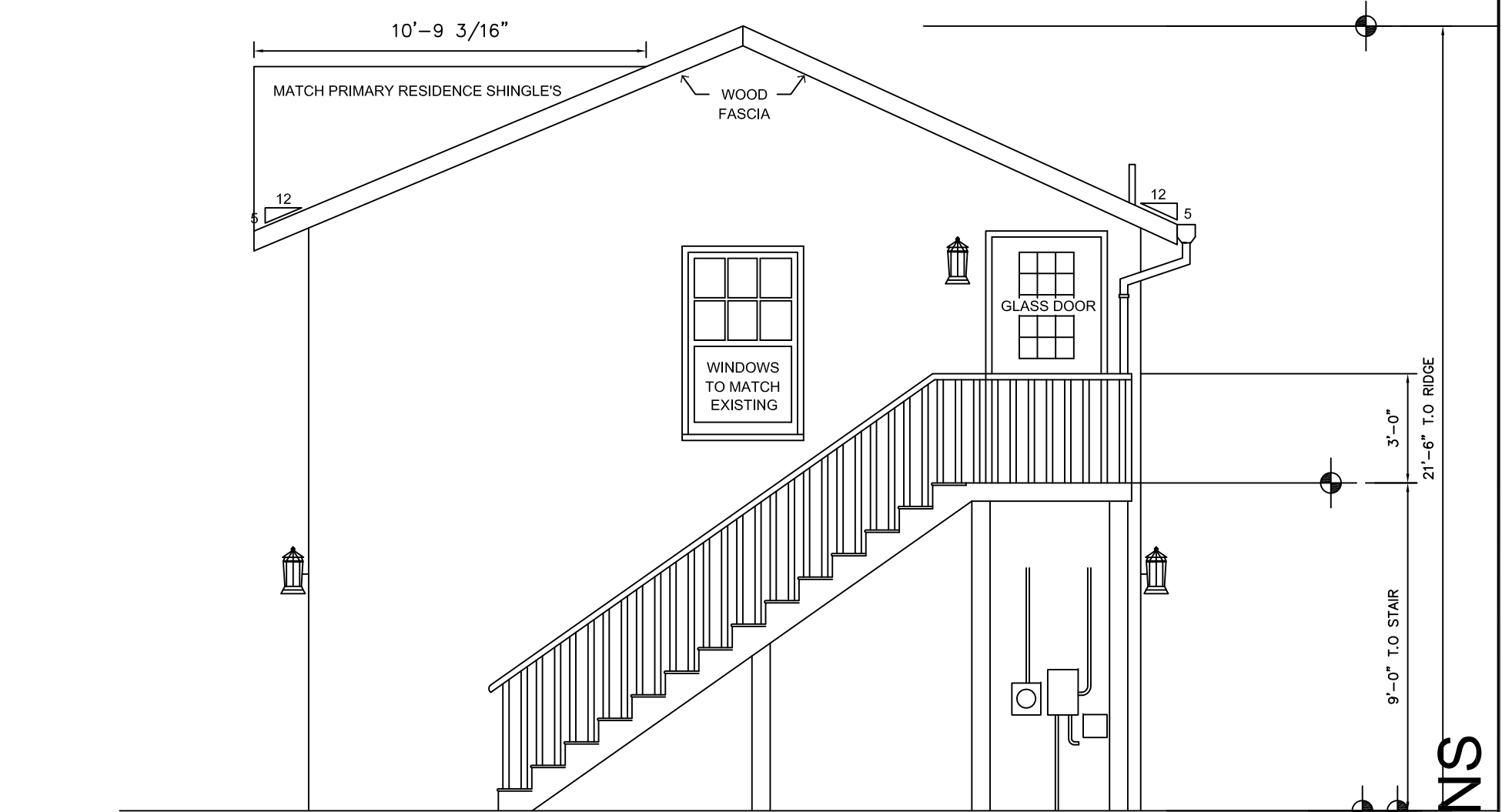


3 NORTH ELEVATION
Scale: 1/4" = 1'-0"
GRAPHIC SCALE

EXTERIOR FINISHED SCHEDULE		
ITEM	MATERIAL	COLOR
ROOFING	ASPHALT	MATCH EXISTING
GUTTERS	ALUMINUM	MATCH EXISTING
DOWNSPOUTS	ALUMINUM	MATCH EXISTING
FASCIA	EXPOSED WOOD	MATCH EXISTING
SOFFIT	EXPOSED WOOD	MATCH EXISTING
SIDING	STUCCO	TBD
WINDOWS/ DOORS	WOOD	TBD



2 WEST ELEVATION
Scale: 1/4" = 1'-0"
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4 EAST ELEVATION
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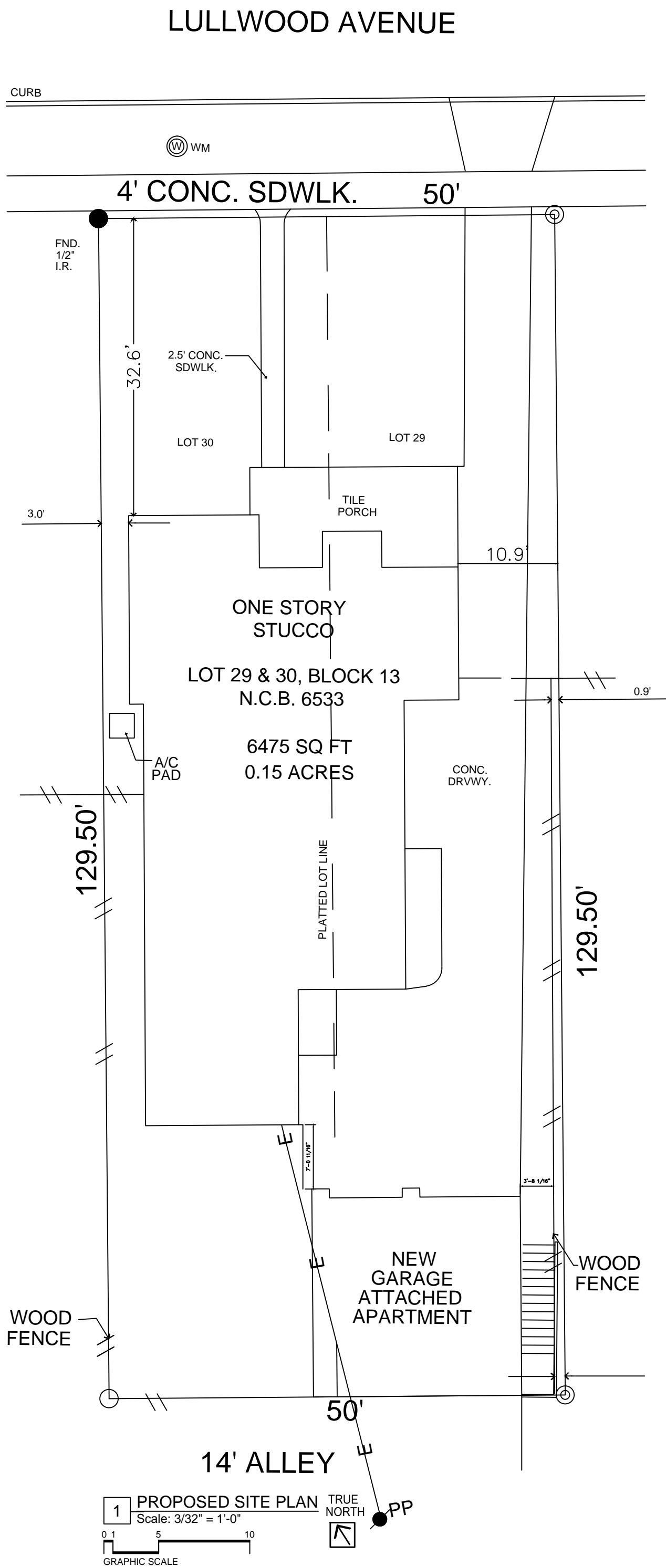
ELEVATION GENERAL NOTES		
SEE SPECIFICATIONS FOR MANUFACTURER		
DOWNSPOUT BOOT AND EXPOSED PORTION OF UNDERGROUND STORM SEWER PIPE TO BE PAINTED TO MATCH DOWNSPOUT. (NOT APPLICABLE)		
GUTTERS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS OF .032, BEVELED PROFILE, SIZED AS REQ'D (3[H. MIN] w/1" HIGHER BACK & NON-CORROSIVE LEAF SCREEN. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM w/MINIMUM THICKNESS OF .027, SIZED AS REQ'D: (3"x4" MIN.), PAINT ALL ROOF TOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ROOF.		
SEE DOOR AND WINDOW SCHEDULES FOR ADDITIONAL INFORMATION.		

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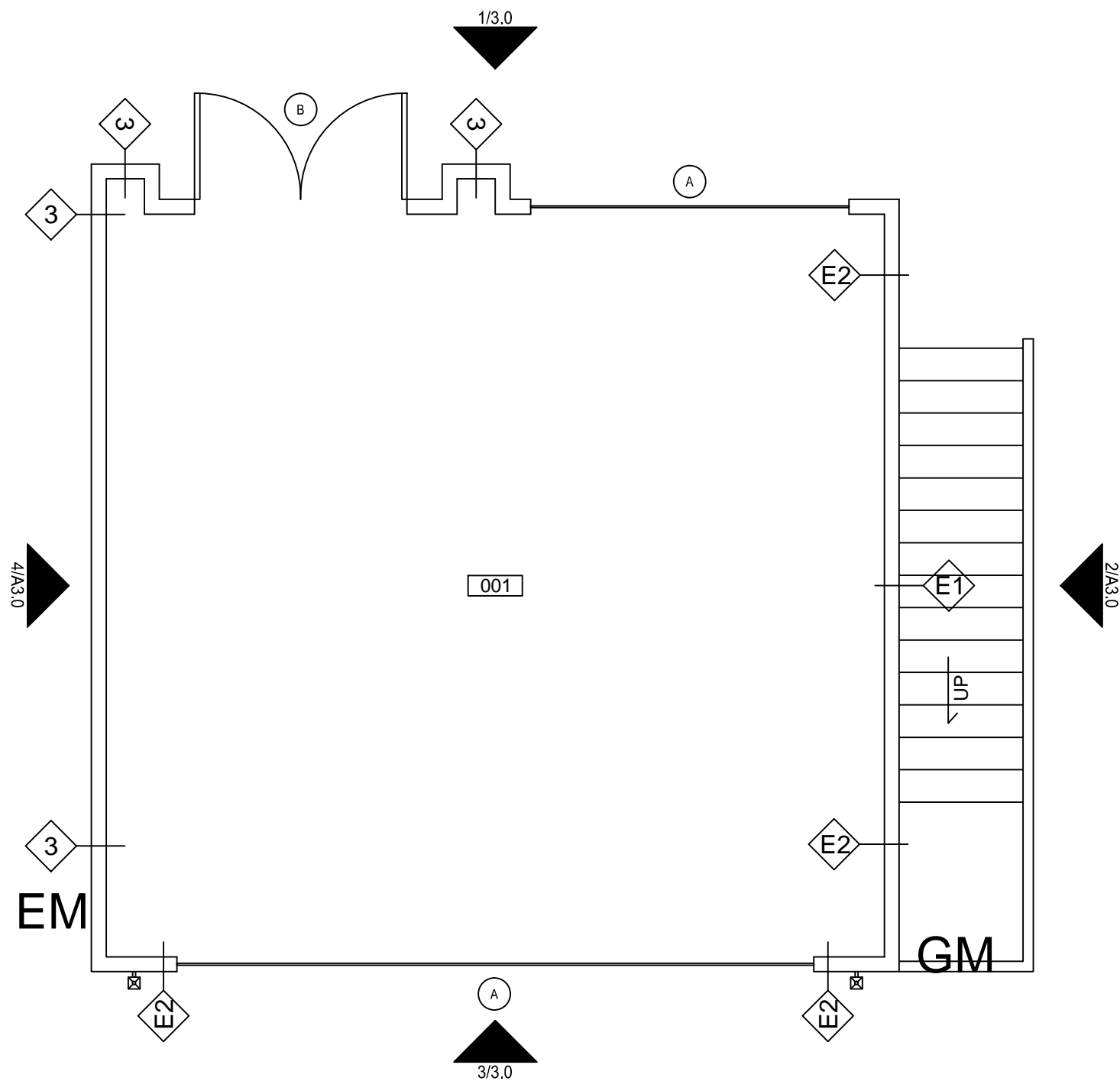
Proposed Plans

SITE PLAN

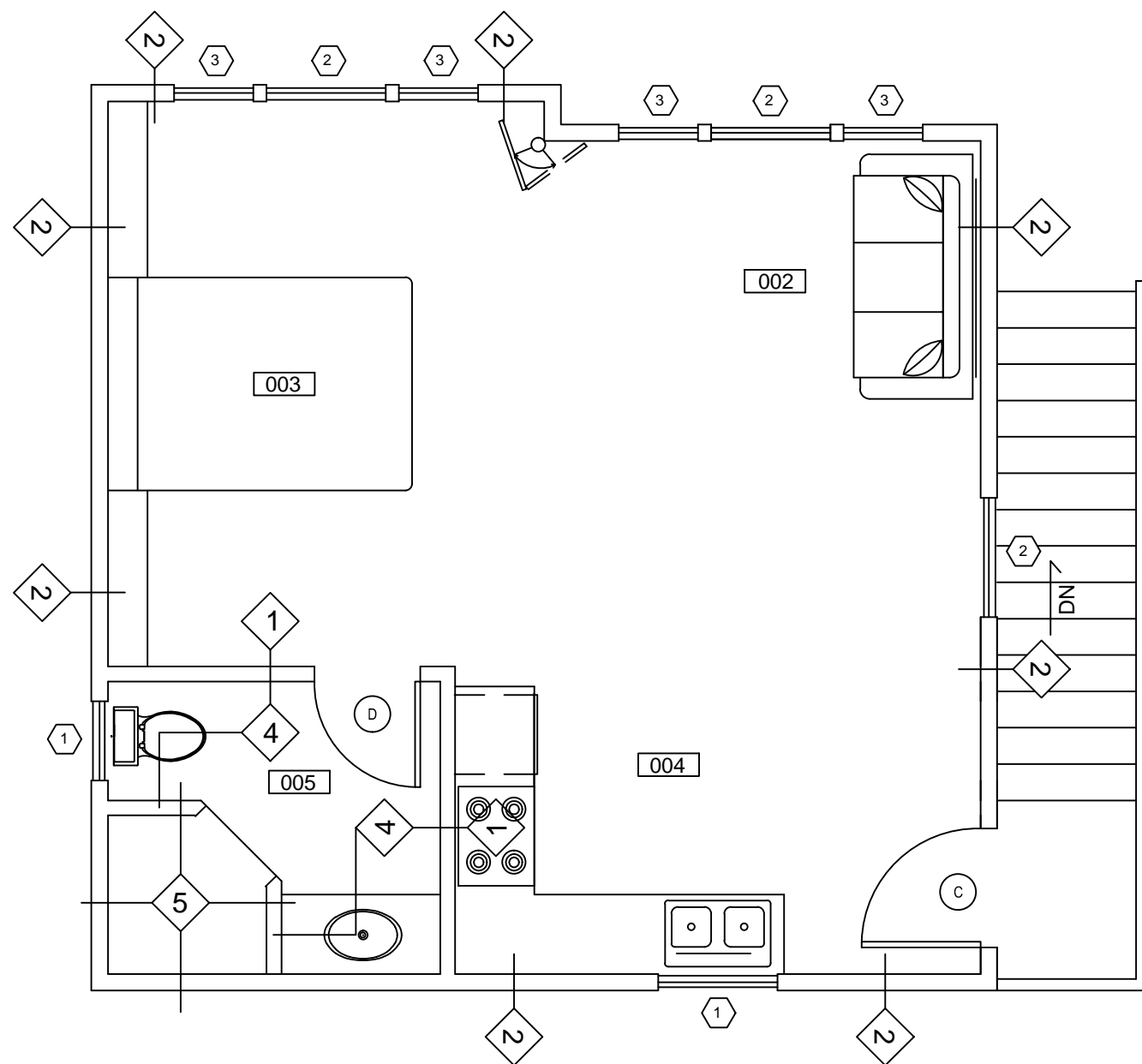
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DESIGNER: ADAN OCHOA



1 OVERALL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 OVERALL SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

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- SEE SHEET A5.0 FOR WINDOW TYPES SHOWN AS (#)

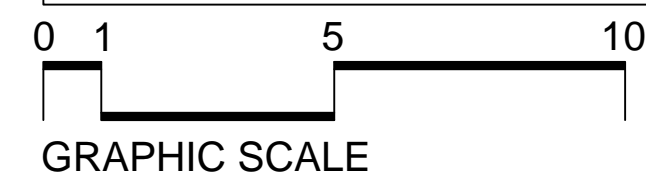
Partition Types

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- E2 EXISTING INTERIOR WALL TO RECEIVE 1/2" GYPSUM BOARD TYPE "X" AND INSULATION.
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- 5 NEW WALL TO RECEIVE 1/2" BACKER BOARD, MORTAR, TILE AND GROUT.

LEGEND

001	TWO CAR GARAGE	002	LIVING ROOM	003	BEDROOM
004	KITCHEN	005	BATHROOM		

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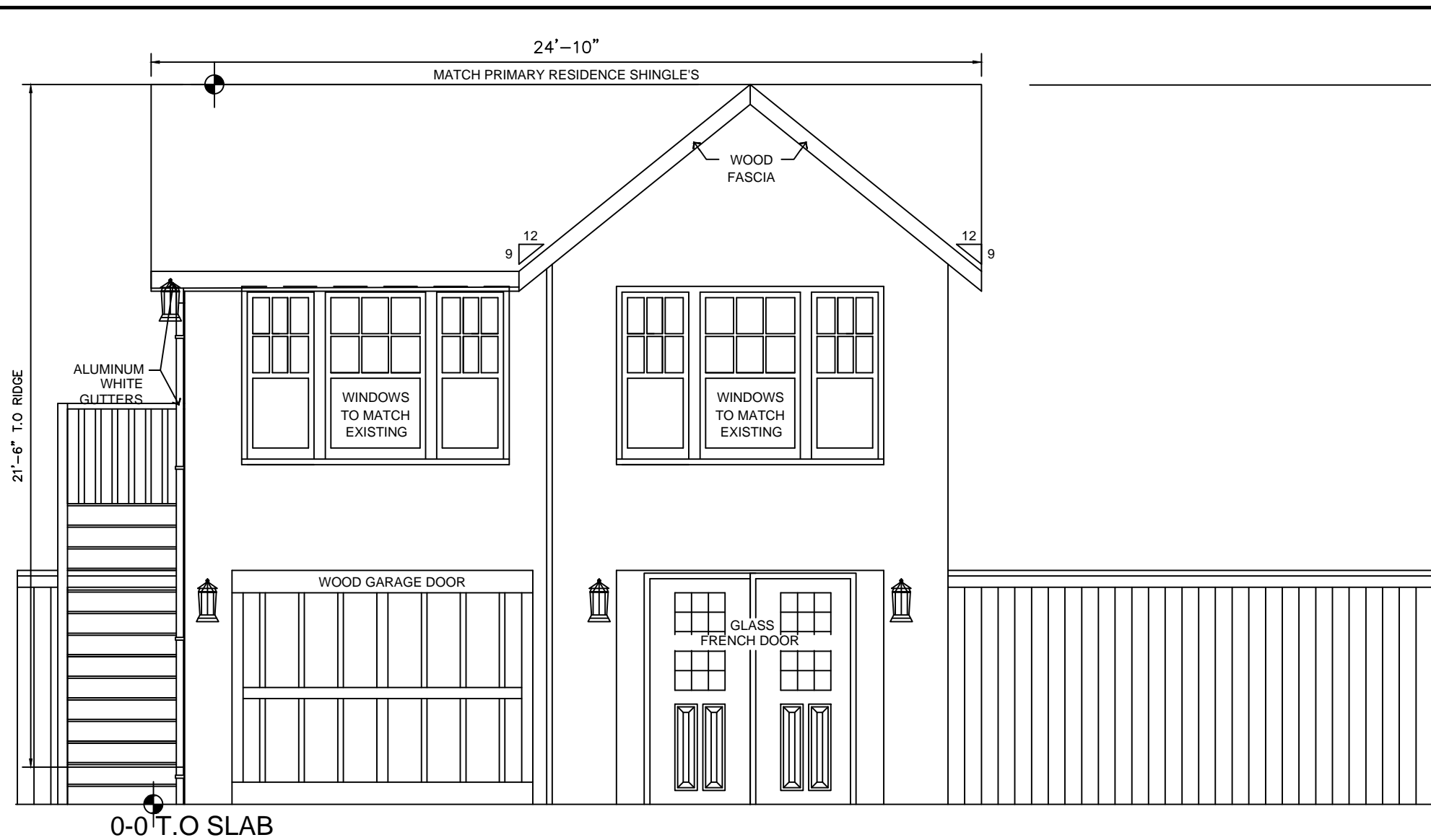
Proposed Plans

OVERALL FLOOR PLAN

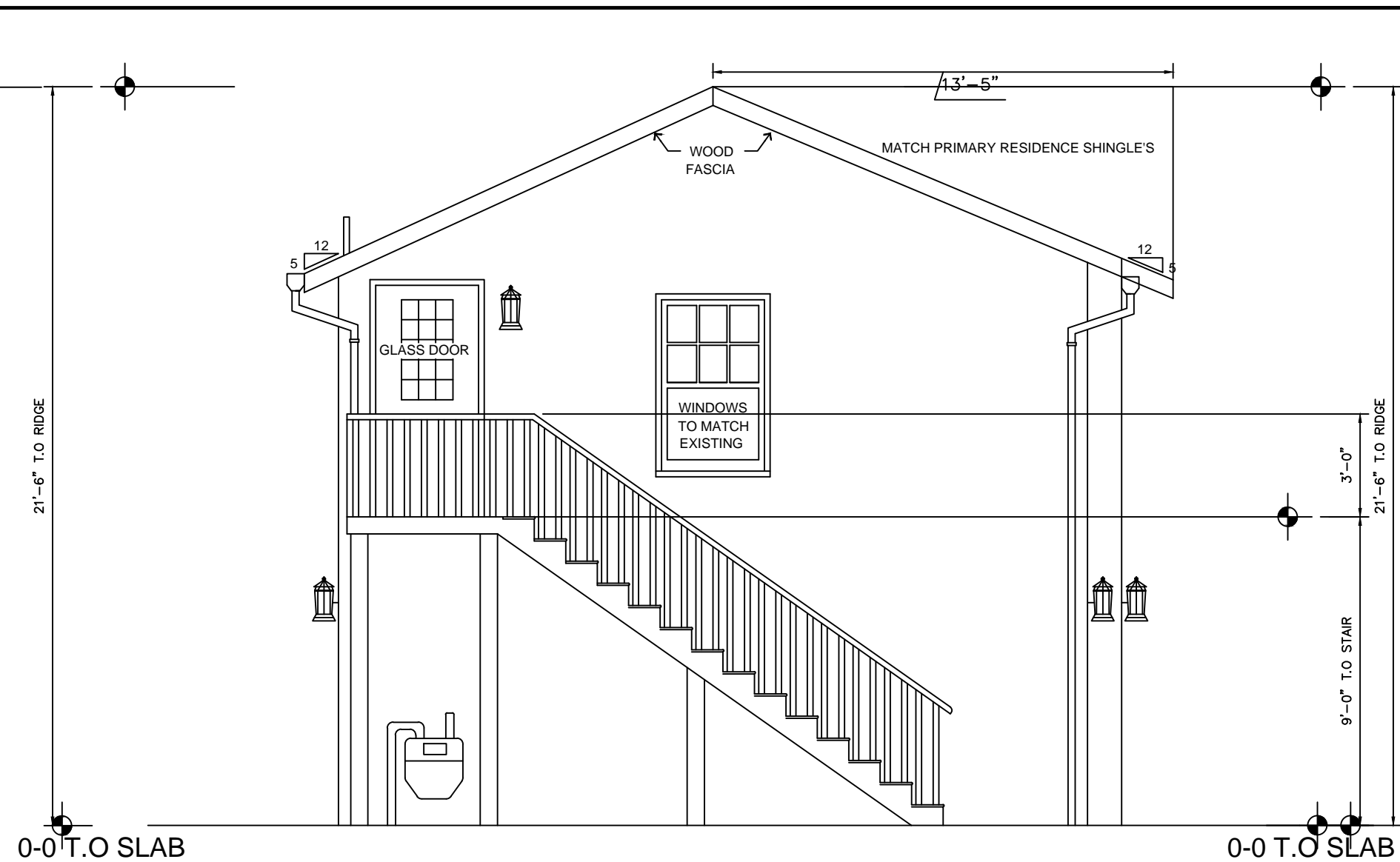
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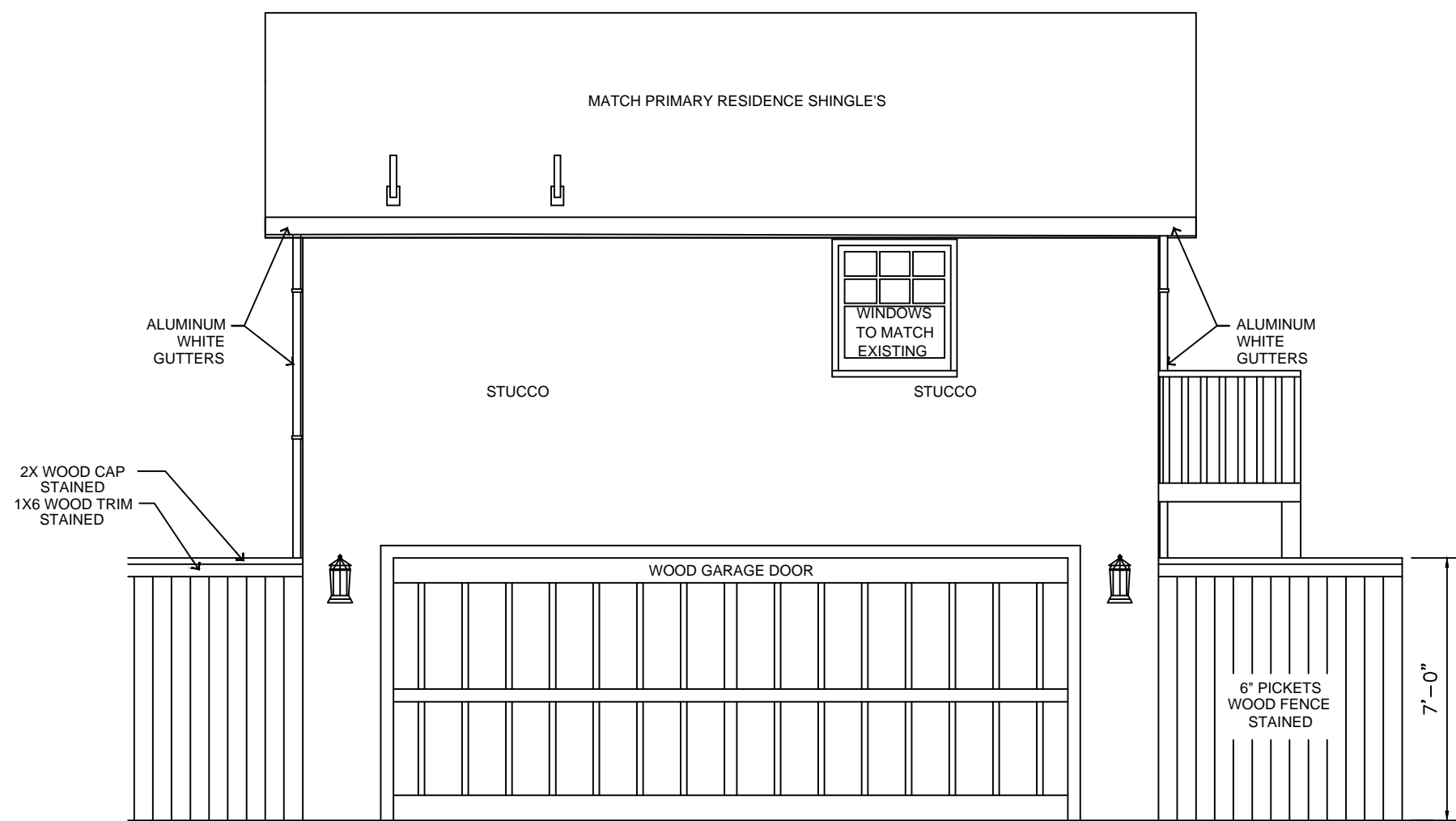
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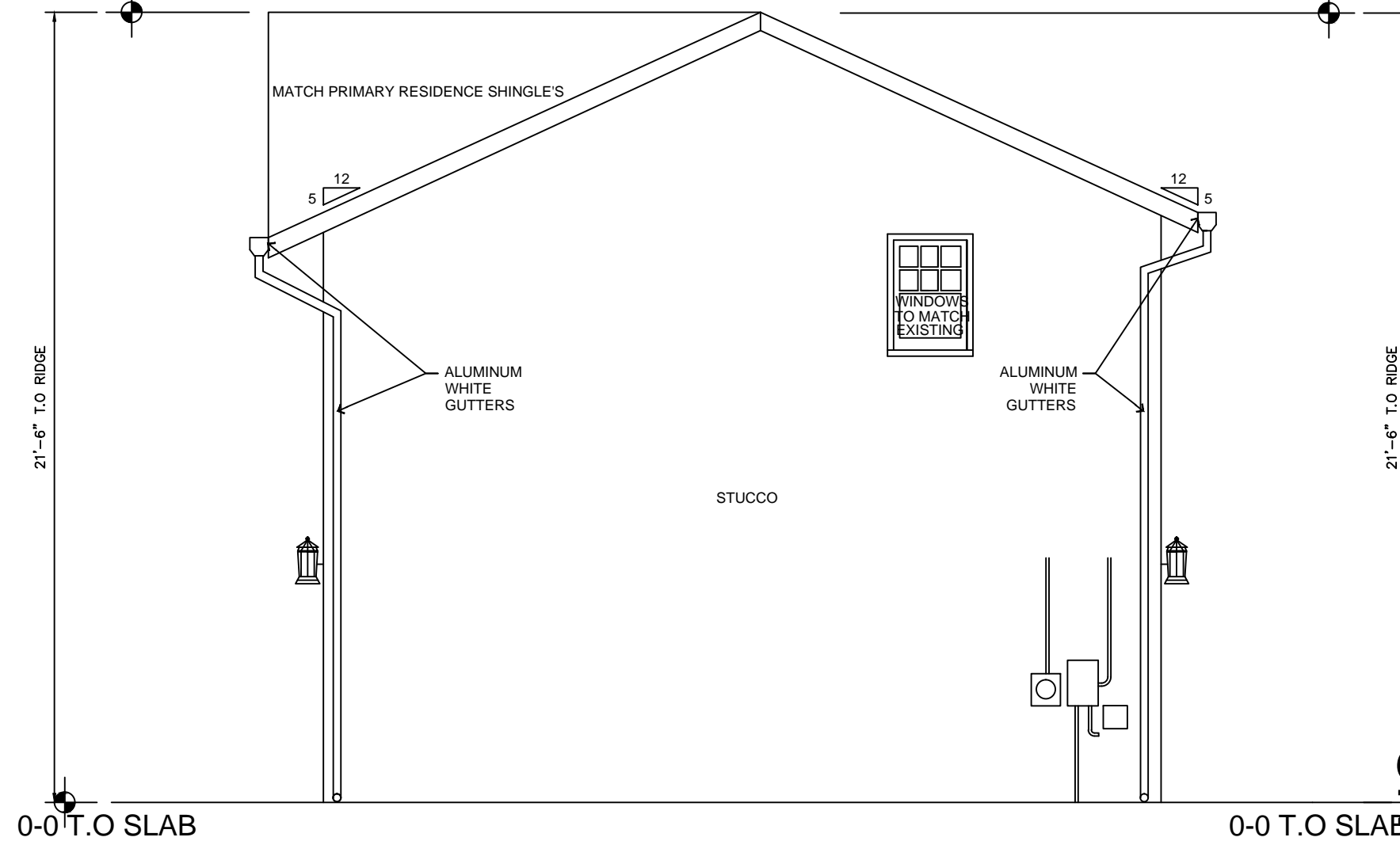
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GRAPHIC SCALE



2 WEST ELEVATION
Scale: 1/4" = 1'-0"
GRAPHIC SCALE



3 NORTH ELEVATION
Scale: 1/4" = 1'-0"
GRAPHIC SCALE



4 EAST ELEVATION
Scale: 1/4" = 1'-0"
GRAPHIC SCALE

EXTERIOR FINISHED SCHEDULE

ITEM	MATERIAL	COLOR
ROOFING	ASPHALT	MATCH EXISTING
GUTTERS	ALUMINUM	MATCH EXISTING
DOWNSPOUTS	ALUMINUM	MATCH EXISTING
FASCIA	EXPOSED WOOD	MATCH EXISTING
SOFFIT	EXPOSED WOOD	MATCH EXISTING
SIDING	STUCCO	TBD
WINDOWS/ DOORS	WOOD	TBD

ELEVATION GENERAL NOTES

SEE SPECIFICATIONS FOR MANUFACTURER
DOWNSPOUT BOOT AND EXPOSED PORTION OF UNDERGROUND STORM
SEWER PIPE TO BE PAINTED TO MATCH DOWNSPOUT. (NOT APPLICABLE)
GUTTERS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS
OF .032, BEVELED PROFILE, SIZED AS REQ'D (3[H. MIN] w/1" HIGHER BACK
& NON-CORROSIVE LEAF SCREEN. DOWNSPOUTS SHALL BE PREFINISHED
ALUMINUM w/MINIMUM THICKNESS OF .027, SIZED AS REQ'D: (3"x4" MIN.),
PAINT ALL ROOF TOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ROOF.
SEE DOOR AND WINDOW SCHEDULES FOR ADDITIONAL INFORMATION.

Proposed Plans

SHEET INDEX
1 A0.0 COVER SHEET
2 A0.1 PROJECT INFORMATION
3 A1.0 SITE PLAN
4 D1.0 DEMOLITION PLAN
5 A2.0 OVERALL FLOOR PLAN
6 A2.1 INT/ EXT FLOOR PLAN
7 A3.0 EXTERIOR ELEVATIONS
8 A4.0 ROOF PLAN
9 A5.0 RM./WD/DR SCHEDULE
10 M1.1 MECHANICAL PLAN
11 E1.1 POWER & LIGHTING PLAN
12 P1.1 SEWER & WATER PLAN

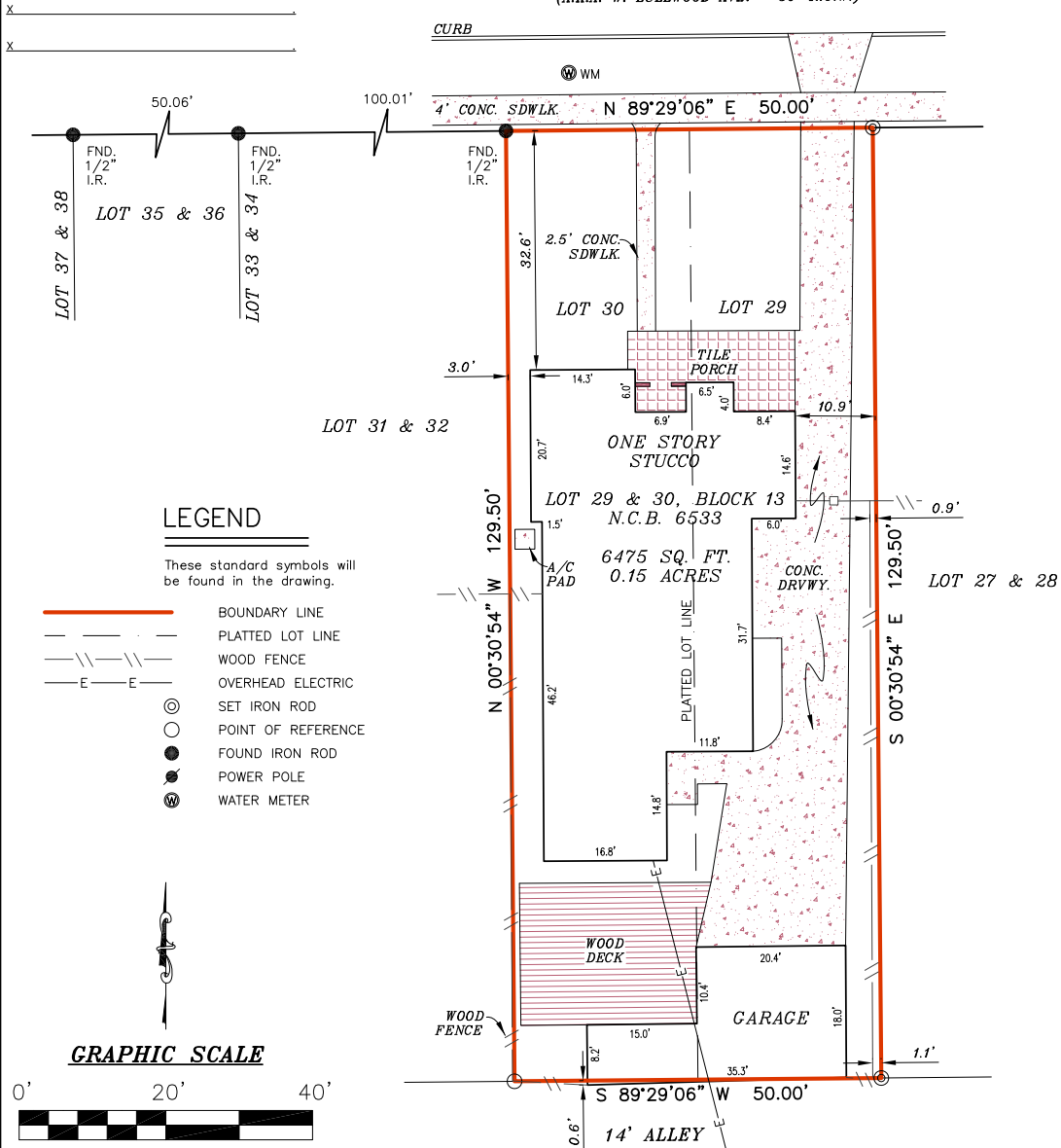
AO DESIGN, LLC,
DESIGN DRAWINGS AND SPECS
AS INSTRUMENTS OF SERVICE
ARE AND SHALL REMAIN
EXCLUSIVE PROPERTY OF THE
DESIGNER WHETHER THE
PROJECT FOR WHICH THEY
ARE MADE IS TO BE EXECUTED
OR NOT AND SHALL BE
RETURNED TO HIM/ HER UPON
THE COMPLETION OF THE
CONSTRUCTION WORK. THEY
ARE NOT TO BE USED BY THE
OWNER ON OTHER PROJECTS
OR EXTENSIONS TO THIS
PROJECT EXCEPT BY
AGREEMENT IN WRITING FROM
THE DESIGNER. ANY
CHANGERS MADE OUTSIDE THE
SCOPE OF WORK AND/ OR
AFTER THE APPROVAL OF THE
CITY WILL BE THE SOLE
RESPONSIBILITY OF THE
CLIENT.

PROJECT NO. XXX-XX
DATE: JUNE 29, 2015
DATE REVISED:
DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

The survey is hereby accepted with the discrepancies, conflicts, or shortages in area or boundary lines, encroachments, protrusions, or overlapping of Improvements shown.

LULLWOOD AVENUE

(A.K.A. W. LULLWOOD AVE. - 50' R.O.W.)



Surveyor's Note:
Basis of Bearing, Volume 9609, Page 38
Deed & Plat Records of Bexar County, Texas.

FLOOD INSURANCE NOTE: By graphics plotting only, LOT 11 & 12
this property is in ZONE X of the
Flood Insurance Rate Map, Community Panel No.
48029C 0405 G effective date of SEPTEMBER 29, 2010
Exact designations can only be determined by a
Elevation Certificate. Based on the above information,
this property IS NOT in a Special Flood Hazard Area.

LOT 13-16
MONTE VISTA SUBDIVISION
(VOL. 642, PG. 116)
BLOCK 13, N.C.B. 6533

I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas,
do hereby certify to PRESIDIO TITLE

and
that the above map is true and correct according to an actual field survey, made by me, on the ground or
under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further
certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except
as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent
discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way
as of the date of the field survey. I further certify that this survey meets or exceeds the
minimum standards established by the Texas Board of Professional Land Surveying (Section 663.18).

Borrower/Owner: MICHELLE K. NIEVAARD
Address: 214 W. LULLWOOD AVENUE GF No. 1-13397

Legal Description of the Land:

Lots 29 and 30, Block 13, New City Block 6533, GREENWOOD VILLAGE, MONTE
VISTA, in the City of San Antonio, Bexar County, Texas, according to plat thereof
recorded in Volume 642, Page 284, Deed and Plat Records of Bexar County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN:

PROPERTY PHOTOGRAPH:



FINAL "AS-BUILT" SURVEY

JOB NO.:	1305015075	NO.	REVISION	DATE
DATE:	05/22/13			
DRAWN BY:	MN/MU			
APPROVED BY:	RJR			



Roy John Ronnfeldt
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520



AMERISURVEYORS LLC
20079 Stone Oak Parkway Suite # 1230 San Antonio, Texas 78258
Phone: (210) 367-2200 Fax: (210) 320-1043