

HISTORIC AND DESIGN REVIEW COMMISSION

September 02, 2015

Agenda Item No: 15

HDRC CASE NO: 2015-268
ADDRESS: 123 MAY
LEGAL DESCRIPTION: NCB 1373 BLK 1 LOT 18 19 E 27 FT OF 17
ZONING: RM4 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Loren Drum
OWNER: Christina Vidal, Carlos Vidal
TYPE OF WORK: Construct detached storage/shop outbuilding
REQUEST:

The applicant is requesting a Certificate of Appropriateness for final approval to construct a 32' x 40' shop/storage building. The proposed building will be single story timber frame construction with a loft. The structure will be clad in cedar planks finished in natural color and will have wood windows.

APPLICABLE CITATIONS:

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required. *Unified Development Code, Sec. 35-451, Certificate of Appropriateness*

(h) **Scope of Approval.** A certificate of appropriateness shall authorize only those modifications to a building or structure requested in the application and approved as provided herein. The historic and design review commission shall recommend approval, denial, or approval with conditions for the application before it, unless said application is revised with the consent of the applicant. Following commission approval of final design, defined as eighty (80) percent working drawings, and issuance of a certificate, an applicant must secure permits within one hundred eighty (180) days and start work within one hundred eighty (180) days of issuance of permits or the certificate becomes null and void and of no force or effect. Thereafter, the applicant must reapply for reissuance of a certificate to the historic preservation officer. The historic preservation officer will determine whether significant changes have occurred to the final design. If the historic preservation officer determines that significant changes have occurred, then plans must be resubmitted to the commission for rehearing and action.

UDC Section 35-523 Tree Preservation

(1) Protected Tree Designations. The significant or heritage tree designations establish a threshold trunk size, measured in diameter at breast height (DBH), for various tree species for purposes of applying the requirements of this chapter. A significant or heritage tree is defined by DBH as set forth below.

Heritage Trees. A heritage tree means a tree of twenty-four (24) inches or greater DBH for all tree species except the following species are heritage with at least one (1) trunk being twelve (12) inches or greater DBH (the value of the twelve (12) inches or greater trunk is the value given to these small tree species):

- i. Texas persimmon (*Diospyros texana*);
- ii. Texas redbud (var. *texensis*);
- iii. Texas Mountain laurel (*Sophora secundiflora*);
- iv. Condalia (*Condalia hookeri*);
- v. Possum haw (*Ilex decidua* - in floodplain only);
- vi. Hawthorne (*crataegus texana*).

FINDINGS:

a. The case was heard by the HDRC on July 1, 2015, at that time it was referred to the Design Review Committee. The DRC reviewed the project on July 7, 2015, at that time the Committee noted the accessory structure may be large but due to its location on the site, it would not overwhelm the main house. However, the Committee was concerned with the scale of the two story accessory building and its relationship to the one story houses along Goodloe Alley. The DRC recommended the applicant provide more information on the context.

b. The property is currently subdivided in multiple lots. The only existing structure is the house at 117 May. The existing house is built in the Minimal Traditional style with a low pitch hip roof, deep overhangs, and plank siding.

c. Consistent with the Guidelines for New Construction, new outbuildings should be visually subordinate to the principal historic structure in terms of height, massing and form. The proposed structure will be taller and appear larger than the main house; however it will be located on the opposite side of the property which will reduce the appearance of height compared to the main house. Although the proposed garage will be surrounded by mostly vacant lots, the existing adjacent structures are one and one-half story houses along Goodloe Alley and across May Street. Due to its location on the site and surrounding context, additional height may be appropriate.

d. According to the Guidelines for New Construction, new garages should relate to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details. The proposed structure does not relate to the Minimal Traditional style of the main house in roof form, pitch, and overhang dimension which is not consistent with the guidelines.

e. As recommended by the Guidelines for New Construction, windows and door openings should be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions. The proposed design is consistent with the guidelines.

f. According to the Guidelines for New Construction, the predominant garage orientation found along the block should be matched. There are no other garages on May Street and a predominant pattern along the block does not exist. The proposed orientation is consistent with the guidelines.

g. Consistent with the Guidelines for New Construction, the historic setback pattern of similar structures along the streetscape or district should be followed. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. The proposed garage will be located on the front yard of the property and will align with the front of the main structure which is not consistent with the guidelines.

h. The applicant has submitted an informal tree survey listing species, location and diameter sizes of existing trees located at 123 May. According to UDC Section 35-523 heritage trees are defined as having a diameter 24" or greater diameter at breast height (DBH). The applicant's informal tree survey has identified one tree on the property defined as a heritage tree, although how applicant determined measurements is unclear.

RECOMMENDATION:

Staff does not recommend final approval at this time based on findings a-g. Staff recommends the following:

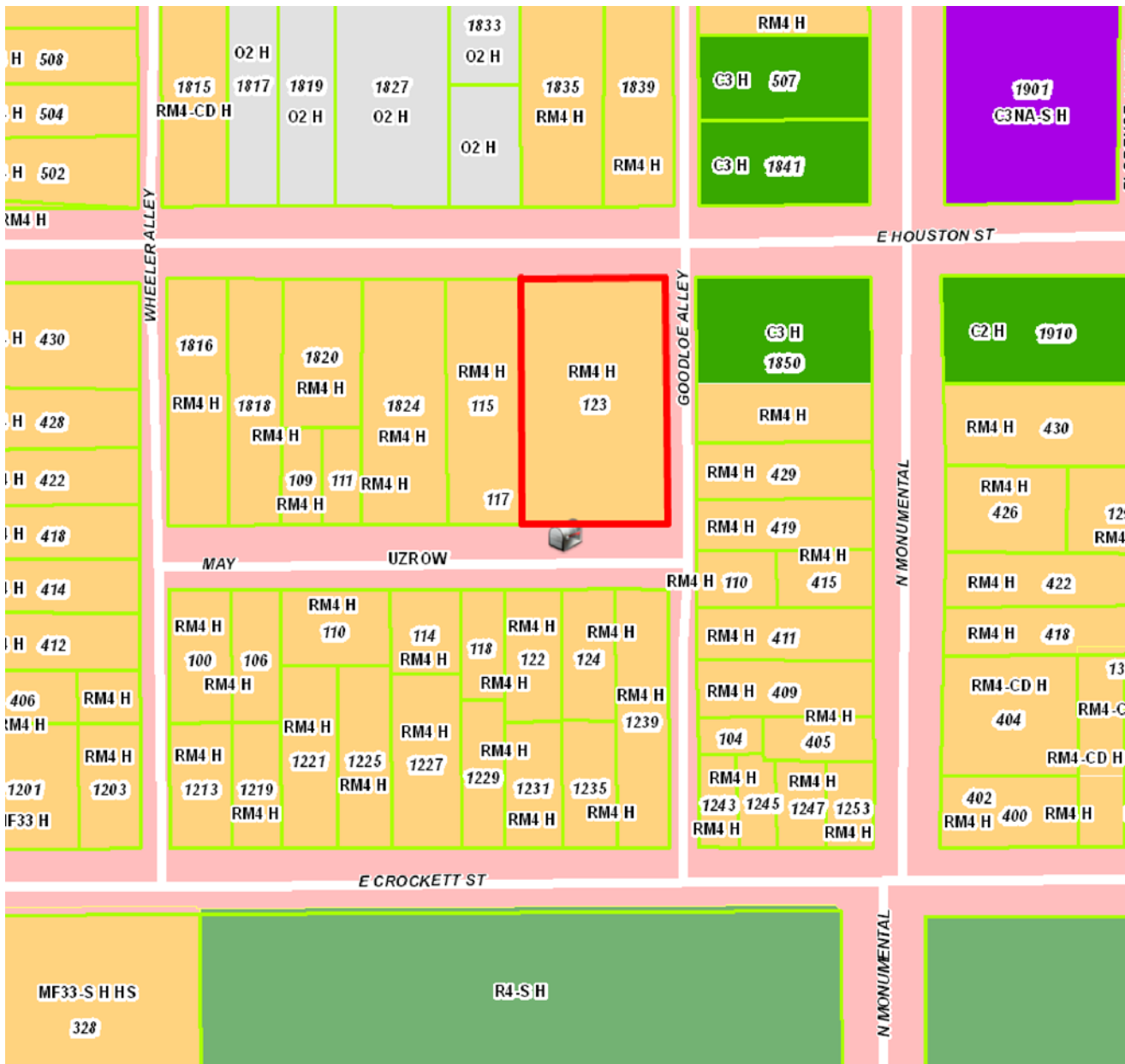
- a. New structure should relate to style and period of construction of the main house
- b. Reduce height to be more consistent with surrounding structures
- c. Garage should be located towards the rear of the property behind the main house.
- d. Additional information including window specifications, foundation type, and dimensioned site plan is submitted for review so that drawings demonstrate 80% completion as required by the UDC.

CASE COMMENTS:

If approved, the applicant will be re-platting to combine the multiple lots prior to construction.

CASE MANAGER:

Adam Ronan





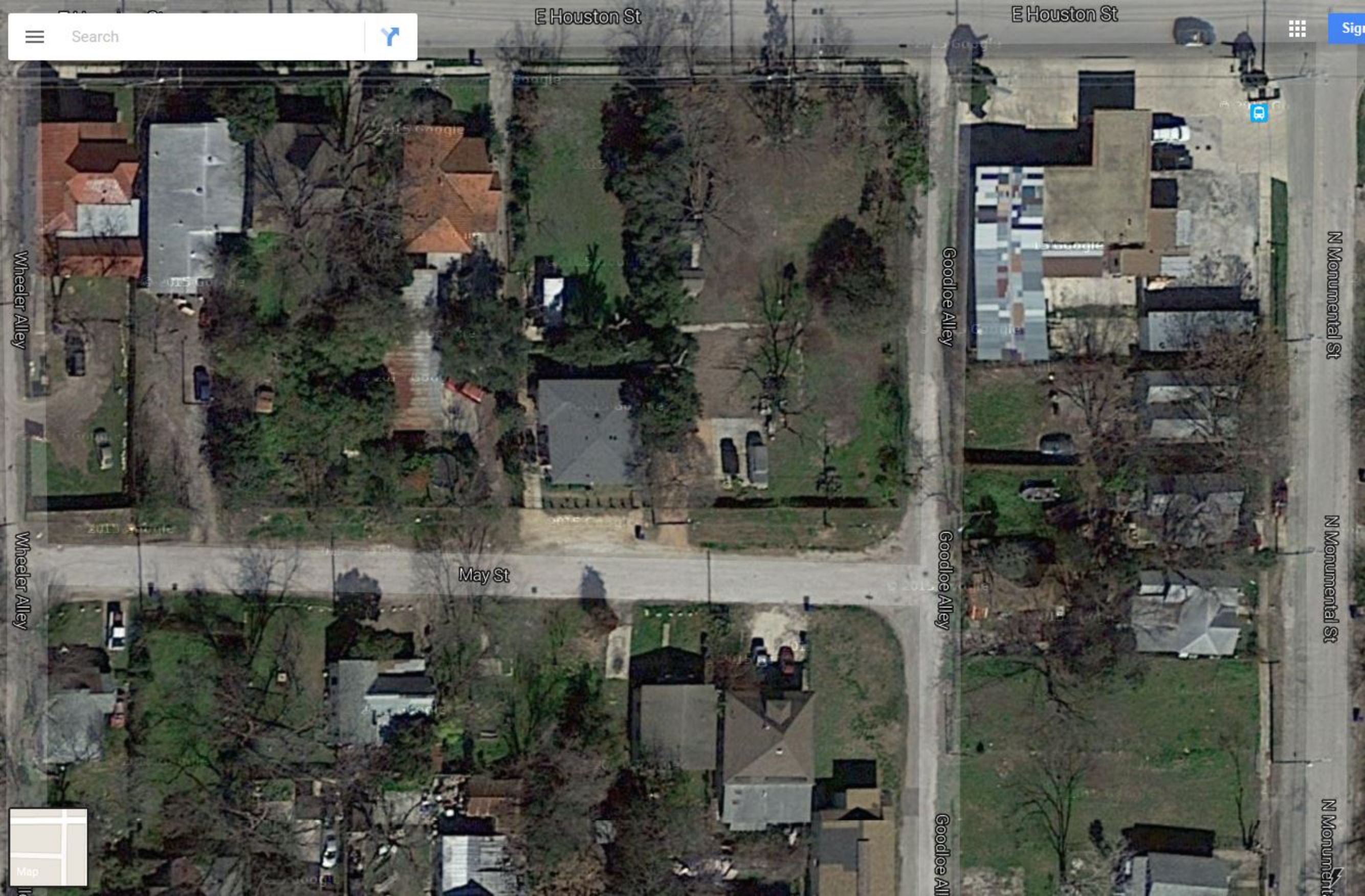
123 May

Powered by ArcGIS Server

Printed: Jun 19, 2015

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E Houston St

E Houston St



Sign



Search



N Monumental St

N Monumental St

N Monumental St

Goodloe Alley

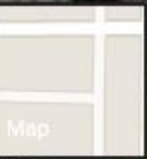
Goodloe Alley

Goodloe Alley

May St

Wheeler Alley

Wheeler Alley



Map

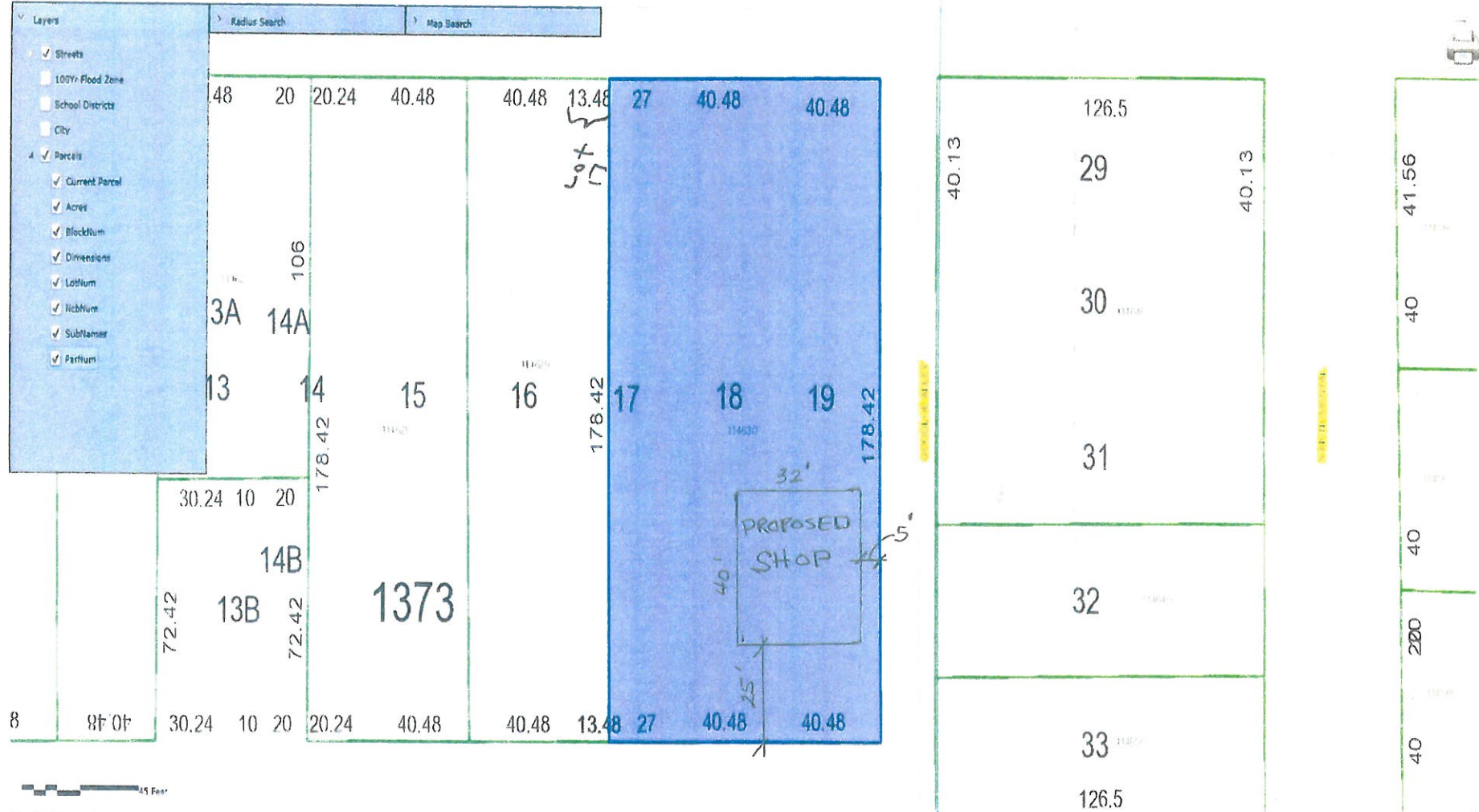
Bexar CAD

[Property Search](#) [Map Search](#) [Map Administration](#) [Login](#)[Property Search Results](#) > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2015[New Search](#)[Help](#)Details [Flag](#)Account
Property ID: 114630
Geo. ID: 01772-001 0100Location
Site Address: 122 MAY 9AM, ANTONIO, TX 78202Owner
Owner Names: VIDAL CHRISTINA JOYCE
Mailing Address: 4833 CHEEDER DR, SAN ANTONIO, TX 78228-5303Property
Appraised Value: \$28,500.00Type: 651
Legal Description: MCE 1373 BLK 1 LOT 18 19 E 27 FT OF 17

Neighborhood: NS4D code11820

Mapscor: 61785

Jurisdictions: 09, 57, 10, CAD, 06, SAG011 11, 21, 09

**DISCLAIMER**

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Bexar CAD

[Property Search](#) [Map Search](#) [Map Administration](#) [Login](#)[Property Search Results](#) > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2015[New Search](#)[Help](#)[Details](#) [Map](#)

Account

Property ID: 114630

Geo. ID: 04272-001-0100

Type: Real

Legal Description: NCE 1072 BLK 1 LOT 18 19 E 27 FT OF 17

Location

Site Address: 123 MAY SAN ANTONIO, TX 78202

Neighborhood: NBHD ccds11820

Mapscor: 61785

Jurisdictions: 09, 57, 10, CAD, 06, SAR11, 11, 21, 08

Owner

Owner Name: VIDAL CHRISTINA JOYCE

Mailing Address: 4823 CHEEDER DR, SAN ANTONIO, TX 78229-5303

Property

Appraised Value: \$29,570.00

**DISCLAIMER**

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BARKIN KINGS

A DIVISION OF
— SAND CREEK POST & BEAM —



WOOD POST FRAME BARNs

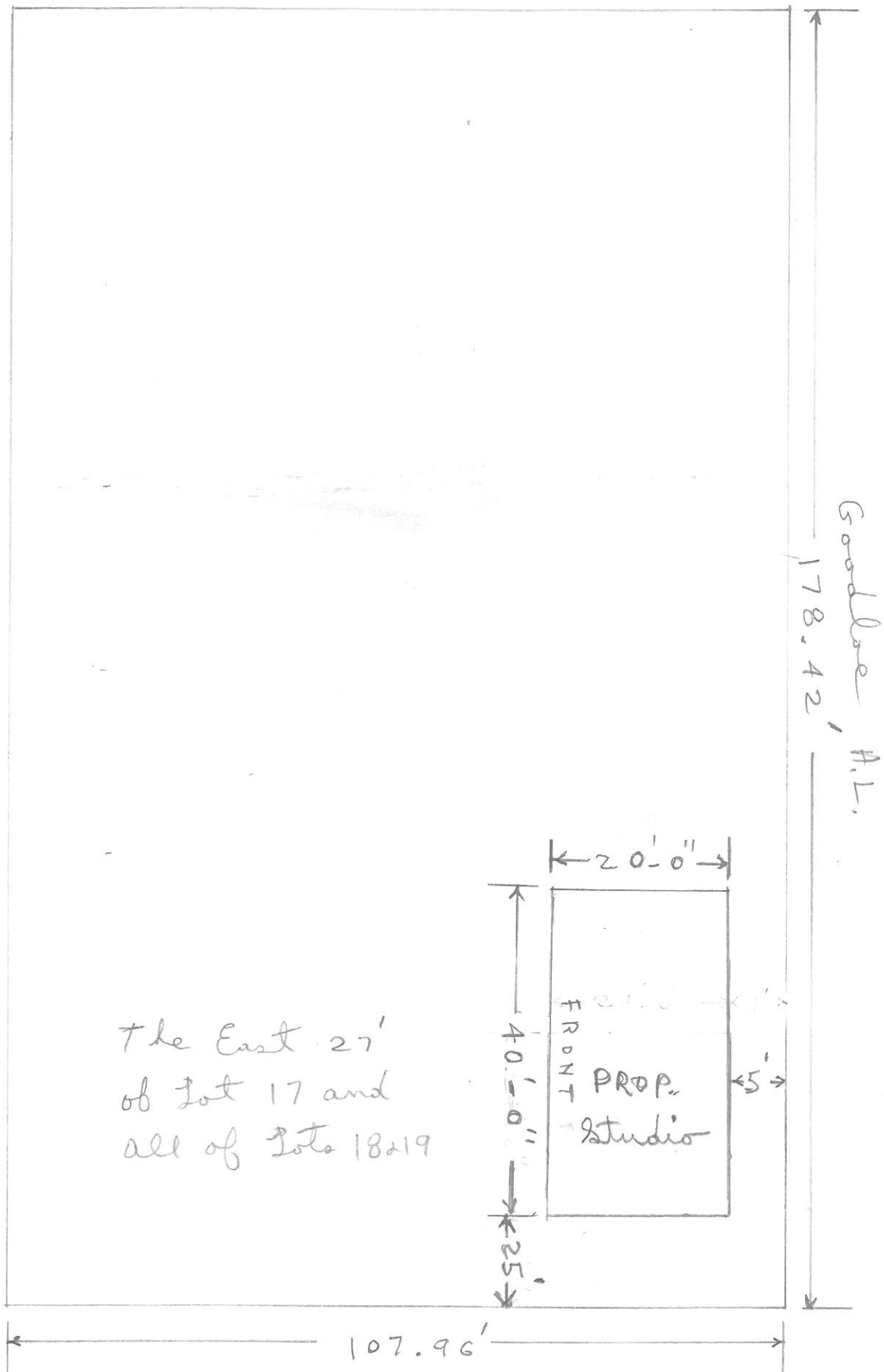
Don't Settle For Metal

123 May



East Houston S.T.

March 5
2014



123 May S.T.

Site Plan

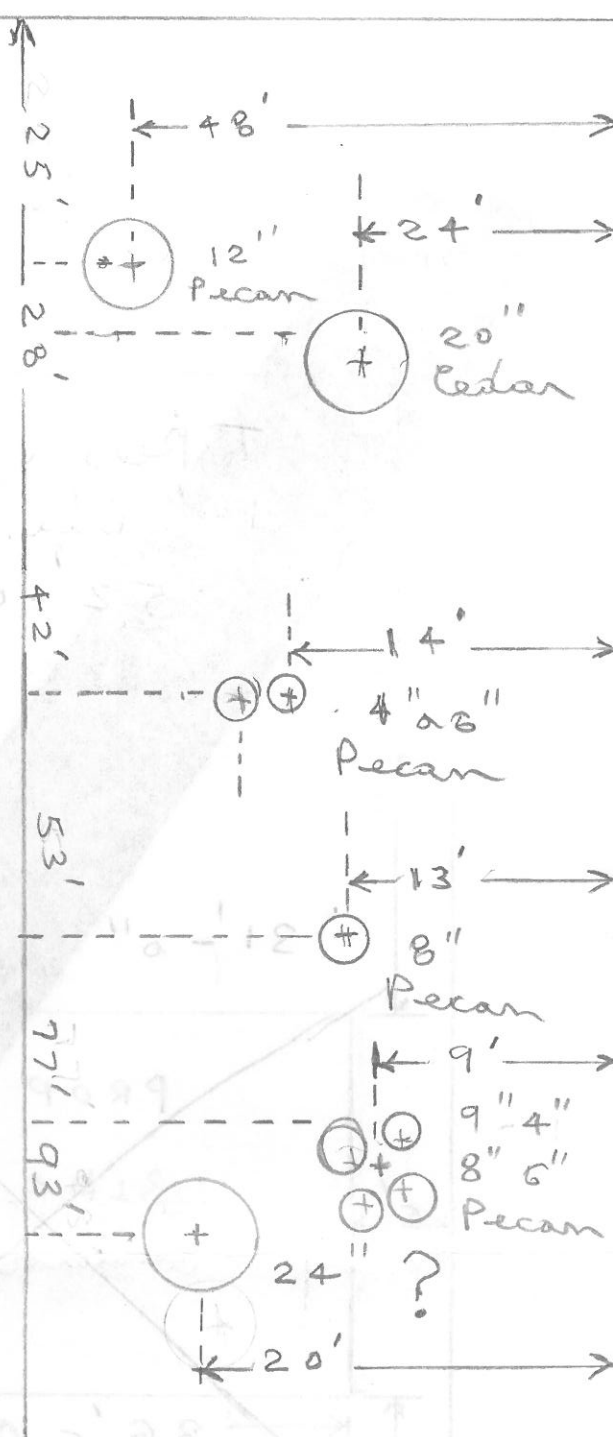
Houston ST.

178.42'

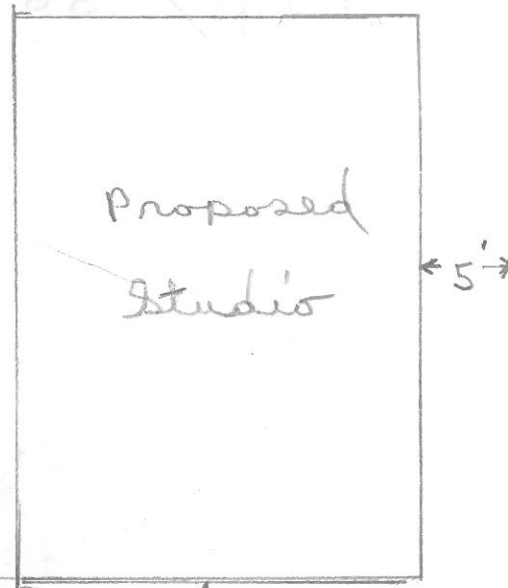
123 May ST.

107.96'

Tree Plot
not to scale



Goodloe AL.



25'

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAID OWNER PRIOR TO START.

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAID OWNER PRIOR TO START.

2. THESE DRAWINGS PROVIDE SUGGESTED DESIGNS AND MATERIALS ONLY AND ARE NOT PROTECTED BY AN INVENTOR OR PROMOTIONS FROM ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO FAULT THIS PLAN TO YOUR SITUATION BECAUSE LOCAL CODES VARY WE SUGGEST YOU HAVE THESE PLANS TO YOUR LOCAL MERCHANT TO HAVE THEM BE SURE THEY ARE TO LOCAL ORDINANCE.

PLANS TO YOUR LOCAL OFFICE TO MAKE SURE THEY SHARE WITH LOCAL BUILDING
CODES/REGULATIONS, THE PROJECT'S SIGNATURE REQUIREMENTS, AND/OR EXISTING CONDITIONS SPECIFIC TO THE
SITE. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS CONTAINED WITHIN THIS SET OF PLANS AND
APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE MORE STRINGENT PREVISION
BE FOLLOWED DURING CONSTRUCTION. VARIATIONS REQUIRED BY LOCAL BUILDING OFFICIALS SHALL NOT BE
BINDING ON THE DESIGNER OF SAID CORP. POST A BEHAL.

3. BENTLEY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE SAND CHIEF PUTS A DEAF CANARY GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.

4. USE WRITTEN DIMENSIONS. DO NOT USE SCALED DIMENSION. IF DIMENSION IS NEEDED, GLOBALLY SAY "SCALE: 1" BEAM BEFORE PLOTTING.

5. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGNED/TO BE FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.

6. ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN UNLESS NOTED. SILL PLATE IS 2ND EASTERN RED CEDAR.
RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE.

2. WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE JOINTS SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARREL THE SIDING OR FRAMING MAY NEED TO BE MOVED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.

A. JEFFY HITCHCOCK AND JOHN BOOTH CHENOWETH, RESEARCH MANAGERS

4 HE RECOMMENDS BREAKER BOARD BE INSTALLED AT SINK SPACES. HE RECOMMEND THAT THE CONTRACTOR INSTALL 1 FLASHING @ ALL BREAKER BOARD LOCATIONS. IF 2 FLASHING IS INSTALLED IT IS TO BE PROVIDED BY GENERAL CONTRACTOR.

12. EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING TO BE PROVIDED BY DESIGNER OR GENERAL CONTRACTOR.

[illegible]

12. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE SAND CREEK HILL 1 PLAIN MATERIALS LIST ARE TO BE PROVIDED BY THE OWNER.

DESIGN SAFETY NOTES

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

EXTRACTION SITES

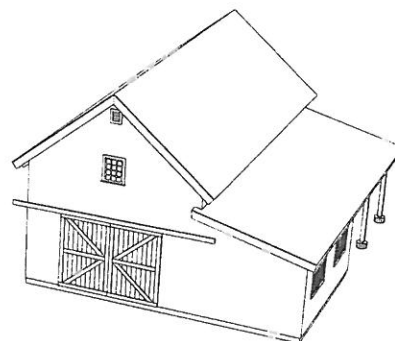
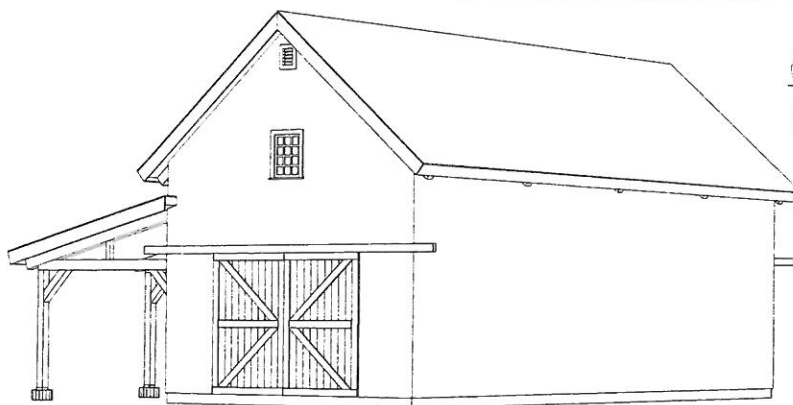
LOCAL BUILDING CODE SPECIFICATIONS TAKE PRECEDENCE OVER THE STANDARD INFORMATION GIVEN IN THESE COPIES. IT IS THE RESPONSIBILITY OF THE OWNER OR ON-SITE FOUNDATION CONTRACTOR TO VERIFY THE LOCAL BUILDING CODE REQUIREMENTS. SOIL CONDITION PROFILES FROM DEEPIN LOCAL CODES MAY VARY AND SPACE VARIATION TO BE BUILDER'S FINAL DETERMINATION FACTOR IN SIZING OF FOOTINGS AND SETTING DETAILS. FOOTINGS AND DETAILS SHOULD HAVE FOUR ILLUSTRATION ONLY. POST AND BEAM FRAMED STRUCTURES WITHOUT HEAVY CONCERNED LOADS THROUGH THE POSTS TO THE FOUNDATION. WE RECOMMEND FOUNDATION DESIGN TAKE THIS INTO CONSIDERATION.

PROJECT LOCATION

ADDRESS 41 MAY STREET
SAN ANTONIO, TX 78203

WOOD TYPE

SIDELIGHT FRAMING: PONDEROSA PINE



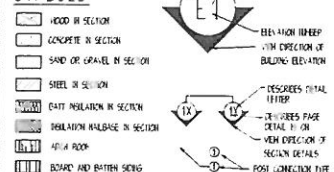
COVER SHEET

NOTE: COLUMBID REFERENCES ON COVER SHEET
2 SHEET 11 ARE PEPERHATIONAL ONLY AND ARE
NOT INTENDED FOR USE IN CONSTRUCTION DRAWINGS

REVISION HISTORY

REV	DATE	DESCRIPTION
0	04/05/2014	3000 CREDIT
1	04/05/2014	
2	04/05/2014	
3	0000/0000	
4	0000/0000	
5	0000/0000	
6	0000/0000	
7	0000/0000	
8	0000/0000	
9	0000/0000	

SYMBOLS



STANDARD ABBREVIATIONS

CONC	CONCRETE	MAX	MAXIMUM
CONT	CONTIGUOUS	MR	MEDIUM
COE	COEFFICIENT	MS	NOT TO SCALE
CP	CORUGATED PIPE	OC	ON CENTER
EA	EACH	OR	OR THEREAFTER
EXT	EXTENDED	SCPS	5-AND 6-DEGREE POST & RAIL
FF	FINISHED FLOOR	SIC	STANDARD
FIS	FURNISHING	TIG	INTERIOR FINISH
INS	INSULATION	TYP	TYPICAL
INT	INTERIOR		

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

JOB CODE: JCS CODE

STYLE: F-2 PONDEROSA BARN

REVISION: 0

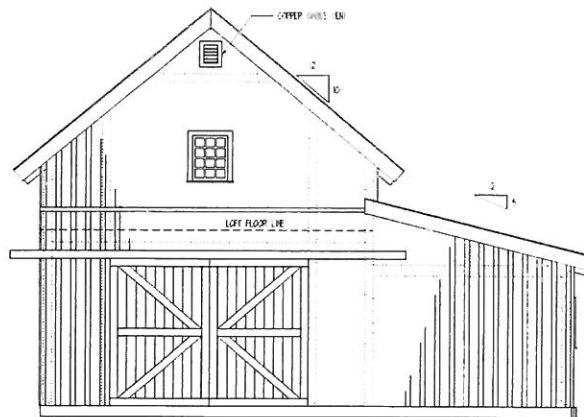
DRAWN BY: SCOTT DRAFTER

DRAWING STATUS: NOT FOR CONSTRUCTION

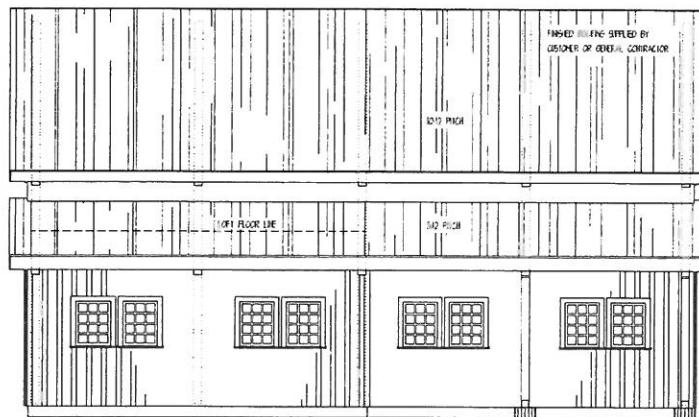
SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH. (402) 673-5611
FAX: (402) 673-4022
Toll-free: 1-800-262-1000

SHEET #:



E3 REAR ELEVATION
SCALE: 1/4" = 1'



E4 LEFT ELEVATION
SCALE: 1/4" = 1'

NOTES:
1. DRYER SILLING LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SILLING LOCATION PRINTED.
2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY ARCHITECT AND GENERAL CONTRACTOR ON SITE.
3. FINISHED SILLING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING JOISTS ARE PROVIDED BY SAND CREEK POST & BEAM.

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 1410 PIONEER BARN

DRAWN BY: SCFB DRAFTER

SAND CREEK POST & BEAM
116 W. 1ST ST.
WAYNE, NE 68787

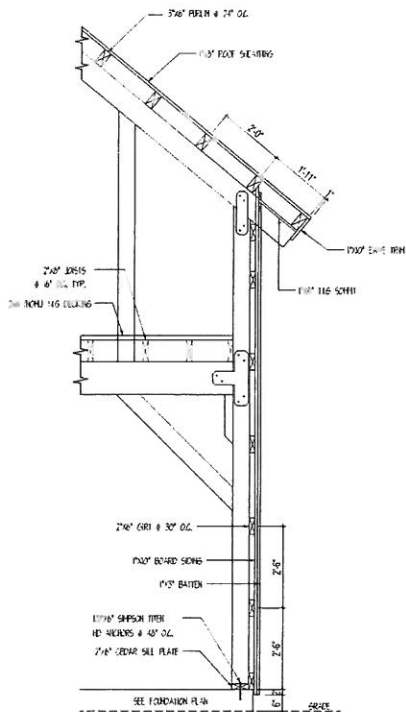
JOB CODE: JOB CODE

REVISION: 0

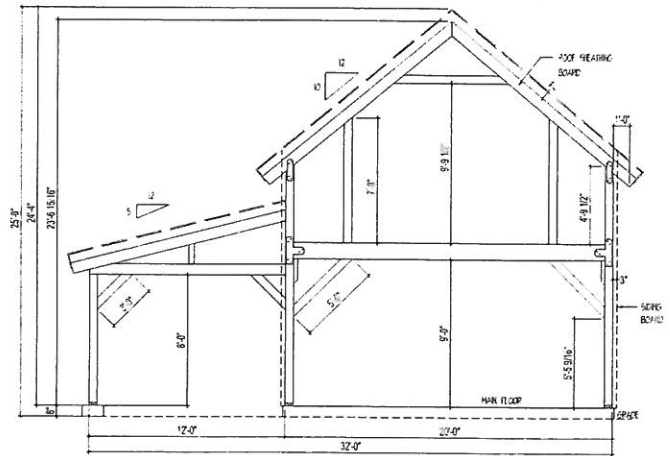
DRAWING STATUS: NOT FOR CONSTRUCTION

PH: (408) 833-4410
FAX: (408) 833-4410
TOLL-FREE: 1-800-450-2413

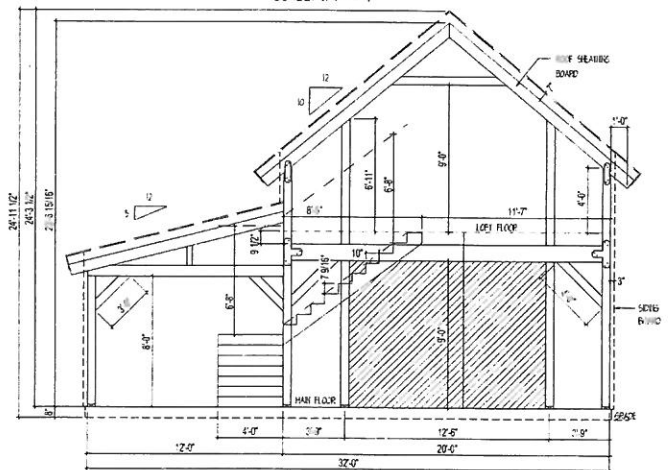
SHEET #: 3



A EXTERIOR WALL DETAIL
SCALE 1/2" = 1'-0"



TYP. BUILDING SECTION
SCALE 1/4" = 1'



TYP. BUILDING SECTION
SCALE 1/4" = 1'

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: TWO PONDERSIA BARN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM

116 W. 1st St.

WAYNE, NE 68787

PH (408) 813-0033

FAX (408) 813-5412

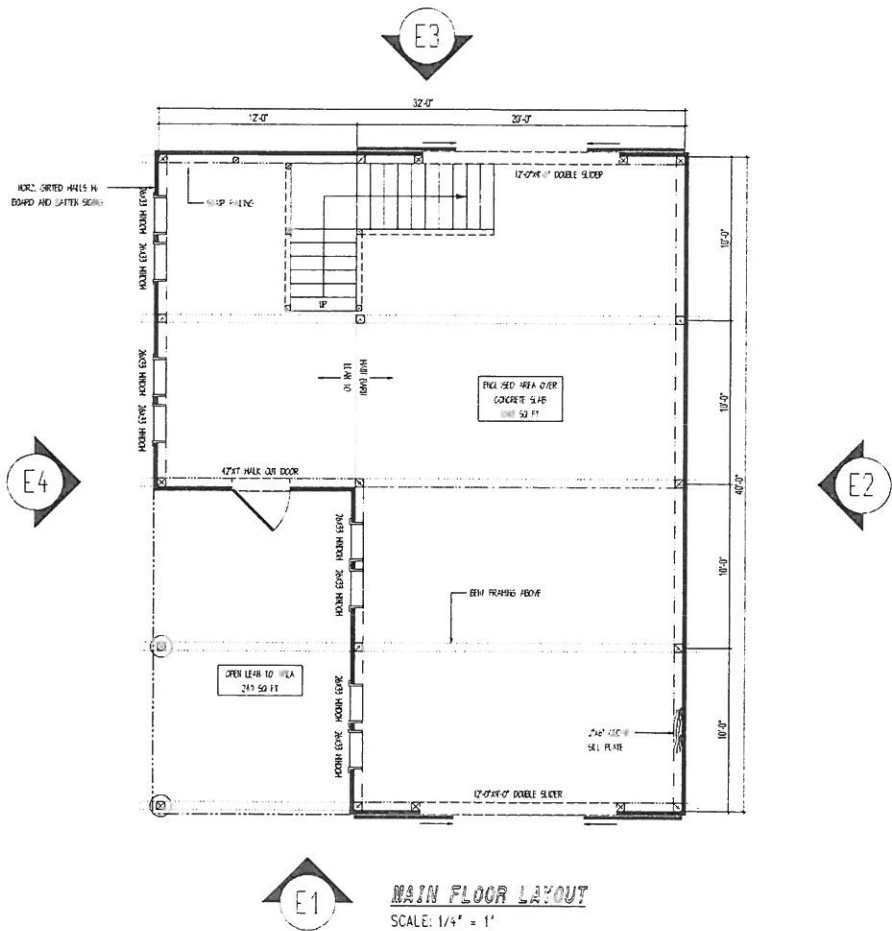
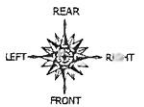
Toll-Free 1-877-79-3813

JOB CODE: JOB CODE

REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

SHEET #: 4



- SHEET NOTES:**
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED FOR ARCHITECTURAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
 2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR CERTAIN ELECTRICAL, PLUMBING AND HVAC PLANS.
 3. INTERIOR FINISHES, WALLS, DOORS, AND WINDOWS ARE PROVIDED BY OWNER OR GENERAL CONTRACTOR.
 4. CHANGING OPENING, JOINT OPENING, AND FINISH REQUIREMENTS ARE THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR.
 5. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE ONLY. EXACT LOCATION TO BE DETERMINED BY THE OWNER AND GENERAL CONTRACTOR.

MAIN FLOOR LAYOUT
SCALE: 1/4" = 1'

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 140 RINGERBORN BARN

DRAWN BY: SCFD CHAPTER

SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

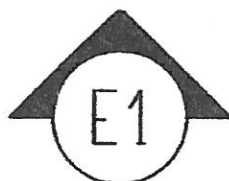
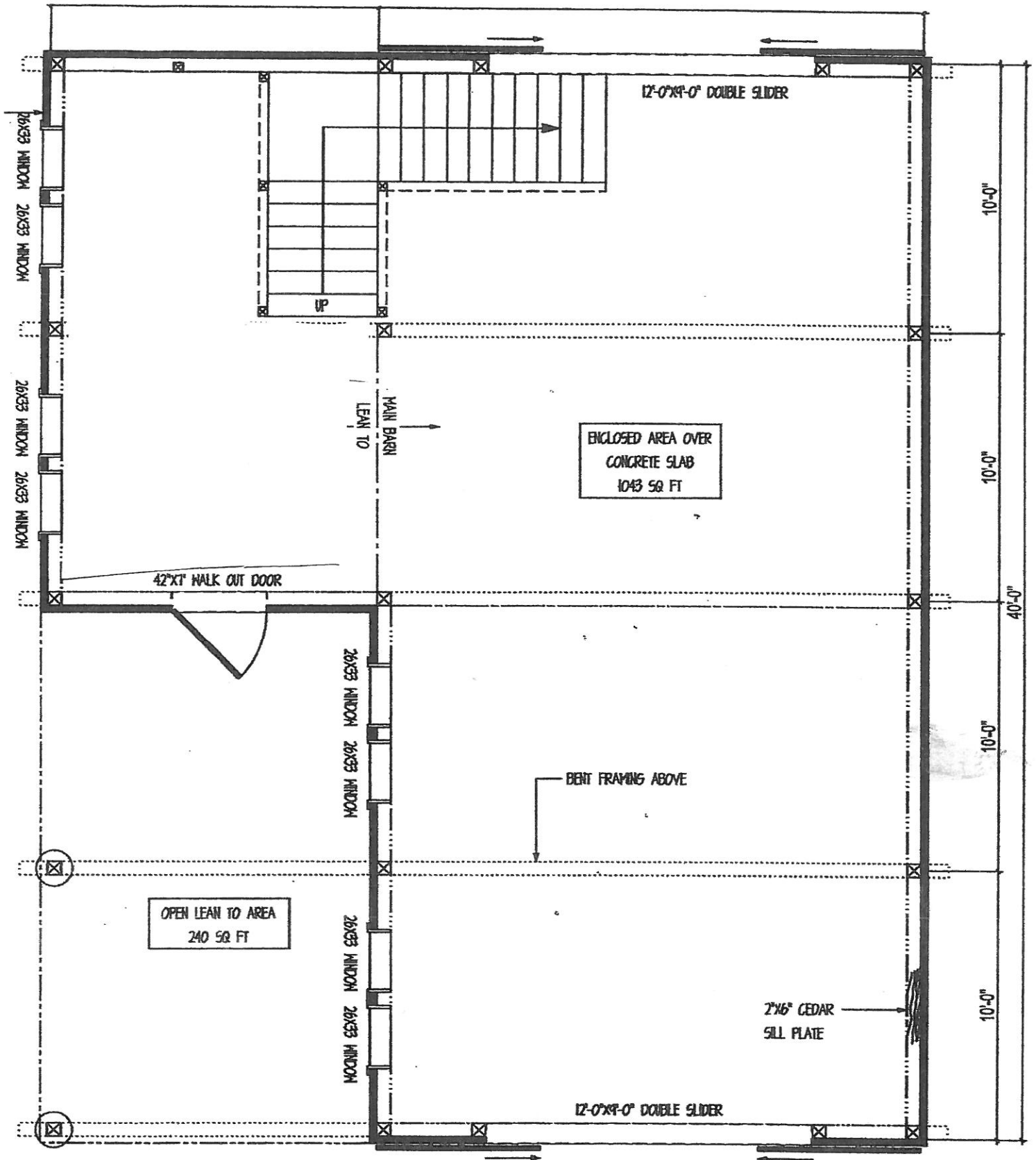
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REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

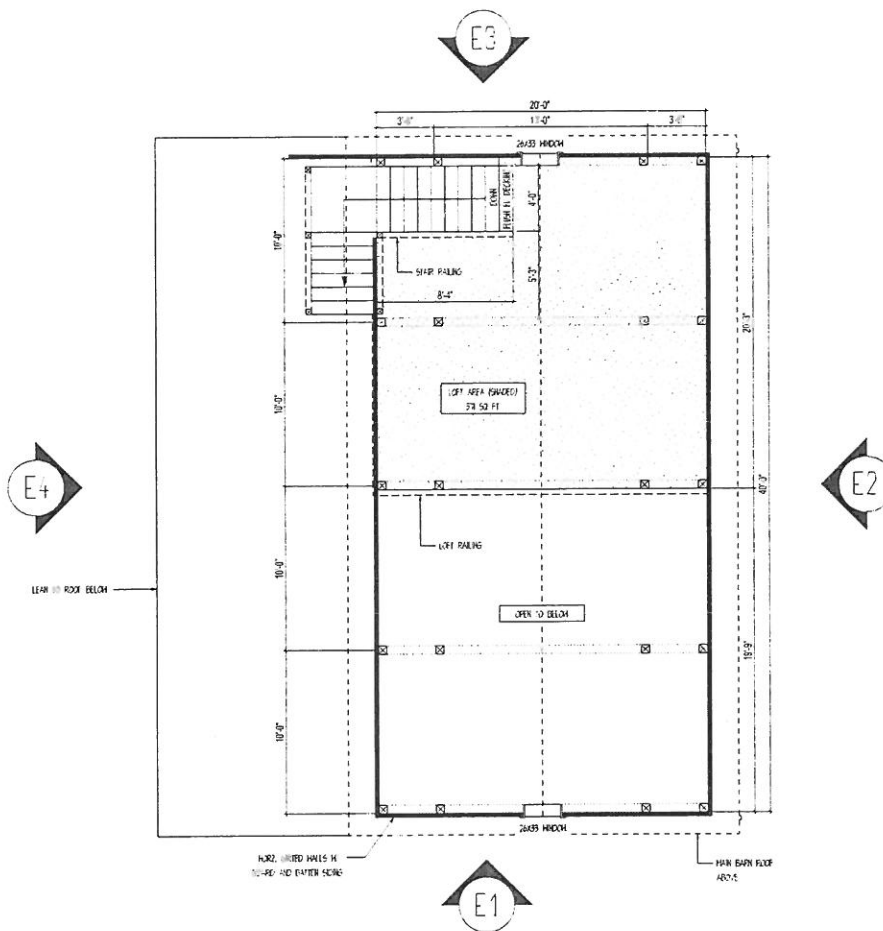
PH: (402) 844-5500
FAX: (402) 844-5500
TOLL FREE: 1-800-455-5500

SHEET #: 5



MAIN FLOOR LAYOUT

SCALE: 1/4" = 1'



- NOTE: 1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SUPPLIES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
2. SAID CREEK POST & BEAM IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL PLUMBING AND HVAC PLANS.
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.
4. CHIMNEY, JOISTS, TIE BEAMS AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE STRUCTURAL CONTRACTOR.
5. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY THE DESIGNER AND GENERAL CONTRACTOR.

LOFT FLOOR LAYOUT

SCALE 1/4" = 1'

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: THE PIONEER EARN

DRAWN BY: SCPB DRAFTER

JOB CODE: JCF CODE

REVISION: 2

DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (412) 833-6633
FAX: (412) 833-6632
Toll-free: 1-800-955-1663

SHEET #: 5