

**BUILDING SETBACK LINE PLAT
WESTWOOD VILLAGE, UNIT-23, BSL**

REPLAT IS FOR SOLE PURPOSE OF REMOVING THE 30' BUILDING SETBACK LINES ALONG TIMBERCREEK DRIVE AND GRASSFIELD DRIVE, LOT 5, BLOCK 38, N.C.B. 15344, UNIT 23, WESTWOOD VILLAGE SUBDIVISION, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 5970, PAGES 60 & 61, OF THE DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.



SCALE: 1" = 100'



ALAMO CONSULTING ENGINEERING & SURVEYING, INC.
TEXAS FIRM REGISTRATION NUMBER: 78261
TYPE F-4490 & TBPLS 100078-00
4365 EAST EVANS RD., SAN ANTONIO, TEXAS, 78261
PHONE : 828-0691 FAX : 481-0832
PREPARED: 08/07/14 JOB NO.: 128000

LEGEND

- D.P.R. PLAT RECORDS OF BEXAR COUNTY, TEXAS
- 1140— EXISTING CONTOURS
- 1 30' BUILDING SETBACK EASMT. VOL. 9570, PGS. 60-61 D.P.R.
- 2 10' TELEPHONE EASMT. VOL. 9570, PGS. 60-61 D.P.R.
- 3 10' TELEPHONE EASMT. VOL. 5940, PG. 159 D.P.R.

STATE OF TEXAS
COUNTY OF BEXAR
THE OWNER OF THE LAND SHOWN ON THIS PLAT, AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE CITY OF SHAVANO PARK, TEXAS FOR THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND THE WATER AND SEWER LINES IN ALL OF THE AFORESAID PUBLIC PLACES AND OTHER PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

DEVELOPER/OWNER: TIMOTHY O'BRIEN
802 GRASSFIELD DR.
SAN ANTONIO, TEXAS 78227-1018

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
TIMOTHY O'BRIEN, KNOWN TO ME TO BE THE PERSON
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME
THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED
AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____
A.D., 2014

NOTARY PUBLIC
STATE OF TEXAS

THIS PLAT OF WESTWOOD VILLAGE UNIT-23 BSL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED
BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY
SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR
WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____ A.D., 2015.

BY: _____
CHAIRPERSON

BY: _____
SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____ COUNTY CLERK OF BEXAR COUNTY,
DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE
_____ DAY OF _____ A.D., _____ AT _____ M. AND DULY RECORDED
THE _____ DAY OF _____ A.D., _____ AT _____ M. IN THE RECORDS OF
_____ OF SAID COUNTY,

IN BOOK/VOLUME _____ ON PAGE _____
IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE THIS
_____ DAY OF _____ MAY _____ A.D. _____

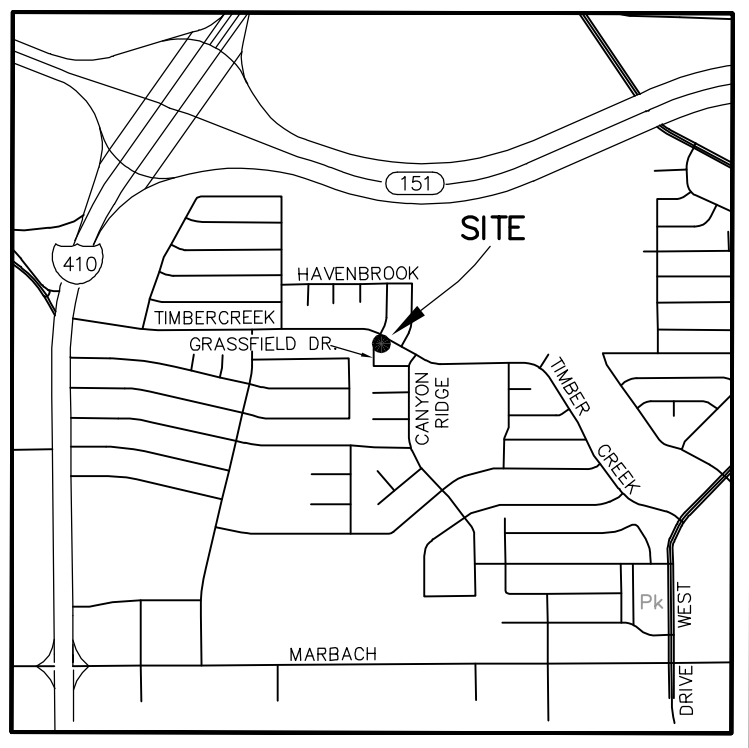
COUNTY CLERK, BEXAR COUNTY, TEXAS
BY : _____ DEPUTY

EDU NOTE:

THE NUMBER OF EQUIVALENT DWELLING UNITS (EDU'S) PAID
FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE
SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER
ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

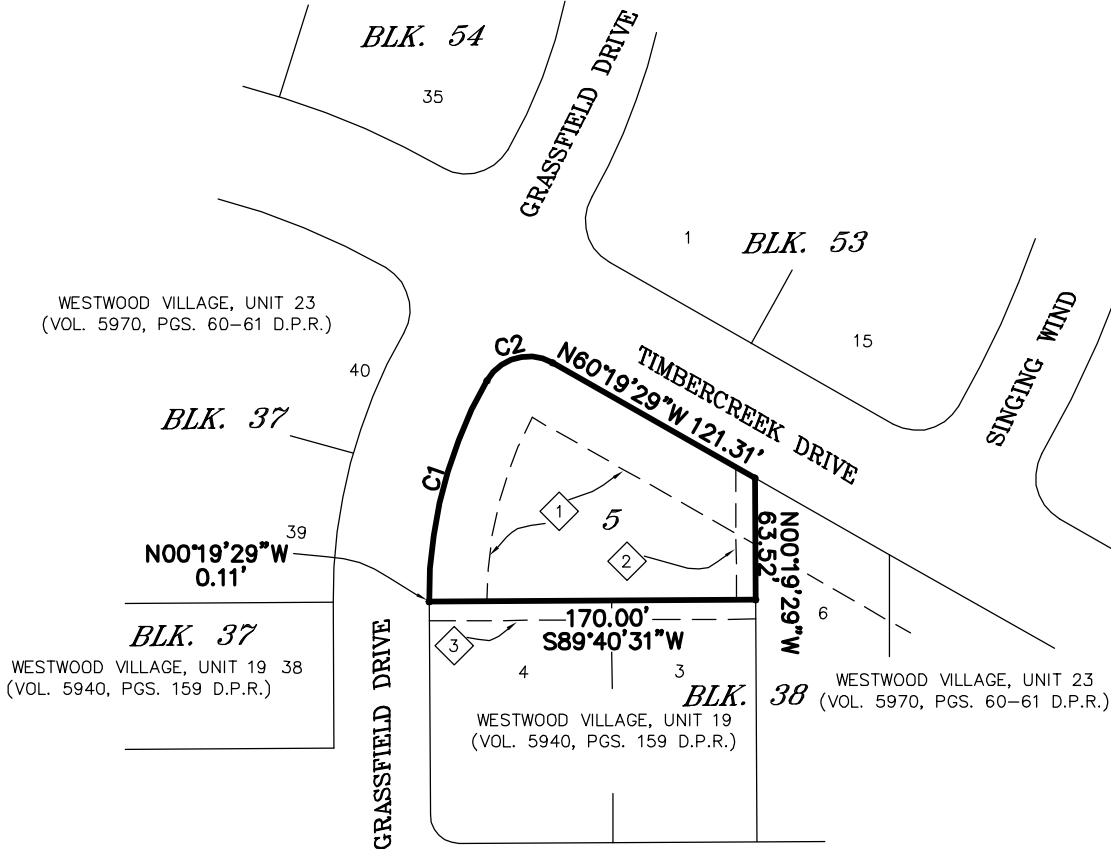
SURVEYORS NOTES:

1. THE BEARINGS ARE BASED ON WESTWOOD VILLAGE UNIT 23, RECORDED
IN VOLUME 5970, PAGES 60-61 OF THE DEED AND PLAT RECORDS OF BEXAR
COUNTY, TEXAS.
2. 1/2" IRON ROD FOUND AT ALL CORNERS, UNLESS OTHERWISE
NOTED.
3. CONTOURS SHOWN OF THIS PLAT ARE FROM WESTWOOD VILLAGE UNIT
23, RECORDED IN VOLUME 5970, PAGES 60-61 OF THE DEED AND PLAT
RECORDS OF BEXAR COUNTY, TEXAS.
4. N. A. D. 83 GRID COORDINATES WERE BASED ON NAD 83 (CORS96).



LOCATION MAP

NOT TO SCALE



**AREA BEING REPLATTED THROUGH A PUBLIC HEARING
WITH WRITTEN NOTIFICATION**

LOT 5, BLOCK 38, NEW CITY BLOCK 15344 OF WESTWOOD VILLAGE
UNIT 23, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS,
ACCORDING TO A PLAT RECORDED IN VOLUME 5970, PAGES 60-61
OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BEXAR

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON PLAT WESTWOOD VILLAGE
UNIT-23 WHICH IS RECORDED IN VOLUME 5970, PAGE 60 & 61, BEXAR COUNTY
PLAT AND DEED RECORDS.

THE SAN ANTONIO PLANNING COMMISSION AT ITS MEETING OF _____
2015 HELD A PUBLIC HEARING WHICH INVOLVED
NOTIFICATION ON THE PROPOSED REPLATTING OF THIS PROPERTY.
(WE) THE OWNER(S) OF THE PROPERTY SHOWN ON THIS REPLAT HEREBY
CERTIFY THAT THIS REPLAT DOES NOT AMEND OR REMOVE ANY
COVENANTS OR RESTRICTIONS.

OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS THE _____ DAY OF _____
_____, 2015

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT
TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT.

Paul A. Schroeder
REGISTERED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN
ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

Paul A. Schroeder
REGISTERED PROFESSIONAL LAND SURVEYOR 5160

CURVE TABLE				
CURVE	RADIUS	LENGTH	TANGENT	DELTA
C1	229.79'	120.34'	61.58'	30° 00' 00"
C2	25.00'	39.27'	25.00'	90° 00' 00"

CPS NOTES:

1. THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS
HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE
FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "GAS EASEMENT", "ANCHOR
EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", AND "TRANSFORMER EASEMENT" FOR
THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING
AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH
ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT
LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT
TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY
INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO. IT IS AGREED AND UNDERSTOOD
THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREAS.
2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID
EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR
PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER,
DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO
SUCH EASEMENTS ARE DESCRIBED BELOW:
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS
WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS
WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING
WITHIN THOSE (5) FOOT WIDE EASEMENTS.

