

## HISTORIC AND DESIGN REVIEW COMMISSION

November 04, 2015

Agenda Item No: 11

**HDRC CASE NO:** 2015-268  
**ADDRESS:** 123 MAY  
**LEGAL DESCRIPTION:** NCB 1373 BLK 1 LOT 18 19 E 27 FT OF 17  
**ZONING:** RM4 H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** Loren Drum  
**OWNER:** Christina Vidal, Carlos Vidal  
**TYPE OF WORK:** Construct detached storage/shop outbuilding  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness to construct a 32' x 40' accessory structure that is to front May. The applicant has proposed materials to include cedar planks and wood windows.

### APPLICABLE CITATIONS:

#### 5. Garages and Outbuildings

##### A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

##### B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

### ***UDC Section 35-523 Tree Preservation***

**(1) Protected Tree Designations.** The significant or heritage tree designations establish a threshold trunk size, measured in diameter at breast height (DBH), for various tree species for purposes of applying the requirements of this chapter. A significant or heritage tree is defined by DBH as set forth below.

**Heritage Trees.** A heritage tree means a tree of twenty-four (24) inches or greater DBH for all tree species except the following species are heritage with at least one (1) trunk being twelve (12) inches or greater DBH (the value of the twelve (12) inches or greater trunk is the value given to these small tree species):

- i. Texas persimmon (*Diospyros texana*);
- ii. Texas redbud (var. *texensis*);
- iii. Texas Mountain laurel (*Sophora secundiflora*);
- iv. Condalia (*Condalia hookeri*);
- v. Possum haw (*Ilex decidua* - in floodplain only);
- vi. Hawthorne (*crataegus texana*).

**FINDINGS:**

- a. This request was reviewed by the Historic and Design Review Commission on July 1, 2015, where it was referred to the Design Review Committee. On July 7, 2015, the Design Review Committee review committee noted that this structure in its proposed size might be larger than typical, but given its location would not overwhelm the primary historic structure. The DRC did note the concern of the scale of the structure in relationship to other structures along Goodloe Alley as well as the surrounding context.
- b. The lot on which the applicant has proposed to locate the accessory structure is bordered by May to the south, Goodloe to the east and E Houston to the north. The applicant has proposed to locate the structure to front May, the rear of the lot as it would be addressed from E Houston. Staff finds this location for an accessory structure appropriate.
- c. Consistent with the Guidelines for New Construction, new outbuildings should be visually subordinate to the principal historic structure in terms of height, massing and form. The proposed structure will be taller and appear larger than the main house; however it will be located on the opposite side of the property which will reduce the appearance of height compared to the main house. Although the proposed garage will be surrounded by mostly vacant lots, the existing adjacent structures are one and one-half story houses along Goodloe Alley and across May Street. Due to its location on the site and surrounding context, staff finds the additional height appropriate.
- d. According to the Guidelines for New Construction, new garages should relate to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details. The particular section of Dignowity Hill features various architectural styles, all of which are modest, similar to that of the proposed accessory structure.
- e. According to the Guidelines for New Construction windows and door openings should be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions. The proposed design is consistent with the guidelines.

**RECOMMENDATION:**

Staff finds the applicant's proposal to locate this accessory structure at the rear of a lot that fronts E Houston appropriate and recommends approval as submitted based on findings a through e.

**CASE MANAGER:**

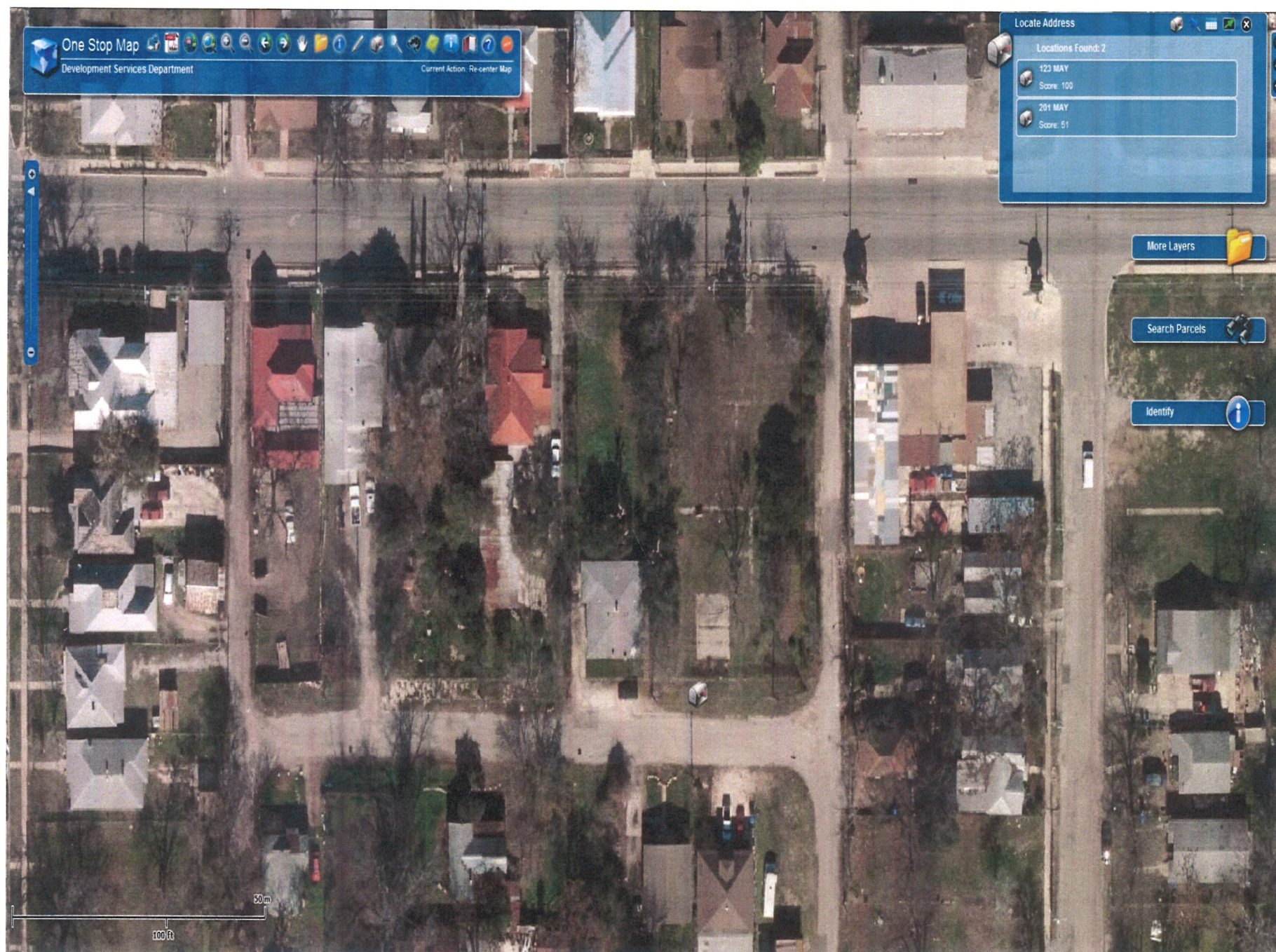
Edward Hall





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## Bexar CAD

[Property Search](#) [Map Search](#) [Map Administration](#) [Login](#)[Property Search Results](#) > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2015[New Search](#)[Help](#)Details [Map](#)Account  
Property ID: 114630

Geo. ID: 01373-001-0180

Type: Real

Legal Description: NCB 1373 BLK 1 LOT 18 19 E 27 FT OF 17

Location  
Site Address: 123 MAY SAN ANTONIO, TX 78202

Neighborhood: NBHD code11820

Mapsc: 61785

Jurisdictions: 09, 57, 10, CAD, 06, SA011, 11, 21, 08

Owner  
Owner Name: VIDAL CHRISTINA JOYCE

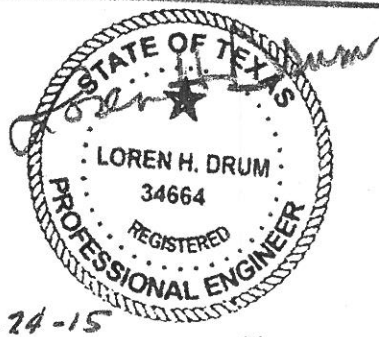
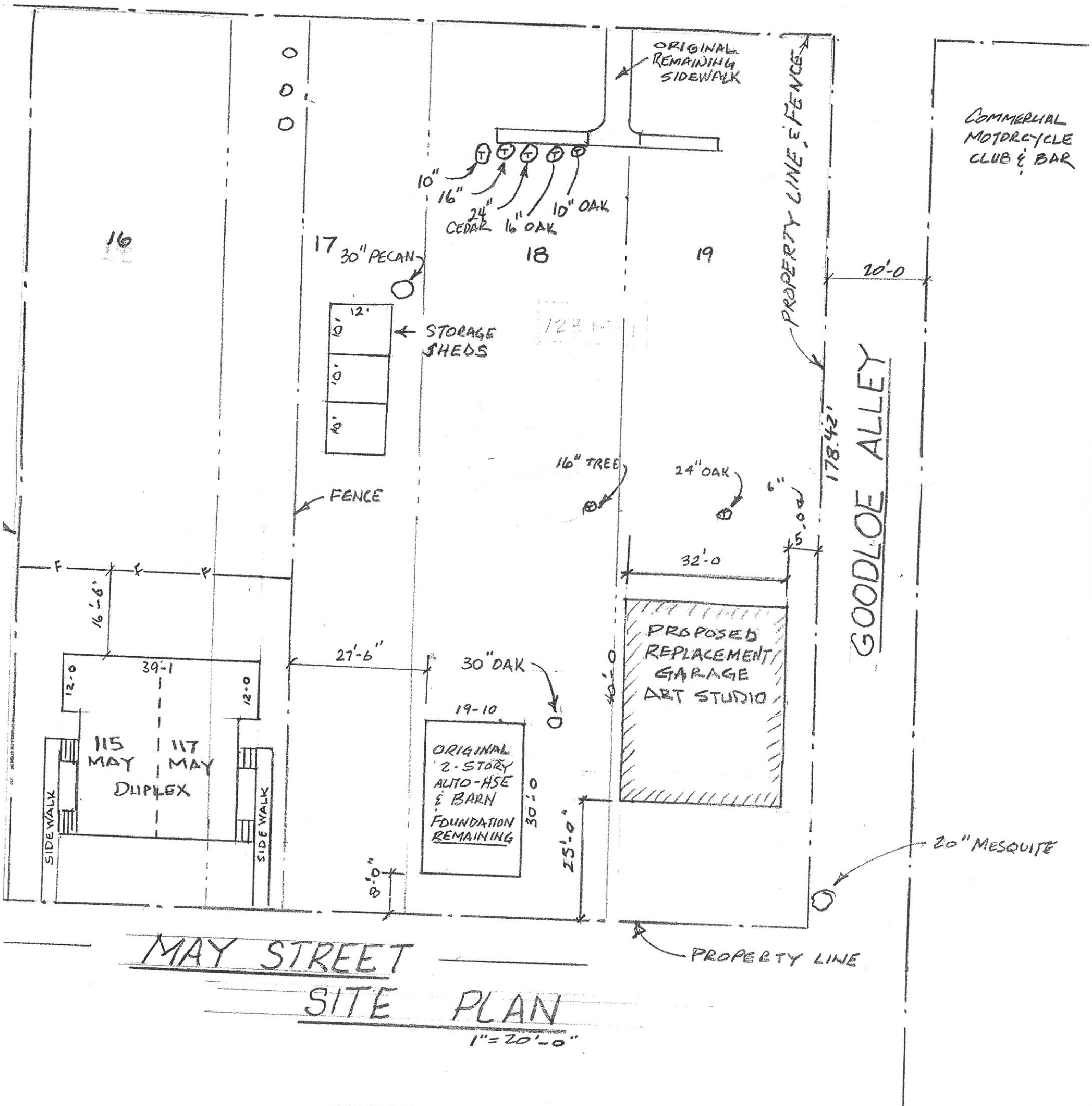
Mailing Address: 4823 CHEDDER DR, SAN ANTONIO, TX 78229-5303

Property  
Appraised Value: \$28,570.00

DISCLAIMER

© N. Harris Computer Corporation

E. HOUSTON STREET



PROPOSED GARAGE REPLACEMENT

SCALE: 1" = 20'-0"

APPROVED BY:

DATE: 9-24-15

DRAWN BY L. DRUM

REVISED

SITE PLAN & BLDG LAYOUT

123 MAY - SAN ANTONIO, TX 78203

DRAWING NUMBER





VIEW SUBJECT LOT FROM HOUSTON CORNER AT GOODLOE ALLEY





VIEW SUBJECT LOT FROM MAY ST. TOWARD HOUSTON/GOODLOE ALLEY CORNER





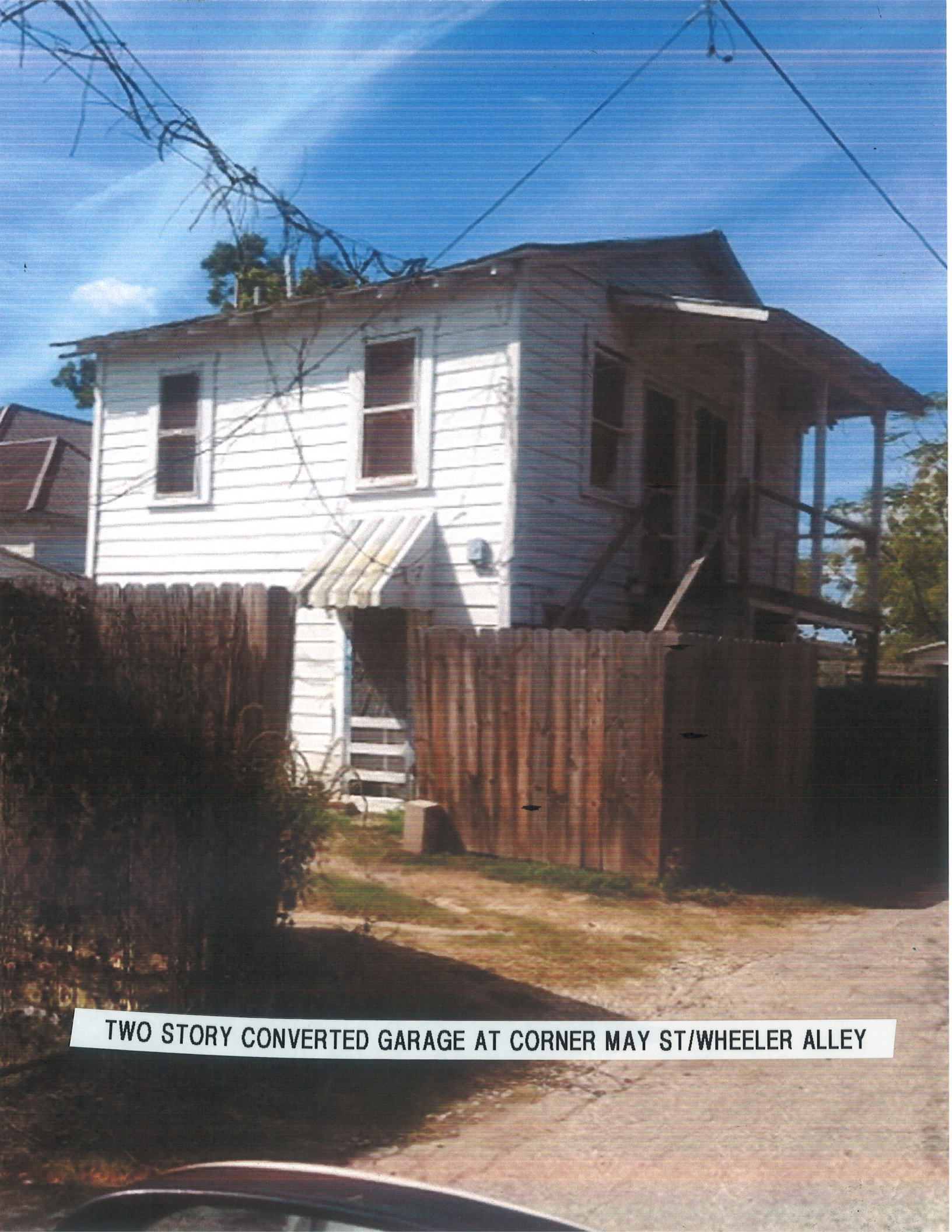
VIEW SUBJECT LOT FROM HOUSTON ENTRY SIDEWALK TO ORIGINAL HOME





VIEW FROM MAY STREET GARAGES AT BACK OF ORIGINAL HOME AT 1824 E. HOUSTON





TWO STORY CONVERTED GARAGE AT CORNER MAY ST/WHEELER ALLEY



APPLICATION 123 MAY

**SANBORN MAP-CIRCA 1912**

134

1912  
V. 2  
P. 132

136

# STARR

GRAVELED.

8" W. PIPE

ORIGINAL HOME AT  
CORNER OF HOUSTON  
AND GOODLOE ALLEY

**ORIGINAL 2 STORY AUTOHOUSE AND BARN**

# MAY



1912 (corrected 1951)

U. 2

P 132

APPLICATION

123 MAY

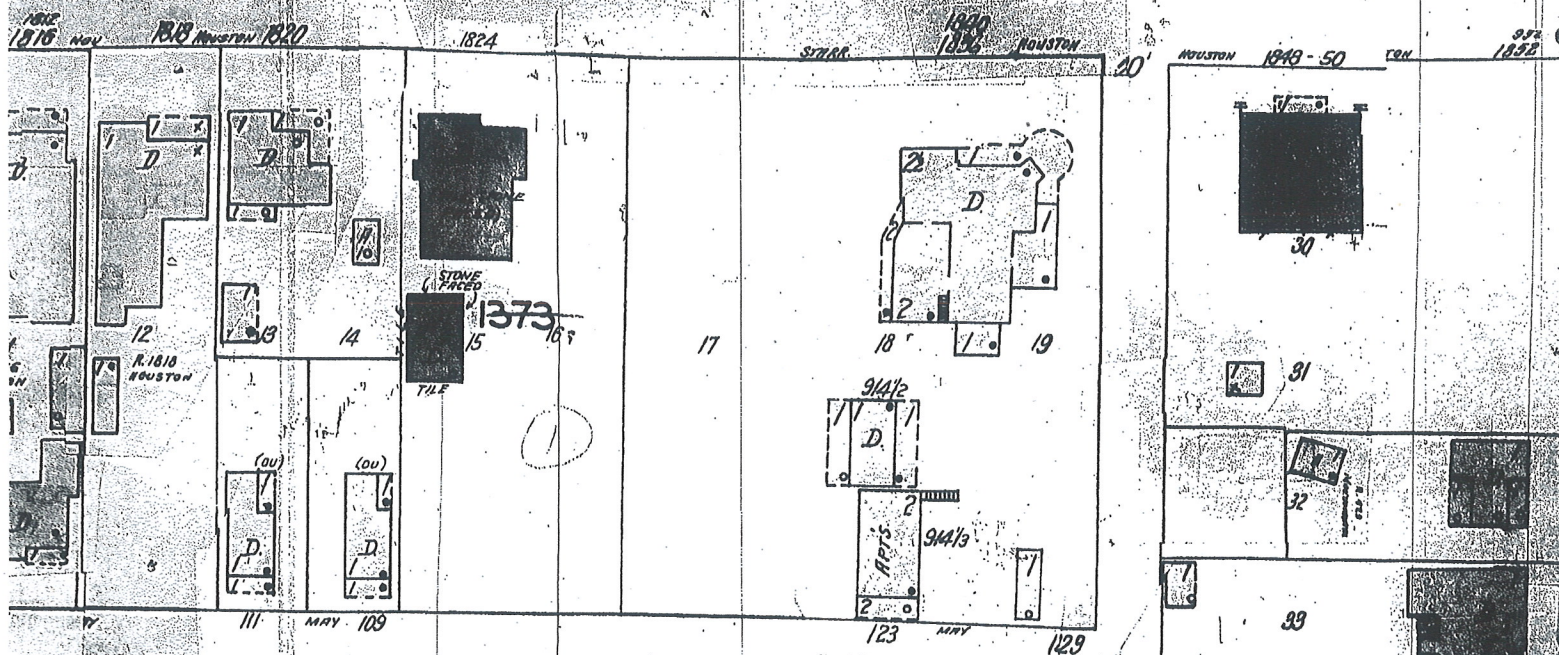
134

SANBORN MAP 1951

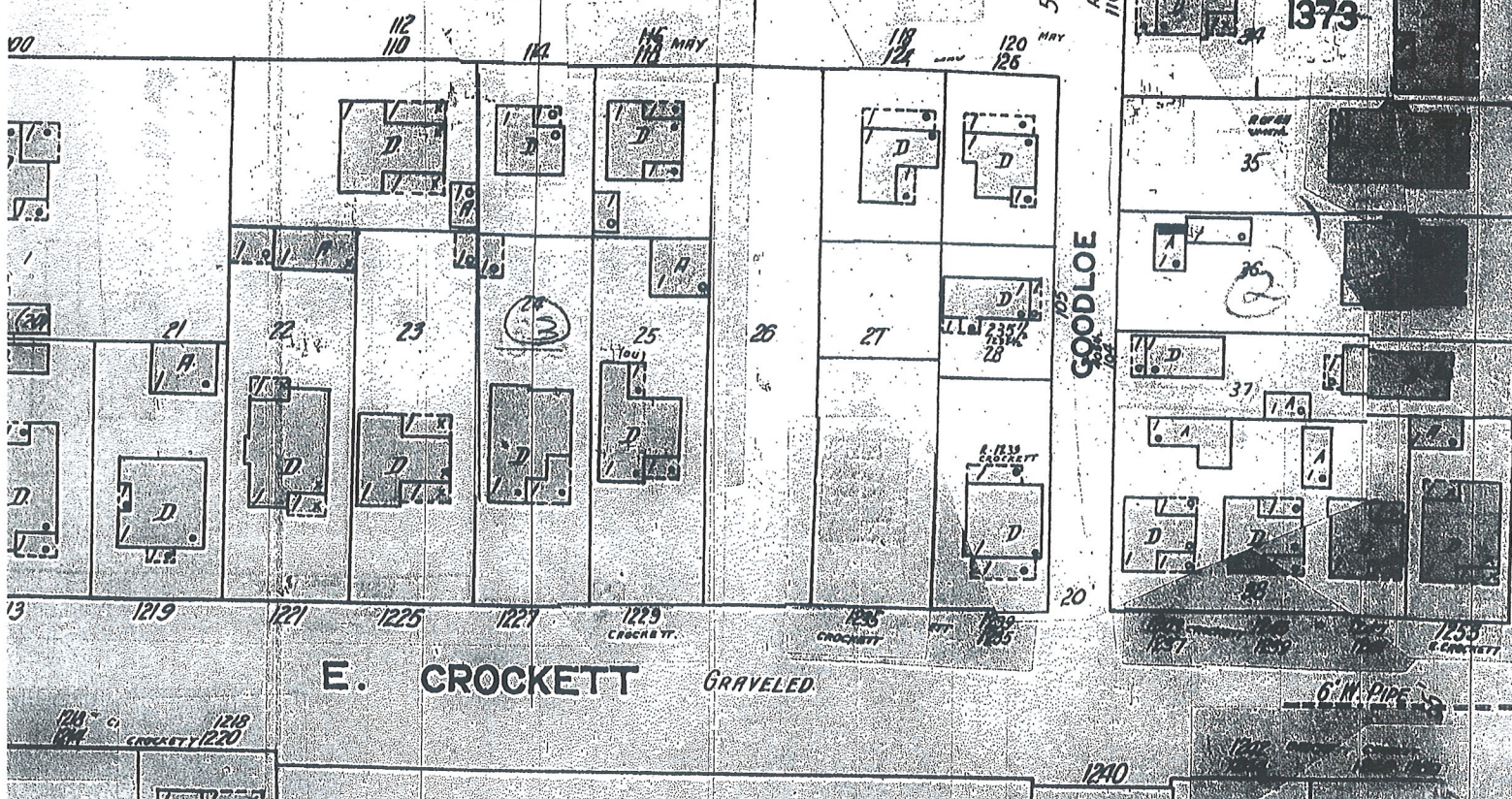
136

E. HOUSTON GRAVELED (STARR)

8" W. PIPE



MAY





# GARAGES & HOBBY BARN



TRADITIONAL WOOD BARN







## GENERAL NOTES AND RECOMMENDATIONS

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAND CREEK POST & BEAM.
  2. THESE DRAWINGS PROVIDE SUGGESTED DESIGNS AND MATERIALS ONLY AND ARE NOT PROVIDED BY AN ARCHITECT OR ENGINEERING FIRM. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO TAILOR THIS PLAN TO YOUR SITUATION. BECAUSE LOCAL CODES VARY, WE SUGGEST YOU TAKE THESE PLANS TO YOUR LOCAL INSPECTOR TO HAVE SURE THEY SATISFY STATE OR LOCAL BUILDING CODES/REGULATIONS, THE PROJECTS SURROUNDING REQUIREMENTS, AND/OR EXISTING CONDITIONS SPECIFIC TO THE SITE. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS COMPANED WITH THIS SET OF PLANS AND APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE MORE STRINGENT PROVISION BE FOLLOWED DURING CONSTRUCTION. VARIATIONS PRECARED BY LOCAL BUILDING OFFICIALS SHALL NOT BE BINDING ON THE DESIGNER OR SAND CREEK POST & BEAM.
  3. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE SAND CREEK POST & BEAM CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
  4. USE WRITTEN DIMENSIONS. DO NOT USE SCALED DIMENSIONS. IF DIMENSION IS NEEDED CONSULT SAND CREEK POST & BEAM BEFORE PROCEEDING.
  5. ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESCRIBED FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
  6. ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN UNLESS NOTED. SILL PLATE IS 2X6 EASTERN RED CEDAR. WE RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE.
  7. WHERE FEASIBLE, INSTALL THE BOLTS IN THE PLATE JOINTS SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARN. THE SINGING OR FRAMING MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
  8. VERIFY WINDOW AND DOOR ROUGH OPENINGS BEFORE FRAMING.
  9. WE RECOMMEND A 1/2" BREAKER BOARD BE INSTALLED AT SIDING SPACES. WE RECOMMEND THAT THE CONTRACTOR INSTALL 2 FLASHINGS & ALL BREAKER BOARD LOCATIONS. IF 2 FLASHING IS INSTALLED IT IS TO BE PROVIDED BY GENERAL CONTRACTOR.
  10. EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING TO BE PROVIDED BY CONTRACTOR OR GENERAL CONTRACTOR.
  11. BE AWARE THAT EXCESSIVE LOADS PLACED IN THE LOFT MAY CAUSE STRUCTURAL DAMAGE.
  12. ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE SAND CREEK POST & BEAM MATERIALS LIST ARE TO BE PROVIDED BY THE OWNER.
- ERECTION SHEET NOTES:**  
THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ACCURACY AND SAFETY OF ERECTION BRACING, SICKING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

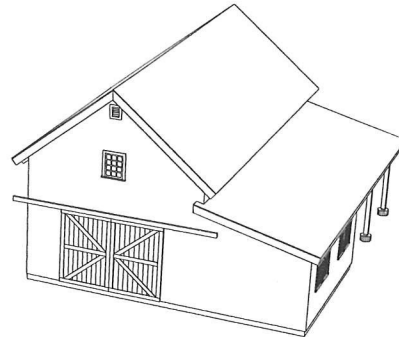
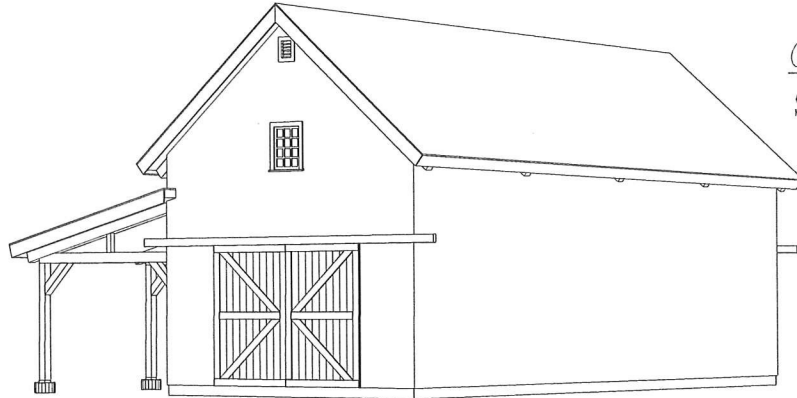
**FOUNDATION NOTES:**  
LOCAL BUILDING CODE SPECIFICATIONS TAKE PRECEDENCE OVER THE STANDARD INFORMATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER OR ON SITE FOUNDATION CONTRACTOR TO SHORTLY THE LOCAL BUILDING CODE REQUIREMENTS. SOIL CONDITION, FROSTLINE, DEPTH, LOCAL CODES, HEIGHT, CONDITIONS, AND GRADE VARIATION TO BE DETERMINED FROM DETERMINATION FACTOR IN SINKS OF FOOTINGS AND RELATED DETAILS. FOOTINGS AND DETAILS SHOWN ARE FOR ILLUSTRATION ONLY. POST AND BEAM FRAMED STRUCTURES TRANSMIT HEAVY CONCENTRATED LOADS THROUGH THE POSTS TO THE FOUNDATION. WE RECOMMEND FOUNDATION DESIGN LINE THIS INTO CONSIDERATION.

### PROJECT LOCATION

ADDRESS: 111 MAY STREET  
SAN ANTONIO, TX 78202

### WOOD TYPE

STRUCTURAL FRAMING: PONDEROSA PINE



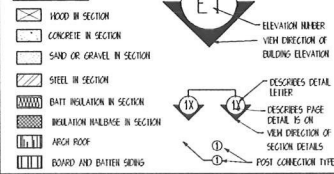
## COVER SHEET

NOTE: COLORED REPRESENTATIONS ON COVER SHEET  
(SHEET # 1) ARE REPRESENTATIONAL ONLY AND ARE  
NOT INTENDED FOR USE AS CONSTRUCTION DRAWINGS

### REVISION HISTORY

REV#	DATE	DESCRIPTION
0	04/08/2024	INITIAL DRAWINGS
1	04/08/2024	---
2	04/08/2024	---
3	04/08/2024	---
4	04/08/2024	---
5	04/08/2024	---
6	04/08/2024	---
7	04/08/2024	---
8	04/08/2024	---
9	04/08/2024	---

### SYMBOLS



### STANDARD ABBREVIATIONS

CONC	CONCRETE	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONC	CONCRETE	NIS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONC	CONCRETE	OH	OVERHEAD
CONC	CONCRETE	SCPS	SAND CREEK POST & BEAM
CONC	CONCRETE	SID	STANDARD
CONC	CONCRETE	TIG	TYPICAL
CONC	CONCRETE	TYP	TYPICAL

**SAND CREEK**  
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: 1 1/2 PONDEROSA BARN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

PH: (402) 833-5800  
FAX: (402) 833-5802  
Toll-Free: 1-888-489-5800

JOB CODE: JOB CODE

REVISION: 0

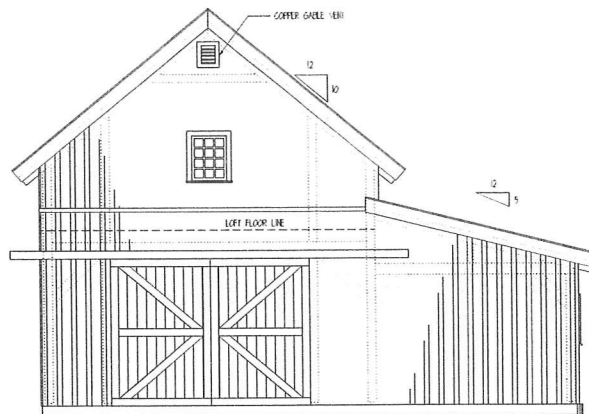
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SHEET #: 1

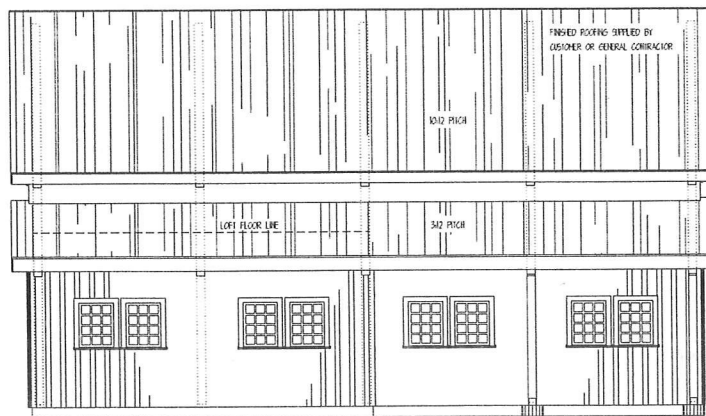
Reviewed  
10-15-15







**E3 REAR ELEVATION**  
SCALE: 1/4" = 1'



**E4 LEFT ELEVATION**  
SCALE: 1/4" = 1'

**SHEET NOTES:**  
1. BREAKER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SCREW LENGTH PROVIDED.  
2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE ADVISED BY CUSTOMER AND GENERAL CONTRACTOR ON SITE.  
3. FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING UNDERLAYMENT PROVIDED BY SAND CREEK POST & BEAM.

**SAND CREEK**  
**Post & Beam**

CUSTOMER: CUSTOMER NAME

STYLE: 1-1/2 PONDEROSA BARN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

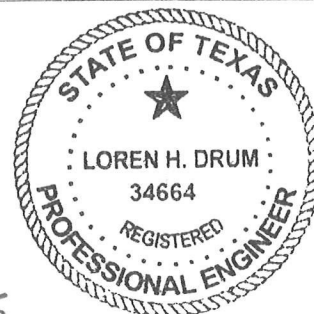
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REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

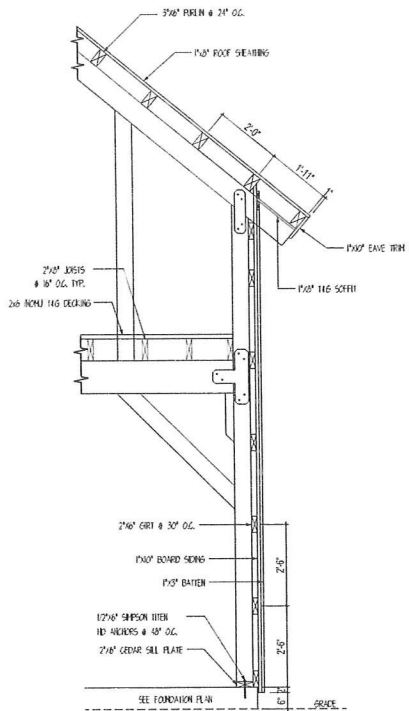
PH: (402) 833-5630  
FAX: (402) 833-5692  
Toll-free: 1-888-489-1883

SHEET #: 3

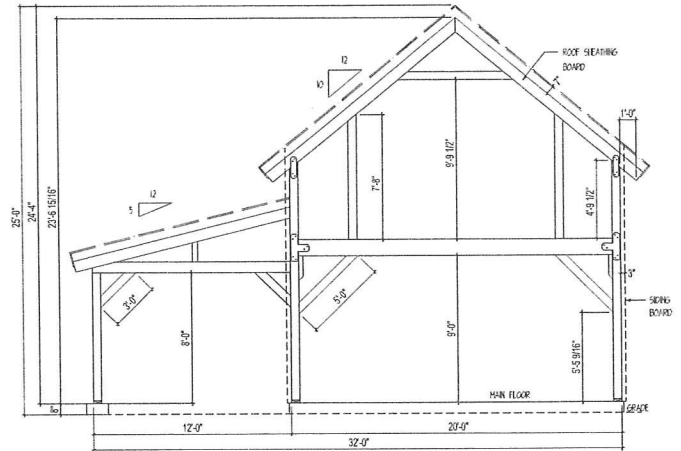


Reviewed  
10-15-15

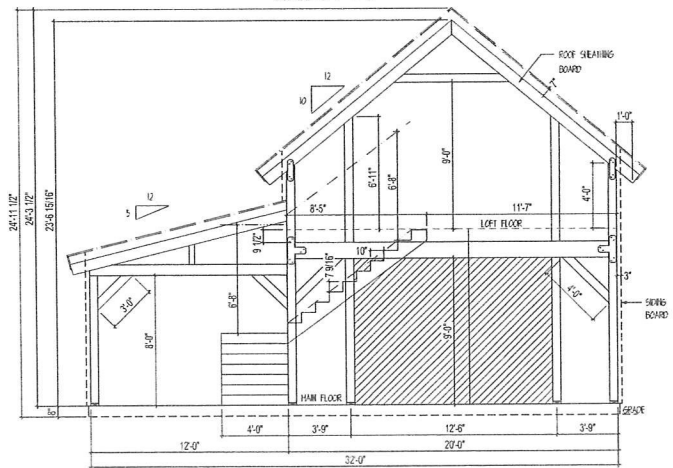




**A** **EXTERIOR WALL DETAIL**  
SCALE: 1/2" = 1'-0"



**TYP. BUILDING SECTION**  
SCALE: 1/4" = 1'



**TYP. BUILDING SECTION**  
SCALE: 1/4" = 1'

**SAND CREEK**  
**Post & Beam**

CUSTOMER: CUSTOMER NAME

STYLE: 1-1/2 PONDEROSA BARN

DRAWN BY: SCBP DRAFTER

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

PH: (402) 833-5610  
FAX: (402) 833-5612  
Toll-free: 1-888-493-1613

SHEET #: 4

JOB CODE: JOB CODE

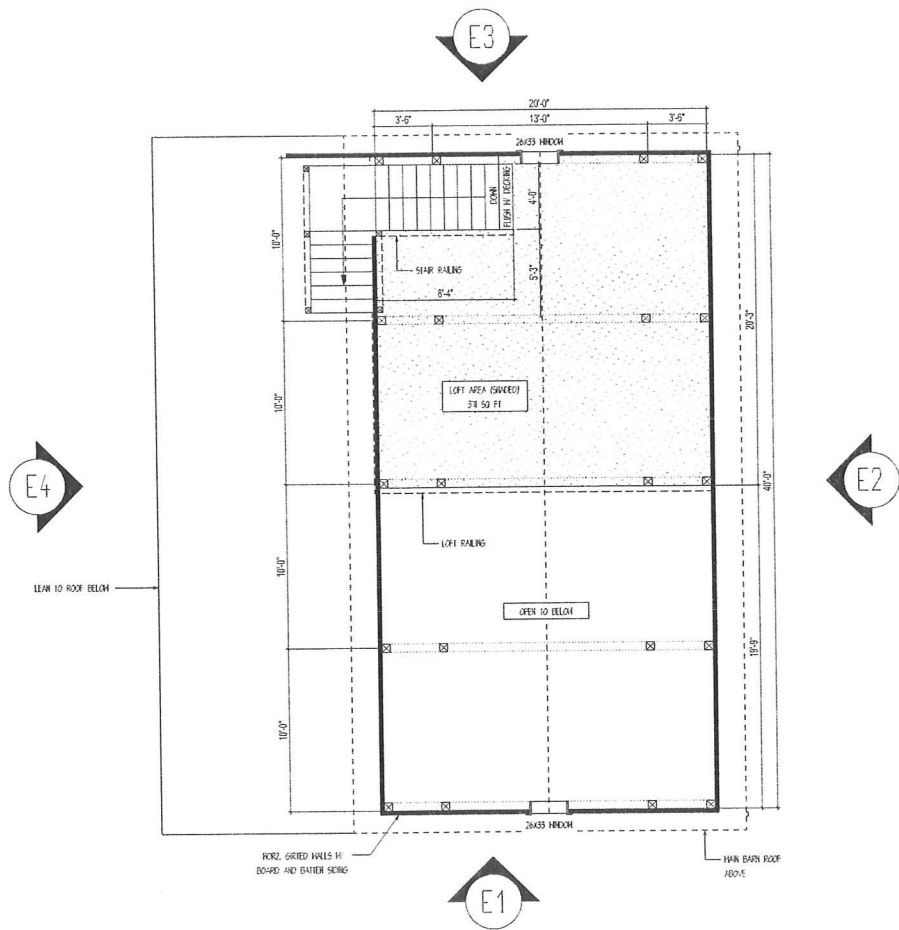
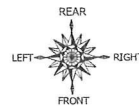
REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

*Reviewed*  
*10-15-15*



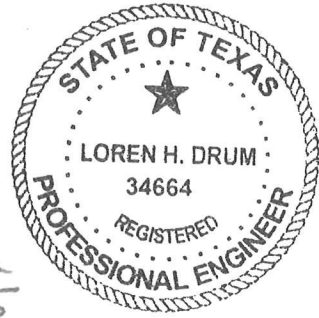




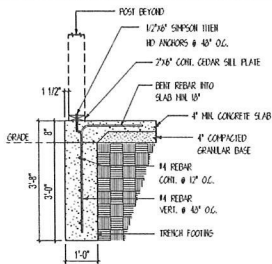
**SHEET NOTES:**  
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.  
2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.  
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FLOORS ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.  
4. EXTERIOR OPENING, VENT OPENING, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CUSTOMER/GENERAL CONTRACTOR.  
5. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATION TO BE DETERMINED BY THE CUSTOMER AND GENERAL CONTRACTOR.

**LOFT FLOOR LAYOUT**  
SCALE 1/4" = 1'

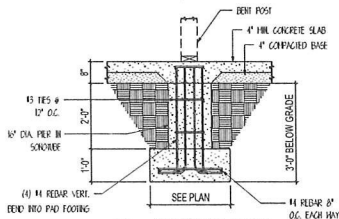
<b>SAND CREEK Post &amp; Beam</b>	CUSTOMER: CUSTOMER NAME JOB CODE: JOB CODE	STYLE: 1-1/2 PONDEROSA BARN REVISION: 0	DRAWN BY: SCFB DRAFTER DRAWING STATUS: NOT FOR CONSTRUCTION	SAND CREEK POST & BEAM 116 W. 1st St WAYNE, NE 68787 PH: (402) 833-5633 FAX: (402) 833-5632 Toll-free: 1-888-489-5632	SHEET #: 6
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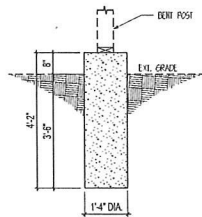
Reviewed  
10-15-15



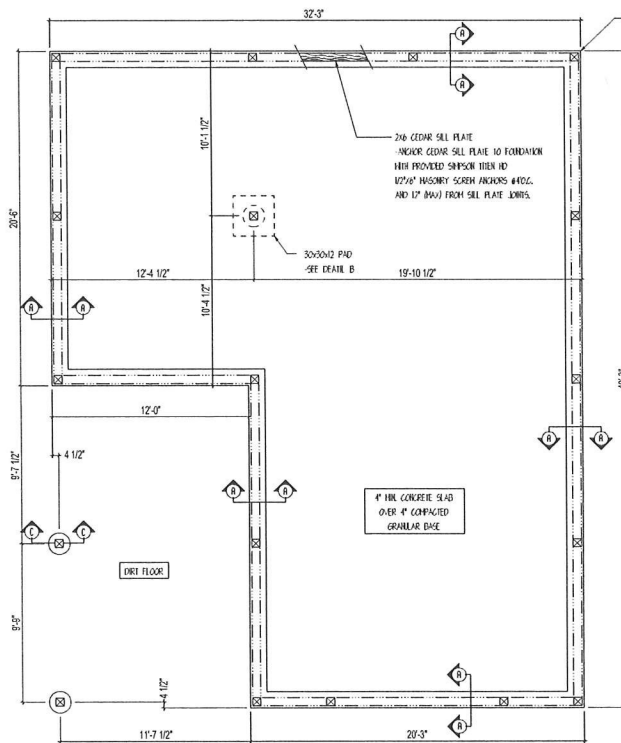
**A FOUNDATION DETAIL**  
SCALE: 1/2" = 1'-0"



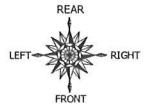
**B FOUNDATION DETAIL**  
SCALE: 1/2" = 1'-0"



**C FOUNDATION DETAIL**  
SCALE: 1/2" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'



ALL DIMENSIONS ON FOUNDATION PLAN ARE BASED FROM EDGE OF CONCRETE. CONCRETE EXCEEDS 1/2" PAST PERIMETER POSTS ON ALL EXL. SIDES FOR GRY LEDGE (SEE DETAIL A)

**SEEN NOTES**

1. FOUNDATION DIMENSIONS TO BE VERIFIED BY GENERAL CONTRACTOR BEFORE ERECTION OF FRAME.
2. CHECK LOCAL CODE FOR MINIMUM FOOTING DEPTH.
3. REFER TO COVER SHEET FOR FURTHER INFORMATION ON FOUNDATION AND FLOOR.

**MASONRY ANCHOR INFORMATION**

NOTES:

1. USED FOR POST ATTACHMENT.
2. USED TO ATTACH CEDAR SILL TO CONCRETE.
3. USE 1/2" DIA. MASONRY BIT TO PRE-DRILL.

SIMPSON STEEL ANCHOR 1/2" DIA. X 8" MASONRY ANCHOR BOLT MODEL NO. HESK0000100-15 LSR 2710

**SAND CREEK Post & Beam**

CUSTOMER: CUSTOMER NAME

STYLE: 1-1/2 PONDEROSA BARN

DRAWN BY: SCPB DRAFTER

SAND CREEK POST & BEAM  
116 W. 1st St  
WAYNE, NE 68787

JOB CODE: JOB CODE

REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION

PH: (402) 833-5600  
FAX: (402) 833-5602  
Toll-Free: 1-888-489-1600

SHEET #: 7



Reviewed  
10-15-15













## Sand Creek Post & Beam Product Warranty

### SAND CREEK POST & BEAM, INC. LIMITED WARRANTY

Sand Creek Post & Beam products are designed to comply with or exceed most building code standards. Sand Creek Post & Beam, Inc. warrants to the original purchaser of this product that, should there be any defects in the design, material or workmanship during the first year after purchase, Sand Creek Post & Beam, Inc. will repair or replace the defective component(s) at its option. Sand Creek Post & Beam Inc.'s warranty does not apply to components or materials resold by Sand Creek Post & Beam, Inc. in the original condition as received from the manufacturer or distributor, nor to damage caused by shipping (unless shipped by Sand Creek Post & Beam, Inc.).

Sand Creek Post & Beam products are made from natural materials. As such there are inherent imperfections that may be present such as knots and cracks. Some checking of the posts and beams are a normal, natural part of the drying process and add to the charm of the overall product.

To insure your maximum satisfaction, please read and follow the procedures set forth in the Construction Guide and any related instructions which accompany the product. Failure to follow the Construction Guide or any related instructions, and any abuse or misuse of the product including unauthorized alterations, will void this Limited Warranty. Sand Creek Post & Beam, Inc. will not be responsible for damage caused by the location of the product on or over inappropriate soils or terrain, improper or prolonged storage of product or by the use of improper replacement parts. THIS LIMITED WARRANTY IS BEING MADE IN PLACE OF ALL OTHER EXPRESS WARRANTIES AND IN PLACE OF ALL IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS. THIS LIMITED WARRANTY IS IN LIEU OF ALL OBLIGATIONS OR LIABILITIES ON THE PART OF SAND CREEK POST & BEAM, INC. FOR DAMAGES, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES ARISING OUT OF OR IN CONNECTION WITH THE USE OF THE PRODUCT.

Some states do not allow limitations on how long an implied warranty lasts, so the above limitation may not apply to you. Some states do not allow the exclusion or limitation of incidental and consequential damages, so the above limitation or exclusion may not apply to you.

This Limited Warranty gives you specific legal rights and you may also have other rights which vary from state to state.

June, 2006

#### NOTE:

Title to Sand Creek Post & Beam, Inc. products passes to the purchaser when products are picked up at the factory by the purchaser or by common carrier, or when products are delivered by Sand Creek Post & Beam to the purchaser.

When placing or re-selling a Sand Creek Post & Beam building(s), it is the obligation of the purchaser and not that of the seller to observe applicable local codes and regulations.

Customer Initial

Cy