

HISTORIC AND DESIGN REVIEW COMMISSION

October 21, 2015

Agenda Item No: 8

HDRC CASE NO: 2015-273
ADDRESS: 151 GRAMERCY PL E
LEGAL DESCRIPTION: NCB 6382 BLK 2 LOT 42, 43,44 & 45
ZONING: R5 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Timothy Turner
OWNER: Timothy Turner, Elizabeth Turner
TYPE OF WORK: Conceptual approval of front yard fence, roof modification, gutter installation, and rear landing / ADA ramp

REQUEST:

The applicant is requesting conceptual approval for the following work at 151 E Gramercy Place:

1. Install wrought iron fence with stone pillars across the front yard and along Gramercy driveway. The proposed pillars will be 55" tall and the fence posts 52" tall;
2. Modify the roof of a small addition at the northeast corner of the house to match the bellcast or flared portion of the historic roof. A low sloped section over the addition will tie the new bellcast portions into the original valley;
3. Install gutters around the perimeter of the house using a roof-mounted hangar system. The original fascia and trim will not be modified to accommodate the gutters; and
4. Expand and modify the existing rear landing and stairs at rear kitchen door to include a new landing, ADA ramp, and circular stairway. The proposed landing and ramp will be wood framed with piers located at least 12" from the house walls. Final flooring materials have not been selected by the applicant. The wall materials will be salvaged rubble stone to match the home.

APPLICABLE CITATIONS:

Unified Development Code Sec. 35-514 Fences

(a) General

(5) If the subject property is within a historic district, corridor overlay or a neighborhood conservation district the director of planning and community development must make a finding of compliance and compatibility with the provisions of the historic, corridor and/or neighborhood conservation district prior to issuance of a building permit for any fence.

(c) Fence Design

(1) No fence or wall, other than the wall of a permitted structure, shall be erected or altered in any front yard (that area which lies between the front lot line and that of the nearest principal structure) to exceed a height of four (4) feet with the fence or wall to be so constructed that vision will not be obscured above a height of three (3) feet. Except as otherwise permitted in this chapter no fence or wall, other than the wall of a permitted structure, shall be erected or altered in any side or rear yard to exceed a height of six (6) feet. This subsection shall not apply to fences erected as required by chapter 16, article VII of this Code (Salvage Yards and Auto Dismantlers), or in section 35-510 of this chapter.

Table of Heights

Maximum Permitted Fence Heights

Permitted Use	Front Yard	Side Yard	Rear Yard
Single-Family Use	3'0" solid fence 4'0" combined or	6'0"	6'0"

	predominantly open fence Except as provided by (b)(2)		
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Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

- i. *Preserve*—Retain historic fences and walls.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

5. Sidewalks, Walkways, Driveways, and Curbing

8. Americans with Disabilities Act (ADA) Compliance

B. ENTRANCES

- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.

C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.

FINDINGS:

- a) The HDRC approved several requests made by the applicant on October 21, 2015. The currently-requested items were either denied or referred to an on-site visit by the Design Review Committee. The Design Review Committee met on the property at 151 E Gramercy Place on November 10, 2015. The applicant placed temporary pilasters to provide a mock up of the proposed front yard fence. The applicant noted that the front yard fence would provide much needed security and yard space. It was noted that the design of the fence would be predominately open. One commissioner noted that there were not many historic fences on this block of Gramercy. While the proposed fencing along McCullough was acceptable, there was concern regarding the proposed fence along Gramercy. The committee also reviewed the proposed expanded landing and ADA ramp at the rear of the house. Staff had previously supported the request. The commissioners were concerned with the amount of historic material which would potentially be impacted by the proposal. A suggestion was made to leave a space between the bay window and wall to the south of the proposed ramp to limit the amount of building exterior which would be permanently impacted by the proposal. The commissioners were previously not in support of proposed changes to the original roof line. A less-intrusive solution was recommended which would limit the extent to which the original roof would be altered. Given the new information provided and changes to the previously-denied items, the HDRC may take action on all of the current requests.
- b) In general, site improvements may be performed with little impact to historic resources. However, the addition of new elements such as fencing has the potential to reduce the visibility of buildings within a historic district and alter the streetscape. New site elements should complement, not detract from, historic site elements, the character of the historic structure they serve, and the surrounding district. When considering specific site elements, the surrounding context is important, since the integrity of various elements varies from block-to-block.
- c) The Guidelines for Site Elements recommend avoiding installing fences in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. Throughout the Monte Vista Historic District, most residential properties do not have front yard fences. Sloping, open lawns are the typical way properties in this district meet the street. Two houses on this block of Gramercy (106 and 135 W Gramercy) feature low, ornamental fences in the front yards. However, these properties are not within close enough proximity to 151 E Gramercy to warrant a similar installation. In addition, according to Section 35-514 of the Unified Development Code the maximum allowable fence height on a front yard is 4ft. The proposed fence will exceed the UDC allowable height, and if approved by the HDRC, its construction may require a variance.
- d) The applicant wishes to alter the existing roof form in order to remove a flat-roof condition at an addition to the northeast corner which is prone to water infiltration and to resolve a condition which prevents the installation of gutters on the house. Consistent with the Guidelines for Exterior Maintenance and Alterations, the original shape, line, pitch, and overhang of historic roofs should be preserved when replacement is necessary. Alteration of the roof on the 1957 addition is appropriate and consistent with the guidelines. Staff finds that the proposed alterations will minimally impact the original roof line and will not be easily viewed from the street. The gutters can be installed with no permanent impact to the fascia and will not obscure any architectural details.
- e) According to the Guidelines for Site Elements, damage to the historic character and materials and modifications to existing door openings should be minimized when compliance with accessibility requirements is necessary. In addition, new ramps should be located at the side or rear of the building, designed to complement the historic character of the building, be visually unobtrusive to minimize visual impact, and be screened from view. The proposed modifications to the rear kitchen door landing and entrance are consistent with the guidelines in terms of their location. Similar proposals are often found to be appropriate when they do not impact a primary façade. The existing stone knee wall which defines the northern side of the landing will be maintained in place, while the remainder will be removed to accommodate the expanded landing and ramp. While alterations to the original landing and stairs are necessary in order to execute the proposed changes, the overall proposal does not impact a primary façade and the proposed landing and ramp can be removed with little impact to the exterior walls.

RECOMMENDATION:

1. Staff does not recommend approval of a front yard fence based on finding c.
- 2-3. Staff recommends approval of the roof modifications and gutters based on finding d.
4. Staff recommends approval as submitted based on finding e.


CASE COMMENT:

The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514.

CASE MANAGER:

Cory Edwards

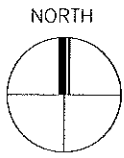




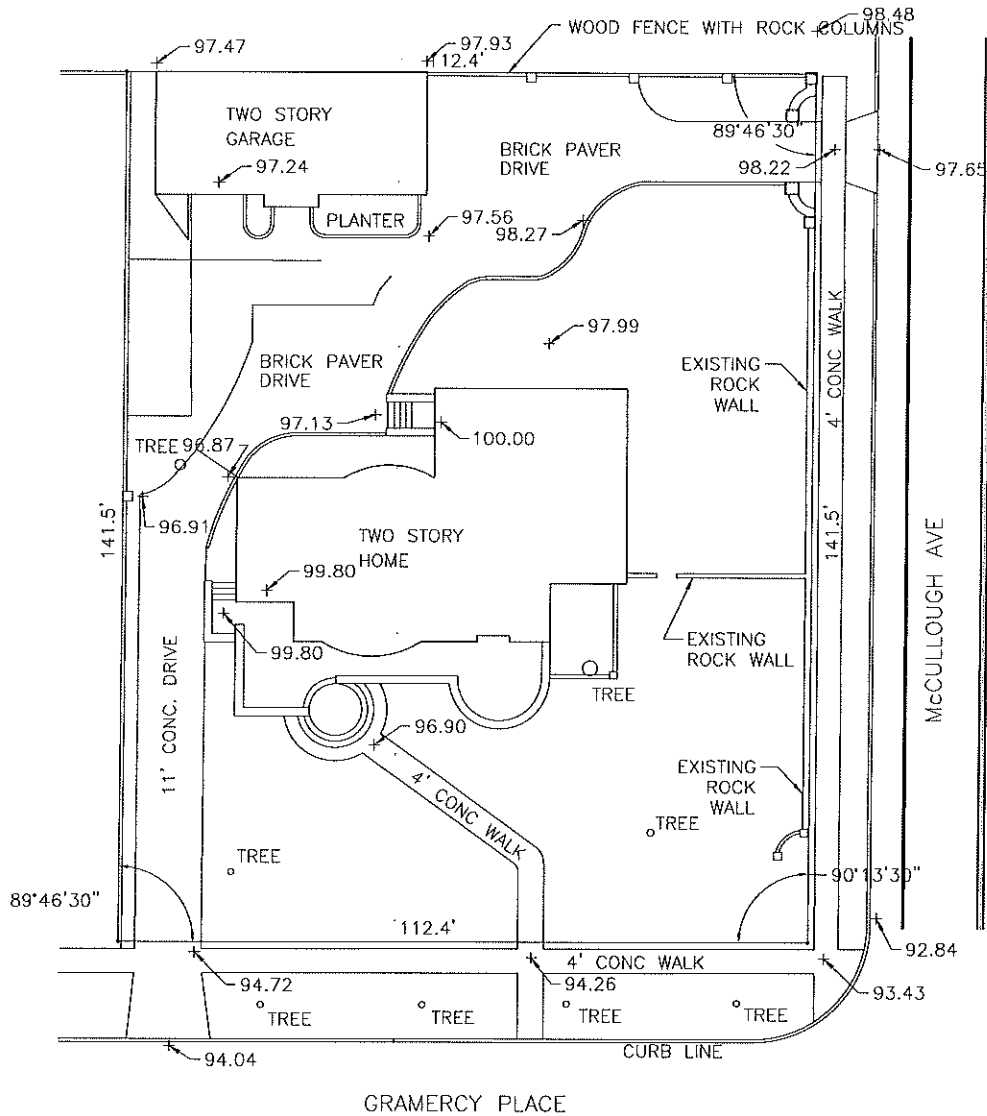
151 E Gramercy Pl

Printed: Nov 13, 2015

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SCALE: 1"=30'



GRAMERCY PLACE



Flores Technical Services
6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
(210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 07/02/13
REVISIONS

SHEET TITLE

- 312 - Existing Site Plan

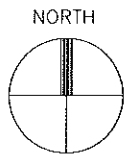
CLIENT

151 East Gramercy
Turner Residence
Site Plan

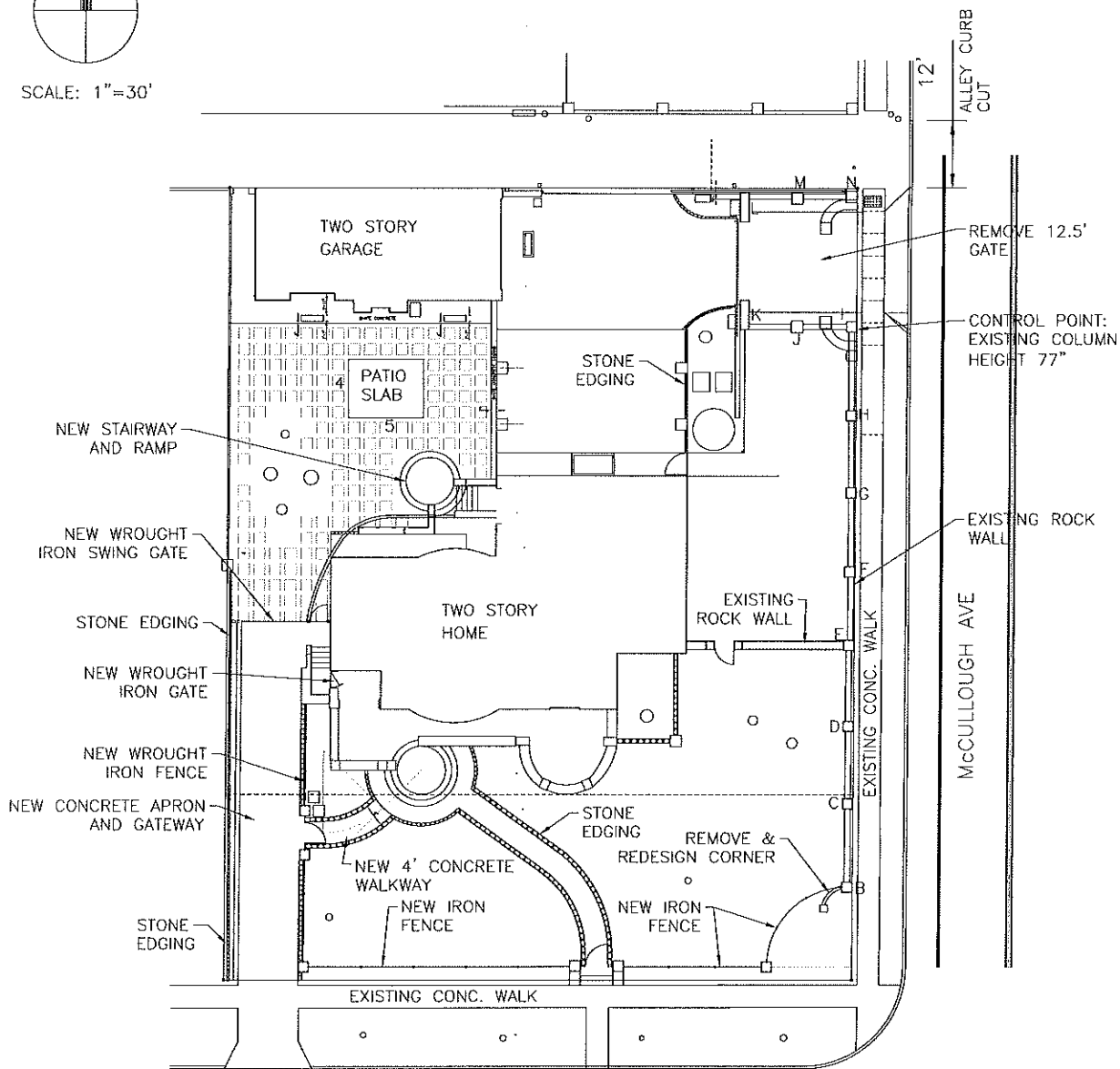
REV. NO.

SHEET

OF



SCALE: 1"=30'



E. GRAMERCY PLACE



Flores Technical Services
6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
(210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 08/08/14
REVISIONS

SHEET TITLE

Proposed Site Plan
- 317 -

CLIENT

151 East Gramercy
Turner Residence
Site Plan

REV. NO.

SHEET

OF



Flores Technical Services
 6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
 (210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 08/28/12
REVISIONS

SHEET TITLE

Existing South Elevation

CLIENT

151 East Gramercy
 Turner Residence
 Photo Elevation

REV. NO.

SHEET

OF



Flores Technical Services
 6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
 (210) 732-2233

PROJECT NO.	
DRAWN	FTS
DESIGNED	
CHECKED	
DATE	08/28/12
REVISIONS	

SHEET TITLE

Existing East Elevation

CLIENT

151 East Gramercy
 Turner Residence
 Photo Elevation

REV. NO.

SHEET

OF



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(210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 08/28/12
REVISIONS

SHEET TITLE

Existing East Elevation

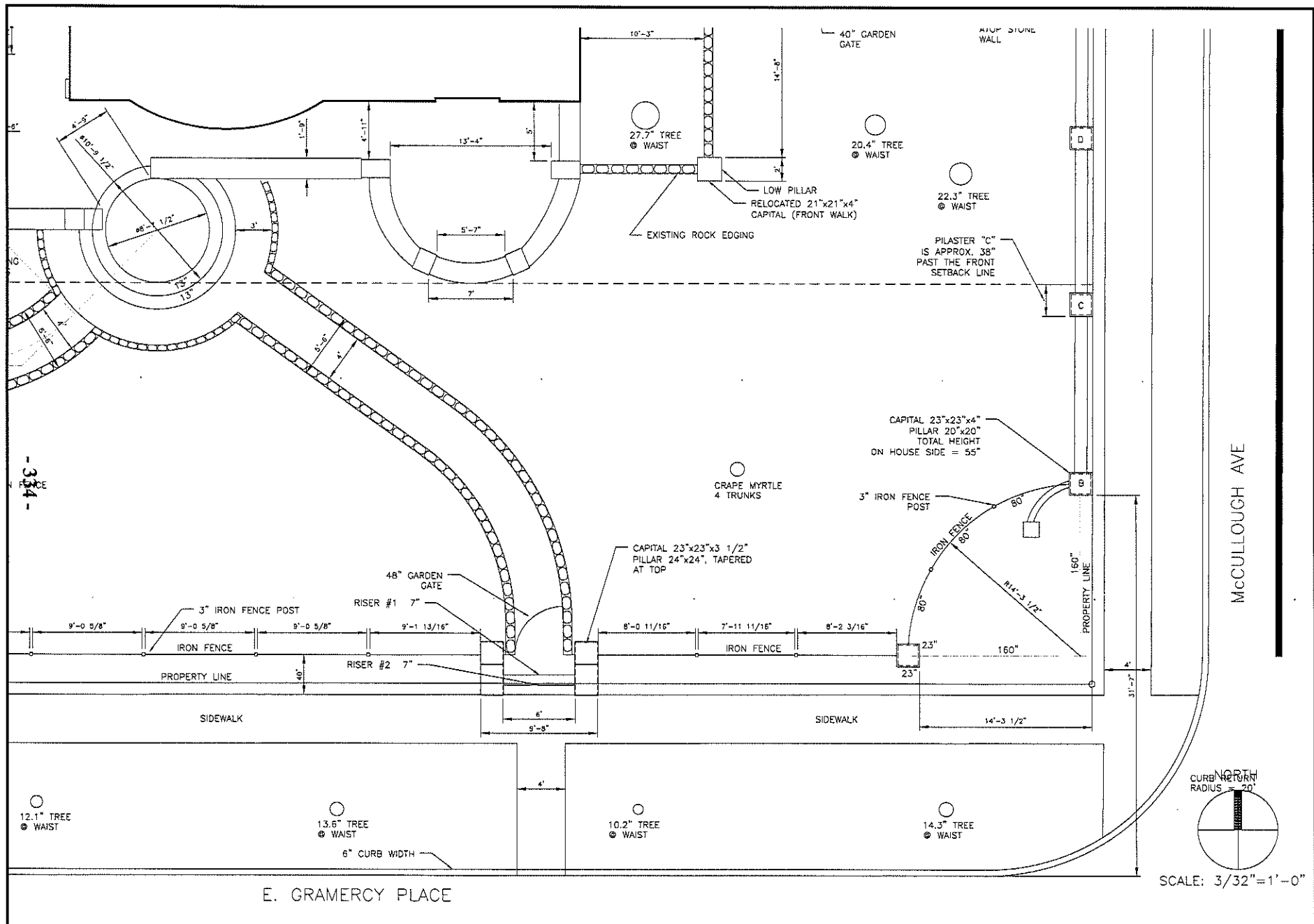
CLIENT

151 East Gramercy
Turner Residence
Photo Elevation

REV. NO.

SHEET

OF



Flores Technical Services
 6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
 (210) 732-2233

PROJECT NO.	FTS
DRAWN	T.T.
DESIGNED	T.T.
CHECKED	
DATE	08/08/14
REVISIONS	

SHEET TITLE

South Site Plan - East

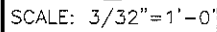
CLIENT

151 East Gramercy
 Turner Residence
 Site Plan

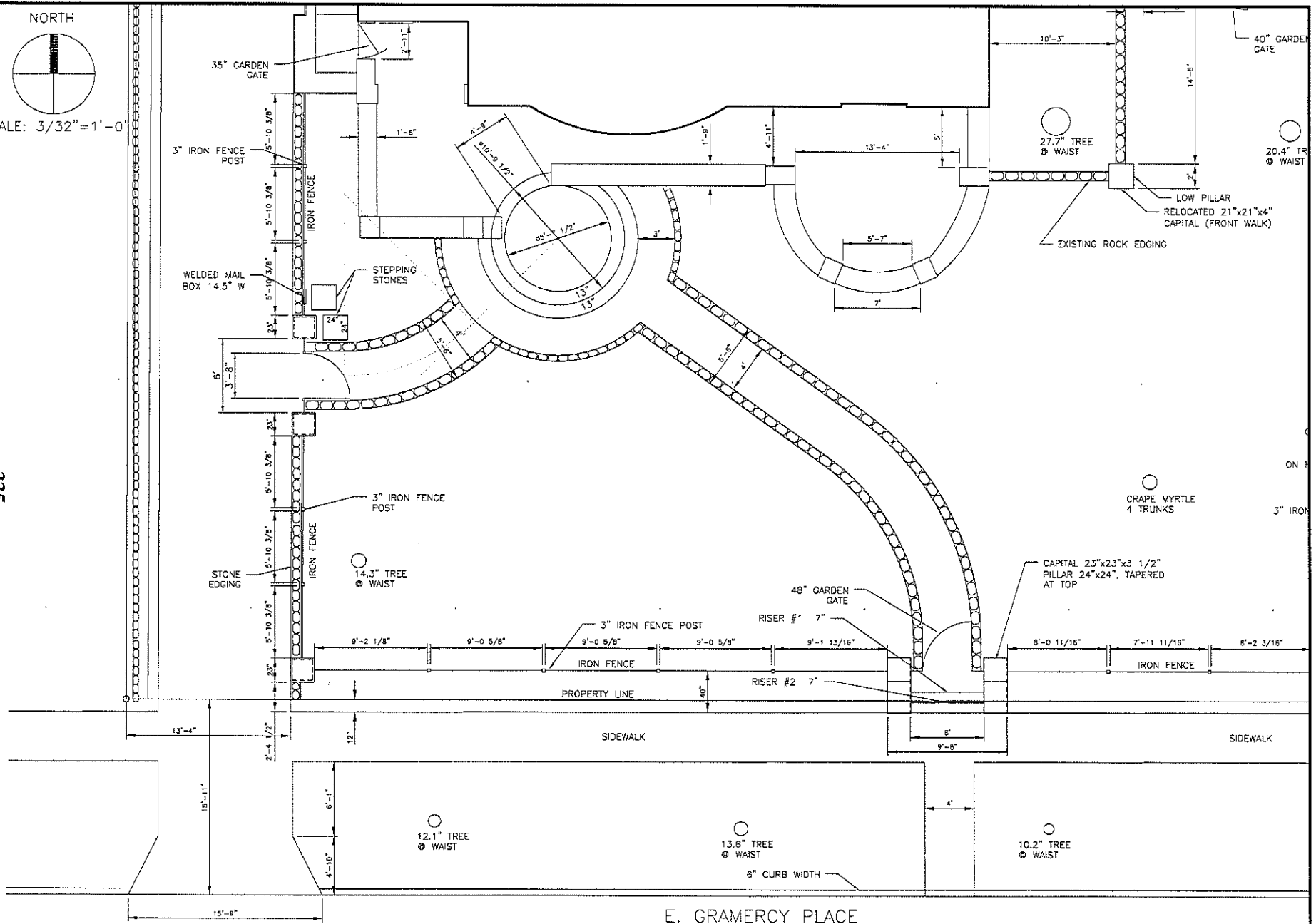
REV. NO.

SHEET

OF



- 335 -



E. GRAMERCY PLACE



SHEET TITLE

South Site Plan - West

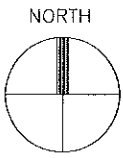
CLIENT	
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151 East Gramercy
Turner Residence
Site Plan

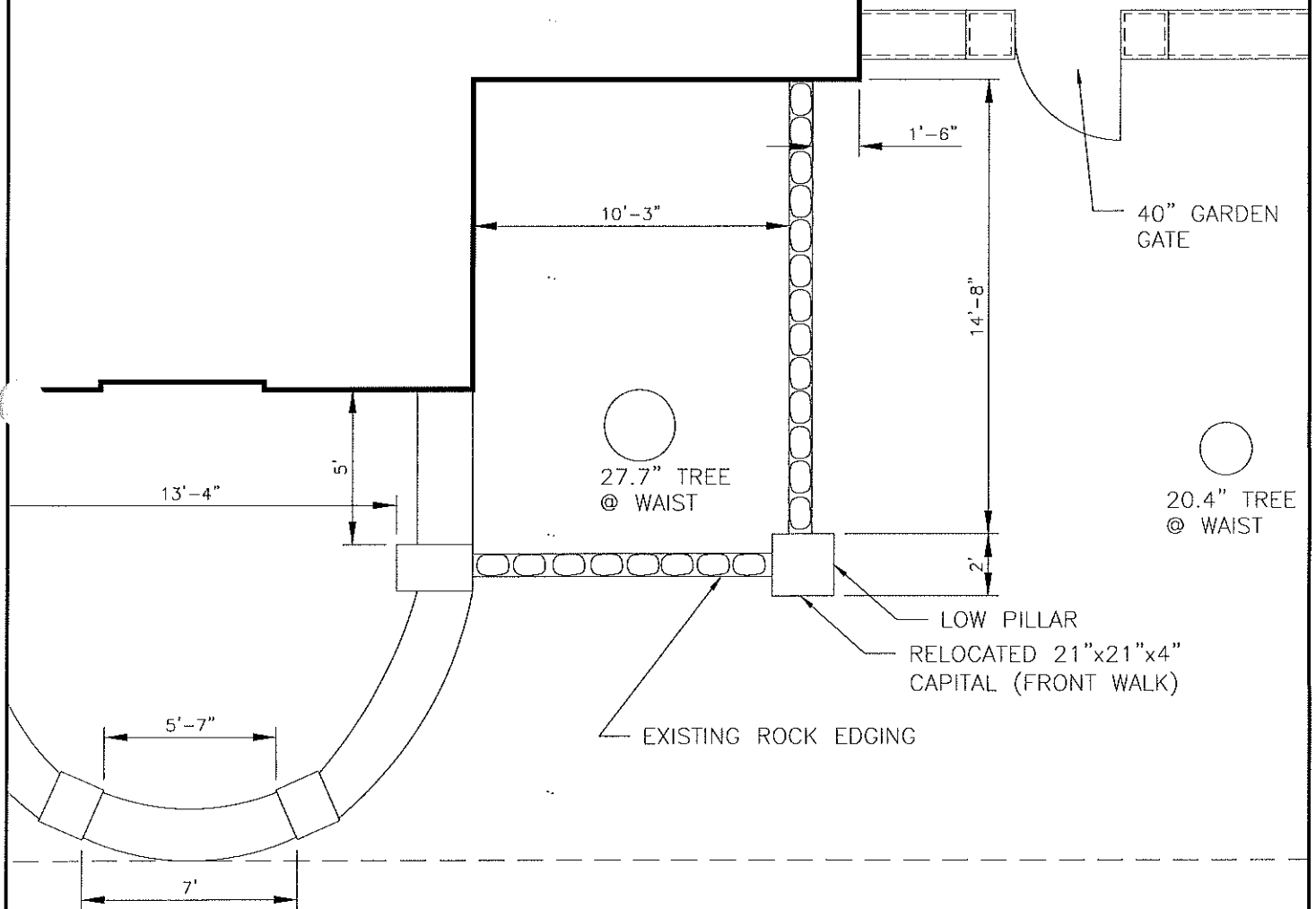
REV. NO.

SHEET

OF



SCALE: 3/16"=1'-0"



Flores Technical Services
6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
(210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 08/08/14
REVISIONS

SHEET TITLE

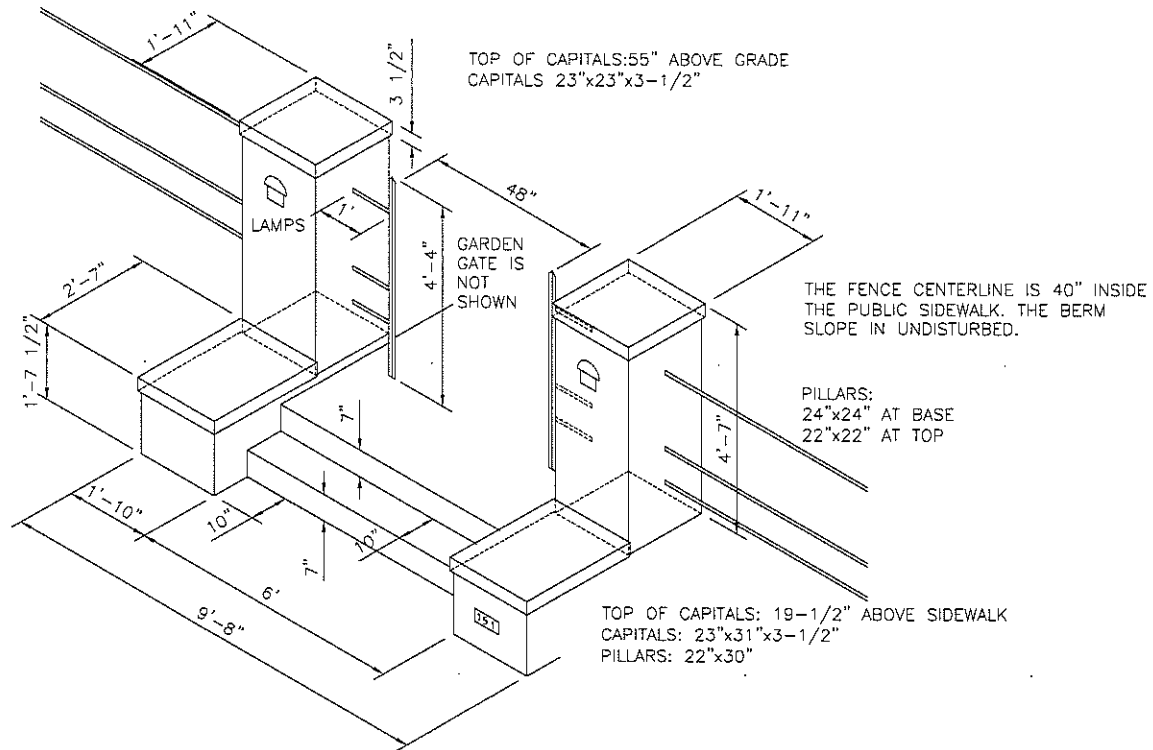
Proposed Southeast Porch
Stairway: Site Plan
- 340 -

CLIENT

151 East Gramercy
Turner Residence
Site Plan

REV. NO.

SHEET
OF



Flores Technical Services
 6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
 (210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 03/04/15
REVISIONS

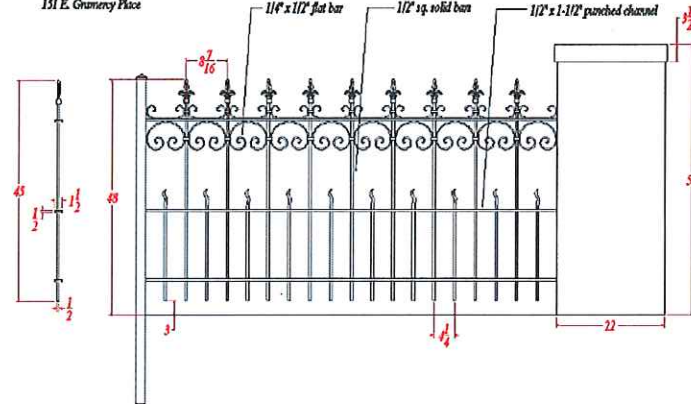
SHEET TITLE
Proposed Front Gate

CLIENT
151 East Gramercy Turner Residence
Isometric

REV. NO.
SHEET
OF

Ornamental Ironwork Design

Oscars®
CUSTOM IRON WORKS
1329 - LEWIS & CLARK BLVD. SUITE 2000
Custom Made Wrought-Iron
Fence For: Tim Turner
151 E. Grumery Place



Oscar's Custom Iron Work (Oscar Hernández, Jr.) has prepared a basic design of the fence, based on information provided by the owner.

The gates would be based on this style.



The fence at left is at 306 Belknap Pl, Monte Vista Historic District



The fence at left is at E 530
Olmos Dr



132 Park Hill Dr

HDRC HEARING ON NOVEMBER 18, 2015

151 E Gramercy Pl

Continuation of my proposal #41 (HDRC Item #7) heard originally on October 21, 2015
(Case 18)

41. Install an ornamental iron fence across the front yard and along the Gramercy driveway. This includes the construction of six uncoursed rubble stone pillars.

In addition to Table 18-1, see pages 335, 341 and 342. The ironwork elements will have an integrated design. See also Table 18-3. Because Ms. Miller does not make OHP records available to the public, one is unable to investigate whether these were granted COAs.

Table 18-3: Monte Vista Historic District properties with full front yard fences (not an exhaustive listing)			
NO	STREET	NO	STREET
306	Belknap Pl	101	Laurel Heights Pl
417	Belknap Pl	207	Laurel Heights Pl
103	Bushnell Ave	218	Laurel Heights Pl
104	Bushnell Ave	250	Laurel Heights Pl
126	Bushnell Ave	3602	McCullough Ave
155	Bushnell Ave	3618	McCullough Ave
307	Bushnell Ave	2611	N Main Ave
142	E Agarita Ave	107	Oakmont Ct
121	E Ashby Pl	501	Shook Ave
116	E French Pl	701	Shook Ave
118	E French Pl	703	Shook Ave
122	E French Pl	115	W Ashby Pl
124	E French Pl	119	W Ashby Pl
130	E French Pl	125	W Ashby Pl
136	E French Pl	305	W Ashby Pl
138	E Hollywood Ave	309	W Ashby Pl
235	E Huisache Ave	515	W Ashby Pl
303	E Huisache Ave	300	W French Pl
406	E Huisache Ave	415	W French Pl
114	E Kings Highway	106	W Gramercy Pl
131	E Kings Highway	135	W Gramercy Pl
112	E Lynwood Ave	211	W Hollywood Ave
146	E Lynwood Ave	214	W Huisache Ave
136	E Mulberry Ave	131	W Lynwood Ave
405	E Mulberry Ave	325	W Lynwood Ave
314	E Rosewood Ave	235	W Mistletoe Ave
422	E Rosewood Ave	239	W Mistletoe Ave
422	E Rosewood Ave	306	W Mistletoe Ave
248	E Summit Ave	204	W Mulberry Ave
249	E Summit Ave	101	W Summit Ave
333	E Summit Ave	336	W Summit Ave

Discussion

There are three proposed site elements and each has its respective height. The pillars are 55” in height (including the capitals); the wrought iron fence posts are 52” in height; and the


pickets (with 2” finials) are 50” in height. The centerline *of the fence* would be 40” inside the public sidewalk, which would make its distance 17.8’ from the curb.

The actual *target height* of each element (pillar, fence posts and pickets) would be 2” lower (thus, 53”, 50” and 48”). The added 2” is based on my awareness of a neighbor project which was delayed for several weeks because of a mean-spirited and baseless complaint. The neighbor had allegedly exceeded the authorized height by 2”. But the project had not yet been backfilled and the complainant had measured from the excavation for the footing, not the finished grade. I want to avoid any such circumstance.

See proposal #37. Maintaining the current centerline *of the walkway* between the front sidewalk and the concrete ring around the terrazzo circular stairway produces two sets of fence segments of different lengths. Segments to the west of the garden gate would be 109” each, while those to the east would be 96.7” each. I believe this would create an unbalanced and unappealing appearance.

By moving the centerline (where it meets the public sidewalk) 23” to the west the length of all fence segments would be equal. I believe this would create a more balanced appearance and this is what we propose. In this calculation there are two constants: the proposed pillar near the driveway and the proposed pillar near the southeast corner of the property. The latter, with Pilaster B (on the east property line), is on a 90° arc whose radius is 171.5”. The effect of the walkway centerline on the fence segments is given in Table 18-4.

Table 18-4: Effect of the walkway centerline on the length of the fence segments		
Centerline of the walkway from ring to sidewalk	Length of individual ornamental iron segments:	
	West of the garden gate	East of the garden gate
Current centerline	5 segments, each 109”	3 segments, each 96.7”
Move centerline 23” west	5 segments, each 104.4”	3 segments, each 104.4”



151 E Gramercy Pl, looking northwest

The red line connects the proposed pillars (H 55”) situated on the respective corners. The location of these proposed pillars are constants in the sense that one on the east cannot be moved further east and the one the west cannot be moved further west.



151 E Gramercy Pl, looking northwest

The red line represents the height of the finials (48") in the proposed fence.

The faux pillar in the foreground is on a corner. The red line on its left represents the proposed fence along the driveway, and the red line on its right represents the proposed fence along the public sidewalk.



151 E Gramercy Pl, looking north

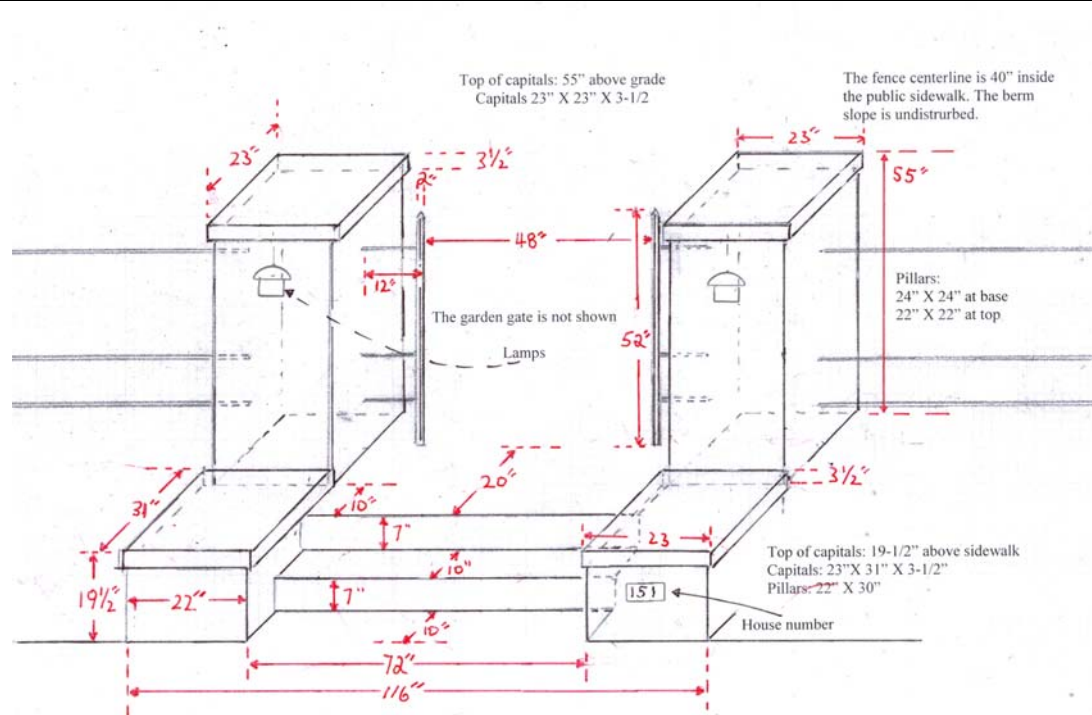
The faux pillar in the center of the photograph represents the approximate location of the proposed garden gate between the driveway and the circular stairway.



151 E Gramercy Pl, looking south

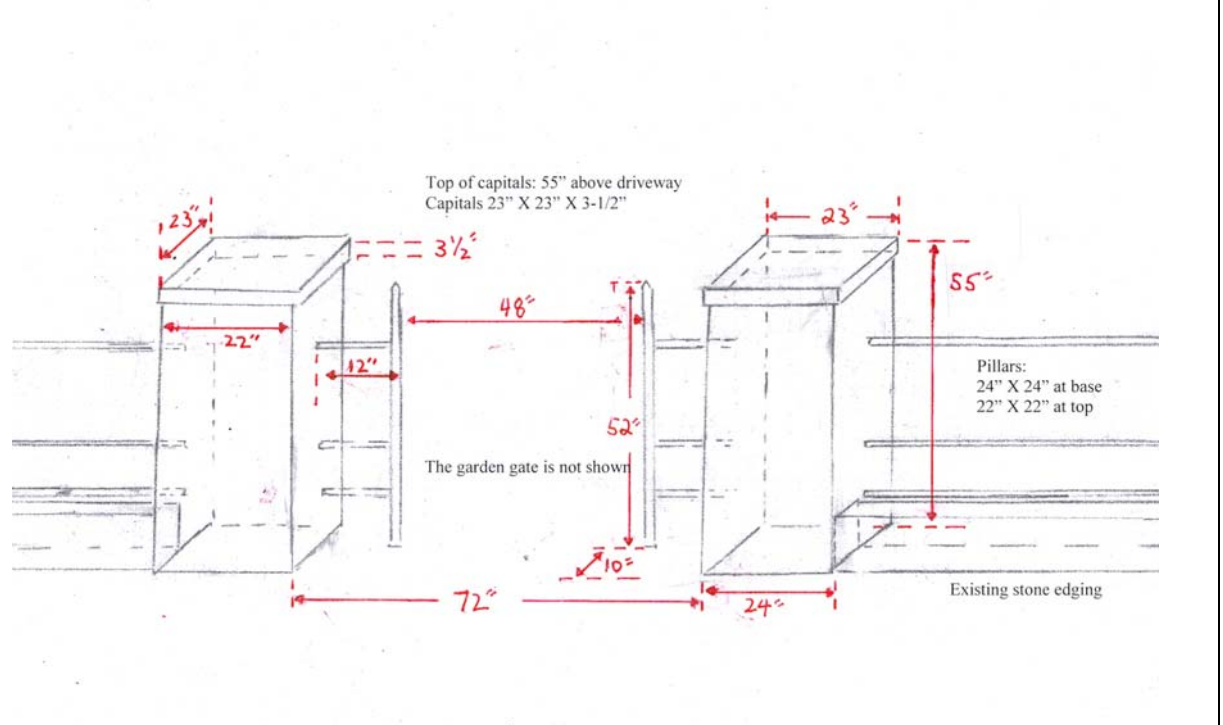
The red line represents the height of the finials in the proposed ornamental iron fence. The faux pillar on the right represents the location of the proposed garden gate.

Figure 18-2: Sketch of the proposed Gramercy sidewalk garden gate



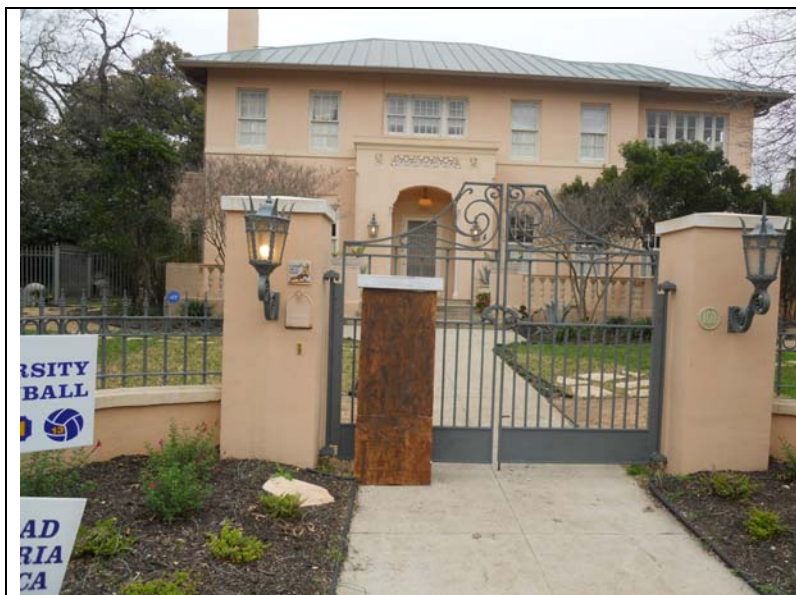
The above graphic represents the dimensions of the proposed garden gateway on the E Gramercy Pl public sidewalk. The lamps would be in the craftsman style. The house number plaque currently on pilaster A would be relocated as shown. See also item 31 on page 341.

Figure 18-3: Sketch of the proposed Gramercy driveway garden gate



The above graphic represents the dimensions of the proposed garden gateway on the E Gramercy Pl driveway.

55" Pillar compared to other properties: I believe it is legitimate to compare our proposed 55" high front yard pilasters and proposed 50" high ornamental fence to fences at other properties. In one instance, to dramatize the comparison, I photographed a faux pillar against a neighbor's fence.



101 Laurel Heights Pl, looking north

This property is 70' from our property.

This fence was erected AFTER 1999. My proof is the 1999 photograph of our McCullough Ave gateway (taken by Mr. Kimmell) which OHP Director Miller finally delivered to me after 13 months of defying the state's Public Information Act. Her intentional and considered delay cost me \$1000s.



101 Laurel Heights Pl, looking north. McCullough Ave is visible to the left.

This property is 70' from our property.

This fence was erected AFTER 1999.



107 Oakmont Ct is the Monte Vista property most similar to 151 E Gramercy Pl. It is on a corner with Shook Ave, which has traffic volumes higher than a local street. Years ago, the Shook Ave curb cut and driveway were abandoned and a new vehicular entrance was created in the alley. The result was that much of the backyard was dedicated to a new motor court. My surmise is that the front yard was fenced at the same time to compensate for the back yard's conversion to a motor court. Security was probably another consideration.

Sight distance geometry compared to other properties: I believe the sight distance geometry is unaffected by proposals #40 and #41. Moreover, the current geometry (which is the same as the proposed geometry) is superior to several nearby properties as is represented in Tables 18-5, 18-6 and 18-7. For a graphical representation see Figure 18-4.

Table 18-5: Where there are two pillars or posts at a property's front corner							
	Pillar/Post Height*		Col 1	Col 2	Col 3	Col 4	Notes
Arterial X / Local Y	"A"	"B"	A to X	B to X	A to Y	B to Y	
<i>McCullough Ave X</i>							
103 Laurel Heights Y	5.5'	5.3'	11.0'	21.6'	23.0'	12.2'	
103 Bushnell Ave Y	5.3'	4.4'	8.2'	20.4'	23.0'	10.5'	
104 Bushnell Ave Y	7.0'	6.9'	15.0'	25.0'	23.0'	14.0'	
145 Agarita Ave Y	5.0'	4.5'	8.2'	24.0'	29.0'	13.8'	
151 E Gramercy Pl Y	6.6'	4.6'	9.6'	23.8'	31.6'	17.3'	
<i>San Pedro Ave X</i>							
334 W Kings Hwy Y	7.0'	6.4'	7.2'	15.6'	26.3'	18.1'	See Note 1
<i>Shook Ave X</i>							
107 Oakmont Ct Y	4.7'	4.2'	10.5'	19.0'	26.4'	13.8'	
* Height above the arterial sidewalk or ground							
"A" is the pillar/post closest to the arterial and "B" is the pillar/post closest to the local street. Col 1 distance will always be less than Col 2 distance. Col 3 distance will always be greater than Col 4 distance.							
Note 1 – Both A and B are flush with their respective sidewalks. There was probably once a planting strip on San Pedro Ave. The E/W Kings Hwy planting strip is wider than the strips on other local streets.							

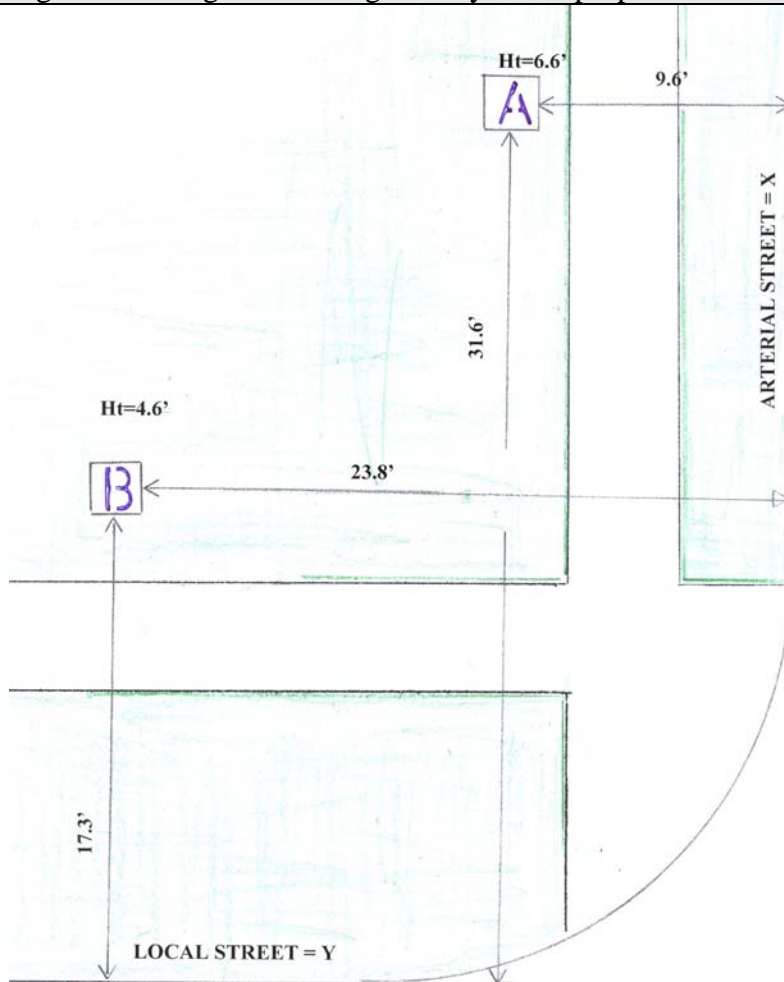
Table 18-6: Where there is one pillar or post at a property's front corner				
Arterial / Address	Corner Height*	Corner to Arterial	Corner to Local	Notes
<i>E Hildebrand Ave</i>				
151 E Lullwood Ave	14.0'	6.0'	6.0'	See Note 1
<i>McCullough Ave</i>				
131 E Kings Hwy	7.5'	8.2'	n/a	See Note 2
151 E Gramercy Pl	6.6'	9.6'	31.6'	See Note 3
<i>San Pedro Ave</i>				
325 W Lynwood	8.0'	9.0'	32.0'	See Note 4
<i>Shook Ave</i>				
250 Laurel Heights	4.5'	12.3'	8.2'	For sale in Jan '15
501 Shook Ave	4.3'	12.3'	10.2'	
* Height above the arterial sidewalk or ground				
Note 1 – This property abuts two arterials: E Hildebrand Ave and McCullough Ave. This reference is to its northeast corner with E Hildebrand Ave and McCullough Ave.				
Note 2 – The E/W Kings Hwy planting strip is wider than the strips on other local streets; and at McCullough Ave, where E Kings Hwy narrows to pass through roadway monuments, the plant strip width increases. The front fence and the southeast pillar extend 50' past the front facade of the main house.				
Note 3 – This only compares our proposed pilaster abutting McCullough to existing pilasters abutting McCullough				
Note 4 – A hedge surpasses the height of the masonry wall. The planting strip on E/W Lynwood is wider				

than the strips on other local streets.

Table 18-7: Where there is a hedge to a property's front corner or to <i>and</i> around a property's front corner				
Arterial / Address	Hedge Height*	Hedge to Arterial	Hedge to Local	Notes
<i>McCullough Ave</i>				
142 E Summit Ave	10.0'	8.6'	15.0'	
151 E Elsmere Pl	10.0'	8.1'	11.5'	See Note 1
150 E Gramercy Pl	17.0'	12.5'	13.8'	
151 E Lullwood Ave	8.0'	10.2'	23.0'	See Note 2
151 E Gramercy Pl	6.6'	9.6'	31.6'	See Note 3
200 E Agarita	6.8'	8.2'	10.0'	
201 E Kings Hwy	4.2'	8.2'	6.6'	
202 E Agarita Ave	10.0'	8.5'	6.5'	
<i>San Pedro Ave</i>				
342 W Hollywood	6.5'	4.0'	13.2'	
344 W Lullwood	6.4'	4.0'	14.8'	
* Height above the arterial sidewalk or ground				
Note 1 – The hedge blocks the view of a lower wall.				
Note 2 – This property abuts two arterials: E Hildebrand Ave and McCullough Ave. This reference is to its southeast corner with McCullough Ave.				
Note 3 – This is only a comparison of a landscaped hedge to a masonry site element. We propose no hedge.				

		<p>Cliff Morton One-Stop Center, 1901 S Alamo St, City of San Antonio</p> <p>We will not own “theft-unfriendly” patio furniture as shown to the left. We will not secure any furniture with a cable as Mr. and Mrs. Kimmell were forced to do.</p> <p>Director Miller thinks this is normal.</p>
--	--	--

Figure 18-4: Sight distance geometry under proposals #40 and #41



Caution: In the graphic to the left, pilaster A is the same as pilaster B in items 7 and items 27-29. As shown, the free-standing pillar B is one of six 55" high pillars proposed under this proposal #41.

Applied to our property, the Arterial Street ("X") is McCullough Ave and the Local Street ("Y") is E Gramercy Pl.

High wall/landscape, no McC drwy: 151 E Lulwood, S →

High wall/landscape, modified McC drwy: 150 E Lulwood, S →

McC drwy=18', cut=19.5': 153 E Rosewood, S →

High turnover, additional alley access: 152 E Rosewood, W →

Desires additional alley access: 153 E Hollywood, S →

Side/rear wall, modified McC access: 154 E Hollywood, S →

Side/rear wall, additional local st access: 149 E Lynwood, S →

High wall, no McC drwy: 150 E Lynwood, S →

High wall/landscape, no McC drwy: 151 E Elsmere, S →

Drwy=16', cut=25', deteriorated: 148 E Elsmere, W →

Vacant for 6 yrs: 151 E Gramercy, W →

Overgrown, dangerous alley access: 150 E Gramercy, W →

McC drwy=21', cut=26' & alley access: 131 E Kings Hwy, S →

No McC access, blocked view, 130 E Kings Hwy, S →

Duplex: 145 E Summit, F-N →

B&B: 145 E Agarita, F-P →

Boarded garage, alley access: 149 E Mulberry, W →

Wall around property, alley access: 136 E Mulberry, S →

1988 murder?, no maint, McC drwy: 149 E Huisache, W →

Melody Hair: 148 E Huisache, F-P →

Very poorly maintained: 145 E Magnolia, F-R →

Chained front door, a disaster for yrs: 2619 McCullough, F →

Fitch Ins: 2615 McCullough, F-N →

Red brick office bldg: 147 E Mistletoe, F-N →

Bake shop, deli, etc.: 2515 McCullough, F-N →

Very bad shape: 2419 McCullough, F →

Keystone house, F-P →

B&B: 2307 McCullough, F-P →

Law office: 2119 McCullough, F-N →

← 203 E Rosewood: This is very weakened apartment bldg.

← S, 101 Schreiner: has additional rear vehicular access

← W, 100 Schreiner: mini circular drwy on McC, vacant

← F-V, 3602, 3610 & 3618 McCullough: 2006 replat

New drwy = 23.5' & curb cut = 47'. Overgrown.

← S, 103 Bushnell: wall, front yard wall, new curb cut

← S, 104 Bushnell: wall, front yard fence/wall, new curb cut

← S, 101 Laurel Heights: wall, 2001 front yard fence/wall

← W, 102 Laurel Heights: drwy loc is dangerous

← S, 201 E Kings Hwy: 38' drwy and 47' curb cut

← F-V, 3200 McCullough, house razed c. 1975

← F-R, 206 E Summit: abandoned McC cut, Trinity Univ leftover

← S, 202 E Agarita: thick & high hedge, but rather weak

← S, 201 E Mulberry: mini circular drwy, but rather weak

← F-R, 204 E Mulberry: always for sale or rent

← F-P, 2702 McCullough: Bouton

← F-P, 2626 McCullough: Cec & Ronnie's, Sur Tejas Corp

← F-N, 2620 McCullough: First Choice Physical Therapy

← F-N, 2500 McCullough: built in 1982

← F-N, 2420 McCullough: Mayfair Apartments, c. 1965

← F-N, 2400 McCullough: post office, c. 1972. Winter home of Mamie Doud, who married Dwight D Eisenhower in 1915.

← F-V, 2306 and F-V 2300 McCullough: Keystone Parking

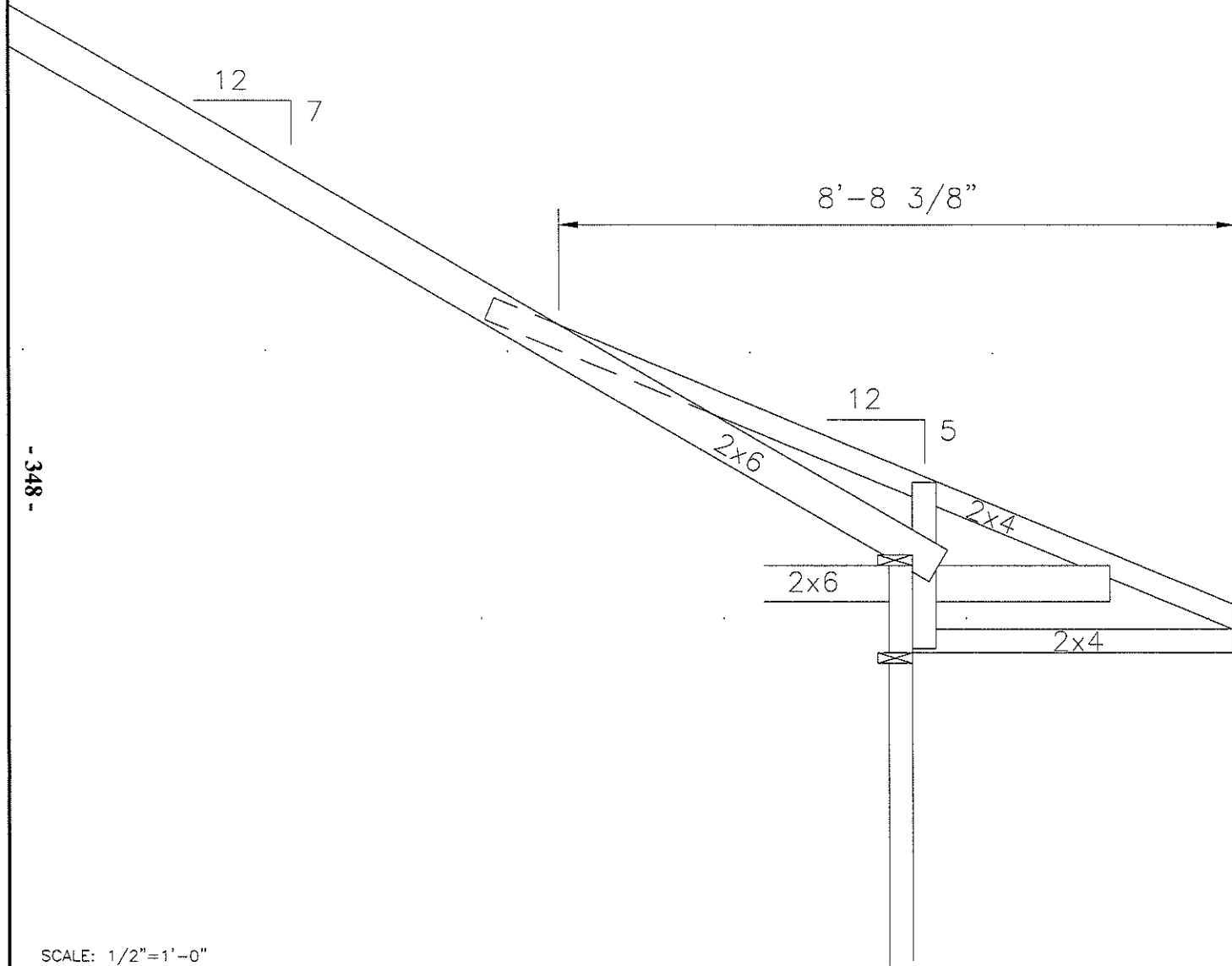
← F-N, 2200 McCullough: Calling Solutions

← F-P, 2130 McCullough: Pecos

← W, 1 French Ct: abandoned McCullough drwy

← F-R, 2 French Ct: abandoned McCullough drwy

- 348 -



SCALE: 1/2"=1'-0"



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(210) 732-2233

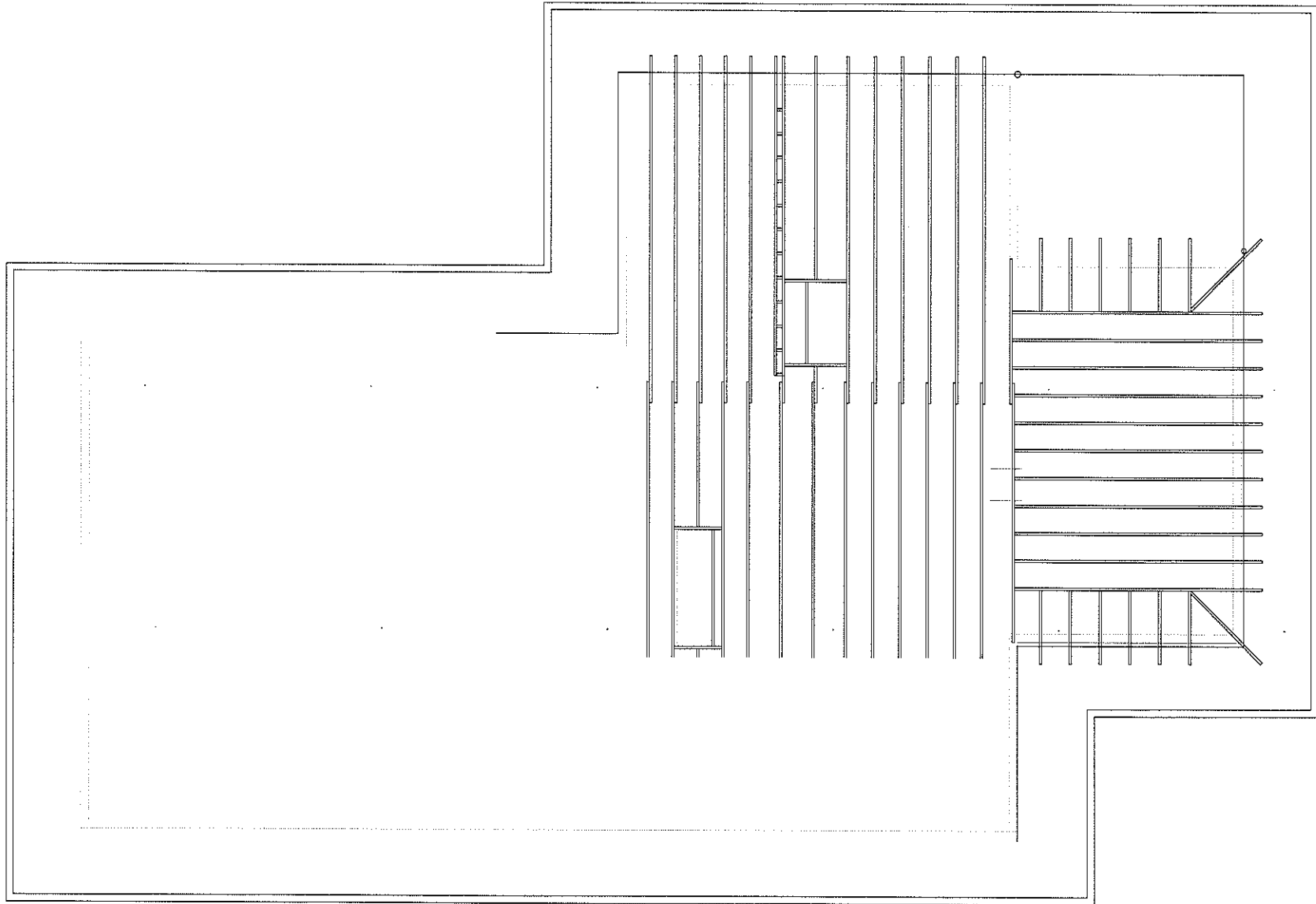
PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 03/10/15
REVISIONS

SHEET TITLE
Wall Plate Plan

CLIENT
151 East Gramercy Turner Residence Plan

REV. NO.
SHEET
OF

- 349 -



SCALE: 1/8"=1'-0"



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PROJECT NO.
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DATE 03/10/15
REVISIONS

SHEET TITLE

Existing Wall Plate & Joist Plan

CLIENT

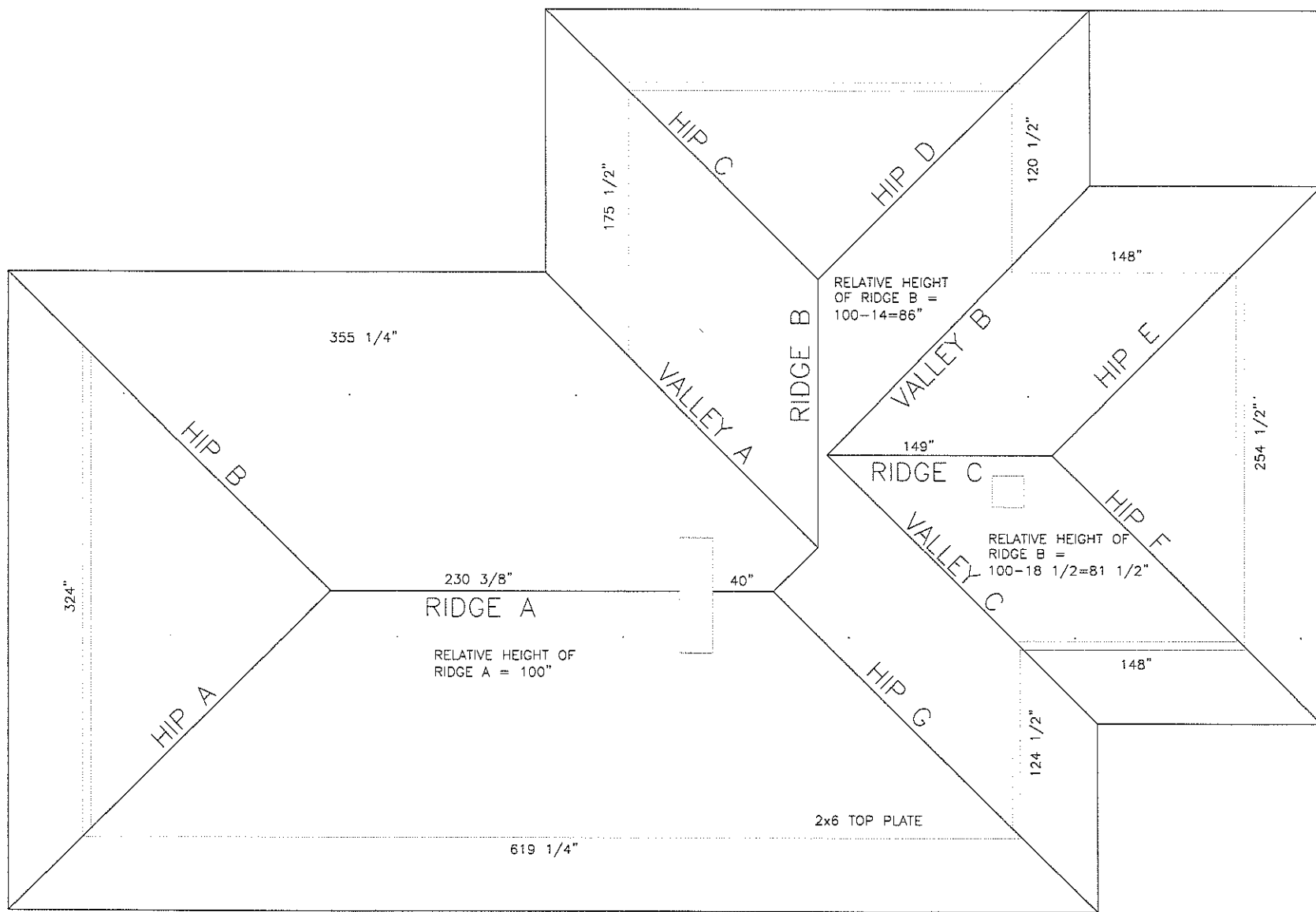
151 East Gramercy
Turner Residence
Plan

REV. NO.

SHEET

OF

- 350 -



SCALE: $\frac{1}{8}" = 1' - 0"$



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PROJECT NO.
DRAWN FTS
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SHEET TITLE

Ridge Plan

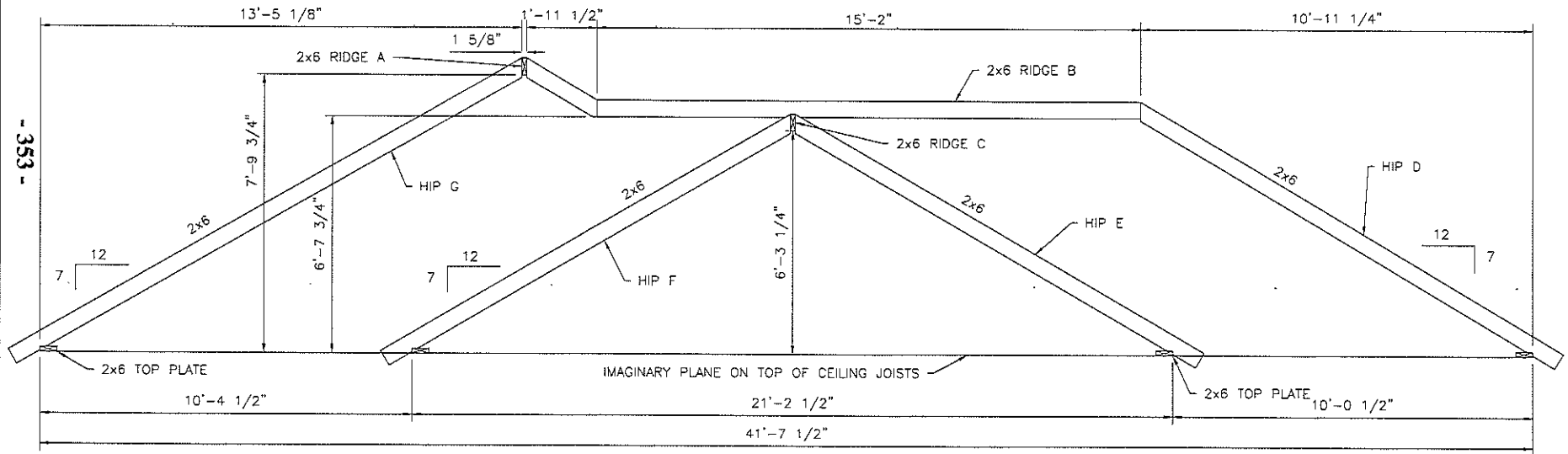
CLIENT

151 East Gramercy
 Turner Residence
 Plan

REV. NO.

SHEET

OF



SCALE: NTS



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PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 03/10/15
REVISIONS

SHEET TITLE

East Elevation
 Ridges A, B & C
 Hip Rafters D, E, F & G

CLIENT

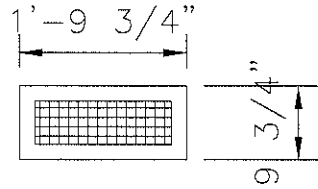
151 East Gramercy
 Turner Residence
 Plan

REV. NO.

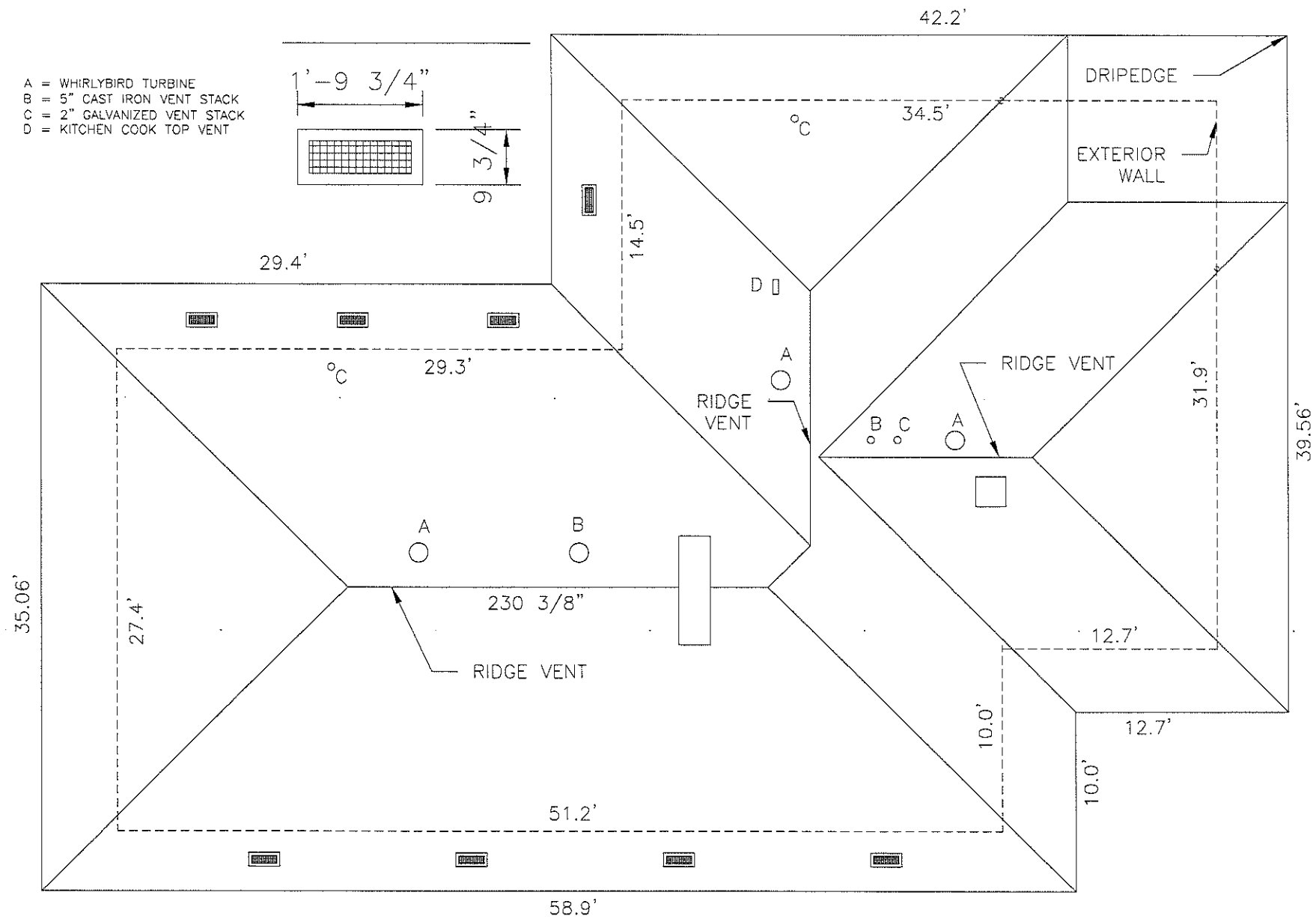
SHEET

OF

- A = WHIRLYBIRD TURBINE
- B = 5" CAST IRON VENT STACK
- C = 2" GALVANIZED VENT STACK
- D = KITCHEN COOK TOP VENT



- 354 -



SCALE: 1/8"=1'-0"



Flores Technical Services
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 (210) 732-2233

PROJECT NO.
DRAWN FTS
DESIGNED
CHECKED
DATE 04/24/15
REVISIONS

SHEET TITLE

Existing Roof Plan

CLIENT

151 East Gramercy
 Turner Residence
 Plan

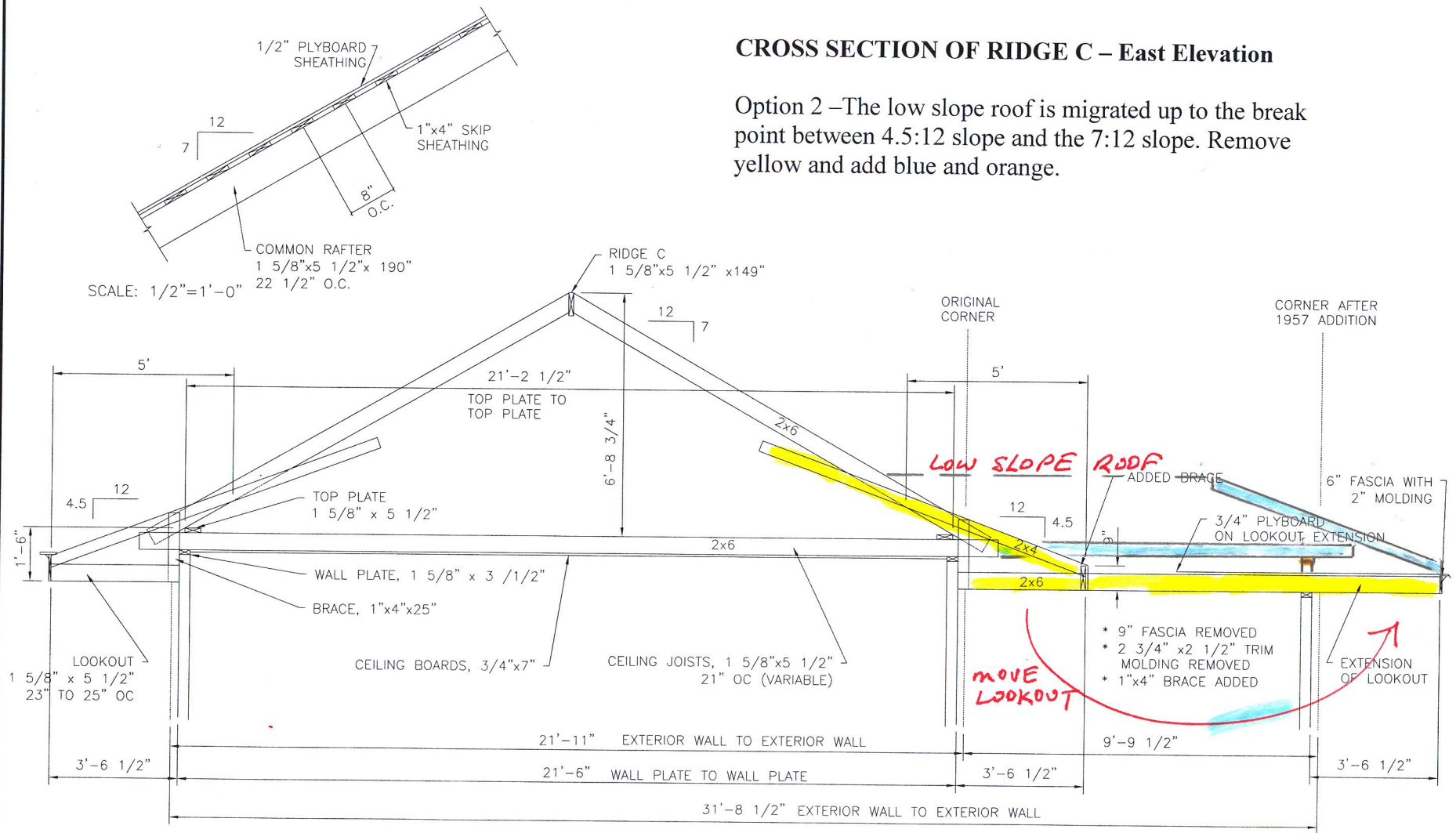
REV. NO.

SHEET

OF

CROSS SECTION OF RIDGE C – East Elevation

Option 2 –The low slope roof is migrated up to the break point between 4.5:12 slope and the 7:12 slope. Remove yellow and add blue and orange.



SCALE: 1/4"=1'-0"

RUTLAND GUTTER SUPPLY LLC

rutlandguttersupply@yahoo.com Ph: 407-859-1119 Fax: 407-859-1123

$\frac{3}{4}$ " DECKING

ROOF MOUNT HANGER W/SCROLL

FINISHED ROOF W/SHINGLES

3 SCREWS MIN.
1-1/4" x #12

2" x 6" RAFTER

MAKE SURE CLIP IS NOT
FOLDED LOWER THAN
BACK OF GUTTER

HANGERS MAXIMUM
3' ON CENTER

GUTTER SIZE

A	B
5"	2 $\frac{1}{2}$ "
6"	3"
7"	3 $\frac{1}{2}$ "
8"	4"

Company:	Item:
Invoice:	Material:
PO#:	Notes:
Architect:	
Contractor:	
Date:	
Approved by:	
Signature:	

CUSTOM ORDERS CAN NOT BE RETURNED

57. Reframe roof over the 1957 addition. Add three soffit vents on the north elevation.
58. Replace as necessary screens on existing soffit vents
- 59.

See items 37-44 on pages 348-355 in chapter 14.

Discussion

The reasonable purpose of the 1957 addition by James A. and Clara M. Morrison (parents of Marcia Alice Morrison Patton) was to provide one downstairs bathroom. In my opinion, however, the addition was done improperly. The bellcast hip roof should have been maintained over the addition. Instead, Mr. Morrison accepted a flat roof over the addition, the misalignment of the fascia, and the substandard ceiling height in the room in the upper northeast corner.

Of course this proposal is subject to professional engineering design. I anticipate the following steps:

1. Remove the decking from the roof plane east of Ridge B
2. Remove the decking (and plumbing stacks) from the roof plane north of Ridge C
3. Remove the hard plastic ridge vents from Ridge C
4. Remove the decking from the flat roof of the 1957 addition
5. Remove ceiling boards from the 1957 addition
6. Remove hip rafter XX and the rafters fastened to it. Leaving valley rafter YY in place should be okay.
7. Install in a north-south alignment 2" X 6" ceiling joists atop the east-west wall plate on the north wall of the sleeping porch and the east-west wall plate on the north wall of the 1957 addition
8. Frame the northeast corner of the 1957 addition after original northeast corner of the sleeping porch
9. Install 2" X 6" top plates on the north and east lines of the 1957 addition
10. Erect and brace a vertical 2" X 6" for the northeast corner of the new flat roof. The height of this 2" X 6" will determine the slope of the new flat roof.
11. Install on end a horizontal 2" X 6" ridge board between the vertical 2" X 6" in step 10 and Ridge B, respecting that the top of the 2" X 6" will be 4" below the height of Ridge B. Note that Ridge B is 4" higher than Ridge C.
12. Install on end a horizontal 2" X 6" ridge board between the vertical 2" X 6" in step 10 and Ridge C, respecting that the top of this 2" X 6" adjoins flush the top of Ridge C. This 2" X 6" defines the south-to-north slope of the new flat roof.
13. Parallel to and 4" below the height of Ridge B, install on end a horizontal 2" X 6" "ridge board" between the west terminus of Ridge C and the 2" X 6" installed in step 11. Where these two join is the northwest corner of the new flat section. This 2" X 6" also defines the south-to-north slope of the new flat roof.
14. This completes the four sides of the new flat section: north side (step 11), east side (step 12), south side (Ridge C), west side (step 13).
15. Install 2" X 6" hip rafter between the vertical 2" X 6" in step 10 and the northeast corner of the two new top plates installed in step 9. This hip rafter should have a 7:12 slope.

16. Install 2" X 6" rafters on the plane north of the new flat section
17. Install 2" X 6" rafters on the plane east of the new flat section
18. Install 2" X 4" collars (or ties) between the 2" X 6" "ridges" that frame the new flat section
19. Install 2" X 4" bellcast rafters, 2" X 4" lookouts, 1" X 4" braces, soffits, fascia and trim. Notice the soffit vent in the photograph above related to proposal #43.
20. Deck with ½" ply board



The purpose of the 1957 addition was to provide a downstairs bathroom, which was a good idea. But the profile of the bellcast hip roof was not extended over the addition, leaving a low ceiling in the addition's second floor room and a misalignment of fascia boards as seen in this photograph.



Looking northeast down Valley B. See item 39 in chapter 14



2" X 6" ceiling joists and 2" X 6" top plates were not used over the 1957 addition. The original cornice boxes were left in place, making the height of the ceiling in the second floor room equal to the height of the soffits. The photograph shows the top plate along the original north wall of what was the east end sleeping porch. Looking north past the top plate is the original cornice box which was, in essence, roofed over.

3. The step treads are 13" (like on the front steps)
4. There are two steps inside the stairwell
5. Points A and B are defined as the bottom inside corners of the stairwell.
6. Determine Point A: $65" + 13" + 13" = 91"$. Point A is 91" from the exterior west wall of the kitchen along the existing inside stairwell line.
7. Determine Point B: Point B is 56" from Point A (like the opening on the front steps). Because Points A and B are equidistance from a line bisecting the circular steps, said 56" can be considered the hypotenuse of an isosceles triangle. Solving for A with the formula $A^2 + A^2 = 56^2$, we get: $2A^2 = 3,136$, then $A^2 = 1,568$, and $A = 39.59"$. Thus, Point B: 39.59" south of Point A and then, at a right angle, 39.59" west.
8. The lower portion of the ramp is 48" wide. The width is reduced as the ramp approaches the bay window (which extends 16" from the established north line of the house).
9. In effect, Point B has established the ramp width at the point where the ramp passes below the bay window. The ramp at this point is 34" +/-.
10. Given Points A and B, we have to find a circle whose circumference will include Point A and Point B. To do this we open the compass, using Points A and B as the respective center points, and draw two arcs from each center point. One arc is closer to the main house and the other is toward the carriage house. The result is that two arcs intersect toward the carriage house and two arcs intersect near the main house.
11. Connect the two intersections. The center of the circular steps is on the resulting line. But exactly where?
12. Find Point C (the center of the concentric circles): Go back to Points A and B. Because the third step down is the 102" diameter circle and Points A and B are points on its circumference, the point which is 51" away from both Points A and B will be the center of the concentric circles.

One change: The north edge of the diminishing ramp riser (item 21 in chapter 14 on page 331) would follow the circumference of a circle whose center is Point C.



Another constraint on the height of Capitals B, F and H (as shown on item 22 in chapter 14) is the height of the bay window sill.

patio doors in frame created under proposal #48.

See items 20-22 on pages 330-332 and items 33-34 on pages 344-345.

Discussion

These four items will require a structural analysis of the wall and the design of necessary structural supports. A similar opening of an original wall was made at 106 E Lullwood Ave (pictured below). A similar opening was part of a new construction design at 215 W Mulberry Ave (pictured below).



The location of the current door would be the location of Door A. Door B would be to the right.



215 W Mulberry Ave, new addition in 2013



106 E Lullwood Ave, renovation in 2012.

51. Remove (for donation) the oversize second story window (B) on the northwest corner and reframe opening for the window units removed under proposal #43. Install same.

Discussion

In the early-1980s, Mr. Weldon Carter installed the subject window (B). While it provides needed light for the stairway its dimensions are inconsistent with the other windows and its style is not appropriate.



Window A is the window that would be removed under proposal #43. It will be used to replace the oversized Window B, which was installed by Weldon Carter in the mid-1980s. The framing for B will have to be adjusted to accommodate the small window and its companion storm window.

52. Tooth out and salvage rubble stones and masonry sill around the first floor substandard
53. “renters” door on the northwest corner and reframe for a replica window unit. Reset sill and stones. Set replica or vintage double-hung window (consistent with the original dimensions).

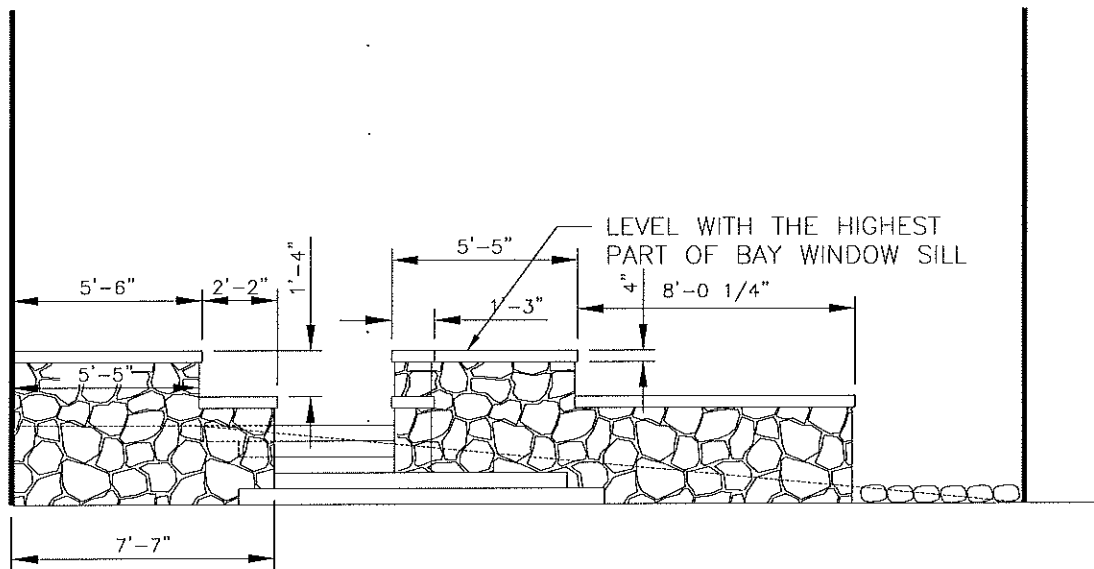
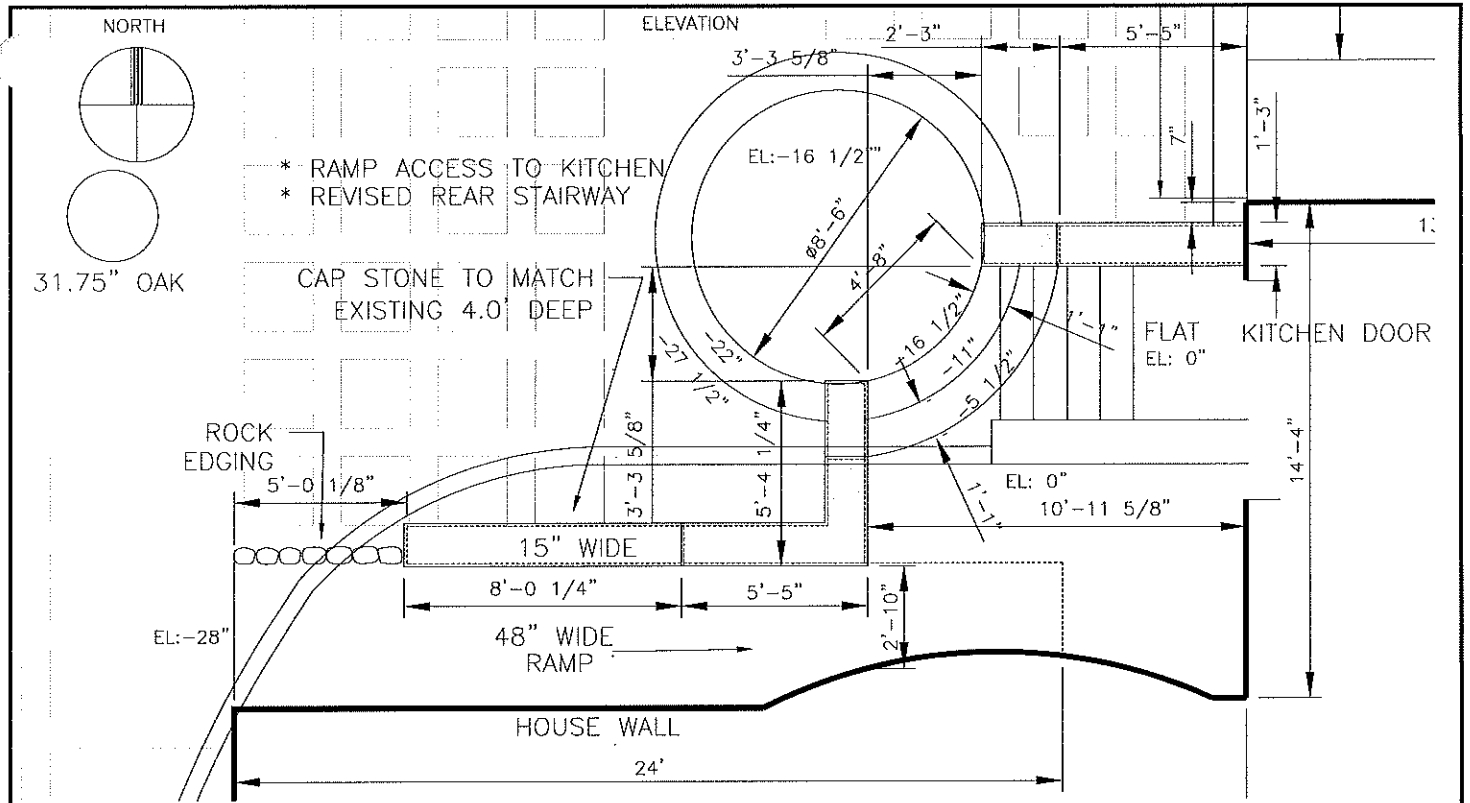
Discussion

Mrs. Mame Adams converted this window to a “renter’s door.” Her renters were not to enter and exit the house through the front door or the kitchen door. Mr. Weldon Carter removed the concrete steps that had been affixed to the stonework. Repairing the related is part of the proposal. The red line in the photograph below indicates approximate level of the top of the repositioned sill.



Originally, this opening was a window but was later converted to a “renter’s doorway.” Inside is a cubbyhole beneath the main stairway. OHP Planner Hudson and Ludueña proposed converting this second-class entry into an ADA-entry, which would necessitate the elimination of the main stairway. During their September 17, 2012 site visit, they entered the house, saw the main stairway and became fully aware of the implications of their absurd proposal.

PROPOSED SOLUTION SUPERIMPOSED OVER EXISTING



Flores Technical Services
 6233 EVERS RD., STE. 3 SAN ANTONIO, TEXAS 78238
 (210) 732-2233

PROJECT NO.
 DRAWN FTS
 DESIGNED
 CHECKED
 DATE 08/08/14
 REVISIONS

SHEET TITLE

Proposed North Ramp
 Site Plan
- 330 -

CLIENT

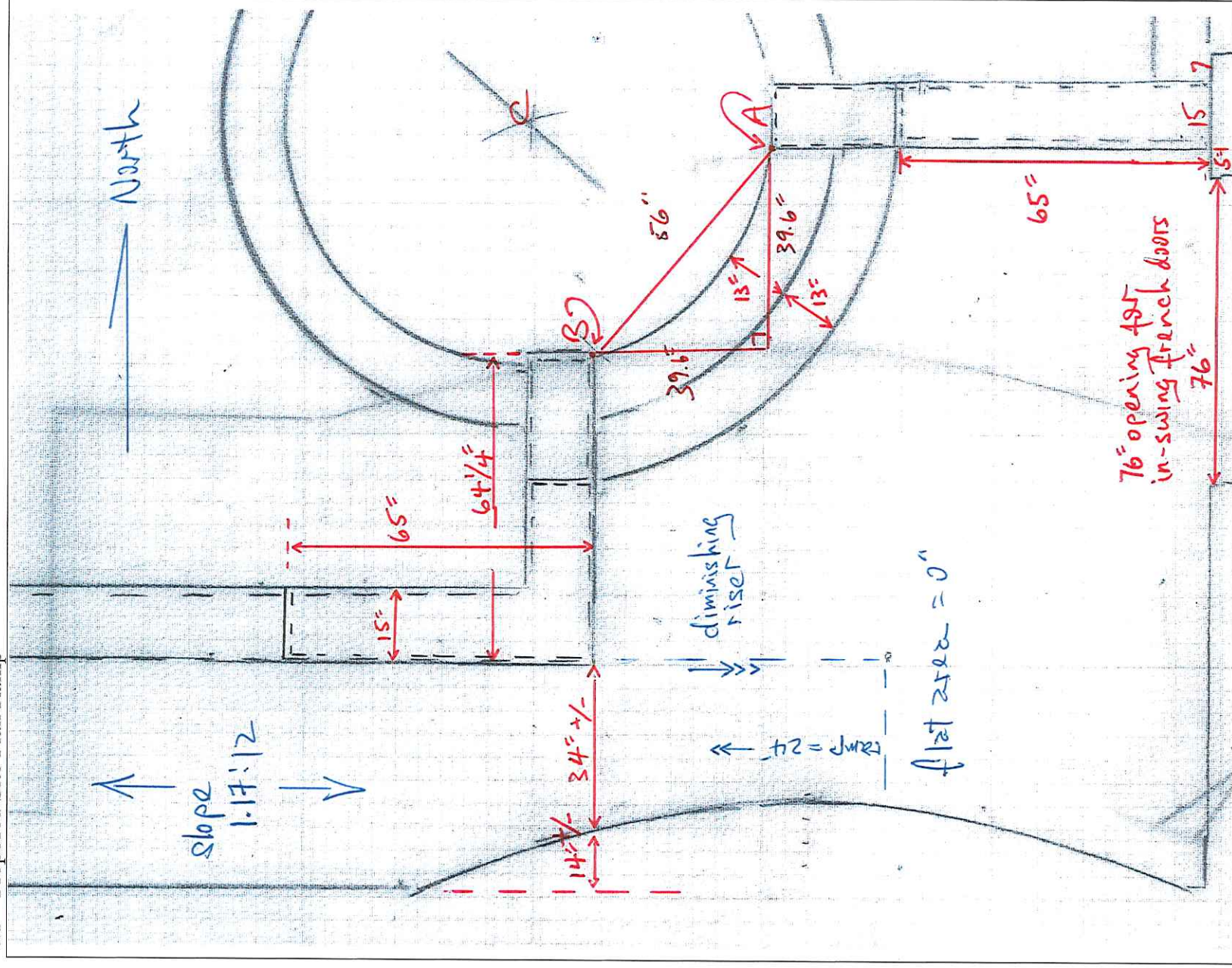
151 East Gramercy
 Turner Residence
 Site Plan

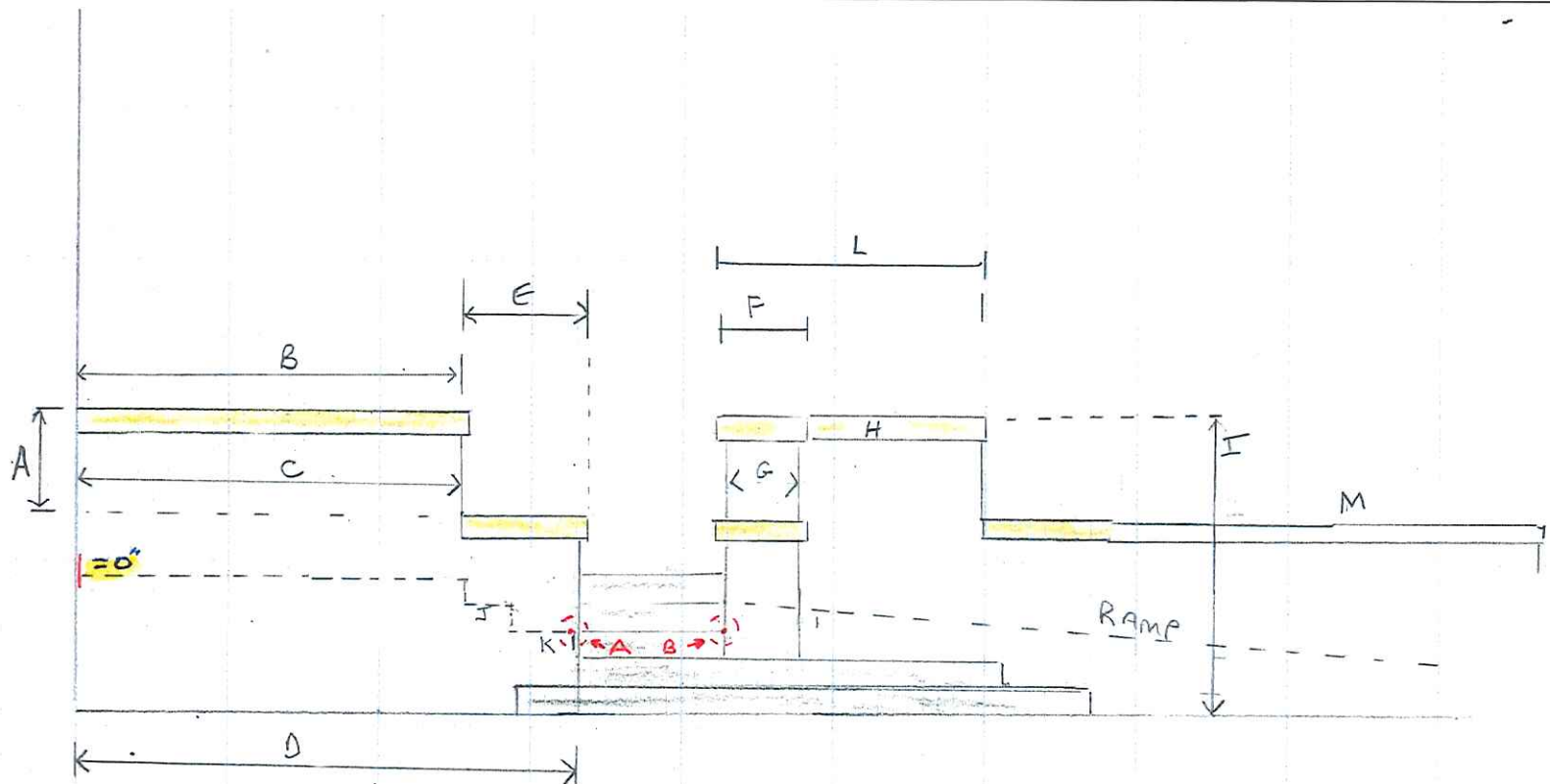
REV. NO.

SHEET

OF

21 - Proposed Site Plan Ramp





A = 16"
 B = 66" (1" lip)
 C = 65"
 D = 65" + 13" + 13" = 91"
 E = 91" - 65" + 1" lip = 27"
 F (cap width) = 15"
 G (wall width) = 12" to 13"
 H (cap thickness) = 4"
 I = level w/ top of bay window sill

I = 49" to 52", depending on the finished grade
 J = 13"
 K = 13"
 L = 65"
 M = 96"
 Slope = 1.17:12

NOT DRAWN TO SCALE

1.1 Points A & B

June 26, 2015

RE: Application for Property at 151 E. Gramercy Pl (Tim Turner)

Dear Commissioners,

As the owners of 104 Bushnell right around the corner, we are in support of the proposed application submitted on 151 E. Gramercy.

We purchased our home, which is also a corner lot along McCullough, in 2012. We then proceeded with a two (2) year renovation project. During the construction phase of our project, our home was consistently vandalized on the exterior. Since installing the portions of our fence that are complete, we have not been vandalized, and we are confident that the fence has been the single component that has deterred further issues.

Additionally, we have witnessed the challenge of exiting our property from our entrance directly onto McCullough. The traffic is regular and travels at a speed that requires extreme caution. The reconfiguration of our drive and wall along McCullough has helped with view corridors to insure safety.

We are extremely appreciative for the HDRC's review and approval of our plans. Corner lots on McCullough require a special level of consideration and attention as it relates to security and safety. Without the support of the commissioners in approving some of these necessary improvements, corner lots will continue to deteriorate, which will have an incredibly negative impact on our uniquely wonderful and historic neighborhood.

I hope that you will strongly consider and rule in favor of the proposal in front of you. We need to encourage those in our neighborhood who aim to make large investments in the improvement of physical assets in our neighborhood.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gene Williams', with a stylized, flowing script.

Gene Williams

104 Bushnell Ave.

Commissioners
Historic and Design Review Commission
1901 S Alamo St
San Antonio TX 78204-1605

Re: Application dated June 10, 2015, for a Certificate of Appropriateness (conceptual approval) for the property situated at 151 E Gramercy Pl, San Antonio, Texas

Dear Commissioners:

We, the undersigned, are familiar with the subject application and would like express our respective support or neutrality regarding the 76 individual proposals.

Thank you.

GENE WILLIAMS
Name
104 BUSHNELL AVE.
Monte Vista Address
6/27/15
Date

Check one
☒ I support the Turners' HDRC application
☐ I am neutral regarding the Turners' application

SONYA M. WILLIAMS
Name
104 BUSHNELL AVE.
Monte Vista Address
6/27/15
Date

Check one
☒ I support the Turners' HDRC application
☐ I am neutral regarding the Turners' application

Commissioners
Historic and Design Review Commission
1901 S Alamo St
San Antonio TX 78204-1605

Re: Application dated June 10, 2015, for a Certificate of Appropriateness (conceptual approval) for the property situated at 151 E Gramercy Pl, San Antonio, Texas

Dear Commissioners:

We, the undersigned, are familiar with the subject application and would like express our respective support or neutrality regarding the 76 individual proposals.

Thank you.

ROBERT C. CRUISE
Name

148 E. ELSMERE PLACE
Monte Vista Address

JUNE 20, 2015
Date

Check one

☒ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Name

Monte Vista Address

Date

Check one

☐ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Commissioners
Historic and Design Review Commission
1901 S Alamo St
San Antonio TX 78204-1605

Re: Application dated June 10, 2015, for a Certificate of Appropriateness (conceptual approval) for the property situated at 151 E Gramercy Pl, San Antonio, Texas

Dear Commissioners:

We, the undersigned, are familiar with the subject application and would like express our respective support or neutrality regarding the 76 individual proposals.

Thank you.

Raymond A. Troilo
Name
201 E. Kings Hwy
Monte Vista Address
6-20-15
Date

Check one

☒ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Regina M. Troilo
Name
201 E. Kings Hwy
Monte Vista Address
6-20-15
Date

Check one

☒ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Commissioners
Historic and Design Review Commission
1901 S Alamo St
San Antonio TX 78204-1605

Re: Application dated June 10, 2015, for a Certificate of Appropriateness (conceptual approval) for the property situated at 151 E Gramercy Pl, San Antonio, Texas

Dear Commissioners:

We, the undersigned, are familiar with the subject application and would like express our respective support or neutrality regarding the 76 individual proposals.

Thank you.


Name

Name

144 E Gramercy
Monte Vista Address

Monte Vista Address

6/18/2015
Date

Date

Check one

☒ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Check one

☐ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

Commissioners
Historic and Design Review Commission
1901 S Alamo St
San Antonio TX 78204-1605

Re: Application dated June 10, 2015, for a Certificate of Appropriateness (conceptual approval) for the property situated at 151 E Gramercy Pl, San Antonio, Texas

Dear Commissioners:

We, the undersigned, are familiar with the subject application and would like express our respective support or neutrality regarding the 76 individual proposals.

Thank you.

John P. MacDiarmid
Name

305 W. KINGS HWY
Monte Vista Address

6/24/2015
Date

Check one

☒ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application

John MacDiarmid
Name

Monte Vista Address

Date

Check one

☐ I support the Turners' HDRC application

☐ I am neutral regarding the Turners' application





CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

**Historic and Design Review Commission
Design Review Committee
Report & Recommendation**

DATE: 11-10-15 HDRC Case# _____

ADDRESS: 151 E Gramercy Meeting Location: Site

APPLICANT: Tim Turner

DRC Members present: Tim Cone ; Desiree Salmon

Staff present: Cory Edwards, Joseph DeCenzo

Others present: _____

REQUEST: _____

COMMENTS/CONCERNS: Applicant has placed temporary pilasters
to display scale. Front fence would provide security/yard
space. Design would be open. TC - Case on Bushnell is
different than this case. Not many fences on Gramercy.
TT - Property is difficult to access. Would like to extend
curb cut to alley. TC - Doesn't see that as the issue,
but would like to limit driveway width. Concerned w/
alterations to rear elevation. Needs to see the details.

COMMITTEE RECOMMENDATION: **APPROVE [] DISAPPROVE []**
APPROVE WITH COMMENTS/STIPULATIONS:

Committee Chair Signature (or representative)

11/9/2015

Date

TT- Would like to resolve roof issue at addition + install gutters.

TC- Needs to continue to read as addition. Comfortable w/
minor change, but not alterations to historic roof line.

DS- Would like to see trees preserved. Low-light plants
could be used.