

HISTORIC AND DESIGN REVIEW COMMISSION

January 20, 2016

Agenda Item No: 29

HDRC CASE NO: 2016-030
ADDRESS: 604 S ALAMO ST
LEGAL DESCRIPTION: NCB 13815 BLK 4 LOT 4
ZONING: O2 H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
LANDMARK: Fire Station #07
APPLICANT: Joseph Smith
TYPE OF WORK: Rehabilitation and adaptive reuse
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform various rehabilitative tasks and exterior modifications associated with the adaptive reuse of Fire Station Number 7 into a restaurant space.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence

is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

i. Existing canopies and awnings—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Replacement canopies and awnings—Replace canopies and awnings in-kind whenever possible.

ii. New canopies and awnings—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

iii. Lighting—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

iv. Awning materials—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. Building features—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. Support structure—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

FINDINGS:

- a. Fire Station No. 7 at 604 S Alamo was constructed in 1925. It is an architecturally and historically significant landmark sited on a prominent corner. Conceptual approval was given on October 15, 2014, for a slightly different design that included the construction of an elevator enclosure and pergola in the roof, the installation of a new storefront system and signage. The installation of the rooftop elevator enclosure and pergola as well as signage are no longer included in this request.
- b. The previous request for the adaptive reuse of this structure was reviewed a number of times by the Design Review Committee in September and October of 2014. While those meetings involved discussion on design elements no longer in the scope of work, various comments regarding the rehabilitation of the original structure are relevant. These comments include noting that the north façade could probably be considered the rear façade and that the proposed mullion patterns should match the historic wood doors.
- c. According to the Guidelines for Exterior Maintenance and Alterations 10.A., character defining features of commercial facades should be preserved. The applicant has proposed to restore the facades' fenestrations, canopies and masonry. This is consistent with the Guidelines.
- d. Over the course of ninety years, various non original, non contributing façade elements have been added to the fire station. These elements include existing light fixtures, window air conditioning units and electrical conduit located in various locations on each façade. Staff finds this proposal appropriate.
- e. Regarding the existing doors, the applicant has proposed to replace two (2) overhead rolling doors and one (1) pedestrian scaled door on the left façade one (1) pedestrian scaled door on the front façade and two (2) existing overhead rolling doors on the rear façade. Each façade is identified to be consistent with the application documents. The applicant has proposed to replace the existing, non original overhead rolling doors with a new storefront system in which the mullion design is similar and complementary to the original door openings. The proposed new storefront system will not enlarge the existing openings. Staff finds the applicant's proposal to replace the existing overhead rolling doors appropriate, however, staff has concerns regarding the proposed mullion thickness. Staff finds that a more prominent, thicker mullion design is appropriate; note staff's examples in the exhibits.
- f. According to the Guidelines for Exterior Maintenance and Alterations 6.B.i., new door features should match the size, material and profile of the historic feature. The applicant's documents not the replacement of the existing pedestrian sized wood doors, however, the applicant has noted that these doors will remain. This is consistent with the Guidelines.
- g. On the rear and right facades, the applicant has proposed to remove the existing cast stone sill panel and install wood sash windows consistent with the other side of the building. Staff finds these cast stone sill panels to not be original to

the structure and the applicant's proposal as well as installation appropriate and consistent with the Guidelines.

- h. At the rooftop level, the applicant has proposed to construct a roof screen, approximately three (3) feet in height to screen the installation of new rooftop mechanical equipment. While the applicant's proposal is consistent with the Guidelines regarding the screening of mechanical equipment, staff recommends the applicant provide additional information regarding materials, height and transparency of the screening.
- i. Along the S Alamo property line, the applicant has proposed to install patio fencing. Staff finds the installation of fencing here to be appropriate provided fencing materials and height are consistent with the Guidelines for Site Elements. Staff recommends that the applicant provide information addressing these concerns to staff.
- j. The Acequia Madre runs in this general vicinity. If the rehabilitation is reserved to building rehabilitations and to shallow parking lots upgrades, then there is no need for archaeology. If the work includes any deep (over 2') excavations, then some monitoring may be necessary. NOTE: based on our review, then no archaeology is required.

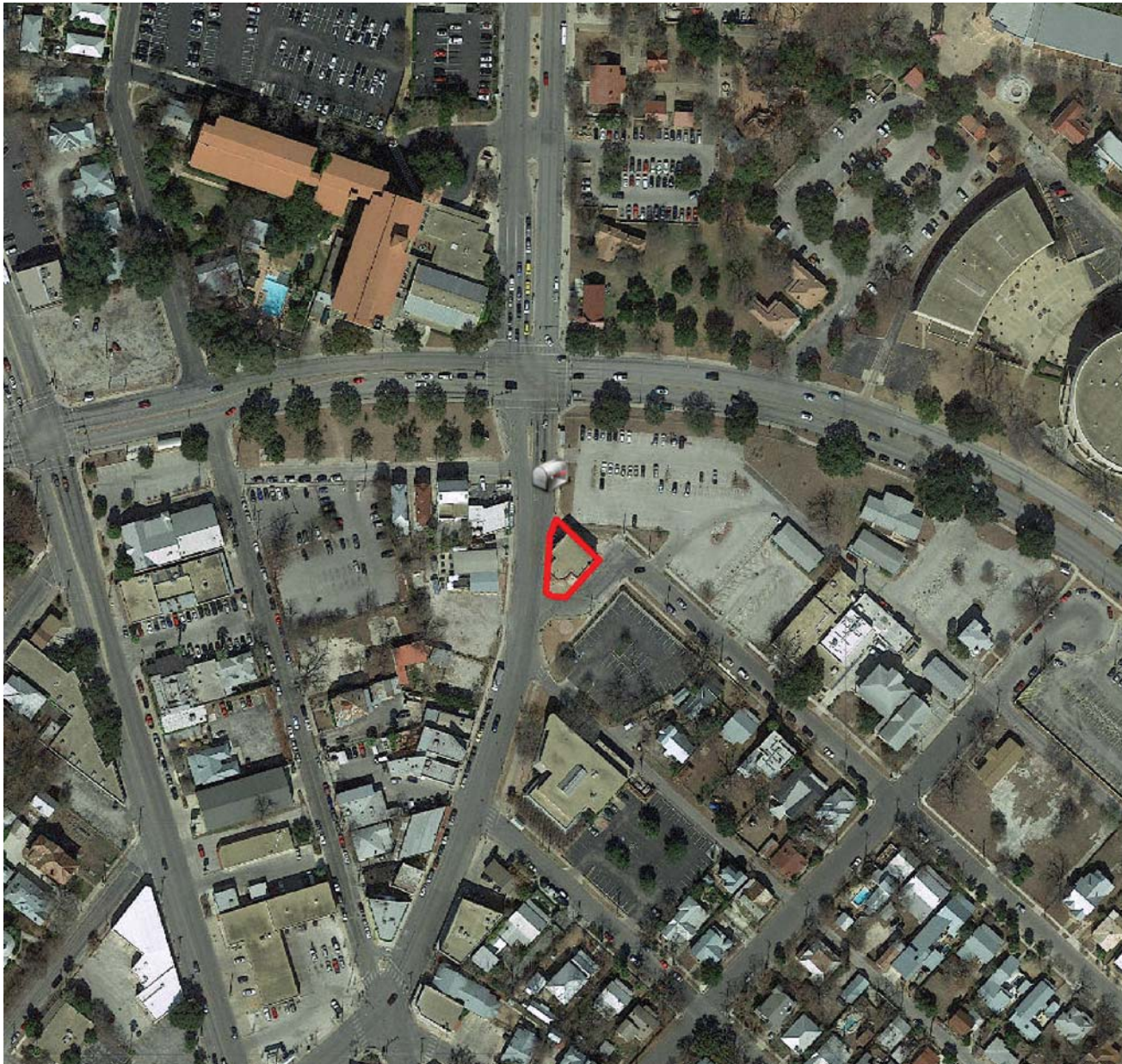
RECOMMENDATION:

Staff recommends approval based on findings a through i with the following stipulations:

- i. That the applicant install wood doors comparable in design to the existing wood doors instead of aluminum doors as noted in findings f.
- ii. That the applicant provide additional information regarding the rooftop mechanical screen as noted in finding h.
- iii. That the applicant provide additional information regarding the proposed S Alamo fencing as noted in finding i.
- iv. ARCHAEOLOGY- An archaeological investigation may be required if the aforementioned stipulations are met.
- v. That the applicant provide information to staff regarding amended mullion thickness to be more consistent with a historic design and thickness. Staff recommends the approach that the applicant reconstruct wood doors consistent with what would have historically existed with pedestrian doors incorporated.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Jan 11, 2016

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Edward Hall (OHP)

From: Joseph M. Smith [jms@jmsarchitects.com]
Sent: Tuesday, January 05, 2016 4:27 PM
To: Edward Hall (OHP)
Subject: RE: Fire Station

Follow Up Flag: Follow up
Flag Status: Flagged

Mr. Hall,
Below is the narrative for the project:

The former Fire Station #7 is proposed to be a full service restaurant owned by Andrew Goodman of Feast and Haunt reknown featuring the culinary talents of Chef Stefan Bowers.

The existing Fire Station is envisioned to retain its Historic character with modern embellishments to honor the building's architecture. The remaining historic facades' fenestrations, canopies, and masonry construction are to be restored. Exterior improvements are limited to replacing elements that were added to the building over the many years of service. These items include removing panel overhead doors, conduits, room air conditioners, non-period lighting, and non-conforming appendages. Modern storefront and doors are to infill the existing arched openings providing a clear contrast to the historic remaining carriage doors. The remaining carriage doors will be restored and to be fixed in place. Historic sash windows will be repaired and restored. The current color scheme will be replicated- white windows with terra cotta trim. The brick will be cleaned. Repaired, and repointed as required and to remain un-painted.

On the north side of the building, the second floor windows bottom sash is currently a cast stone panel within the existing wall fenestration. Due to its original use as dormitories, these windows are unique to the project. Our proposal includes removing the bottom cast stone sill panel and replacing with wood sash windows replicating the other sides of the building. This change will allow for lowering the window height for the new Second Floor Dining yet not changing the original buildings fenestration openings.

A roof screen is proposed around the perimeter of the roof, set back from the façade, to screen the roof top equipment. In addition, a new outdoor Dining area with a wrought iron fence is proposed at the north corner of property along S. Alamo.

The approach to the exterior facades is simple- restore all remaining historic facades /elements and where they are missing to provide modern elements that provide a clear contrast to the historic architecture.

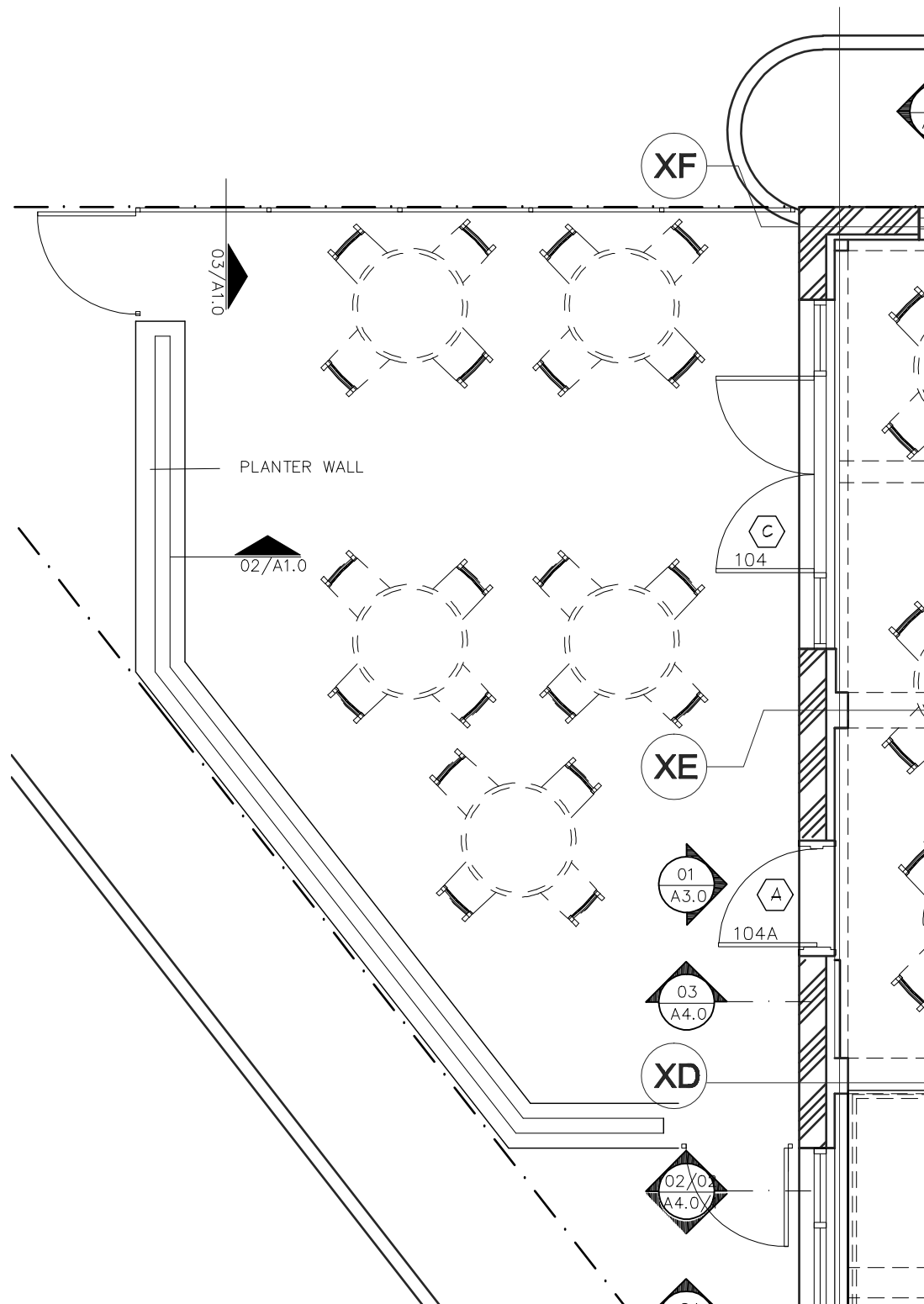
A signage package will be a deferred submittal.

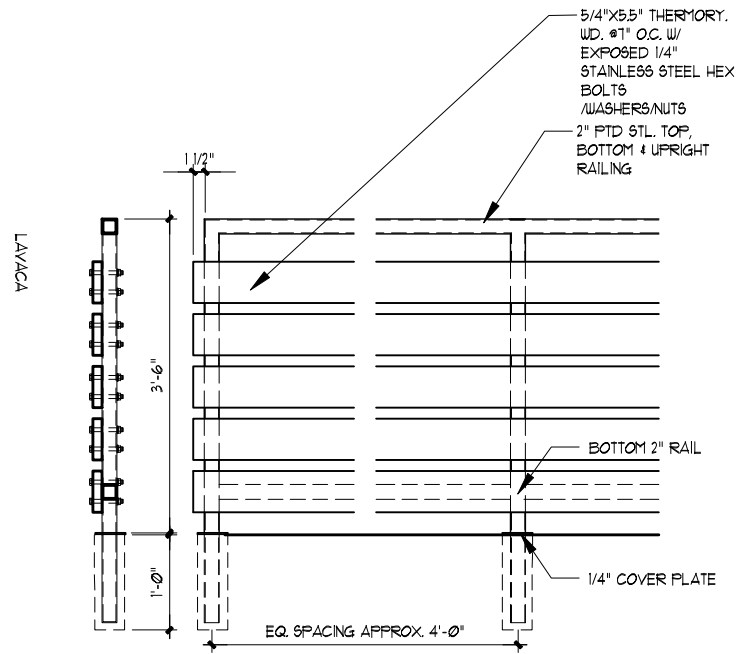
Thank you,
Joseph M. Smith, LEED AP AIA
JMSarchitects, Inc., an AIA Firm
o210.738.2260
m210.844.4508
2115 Anchor Drive, Ste. #3
San Antonio, Texas 78213
www.jmsarchitects.com
jms@jmsarchitects.com



GOgreen.print only as needed.

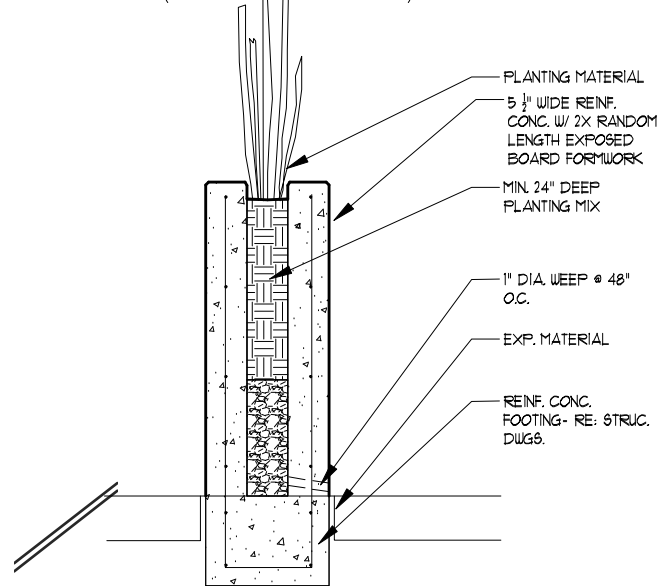
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03. FENCE DETAIL

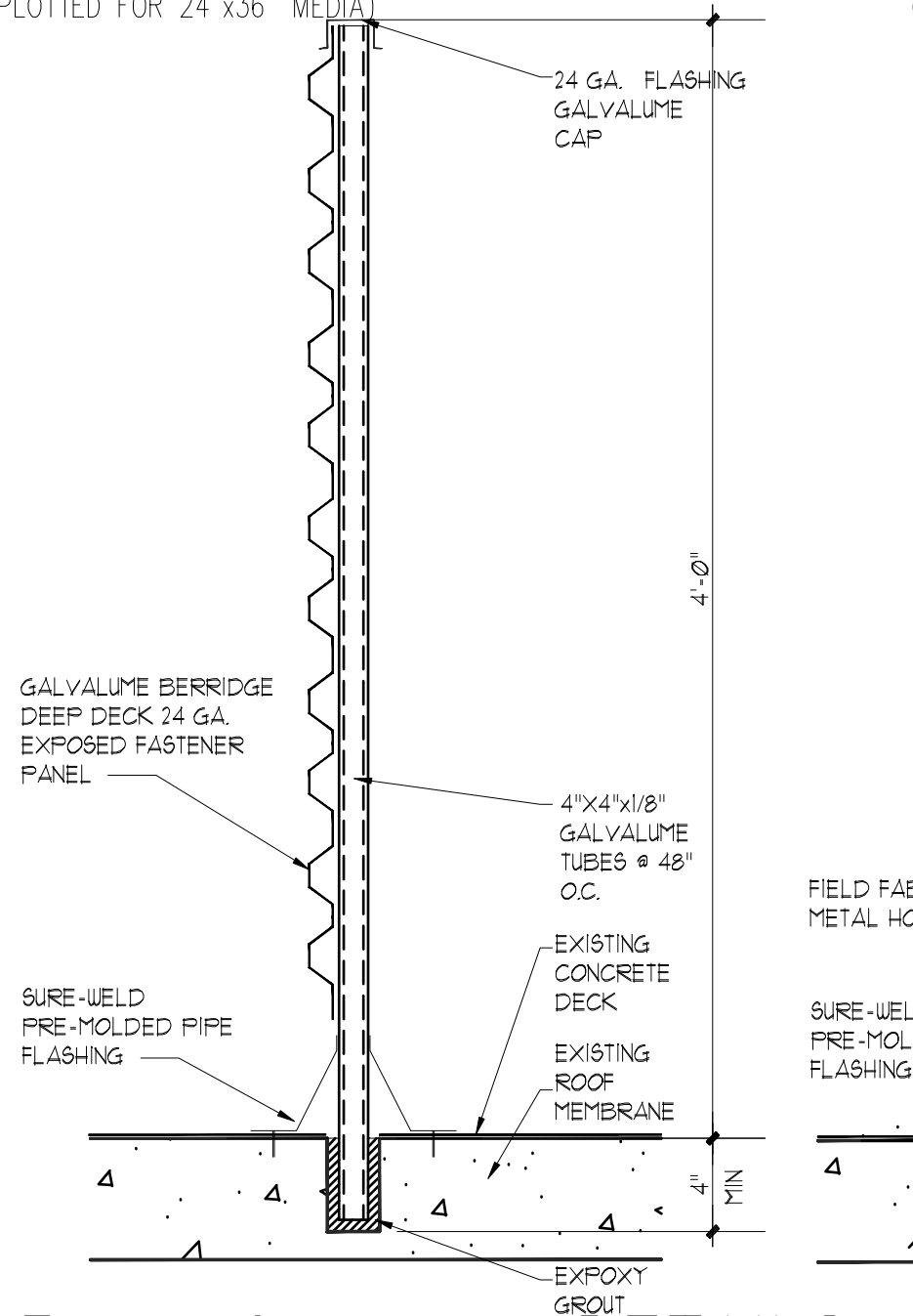
SCALE: 3/4" = 1'-0"
(PLOTTED FOR 24"x36" MEDIA)



02. PLANTER DETAIL

SCALE: 3/4" = 1'-0"
(PLOTTED FOR 24"x36" MEDIA)

SCALE: 1 1/2" = 1'-0"
(PLOTED FOR 24"x36" MEDIA)



03. roof screen DETAILS (

SCALE: 1 1/2" = 1'-0"
(PLOTED FOR 24"x36" MEDIA)





Wood door example as noted in finding e.



FIRE STATION #7 RESTAURANT

604 SOUTH ALAMO STREET, SAN ANTONIO TEXAS

PRICING SET -03.03.2015

LOCATION MAP
LEGAL ADDRESS: -

PROJECT TEAM:

OWNER

Andrew Goodman
c/o Lori Urbano
San Antonio, Texas
TEL: (210) 415-5566
lori@buildurbano.com

ARCHITECT:

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2115 Anchor Drive, Suite 3
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TEL: (210) 738-2260
jms@jmsarchitects.com

M.E.P. ENGINEER:

Edward C. Monaco
2115 Anchor Drive, Suite 3
San Antonio, Texas, 78213
TEL: (210) 846-4594
edwardmonaco@satx.rr.com

CIVIL ENGINEER:

ADA Consulting
(Under separate contract to owner)

STRUCTURAL ENGINEER:

SSE
Chester Spaulding
12011 Huebner #106
San Antonio, Tx 78230
chester@sse-texas.com

SHEET INDEX:

CIVIL SHEETS:

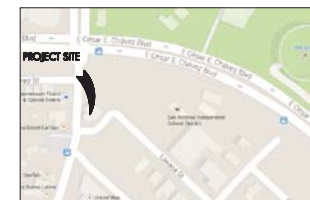
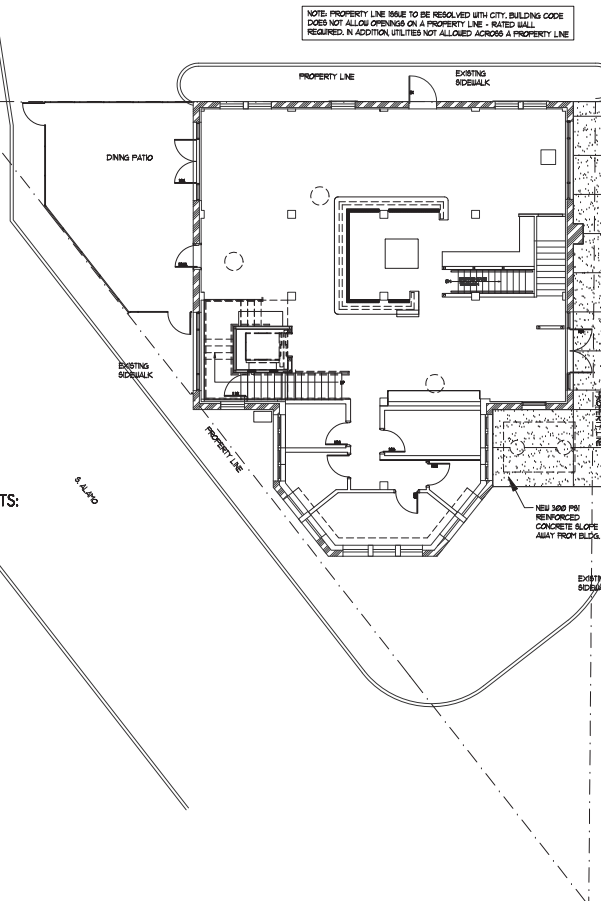
ARCHITECTURAL SHEETS:

A1.0 SITE PLAN
D2.0 DEMOLITION BASEMENT PLAN
D2.1 DEMOLITION FIRST FLOOR PLAN
D2.2 DEMOLITION SECOND FLOOR PLAN
A2.0 BASEMENT FLOOR PLAN
A2.1 FIRST LEVEL PLAN
A2.2 SECOND FLOOR PLAN
A2.3 ROOF PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A5.0 WALL TYPES
A6.0 TOILET ROOM ENLARGED PLANS/ELEVATIONS
A6.1 INTERIOR ELEVATIONS/DETAILS
A6.2 INTERIOR ELEVATIONS
A7.0 BASEMENT REFLECTED CEILING PLAN
A7.1 FIRST LEVEL REFLECTED CEILING PLAN
A7.2 SECOND LEVEL REFLECTED CEILING PLAN
A8.0 SPECIFICATIONS
A9.0 T.A.S

MEP SHEETS:

MEP-1 MEP SITE REFERENCE PLAN
MEP-2 MEP LEGENDS AND SYMBOLS
MEP-3 MEP GENERAL SPECIFICATIONS AND CONDITIONS
M1 MECHANICAL HVAC FLOOR PLAN-1ST FLOOR
M2 MECHANICAL HVAC FLOOR PLAN-2ND FLOOR
M3 HVAC MECHANICAL SCHEDULES AND NOTES
M4 HVAC MECHANICAL DETAILS
M5 MECHANICAL EXHAUST HOOD PLAN
M6 MECHANICAL HVAC SPECIFICATIONS
H1 KITCHEN HOOD DRAWINGS
H2 KITCHEN HOOD FAN DETAILS
E1 ELECTRICAL POWER PLAN-1ST FLOOR AND BASEMENT
E2 ELECTRICAL POWER PLAN- 2ND FLOOR PLAN
E3 ELECTRICAL LIGHTING PLAN- 1ST FLOOR AND BASEMENT
E4 ELECTRICAL LIGHTING PLAN- 2ND FLOOR PLAN
E5 ELECTRICAL RISER DIAGRAM AND SCHEDULES
E6 ELECTRICAL SPECIFICATIONS AND SCHEDULES
P1 PLUMBING FLOOR PLAN- 1ST FLOOR
P2 PLUMBING FLOOR PLAN- 2ND FLOOR
P3 PLUMBING RISER DIAGRAM- 1ST FLOOR
P4 PLUMBING RISER DIAGRAM- 2ND FLOOR
P5 PLUMBING DETAILS AND SCHEDULES
P6 PLUMBING SPECIFICATIONS

STRUCTURAL SHEETS:



location map

01. SITE PLAN
SCALE: 1/8" = 1'-0"
(PRINTED FOR 34" X 46" MEDIA)



1000 SHAWWORTH
SAN ANTONIO, TEXAS 78205
210.738.2260
WWW.JMSARCHITECTS.COM
PRICING: 03.03.15

03.03.15

FIRE STATION RESTAURANT
604 SOUTH ALAMO STREET
SAN ANTONIO, TEXAS 78205

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CHECKED: JMS
DATE: 02.16.15
PROJECT NO.: 2450
ISSUE DATES
02.19.2015 REVIEW
03.03.2015 PRICING

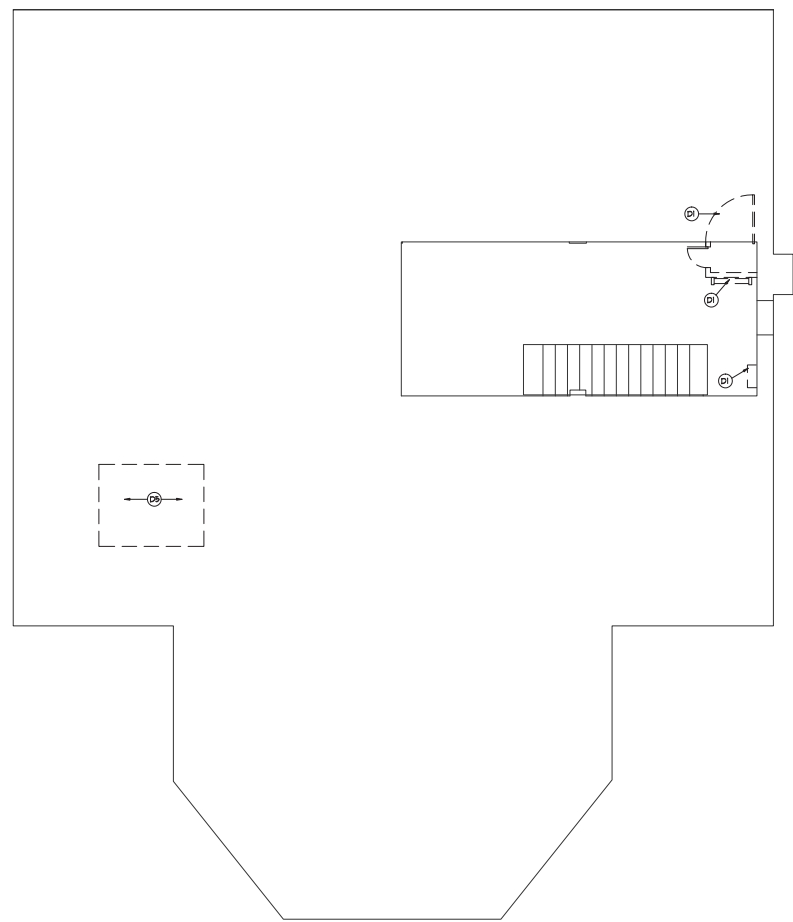
SHEET NO.
SITE PLAN

SHEET NO.

A1.0

A
B
C
D
E

1 2 3 4 5 6



- DEMOLITION NOTES:**
- D1 REMOVE EXISTING WALLS AND DOORS AS INDICATED.
 - D2 REMOVE EXISTING EXTERIOR DOOR.
 - D3 REMOVE EXISTING CEILING.
 - D4 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR. SEE STRUCTURAL DRAWINGS.
 - D5 SAWCUT AND REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW ELEVATOR.
 - D6 EXISTING ELECTRICAL SERVICE TO BE MODIFIED. REWIRE DRAWINGS.
 - D7 REMOVE EXISTING SIDEWALK AREA FOR NEW GREASE TRAP AND PIPING.
 - D8 REMOVE EXISTING BUILDING APPENDAGE, ETC.
 - D9 REMOVE EXISTING SILL PANELS.
 - D10 PARTIALLY DEMO WALL-LEAVE LOWER SECTION.
- ===== WALLS TO REMAIN
- WALLS/DOORS, ETC. TO BE REMOVED

 **01.demolitionPLAN basementFLOOR**
SCALE: 1/4" = 1'-0"
(NOTED FOR 34.50P MEDIA)



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A CONTRACT.
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02.03.15

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03.03.2015

SHEET TITLE:
demolitionPLAN

SHEET NO.
D2.0



09.09.1

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SHEET TITLE:
demolition PLAN

SHEET NO.

D2.1



01.demolitionPLAN 1nd FLOOR

SCALE 1/4" = 1'-0"
PLOT FOR 24"x36" MEDIA

FIRE STATION RESTAURANT

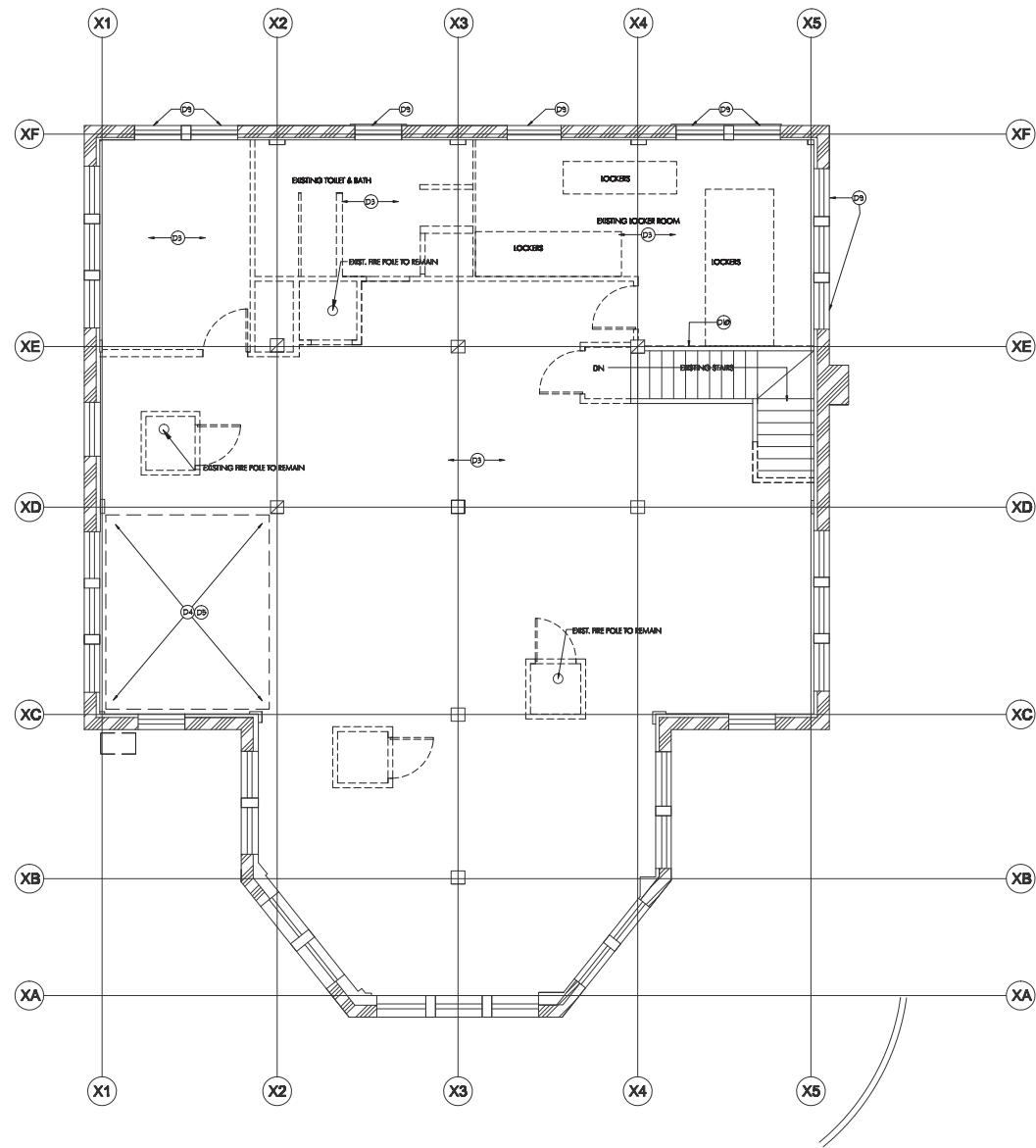
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SHEET TITLE
 demolitionPLAN

SHEET NO.
 D2.2



01.demolitionPLAN 2nd FLOOR
 SCALE: 1/4" = 1'-0"
 (PLOT FOR 24" X 36" MEDIA)

FIRE STATION RESTAURANT

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 SAN ANTONIO, TEXAS 78205

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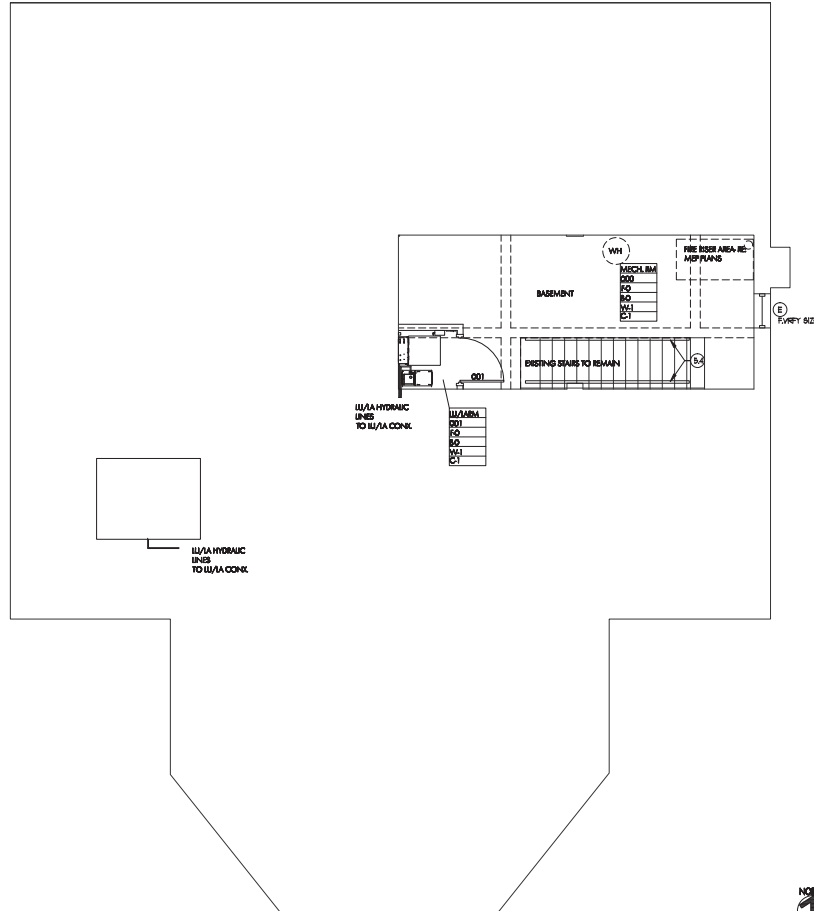
01. LOWER level PLAN

SHEET NO.

A2.0

KEY NOTES:

- | | |
|--------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|
| DIVISION 1 | 0.3 NEW SOLID SUBSACK COUNTER/SPASH AS SCHED. |
| 01 REPAIR BROKEN / DAMAGED GLASS/ SASH/ TRIM. | 0.4 PAINT METAL EXISTING RAILING/ ORNAMENT. |
| 02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING WALLS AND CEILING - FINISH TO MATCH A. GRACOIT EXISTING CEILING. | 0.5 CLEAN/REPAIR EXISTING WOODWORK, PAINT AS SCHED. |
| 03 PARTIALLY DEMO WALL - FINISHED TOP OF WALL TO BE 3'6" A.F.F. | 0.6 NEW GYP. BOARD FLOOR DOWN. |
| DIVISION 3 CONCRETE | 0.7 NEW CERAMIC AS SCHED. |
| 3.1 NEW REINFORCED CONCRETE FLOOR, RE: STRUCT. DWG. | 0.8 NEW T.B.T. PANEL SYSTEM WALL W/ PANEL JOINT, END PANEL COVER |
| 3.2 NEW CONCRETE CURB/ BASE | DIVISION 10 SPECIALTIES |
| DIVISION 5 METALS | 10.1 REPAIR/REPLACE AS SCHED. |
| 5.1 NEW COULUM RE: STRUCT. DRAWINGS. | 10.2 KITCHEN EQUIPMENTS BY OWNER. |
| 5.2 NEW STEEL STRINGER RE: STRUCT. DRAWINGS. | DIVISION 15 MECHANICAL |
| 5.3 NEW PRT. STL. GUARDRAIL. | 15.1 MECHANICAL EQUIPMENT AS SCHED, RE: MEP DWG. |
| 5.4 NEW PRT. 1 1/4" DIA. HANDRAIL. | 15.2 |
| 5.5 NEW 1/8" STL. FRAME FOR TEMP. GLASS ROOM IN RIL. | DIVISION 16 ELECTRICAL |
| 5.6 NEW STAINLESS STEEL CORNER GUARDS. | 16.1 ELECTRICAL DEVICE, LIGHT, FIXTURE AS SCHED, RE: MEP DWG. |
| DIVISION 6 WOODS AND PLASTICS | |
| 6.1 W.D. WOODING AS SCHED. | |
| 6.2 NEW PLASTIC LAMINATE CABINET A SCHED. | |
| 6.3 BOORD AS SCHED. | |
| 6.4 STAINED GRAB WOOD TREAD AND HANDRAIL. | |
| DIVISION 7 THERMAL AND SURE PROTECTION | |
| 7.1 NEW BOPED ROOF FLASHING AWAY FROM NEW CURB - VERIFY ROOF SLOPE. | |
| 7.2 NEW MIN. 12" IL ROOF CURB TYP. | |
| 7.3 NEW ROOF HATCH. | |
| 7.4 SEAL ALL OPENINGS @ EXISTING DOOR/ WINDOW. | |
| DIVISION 8 DOORS AND WINDOWS | |
| 8.1 NEW DOOR/ WINDOW AS SCHED. - 4 1/2" CLEAR AND OVER. INSULATION PROTECTION. | |
| 8.2 REFURCE MISSING PATH SABL. | |
| 8.3 REPAIR EXISTING DOOR- REFURCE BROKEN/ MISSING GLASS, PAINT AND SEAL. | |
| 8.4 NEW WOOD SASH TO REFURCE EXISTING. | |
| 8.5 NEW LOWER RE: MEP DWG. | |
| 8.6 PAINTED H. W. DOOR FRAME. | |
| DIVISION 9 FINISHES | |
| 9.1 PRT. WALL / CGL. | |
| 9.2 NEW CERAMIC TILE WALL/BASE AS SCHED. | |



01. LOWER level PLAN
 SCALE: 1/4" = 1'-0"
 (NOTED FOR 24-24' MEAN)

NOTE: PROPERTY LINE ISSUE TO BE RESOLVED WITH CITY. BUILDING CODE DOES NOT ALLOW OPENINGS ON A PROPERTY LINE - RATED WALL REQUIRED. IN ADDITION, UTILITIES NOT ALLOWED ACROSS A PROPERTY LINE

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR	BASE	WALLS	NORTH	EAST	SOUTH	WEST	CEILING	FINISH
001	ENTRY	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
002	LOBBY	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
003	BAR	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
004	ELEVATOR	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
005	DRINK	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
006	DRINK	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
007	WASHUP TOILET	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
008	WASHUP TOILET	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
009	TOILET	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
010	TOILET	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
011	ST. ROOM	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
012	ST. ROOM	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
013	DRINK	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
014	DRINK	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
015	MECHANICAL ROOM	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1
016	STORAGE ROOM	F-1	B-1	B-1	-	-	-	-	EXIST.	C-1

ROOM FINISH LEGEND

FLOORING	WALLS	CEILING	MATERIAL
F-1 NO FINISH	W-1 NO FINISH	C-1 NO CEILING	SOLID CORE WOOD WITH PAINTED
F-2 POLISHED CONCRETE 3000 GROUND POLISHED	W-2 PATCH CLEAN/REPAIR AS REQUIRED EXISTING PLASTER WALL FINISH	C-2 PATCH GYP. BD. W/ LEVEL 5 FINISH	HPL PLATE
F-3 ENGINEERED WOOD FLOORING AS SCHED.	W-3 PRF - COLOR WHITE	C-3 2X4 FRENCH/ASH FACE UNPAINTED CLG. TILE SYSTEM	STAIN GRADE
	W-4 PRF - DECORATIVE COLOR, T. B. D.	C-4 2X4 CLG. TILE SYSTEM	TEPPERED
	W-5 CERAMIC TILE BASE BY OWNER T.B.D.		ALUMINUM
			CLEAR ANODIZED
			HOLLOW METAL

WALL TYPES RE: SHEET A5.0 DOOR SCHEDULE

DOOR NO.	DOOR	THICKNESS	MAT.	TYPE	FINISH	HOW	GLASS	UL	RAT.
001	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
002	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
003	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
004	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
005	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
006	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
007	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
008	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
009	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
010	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
011	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
012	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
013	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
014	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
015	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
016	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
017	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
018	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
019	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-
020	ENTRY	1'-0"	AL.	GL.	ST.	-	-	-	-

KEY NOTES:

- DIVISION 1**
- 01 REPAIR BROKEN / DAMAGED GLASS / SASH / TRIM.
 - 02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING WALLS AND CEILING - FINISH TO MATCH ADJACENT EXISTING CEILING.
 - 03 PARTIALLY DEMO WALL - FINISH TOP OF WALL TO BE 3'-0" AFF.
- DIVISION 2**
- 01 NEW REINFORCED CONCRETE FLOOR, RE. STRUCT. DIVISION.
 - 02 NEW CONCRETE CURB / BASE
- DIVISION 3**
- 01 NEW COUNCIL RE. STRUCT. DRAWINGS.
 - 02 NEW STYL. STENCILS RE. STRUCT. DRAWINGS.
 - 03 NEW PRF. ST. GUARDRAIL.
 - 04 NEW PRF. 1 1/2" DIA. HANDRAIL.
 - 05 NEW 1/2" ST. PLATE FOR TRIM GLASS FLOOR INFL.
 - 06 NEW STAINLESS STEEL CORNER GUARDS.
- DIVISION 4**
- 01 W.D. JOCKING AS SCHED.
 - 02 NEW PLYWOOD CABINET AS SCHED.
 - 03 BOARDS AS SCHED.
 - 04 STAINED GRADE WOOD TREAD AND LANDING.
- DIVISION 5**
- 01 NEW ROOF RAMP FLASHING AWAY FROM NEW CURB - VERIFY ROOF SLOPE.
 - 02 NEW MIN. 12" H. ROOF CURBS TYP.
 - 03 NEW ROOF MATCH. BEAM/AS.
 - 04 SEAL ALL OPENINGS @ EXISTING DOOR / WINDOW.
- DIVISION 6**
- 01 NEW DOOR / WINDOW AS SCHED. 4 1/2" CLEAR ANODIZED.
 - 02 INSULATION BETWEEN.
 - 03 REPLACE MISSING TRIM / SASH.
 - 04 REPAIR EXISTING DOOR REPLACE BROKEN / MISSING GLASS PANEL.
- DIVISION 7**
- 01 NEW WOOD BASH TO REPLICATE EXISTING.
 - 02 NEW LOWER RE. MFP DIVISION.
 - 03 PAINTED H. AL. DOOR FRAME.
- DIVISION 8**
- 01 PTG. WALL / GLD.
 - 02 NEW CERAMIC TILE WALL/BASE AS SCHED.
 - 03 NEW SOLID BURNAGE COUNTER/SPASH AS SCHED.
 - 04 PAINT METAL EXISTING BARNDOOR CHAIRMAN.
 - 05 CLEAN/REPAIR EXISTING WOODWORK, PAINT AS SCHED.
 - 06 NEW OPR. BOARD TURN DOWN.
 - 07 NEW CEILING AS SCHED.
 - 08 NEW FRT. PANEL SYSTEM WITH PANEL JOINT END COVER.
- DIVISION 9**
- 01 ELEVATOR AS SCHED.
 - 02 KITCHEN EQUIPMENTS BY OWNER.
- DIVISION 10**
- 01 ELEVATOR AS SCHED.
 - 02 KITCHEN EQUIPMENTS BY OWNER.
- DIVISION 11**
- 01 ELECTRICAL DEVICE, LIGHT, FUTURE AS SCHED, RE. MFP DIVISION.



FIRE STATION RESTAURANT

604 SOUTH ALAMO STREET
SAN ANTONIO, TEXAS 78205

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SHEET NO. 1
A2.1

01. PROPOSED 1st floor PLAN
SCALE: 1/4" = 1'-0"
(NOTED FOR 34'-0" WEA)

- 18 GA. 304 STAINLESS STEEL WALL PANEL/WRAP ROLL
- F.R.P. ON EXISTING WALL
- PLACE BELOW/ABOVE EXISTING WINDOWS TO CEILING.
- EXISTING WINDOWS TO REMAIN - ALL WOOD TO BE PAINTED
- 14 GA. 304 STAINLESS STEEL CORNER GUARD

FIRE STATION RESTAURANT

604 SOUTH ALAMO STREET
 SAN ANTONIO, TEXAS 78205

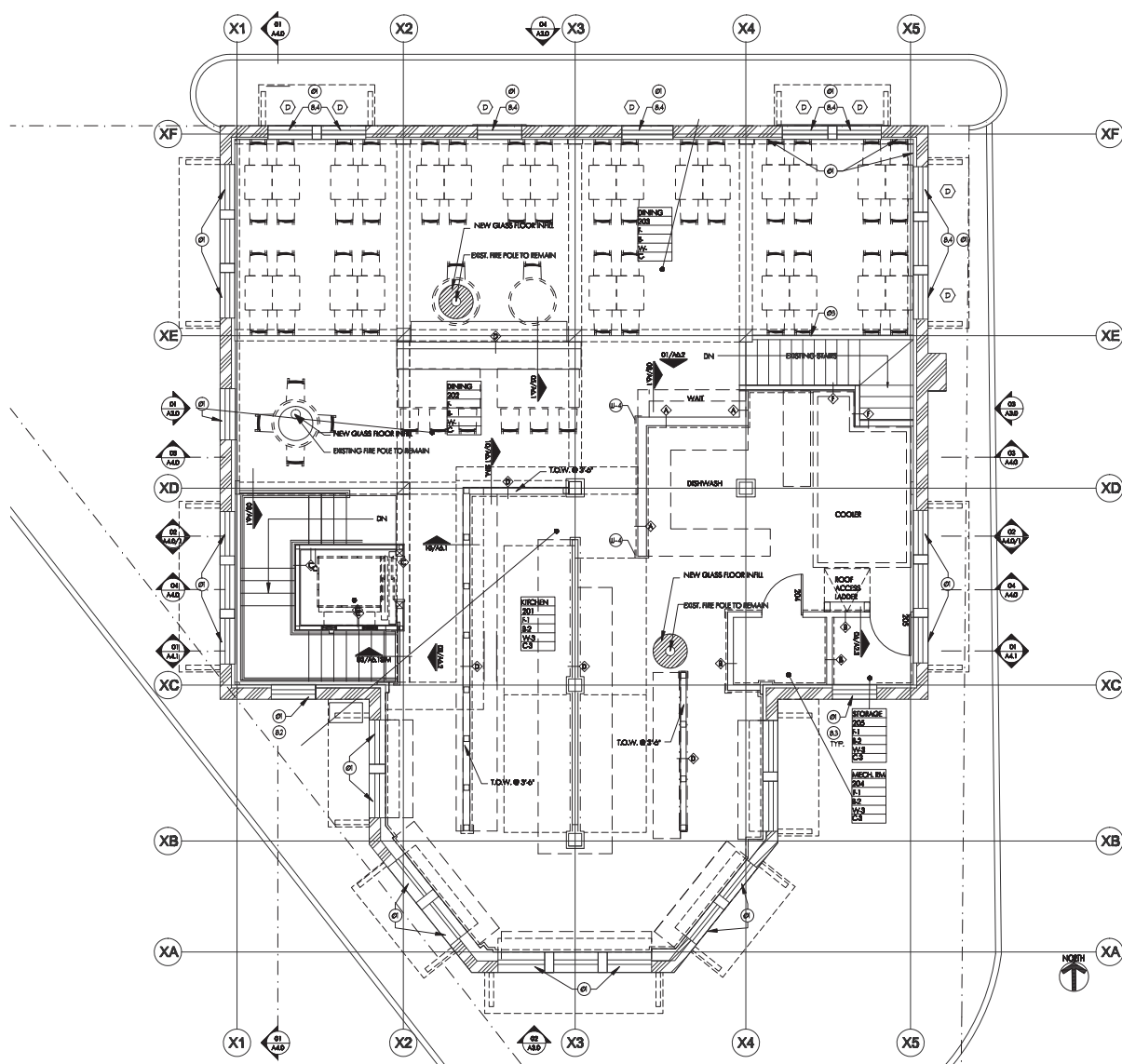
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01. PROPOSED 2nd floor PLAN

01. PROPOSED 2nd floor PLAN
 SCALE: 1/8" = 1'-0"
 (NOTED FOR 24x36 INCH)

01. PROPOSED 2nd floor PLAN
 SCALE: 1/8" = 1'-0"
 (NOTED FOR 24x36 INCH)



KEY NOTES:

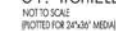
- DIVISION 1**
 01. REPAIR BROKEN/DAMAGED GLASS/SASH/TIMBER
 02. REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING
 WALLS AND CEILING. FINISH TO MATCH A. SHOWN
 EXISTING CEILING.
 03. PARTIAL GROUND WALL - FINISHED TOP OF WALL TO BE
 3/4" A.J.T.
DIVISION 2
 01. NEW REINFORCED CONCRETE FLOOR, RE. STRUC.
 DWG.
 02. NEW CONCRETE CURB/BASE
DIVISION 3
 01. NEW COLUMN RE. STRUC. DRAWING.
 02. NEW STEEL STRINGER RE. STRUC. DRAWING.
 03. NEW POL. ST. GUARDRAIL.
 04. NEW POL. 1 1/4" DIA. HANDRAIL.
 05. NEW 1 7/8" ST. FRAME FOR TEMP. GLASS FLOOR INFILL.
 06. NEW BRASS ST. CORNER GUARD.
DIVISION 4
 01. VIB. WOODING AS SCHED.
 02. NEW PLASTIC LAMINATE CABINET AS SCHED.
 03. BOOTH AS SCHED.
 04. STAINED OAK WOOD TREAD AND LANDING.
DIVISION 5
 01. NEW SCROD ROOF FLASHING AWAY FROM NEW
 CURB - VERIFY ROOF SCOP.
 02. NEW MAIN TP 1/2" ROOF CURB TYP.
 03. NEW ROOF HATCH.
 04. SEAL ALL OPENINGS @ EXISTING DOOR/WINDOW.
DIVISION 6
 01. NEW DOOR/WINDOW AS SCHED. - 4 1/2" CLEAR
 ANODIZED ALUMINUM FRAMEWORK.
 02. REPLACE EXISTING PART SASH.
 03. REPAIR EXISTING DOOR - REPLACE BROKEN/MISSING
 GLASS, PAINT AND SEAL.
 04. NEW WOOD SASH TO REPLACE EXISTING.
 05. NEW GLASS RE. MET. DWG.
 06. PAINTED IL. DOOR FRAME.
DIVISION 7
 01. POL. WALL / CURB.
 02. NEW CERAMIC TILE WALL/BASE AS SCHED.
DIVISION 8
 01. 18 GA. 304 STAINLESS STEEL WALL PANEL/WRAP ROLL
 — F.R.P. ON EXISTING WALL
 (NOTE: PLACE BELOW/ABOVE EXISTING WINDOWS TO CEILING.)
 EXISTING WINDOWS TO REMAIN - ALL WOOD TO BE PAINTED
 L 14 GA. 304 STAINLESS STEEL CORNER GUARD

NOTE: ALL WALLS IN KITCHEN TO BE
 SET ON 4" HIGH, CONCRETE CURB,
 TYP., UNO.

01. PROPOSED 2nd floor PLAN
 SCALE: 1/8" = 1'-0"
 (NOTED FOR 24x36 INCH)



DIVISION 1	9.3 NEW SOUL SUBJECT COLOUR/SPRAYS AS SCHED.
01 REPAIR BOTTING / DAMAGED GLASS / SASH/FRMA	9.4 PAINT METAL EXISTING KNUCKLE / ORNAMENT
02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING	9.5 GLASS/REPAIR EXISTING WOODCORNER / PAINT AS
WALLS AND CEILING - FINISH TO MATCH A SPACED	9.6 EXISTING AS SCHED.
03 REPAIR EXISTING WALLS AND CEILING - FINISH TO MATCH A	9.7 NEW GYP BOARD FILL DOWN
04 PARTIALLY DEMO WALL - FINISHED TOP OF WALL TO BE	9.8 NEW RP / RP PAINT SYSTEM WALL W/ PANEL JOINT, EPS
DIVISION 3 CONCRETE	PANEL COVER
3.1 NEW / REPAIR CONCRETE FLOOR, RE-STRUC.	
3.2 NEW CONCRETE CURB / BASE	
DIVISION 5 METALS	
5.1 NEW COLUMN RE-STRUC. DRAWINGS	
5.2 NEW STEEL, STRENGTH STRUT. DRAWINGS	
5.3 NEW PIP. ST. GUARDRAIL	
5.4 NEW PIP. ST. GUARDRAIL, 10 GA. MANDREL	
5.5 NEW 1/8" ST. STEEL FOR TOP GLASS FLOOR INFILL	
5.6 NEW STAINLESS STEEL CORNER GUARDS	
DIVISION 6 WOODS AND PLASTICS	
6.1 WOODS AS SCHED	
6.2 WOOD KITCHEN CABBINETS, CABINET AS SCHED.	
6.3 BOOTH AS SCHED	
6.4 STAINED GLASS / MOUSE TRAP AND LAMINING	
DIVISION 7 THERMAL/Acoustic PROTECTION	
7.1 NEW SOUL SCOFF FLASHING AROUND NEW CURB	
7.2 CURB, VERIFY ROOF SLOPE	
7.3 NEW MIN. 2" R-100S CLOS. CLOS. TYP.	
7.4 NEW ROOF FLASH	
7.5 SEAL ALL OPENINGS & EXISTING DOOR / WINDOW	
DIVISION 8 DOORS AND WINDOWS	
8.1 NEW DOOR / WINDOW AS SCHED - 4 1/2" DOOR	
8.2 ANCHORED INSULATION TOLERANCE	
8.3 IMPACT MISSING PARTS SASH	
8.4 REPAIR EXISTING DOOR, REPLACE BOTTING / MISSING	
GLASS, PAINT AND SEAL	
8.5 NEW WOOD SASH TO REPLICATE EXISTING	
8.6 NEW COVER REPAIR DOOR	
8.7 PAINTED 10 GA. DOOR FRAME	
DIVISION 9 FINISHES	
9.1 FIB. WALL / COL.	
9.2 NEW CERAMIC TILE WALL/BASE AS SCHED	
DIVISION 10 SPECIALTIES	
10.1 EXHAUST AS SCHED	
10.2 KITCHEN EQUIPMENT BY OWNER	
DIVISION 15 MECHANICAL	
15.1 MECHANICAL EQUIPMENT AS SCHED, RE-MST. DWGS.	
DIVISION 16 ELECTRICAL	
16.1 ELECTRICAL, LIGHT, FIGHTURE AS SCHED, RE-MST. DWGS.	



FIRE STATION RESTAURANT

604 SOUTH ALAMO STREET
SAN ANTONIO, TEXAS 78205

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03.03.2015 PRICING

02.02.2018 1.0

02.02.2018 1.0

A3.1



02. rear ELEVATION
NOT TO SCALE
(PLOTED FOR 24\"/>

DEMOLITION NOTES:

- D1 REMOVE EXISTING WALLS AND DOORS AS INDICATED.
- D2 REMOVE EXISTING EXTERIOR DOOR.
- D3 REMOVE EXISTING CEILING.
- D4 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR. RE STRUCTURAL DRAWINGS.
- D5 SAWCUT AND REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW ELEVATOR.
- D6 EXISTING ELECTRICAL SERVICE TO BE MODIFIED RE NEW DRAWINGS.
- D7 REMOVE EXISTING SIDEWALK AREA FOR NEW GREASE TRAP AND PIPING.
- D8 REMOVE EXISTING BUILDING APPENDAGE, ETC.
- D9 REMOVE EXISTING SILL PANEL.
- D10 PARTIALLY DEMO WALL- LEAVE LOWER SECTION.

— WALLS TO REMAIN
--- WALLS/DOORS, ETC. TO BE REMOVED

KEY NOTES:

- DIVISION 1
- 01 REPAIR BROKEN / DAMAGED GLASS / SASH / TRIM.
- 02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING WALL AND CEILING. FINISH TO MATCH A. QUANTITIES EXISTING CEILING.
- 03 PARTIALLY DEMO WALL- FINISHED TOP OF WALL TO BE 3' 6\"/>
- DIVISION 3 CONCRETE
- 31 NEW REINFORCED CONCRETE FLOOR. RE. STRUCT. DWGS.
- 32 NEW CONCRETE CURB / BASE
- DIVISION 5 METALS
- 51 NEW COLUMN RE. STRUCT. DRAWINGS.
- 52 NEW STEEL STRINGER RE. STRUCT. DRAWINGS.
- 53 NEW FID. STEEL GUARDRAIL.
- 54 NEW FID. 1 1/4\"/>
- 55 NEW 1/8\"/>
- 56 NEW STAINLESS STEEL CORNER GUARDS.
- DIVISION 6 WOODS AND PLASTICS
- 61 WID. BLOCKING AS SCHED.
- 62 NEW PLASTIC LAMINATE CABINET AS SCHED.
- 63 BOOTH AS SCHED.
- 64 STAINED GRAB WOOD TREAD AND LANDING.
- DIVISION 7 THERMAL / NOISE / BY PROTECTION
- 71 NEW SLOPED ROOF FLASHING AWAY FROM NEW CURB - VERIFY ROOF SLOPE.
- 72 NEW MIN. 12\"/>
- 73 NEW ROOF HATCH.
- 74 SEAL ALL OPENINGS @ EXISTING DOOR / WINDOW.
- DIVISION 8 DOORS AND WINDOWS
- 81 NEW DOOR / WINDOW AS SCHED. 4 1/2\"/>
- 82 HANGERS - INSULATION STOREROOM.
- 83 REPLACE MISSING PATH SASH.
- 84 REPAIR EXISTING DOOR / REPLACE BROKEN / MISSING GLASS. PAINT AND SEAL.
- 85 NEW WOOD SASH TO REPLICATE EXISTING.
- 86 NEW COULDER RE. NEW DWGS.
- 87 PAINTED H. M. DOOR FRAME.
- DIVISION 9 FINISHES
- 91 FID. WALL / CIG.
- 92 NEW CERAMIC TILE WALL / BASE AS SCHED.
- 93 NEW SOLID SURFACE COUNTER / SPASH AS SCHED.
- 94 PAINT METAL EXISTING RAILING / ORNAMENT.
- 95 CLEAN / REPAIR EXISTING WOODWORK. PAINT AS SCHED.
- 96 NEW OVP. BOARD FURN. DOWN.
- 97 NEW CEILING AS SCHED.
- 98 NEW I.F.F. PANEL SYSTEM WALL W/ PANEL JOINT, END PANEL COVER.
- DIVISION 10 SPECIATES
- 101 ELEVATOR AS SCHED.
- 102 KITCHEN EQUIPMENTS BY OWNER.
- DIVISION 15 MECHANICAL
- 15.1 MECHANICAL EQUIPMENT AS SCHED. RE. NEW DWGS.
- DIVISION 16 ELECTRICAL
- 16.1 ELECTRICAL DEVICE, LIGHT, FIXTURE AS SCHED. RE. NEW DWGS.



01. right ELEVATION
NOT TO SCALE
(PLOTED FOR 24\"/>

8.4

FIRE STATION RESTAURANT

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SHORT TITLE
 exterior ELEVATIONS

SHEET NO.
A4.0

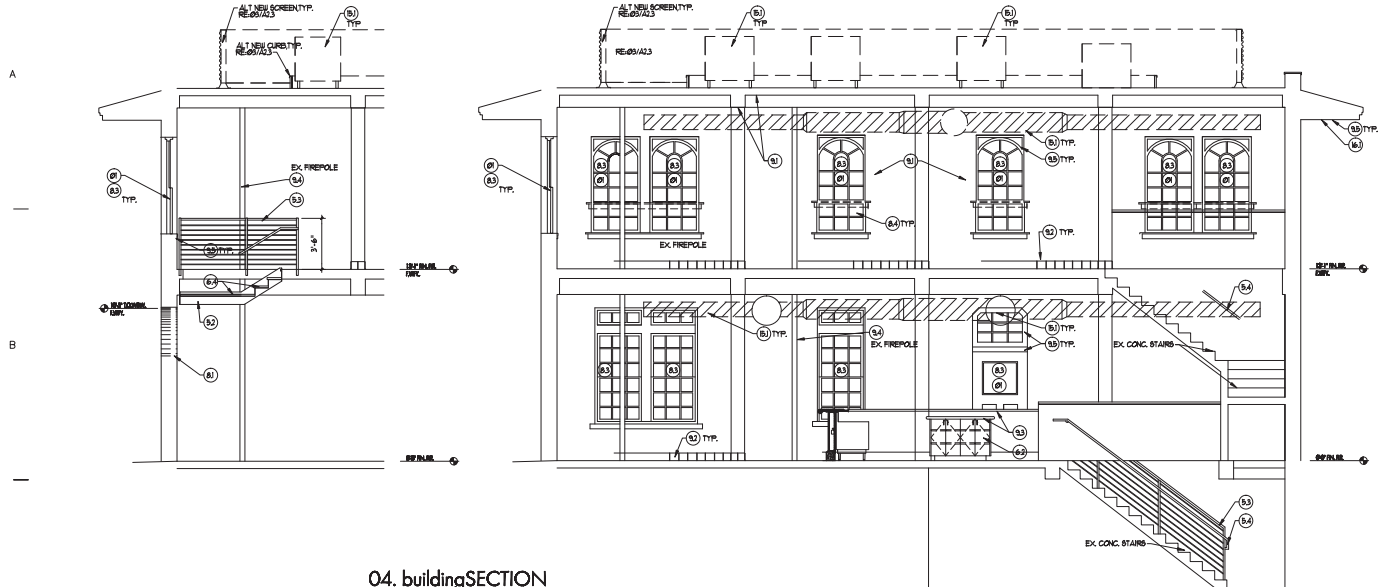
DEMOLITION NOTES:

- D1 REMOVE EXISTING WALLS AND DOORS AS INDICATED.
- D2 REMOVE EXISTING EXTERIOR DOOR.
- D3 REMOVE EXISTING CEILING.
- D4 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR. RE STRUCTURAL DRAWINGS.
- D5 SAWCUT AND REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW BEHAVIOR.
- D6 EXISTING ELECTRICAL SERVICE TO BE MOVED/RELOCATED/REWORKED.
- D7 REMOVE EXISTING SIDEWALK AREA FOR NEW GREASE TRAP AND PAVING.
- D8 REMOVE EXISTING BUILDING APPENDAGE, ETC.
- D9 REMOVE EXISTING SILL PANEL.
- D10 PARTIALLY DEMO WALL - LEAVE LOWER SECTION.

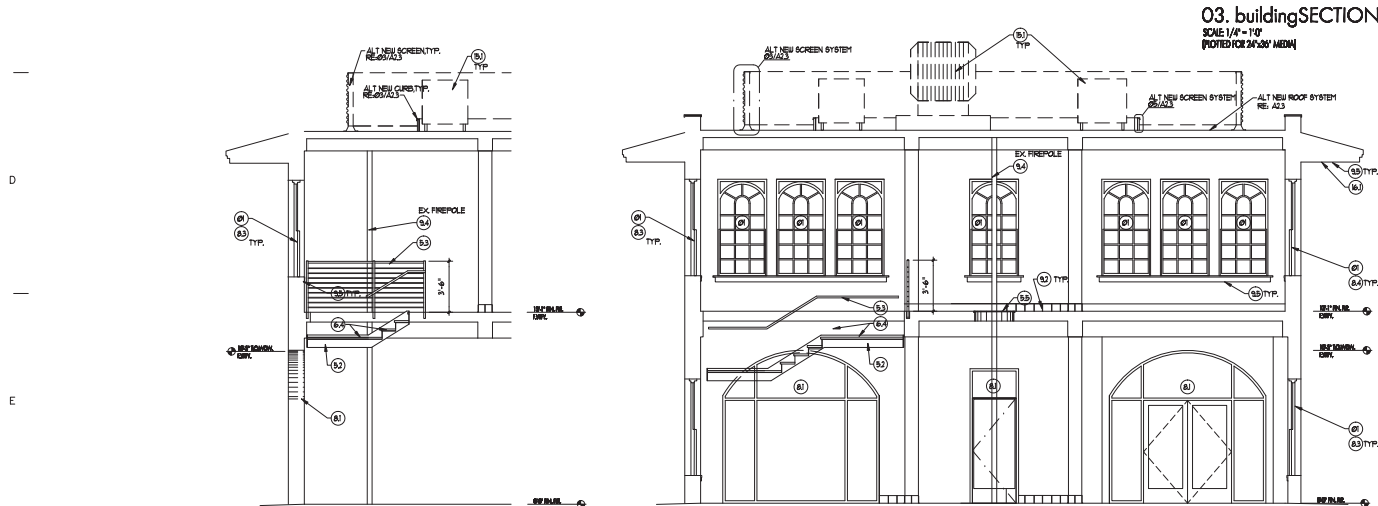
— WALLS TO REMAIN
 - - - - - WALLS/DOORS, ETC. TO BE REMOVED

KEY NOTES:

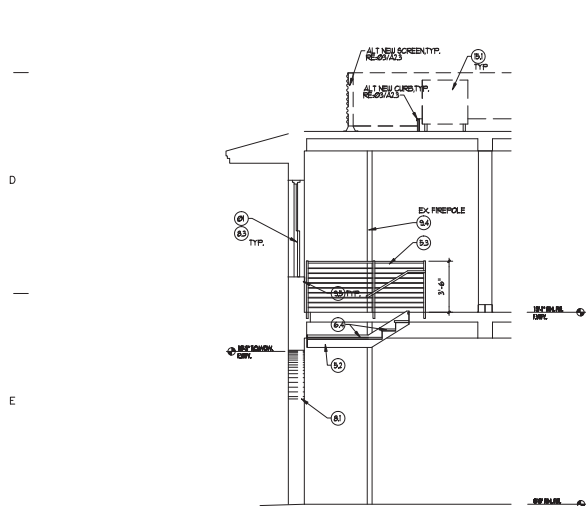
- | | | | |
|-------------|---------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|---------------------------------------------------|
| DIVISION 1 | 01. REPAIR BRICKEN / DAMAGED GLASS / SASH / TRIM. | 03. NEW SMOOTH SURFACE COUNTER / GRASS / AS SCHED. | |
| DIVISION 2 | 02. REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING WALLS AND CEILING - FINISH TO MATCH A. SANDING EXISTING CEILING. | 04. PAINT METAL EXISTING RAILING / ORNAMENT. | |
| DIVISION 3 | 03. NEW REINFORCED CONCRETE FLOOR. RE: STRUCT. DRAWING. | 05. CLEAN / REPAIR EXISTING WOODWORK, PAINT AS SCHED. | |
| DIVISION 4 | 04. NEW CONCRETE CURB / BASE. | 06. NEW GYPS. BOARD FUR DOWN. | |
| DIVISION 5 | 05. NEW COULUM RE: STRUCT. DRAWING. | 07. NEW CEILING AS SCHED. | |
| DIVISION 6 | 06. NEW STEEL STRINGER RE: STRUCT. DRAWING. | 08. NEW EXTER. PANEL SYSTEM WALL W/ PANEL JOINT, END PANEL COVER. | |
| DIVISION 7 | 07. NEW FIB. SILL GUARDRAIL. | | |
| DIVISION 8 | 08. NEW FIB. 1 1/4" DIA. HORIZONTAL. | DIVISION 10 | 10.1. NEW BENCHES. |
| DIVISION 9 | 09. NEW 1/8" SILL FRAME FOR TEMP. GLASS ROOM INFL. | DIVISION 11 | 11.1. MECHANICAL EQUIPMENT AS SCHED, RE: MEP DWG. |
| DIVISION 10 | 10. NEW GLASS / WOODS AND PLASTICS. | DIVISION 12 | 12.1. ELECTRICAL EQUIPMENT AS SCHED, RE: MEP DWG. |
| DIVISION 11 | 11. NEW WOODING AS SCHED. | | |
| DIVISION 12 | 12. NEW PLASTIC LAMINATE CABINET AS SCHED. | | |
| DIVISION 13 | 13. NEW ROOF FLASHING AWAY FROM NEW CURB - VERIFY ROOF SLOPE. | | |
| DIVISION 14 | 14. NEW MIN. 1" IL. ROOF CURBS TYP. | | |
| DIVISION 15 | 15. NEW ROOF FLASH. | | |
| DIVISION 16 | 16. SEAL ALL CRACKS @ EXISTING DOOR / WINDOW. | | |
| DIVISION 17 | 17. NEW DOOR / WINDOW AS SCHED - 1 1/2" CLEAR AND DOOR INSULATION STOPPING. | | |
| DIVISION 18 | 18. REPAIR EXISTING DOOR / WINDOW / MISSING GLASS, PAINT AND SEAL. | | |
| DIVISION 19 | 19. NEW WOOD SASH TO REPLICATE EXISTING. | | |
| DIVISION 20 | 20. NEW LOWER RE: MEP DWG. | | |
| DIVISION 21 | 21. PAINTED IL. DOOR FRAME. | | |
| DIVISION 22 | 22. NEW WALL / C/O. | | |
| DIVISION 23 | 23. NEW CERAMIC TILE WALL / BASE AS SCHED. | | |



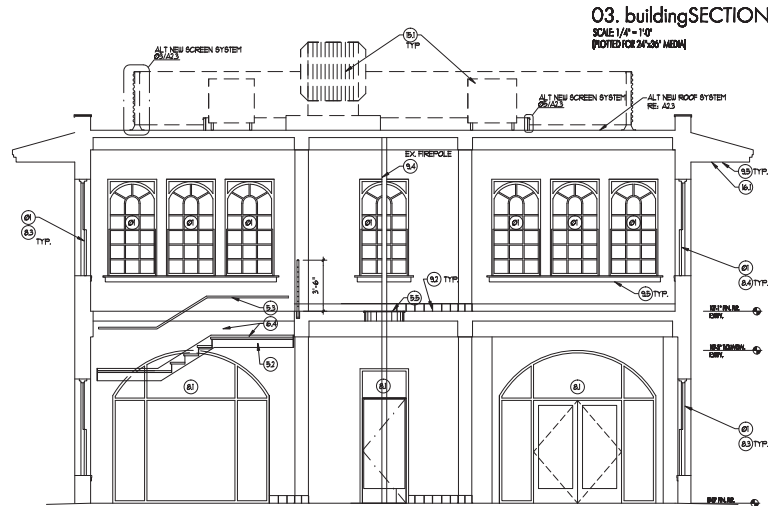
04. buildingSECTION
 SCALE 1/4" = 1'-0"
 (NOTED FOR 3/4" x 3/4" MEDIA)



03. buildingSECTION
 SCALE 1/4" = 1'-0"
 (NOTED FOR 3/4" x 3/4" MEDIA)



02. buildingSECTION
 SCALE 1/4" = 1'-0"
 (NOTED FOR 3/4" x 3/4" MEDIA)



01. buildingSECTION
 SCALE 1/4" = 1'-0"
 (NOTED FOR 3/4" x 3/4" MEDIA)

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SHEET TITLE:
exterior ELEVATIONS

SHEET NO.

A4.1



- D1 REMOVE EXISTING WALLS AND DOORS AS INDICATED.
- D2 REMOVE EXISTING EXTERIOR DOOR.
- D3 REMOVE EXISTING CEILING.
- D4 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR.
RE STRUCTURAL DRAWINGS.
- D5 SAWCUT AND REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW ELEVATOR.
- D6 EXISTING ELECTRICAL SERVICE TO BE MODIFIED REBID DRAWINGS.
- D7 REMOVE EXISTING SIDEWALK AREA FOR NEW GREASE TRAP AND PIPING.
- D8 REMOVE EXISTING BUILDING APPENDAGE, ETC.
- D9 REMOVE EXISTING SILL PANEL.
- D10 PARTIALLY DEMO WALL - LEAVE LOWER SECTION.

===== WALLS TO REMAIN

----- WALLS/DOORS, ETC. TO BE REMOVED

KEY NOTES:

- [illegible]



FIRE STATION #7 RESTAURANT

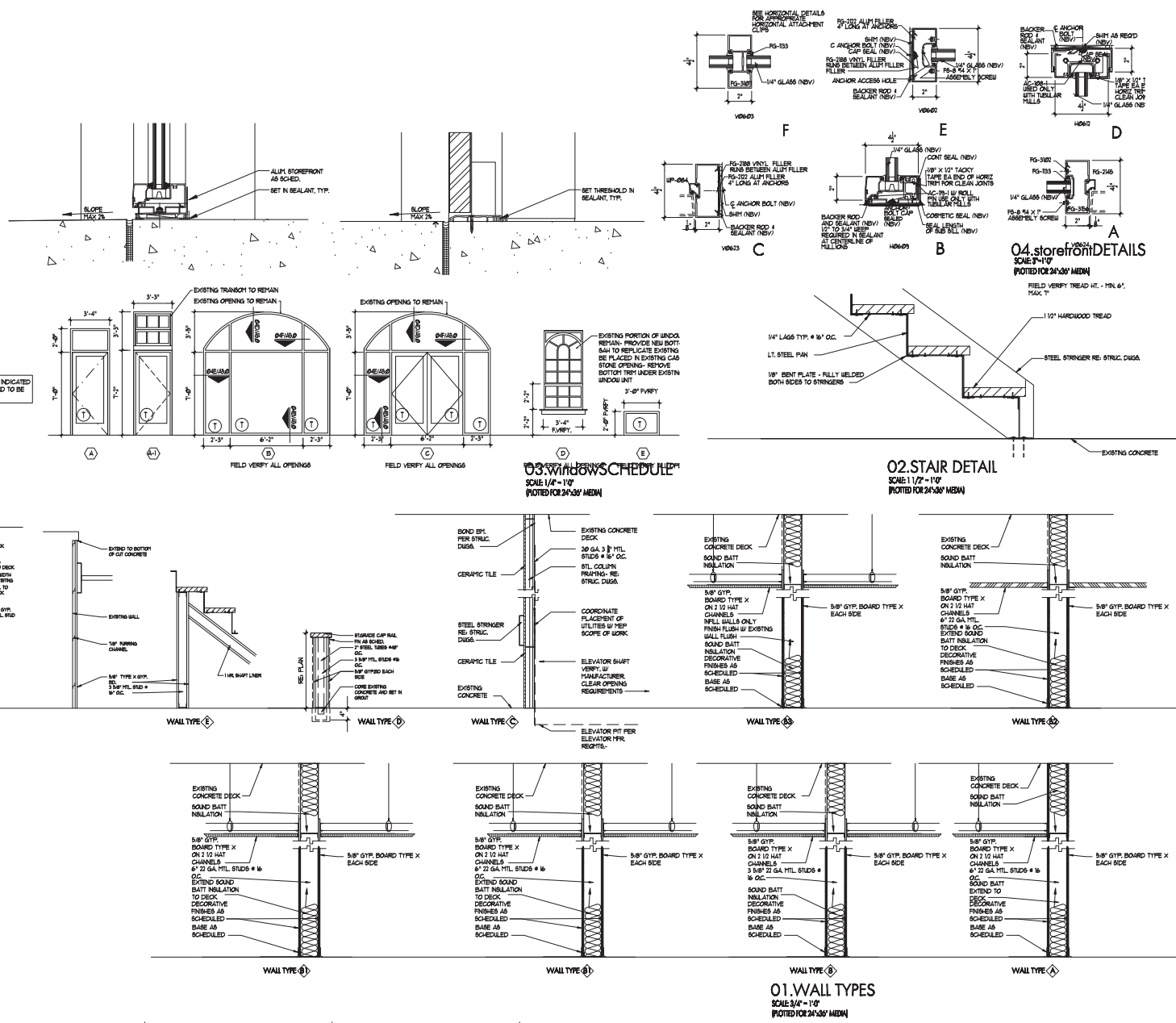
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SHORT TITLE
 window SCHEDULE

SHEET NO.
A5.0



MARK	DESCRIPTION
A	TOLLET PAPER DISPENSER BORISOK B-2892 TWIN JAMING ROLL DISPENSER DISPENSER WALL MOUNT @ CENTERLINE @ 19" AFF.
B	SANITARY MANHOLE DISPOSAL BORISOK B-254 SINKA SINK SINK @ CENTERLINE @ 19" AFF.
C	36" GRAB BAR BORISOK AB-8008-9933 AS PER AHA RESTRICTIONS.
D	42" GRAB BAR BORISOK AB-8008-9934 AS PER AHA RESTRICTIONS.
E	COAT HOOKS BORISOK B-2113 (STALLS) BORISOK B2116 (WALLS). AS PER AHA RESTRICTIONS.
F	BART CHANGING STATION WALL MOUNT GRAB-BAR @ 48" O/C, CREAM COLOR AS PER AHA RESTRICTIONS.
G	ELECTRIC HAND DRYER ELECTRIC HANDED DRYER MODEL 30-30 FOR AHA RESTRICTIONS - MAX 48" AFF. TO BOTTOM TOWEL HANGING COLLAR - AS PER AHA RESTRICTIONS - MAX 48" AFF TO BOTTOM
H	SOAP DISPENSER TOWEL HANGING COLLAR - AS PER AHA RESTRICTIONS - MAX 48" AFF TO BOTTOM PROVIDED BY TEAM
I	WASTE PAPER RECEPTACLE BORISOK B-6008-9936-38 AS PER AHA RESTRICTIONS
J	MIRROR PROVIDE MIRRORING SPACINGS ON WALL ADJUSTING 3D

NOTE: PROVIDE FIRE RESISTANT WOOD BLOCKING • ALL ACCESSORIES
THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2 INCHES.
THE SPACE BETWEEN THE WALL AND PROJECTING OBJECTS BELOW AND AT THE END
SHALL BE 4000 INCHES MIN.

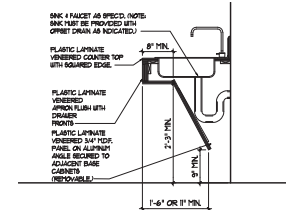
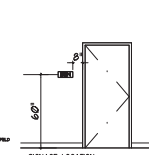
FLOORING:
F-0 NO FINISH
F-1 POLISHED CONCRETE-5500 DIAMOND POLISHED.
F-2 ENGINEERED WOOD FLOORING AS SCHED.
F-3 *

BASE:
B-0 NO BASE
B-1 RUBBER BASE, COLOR T. B. D.
B-2 CERAMIC TILE BASE- OWNER T.B.D.
B-3 BASE TO MATCH FLOOR

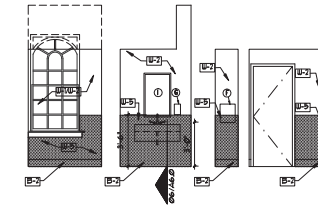
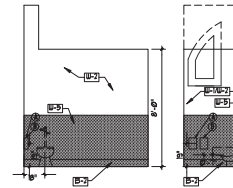
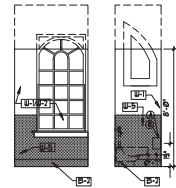
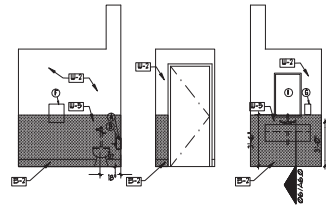
W-0 NO FINISH
W-1 PATCH/ CLEAN/ REPAIR AS REQUIRED EXISTING PLASTER WALL FINISH
W-2 PTD. GYP. BD. W/ LEVEL 5 FINISH
W-3 FRP - COLOR WHITE
W-4 FRP - DECORATIVE COLOR, T. B. D.
W-5 CERAMIC TILE- OWNER T.B.D.

CEILING:
C-0 NO CEILING
C-1 PTD. EXISTING STRUCTURE
C-2 PTD. GYP. BD. W/ LEVEL 5 FINISH
C-3 2X4 FIBERGLASS FACE WASHABLE CLG. TILE SYSTEM
C-4 2X4 CLG. TILE SYSTEM

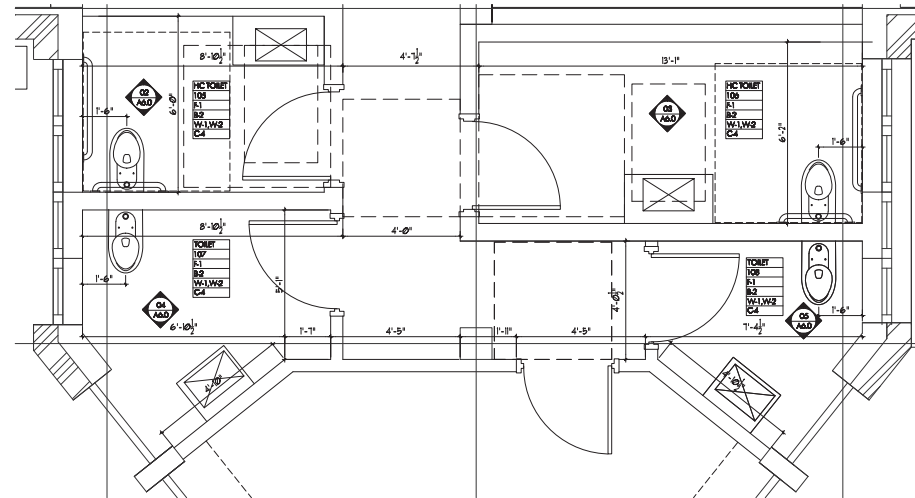
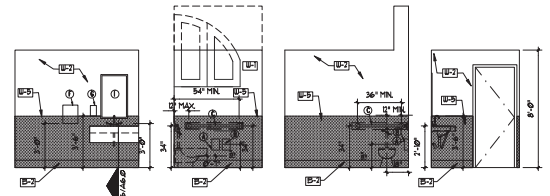
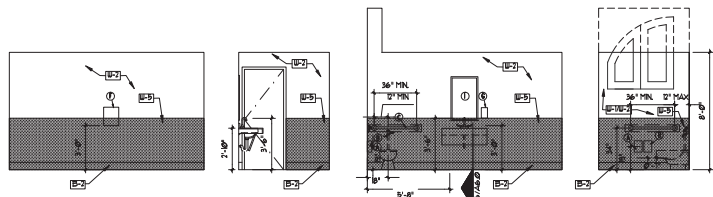
1. WATER CLOSET REAR HEIGHT: SERVINGS ABOVE: 17" TO 19" AFF.
2. CENTERLINE OF WATER CLOSET: 18" FROM SIDE WALL.
3. GRAB BAR BEHIND WATER CLOSET: 36" LONG, 33" - 36" AFF, 6" MAX. RADIUS.
4. 6" MAX. HOLE.
5. GRAB BAR AT SIDE OF WATER CLOSET: 42" LONG, 33" - 36" AFF, 6" MAX. RADIUS.
6. 6" MAX. FROM BACK WALL, 54" MIN. FROM BACK WALL.
7. GRAB BAR AT ENTRANCE TO WATER CLOSET: 36" LONG, 33" - 36" AFF, 6" MAX. RADIUS.
8. SPACE BETWEEN WALL AND GRAB BAR: 1-1/2".
9. TOILET PAPER DISPENSER: 7-9" FROM FRONT FRONT OF WC, 33"-36" AFF.
10. REAR LAVATORY: 4' LAVATORY: 3' MIN. HGT, 8" MIN. DEPTH
11. NOT USED
12. LAVATORY LAYOUT: 17" MIN.
13. 18" MAX. WATER AND DRAIN PIPES INSULATED WHEN EXPOSED.
14. LAV. RIF SURFACE: 34" MAX. AFF.
15. MIRROR TOP EDGE: 40" MAX. AFF, TOP MIN. OF 7' AFF.
16. PRIVACY LOCK: SHALL HAVE LEVER-TYPE HANDLES.
17. MIN. CLEARANCE OF 1-1/2' TO WALL FROM INSIDE OF DOOR.
18. PROVIDE MIN. OF 6" - 4" ALL DOOR PUSH TO WALL LOCATIONS.
19. WATER CLOSET OPERATOR TO BE ON OPEN SIDE OF 98" WALL (IDEAL).



06 vanitySECTION
SCALE 3/4"=1'-0"
[PLOTTED FOR 24"x36" MEDIA]



04. toiletELEVATION
SCALE: 1/4" = 1'-0"
(PLOTTED FOR 24"x36" MEDIA)



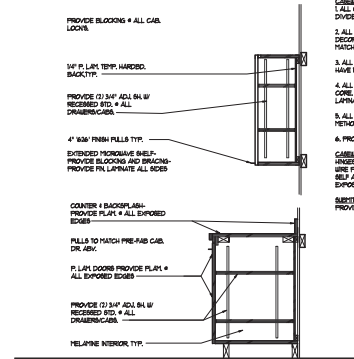
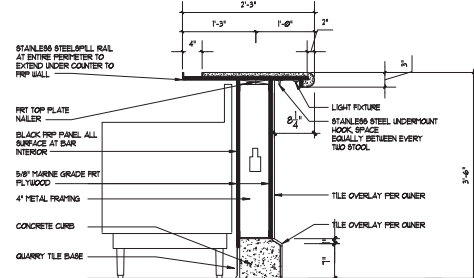
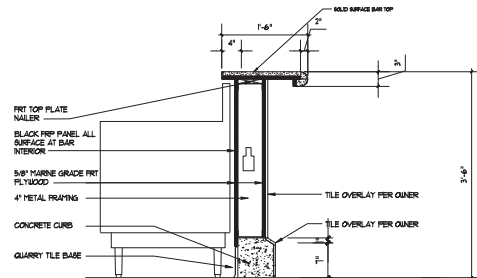
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CHECKED	JMS
DATE	02.16.15
PROJECT NO.	2450
<u>ISSUE DATES</u>	
<u>02.19.2015</u>	<u>REVIEW</u>
<u>03.03.2015</u>	<u>PRICING</u>

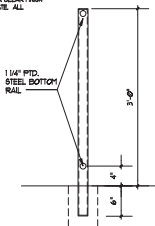
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A6.0

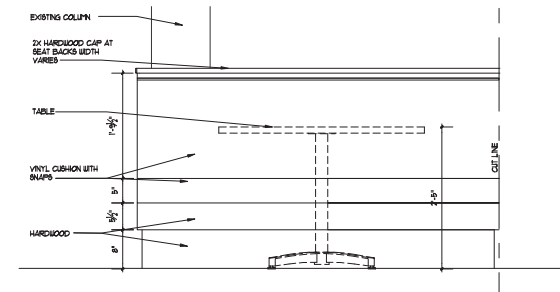
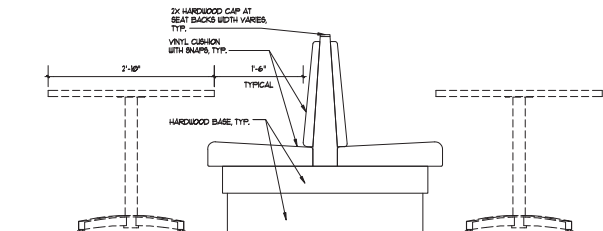
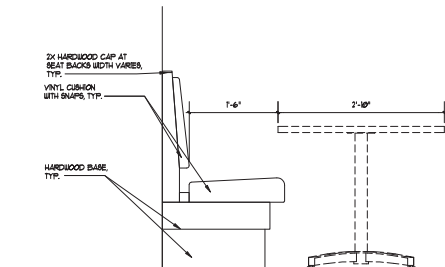
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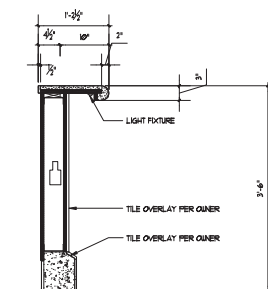
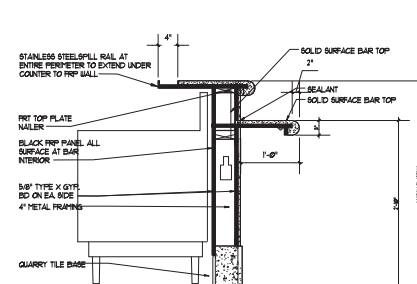
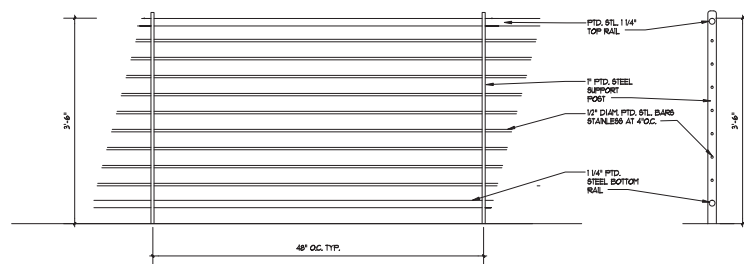
CABINET CONSTRUCTION:
1. ALL CORE MATERIAL FOR ALL CABINET DOORS, FRONT, BOTTOMS, BELIEVES, DIVIDERS, WALLS AND TISS. TYP. SHALL BE CONSTRUCTED OF 3/4" TELETYPE BOARD.
2. ALL EXPOSED SURFACES OF CABINETS SHALL BE COATED WITH 600" THICK DECORATIVE GRADE PLASTIC LAMINATE. ALL EXPOSED EDGES SHALL HAVE A COLOR MATCHING PVC. APPLIED IN HOT MELT ADHESIVE.
3. ALL 80% EXPOSED SURFACES SHALL BE WHITE TELETYPE BOARD. ALL EDGES SHALL HAVE MATCHING WHITE PVC. INCLUDING ALL EDGES OF BELIEVES.
4. ALL CABINET TOPS AND SPLAINERS SHALL BE CONSTRUCTED OF 3/4" PLYWOOD. CORE TOPS AND SPLAINERS SHALL BE COATED WITH 600" THICK DECORATIVE GRADE PLASTIC LAMINATE ON ALL SURFACES AND EDGES.
5. ALL CABINET WALLS SHALL BE CONSTRUCTED BY ALL CUSTOM GROUT DOOR, AND GROUT FINISH IS NO EXPOSED PARTING. ALL CABINET SHALL BE FLUSH WITH OVERLAY.
6. PROVIDE 2" GROUT SET BY CAP + RECEPTION DESK + 4" OC.
CABINET HARDWARE:
HARDWARE SHALL BE STAINLESS OR BRASS. 18" DEGREE SELF CLOSING PULLS SHALL BE 4" WIDE PULLS WITH BRASS FINISH PLASTIC BUFFERS SHALL BE 4" WIDE CLEAR FINISH SELF ADHESIVE LOCATED AT ALL DOOR TOP GRADE PLASTIC LAMINATE. ALL EXPOSED EDGES SHALL HAVE A COLOR MATCHING PVC. APPLIED.
ADDITIONAL REQUIREMENTS:
PROVIDE 15 SETS OF SHOP DRAWINGS FOR REVELATION.



C



D



E



02.03.12

FIRE STATION #7 RESTAURANT
604 SOUTH ALAMO STREET
SAN ANTONIO, TEXAS 78205

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PROJECT NO.: 2450
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02.19.2015 REVIEW
03.03.2015 PRICING

SHEET NO.
DETAILS

SHEET NO.
A6.1

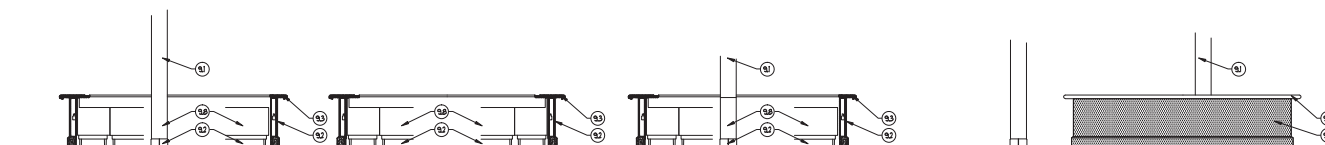
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CHECKED	JMS
DATE	02.16.
PROJECT NO.	2450
ISSUE DATES	
02.19.2015	REVIEW
03.03.2015	PRICING

SHEET NO. _____

SHEET NO.
A6.2

KEY NOTES:

- | | | | |
|----|----------------------------------------------------|------|-----------------------------------------------------------|
| 01 | REPAIR BROKEN / DAMAGED GLASS / IMPACT. | 9.5 | CLEAN/REPAIR EXISTING WINDOWPANE, PAINT AS SCHED. |
| 02 | REPAIR BROKEN W/ALTE BRACKETS OF EXISTING WALLS | 9.6 | NEW OPN. BOLD RUD DOWN. |
| 03 | REPAIR BROKEN W/ALTE BRACKETS OF EXISTING WALLS | 9.7 | NEW CHAIRS AS SCHED. |
| 04 | CEILING - FINISH TO MATCH EXISTING CEILING | 9.8 | NEW CHAIRS, FINISH WALL W/ PANEL JOINT, AND FINISH CORNER |
| 05 | PARTIAL DEMO WALL - FINISH TOP OF WALL TO BE 2' 6" | 9.9 | |
| 06 | CONCRETE | 10.0 | 10.0 |
| 07 | NEW FORM CONCRETE FLOOR, RE-STRUCT. WALLS | 10.1 | 10.1 |
| 08 | NEW FORM CONCRETE CURB / WALK | 10.2 | 10.2 |
| 09 | NEW FORM CONCRETE CURB / WALK | 10.3 | 10.3 |
| 10 | NEW FORM CONCRETE CURB / WALK | 10.4 | 10.4 |
| 11 | NEW FORM CONCRETE CURB / WALK | 10.5 | 10.5 |
| 12 | NEW FORM CONCRETE CURB / WALK | 10.6 | 10.6 |
| 13 | NEW FORM CONCRETE CURB / WALK | 10.7 | 10.7 |
| 14 | NEW FORM CONCRETE CURB / WALK | 10.8 | 10.8 |
| 15 | NEW FORM CONCRETE CURB / WALK | 10.9 | 10.9 |
| 16 | NEW FORM CONCRETE CURB / WALK | 11.0 | 11.0 |
| 17 | NEW FORM CONCRETE CURB / WALK | 11.1 | 11.1 |
| 18 | NEW FORM CONCRETE CURB / WALK | 11.2 | 11.2 |
| 19 | NEW FORM CONCRETE CURB / WALK | 11.3 | 11.3 |
| 20 | NEW FORM CONCRETE CURB / WALK | 11.4 | 11.4 |
| 21 | NEW FORM CONCRETE CURB / WALK | 11.5 | 11.5 |
| 22 | NEW FORM CONCRETE CURB / WALK | 11.6 | 11.6 |
| 23 | NEW FORM CONCRETE CURB / WALK | 11.7 | 11.7 |
| 24 | NEW FORM CONCRETE CURB / WALK | 11.8 | 11.8 |
| 25 | NEW FORM CONCRETE CURB / WALK | 11.9 | 11.9 |
| 26 | NEW FORM CONCRETE CURB / WALK | 12.0 | 12.0 |
| 27 | NEW FORM CONCRETE CURB / WALK | 12.1 | 12.1 |
| 28 | NEW FORM CONCRETE CURB / WALK | 12.2 | 12.2 |
| 29 | NEW FORM CONCRETE CURB / WALK | 12.3 | 12.3 |
| 30 | NEW FORM CONCRETE CURB / WALK | 12.4 | 12.4 |
| 31 | NEW FORM CONCRETE CURB / WALK | 12.5 | 12.5 |
| 32 | NEW FORM CONCRETE CURB / WALK | 12.6 | 12.6 |
| 33 | NEW FORM CONCRETE CURB / WALK | 12.7 | 12.7 |
| 34 | NEW FORM CONCRETE CURB / WALK | 12.8 | 12.8 |
| 35 | NEW FORM CONCRETE CURB / WALK | 12.9 | 12.9 |
| 36 | NEW FORM CONCRETE CURB / WALK | 13.0 | 13.0 |
| 37 | NEW FORM CONCRETE CURB / WALK | 13.1 | 13.1 |
| 38 | NEW FORM CONCRETE CURB / WALK | 13.2 | 13.2 |
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| 41 | NEW FORM CONCRETE CURB / WALK | 13.5 | 13.5 |
| 42 | NEW FORM CONCRETE CURB / WALK | 13.6 | 13.6 |
| 43 | NEW FORM CONCRETE CURB / WALK | 13.7 | 13.7 |
| 44 | NEW FORM CONCRETE CURB / WALK | 13.8 | 13.8 |
| 45 | NEW FORM CONCRETE CURB / WALK | 13.9 | 13.9 |
| 46 | NEW FORM CONCRETE CURB / WALK | 14.0 | 14.0 |
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| 53 | NEW FORM CONCRETE CURB / WALK | 14.7 | 14.7 |
| 54 | NEW FORM CONCRETE CURB / WALK | 14.8 | 14.8 |
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| 72 | NEW FORM CONCRETE CURB / WALK | 16.6 | 16.6 |
| 73 | NEW FORM CONCRETE CURB / WALK | 16.7 | 16.7 |
| 74 | NEW FORM CONCRETE CURB / WALK | 16.8 | 16.8 |
| 75 | NEW FORM CONCRETE CURB / WALK | 16.9 | 16.9 |
| 76 | NEW FORM CONCRETE CURB / WALK | 17.0 | 17.0 |
| 77 | NEW FORM CONCRETE CURB / WALK | 17.1 | 17.1 |
| 78 | NEW FORM CONCRETE CURB / WALK | 17.2 | 17.2 |
| 79 | NEW FORM CONCRETE CURB / WALK | 17.3 | 17.3 |
| 80 | | | |

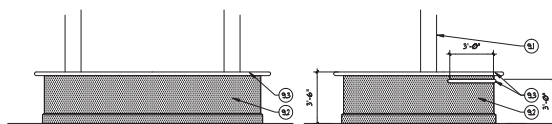


10.bar SECTION
SCALE: 1/4" = 1'-0"
(PRINTED FOR 24x36" MEDIA)

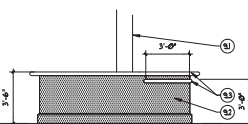
09.bar SECTION
SCALE: 1/4" = 1'-0"
(PLOT FOR 24"x36" MEDIA)

08.bar SECTION
SCALE: 1/4" = 1'-0"
(PLOTED FOR 24"x36" MEDIA)

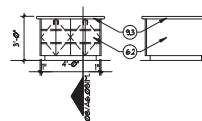
07.bar ELEVATION
SCALE 1/4" = 1'-0"
(PLOT FOR 24"x36" MEDIA)



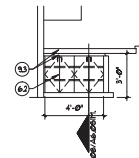
06.bar ELEVATION
SCALE: 1/4" = 1'-0"
(PLOT FOR 24"x36" MEDIA)



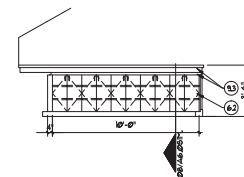
05.bar ELEVATION
SCALE: 1/4" = 1'-0"
(PLOTTED FOR 24x36" MEDIA)



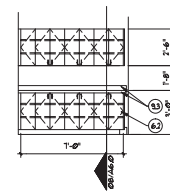
04.cabinet ELEVATION
SCALE: 1/4" = 1'-0"
(PLOT FOR 24"x36" MEDIA)



03.cabinet ELEVATION
SCALE 1/4" = 1'-0"
(PLOT FOR 24"x36" MEDIA)



02.cabinet ELEVATION
SCALE: 1/4" = 1'-0"
(PLOTTED FOR 24"x36" MEDIA)



01.cabinet ELEVATION
SCALE 1/4" = 1'-0"
(PLOTED FOR 24"x36" MEDIA)

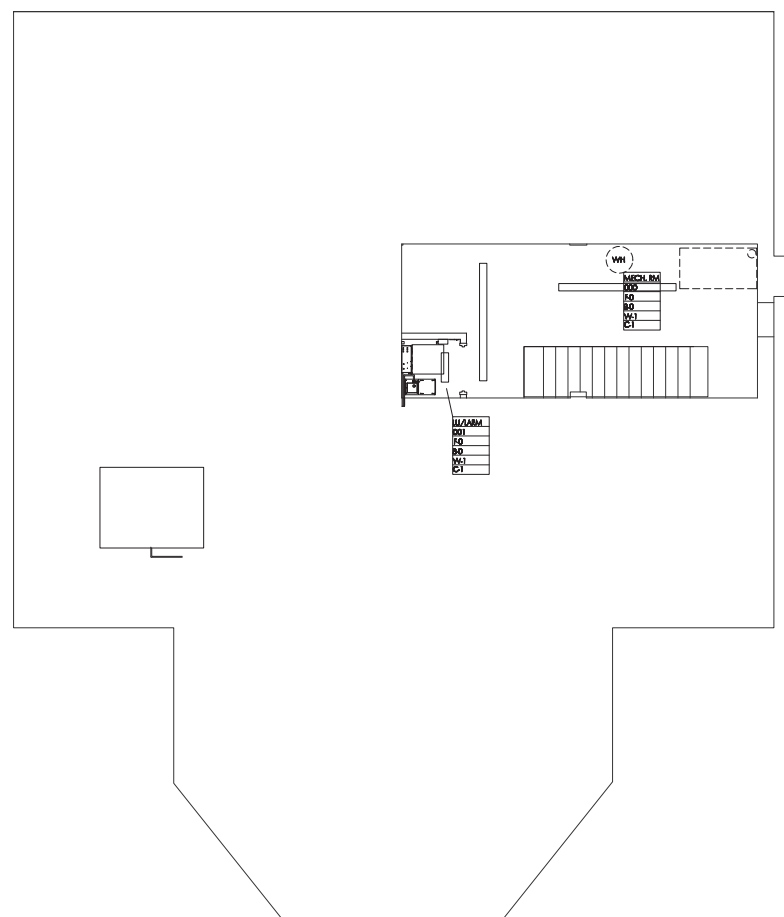
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02.19.2015	REVIEW
03.03.2015	PRICING

SH-107 T102
reflected ceiling PLAN

SHEET NO.

A7.0



DIVISION 1

- | | | | |
|----------------------|-------------------------------------------------|--------------------------------------------|------------------------------------------------|
| SECTION 1 | 0.3 | NEW SOILD SURFACE COUNTER/SPLASH AS SCHED. | |
| 01 | REPAIR BUBBLES / DAMAGED GROUT / SAND / TRAIL | 0.4 | PAINT METAL BENDING BROW / ORNAMENT. |
| 02 | REPAIR DISTING WASH AFTER REMOVAL OF BENDING | 0.5 | CLEAN / REPAIR DISTING WASH / ORNAMENT. |
| 03 | WASHES AND CRACKS - FINISH TO MATCH A / DANCING | 0.6 | NEW GY. BOUND FUR DOWN. |
| 04 | CRACKS AND CRACKS. | 0.7 | NEW CRIBING AS SCHED. |
| 05 | PAVEMENT DAMAGE - FINISH ROOF TOP OF WALL / | 0.8 | NEW FILL PANEL SYSTEM WALL / PANEL JOINTS, END |
| 06 | CRACKS AND CRACKS. | | PANEL COVER. |
| SECTION 2 - CONCRETE | | | |
| 01 | NEW 4" REINFORCED CONCRETE ROOF OF BR. STRUCT. | | |
| 02 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 03 | NEW CONCRETE CURB / BASE | | |
| 04 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 05 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 06 | NEW 4" REINFORCED CONCRETE / BASE | | |
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| 57 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 58 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 59 | NEW 4" REINFORCED CONCRETE / BASE | | |
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| 64 | NEW 4" REINFORCED CONCRETE / BASE | | |
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| 66 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 67 | NEW 4" REINFORCED CONCRETE / BASE | | |
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| 88 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 89 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 90 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 91 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 92 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 93 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 94 | NEW 4" REINFORCED CONCRETE / BASE | | |
| 95 | NEW 4" REINFORCED | | |

 NORTH 01.reflectedceilingPLAN BASEMENT FLOOR
SCALE: 1/4" = 1'-0"
PRINTED FOR 24x36 MEDIA

FIRE STATION RESTAURANT

604 SOUTH ALAMO STREET
 SAN ANTONIO, TEXAS 78205

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DRAWN: JMS
 CHECKED: JMS
 DATE: 02.16.15
 PROJECT NO.: 2450
 ISSUE DATES:
 02.19.2015 REVIEW
 03.03.2015 PRICING

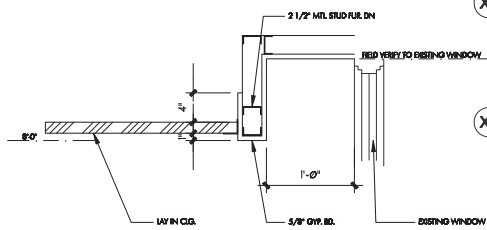
REFLECTED
 REFLECTED CEILING PLAN

REFLECTED

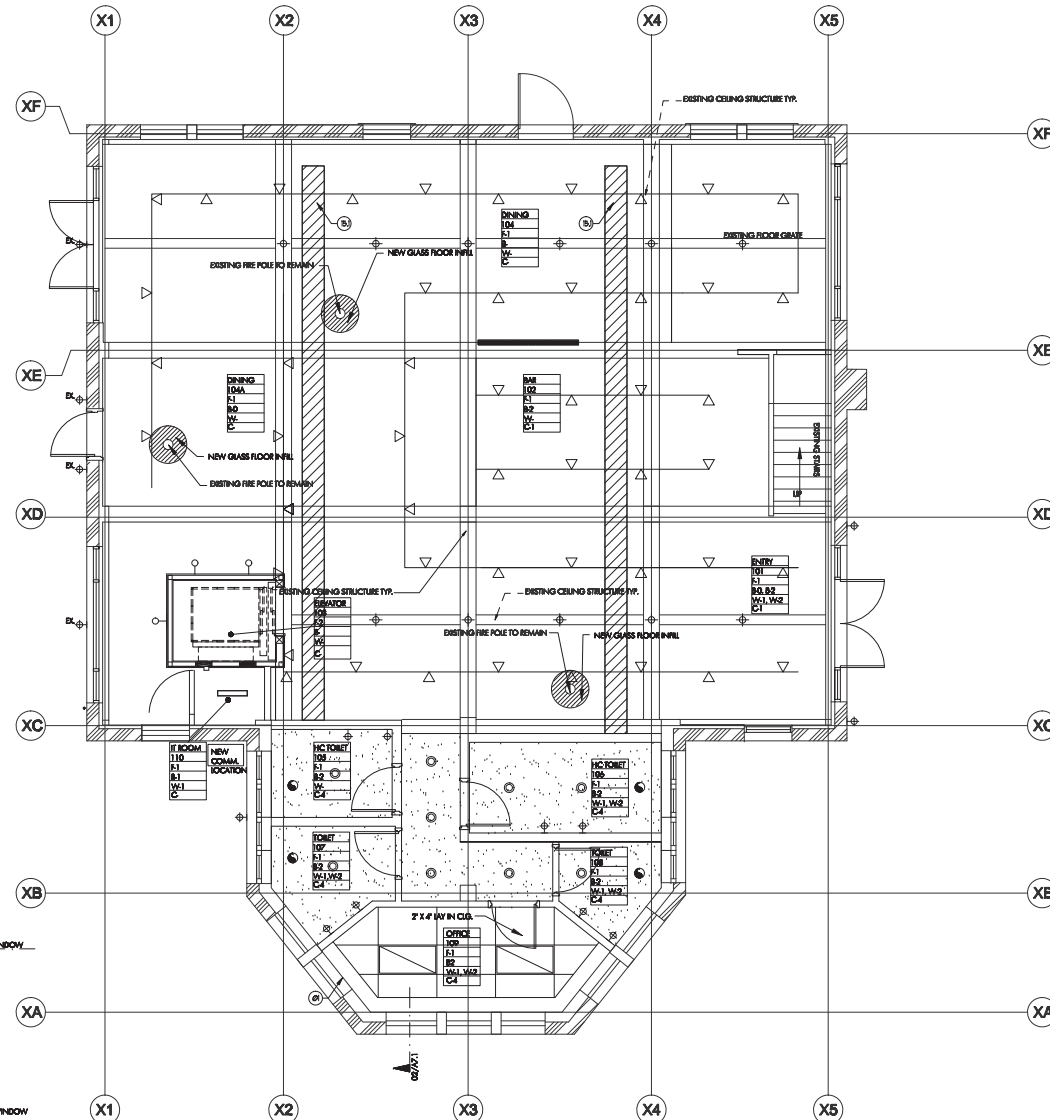
A7.1

KEY NOTES:

- DIVISION 1**
 01 REPAIR BROKEN/DAMAGED GLASS/SASH/TRA
 02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING
 03 WALLS AND CEILING - FINISH TO MATCH EX. BACKDRT
 04 EXISTING CEILING
 05 PARTIAL DEMO WALL - FINISHED TOP OF WALL TO BE
 2'4" AFF
DIVISION 3 - CONCRETE
 31 NEW REINFORCED CONCRETE FLOOR, RE-STRUC.
 32 NEW CONCRETE CURB/ BASE
DIVISION 5 - METALS
 51 NEW COLUMNS RE-STRUC. DRAWINGS
 52 NEW STEEL STRINGERS RE-STRUC. DRAWINGS
 53 NEW STD. STL. GUARDRAIL
 54 NEW STD. 1 1/2" DIA. HORIZONTAL
 55 NEW 1/8" STL. FRAME FOR TEMP. GLASS FLOOR INFIL.
 56 NEW STAINLESS STEEL CORNER GUARDS
DIVISION 6 - WOODS AND PLASTICS
 61 VLG. BLOCKING AS SCHED.
 62 NEW PLASTIC LAMINATE CABINET AS SCHED.
 63 BLOORH AS SCHED.
 64 STAINED GRADE WOOD TREAD AND UNDERING.
DIVISION 7 - THERMAL AND SOUND PROTECTION
 71 NEW SCHED. ROOF FLASHING AWAY FROM NEW
 CURB - VERY ROOF SCHED.
 72 NEW MTL. 12" AL ROOF CURBS TYP.
 73 NEW ROOF HATCH
 74 SEAL ALL OPENINGS @ EXISTING DOOR/WINDOW.
DIVISION 8 - DOORS AND WINDOWS
 81 NEW DOOR/WINDOW AS SCHED. - 4 1/2" CLEAR
 AND/OR INSULATION SECTIONS
 82 REPLACE MISSING PARTS SASH
 83 REPAIR EXISTING DOOR REPLACE BROKEN/ MISSING
 GLASS, PAINT AND SEAL
 84 NEW WOOD SASH TO REPLICATE EXISTING.
 85 NEW DOORS RE-USE DOORS
 86 PAINTED H. H. DOOR FRAME
DIVISION 9 - FINISHES
 91 STD. WALL / CGL.
 92 NEW CERAMIC TILE WALL/BASE AS SCHED.
- 03 NEW SOLID SURFACE COUNTER/BRUSH AS SCHED.
 04 PAINT METAL EXISTING BARNDOOR/ ORNAMENT.
 05 CLEAN/REPAIR EXISTING WOODWORK, PAINT AS
 SCHED.
 06 NEW GRAY BOARD FLOOR DOWN.
 07 NEW CEILING AS SCHED.
 08 NEW MTL. PANEL SYSTEM WALL W/ PANEL JOINT, END
 PANEL COVER
DIVISION 10 - SPECIALTIES
 101 TENSION AS SCHED.
 102 KITCHEN EQUIPMENTS BY OWNER
DIVISION 15 - MECHANICAL
 151 MECHANICAL EQUIPMENT AS SCHED, RE-MEP, DWG.
DIVISION 16 - ELECTRICAL
 161 ELECTRICAL DEVICE, LIGHT, FIXTURE AS SCHED, RE-MEP
 DWG.



02. lay in ceiling DETAIL
 SCALE: 1/2" = 1'-0"
 (NOTED FOR 24-30" MEAN)



01. reflected ceiling PLAN 1st FLOOR
 SCALE: 1/4" = 1'-0"
 (NOTED FOR 24-30" MEAN)

FIRE STATION RESTAURANT

604 SOUTH ALAMO STREET
 SAN ANTONIO, TEXAS 78205

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REFLECTED
 reflected ceiling PLAN

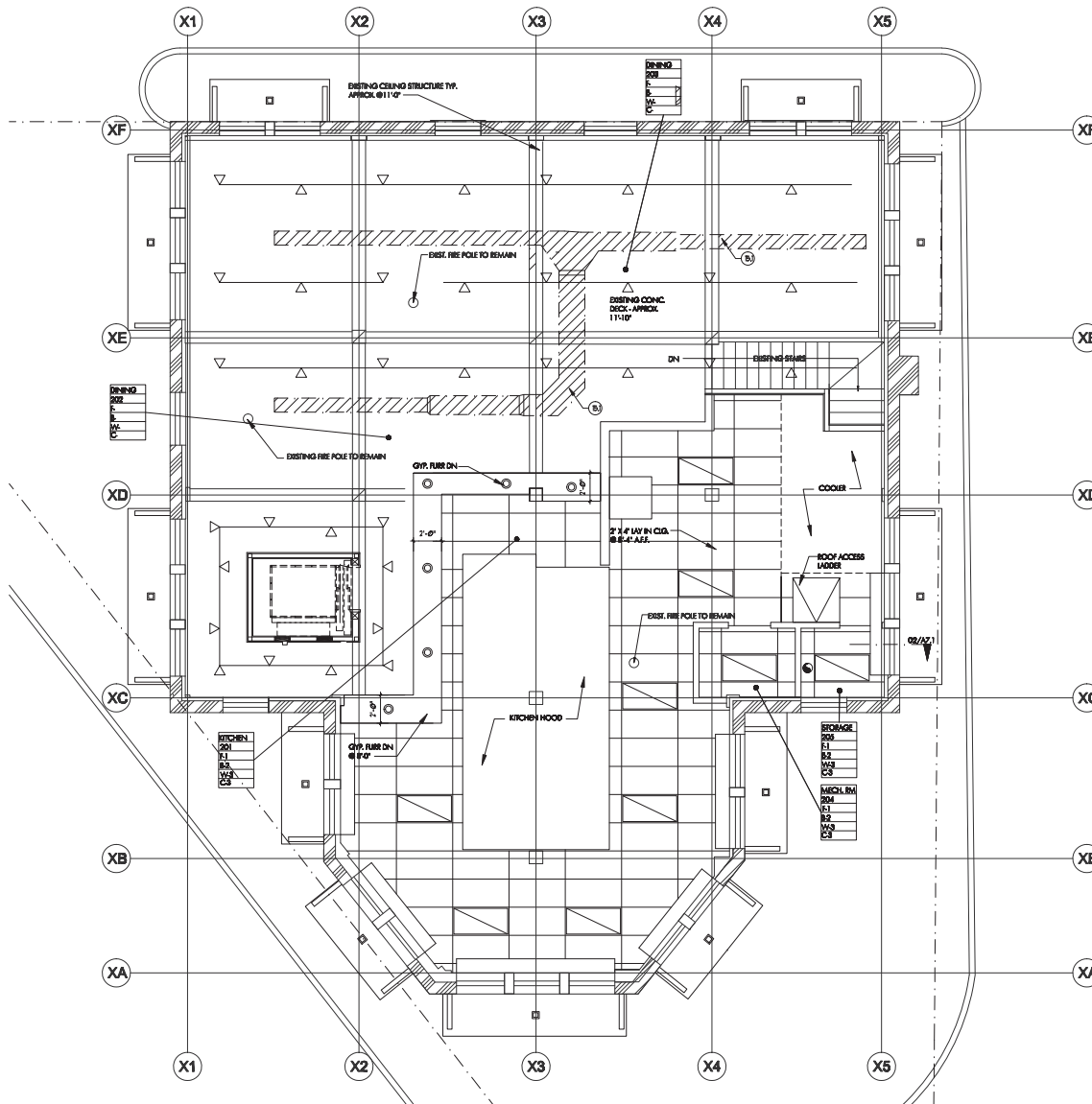
REFLECTED

A7.2

KEY NOTES:

- DIVISION 1**
- 01 REPAIR BROKEN / DAMAGED GABLE / SHIP / TRAIL
 - 02 REPAIR EXISTING WALL AFTER REMOVAL OF EXISTING WALLS AND CEILING - FINISH TO MATCH A. TRACENT
 - 03 EXISTING CEILING
 - 04 EXISTING CEILING
 - 05 DEMO WALL - FINISH TOP OF WALL TO BE 2'-0" AFF.
- DIVISION 5 - CONCRETE**
- 5.1 NEW REINFORCED CONCRETE FLOOR, RE STRUC. DIVIDE.
 - 5.2 NEW CONCRETE CURB / BASE
- DIVISION 6 - METALS**
- 6.1 NEW COLUMN RE STRUC. DRAWINGS.
 - 6.2 NEW STEEL STRINGER RE STRUC. DRAWINGS.
 - 6.3 NEW FID. STEEL GUARDRAIL
 - 6.4 NEW FID. 1 1/4" DIA. HANDRAIL
 - 6.5 NEW 1/8" STEEL PLATE FOR TRAP GABLE FLOOR INFILL
 - 6.6 NEW STAINLESS STEEL CORNER GUARDS
- DIVISION 8 - WOODS AND PLASTICS**
- 8.1 VIB. BLOCKING AS SCHED.
 - 8.2 NEW PASTIC LAMINATE CABINET AS SCHED.
 - 8.3 BOOTH AS SCHED.
 - 8.4 STAINED GRADE WOOD TREAD AND LANDING.
- DIVISION 7 - THERMAL / MOISTURE PROTECTION**
- 7.1 NEW SLOPED ROOF FLASHING AWAY FROM NEW CURB - VERIFY ROOF SLOPE.
 - 7.2 NEW MIN. 12" H. ROOF CURBS TYP.
 - 7.3 NEW ROOF HATCH
 - 7.4 SEAL ALL OPENINGS @ EXISTING DOOR / WINDOW.
- DIVISION 8 - DOORS AND WINDOWS**
- 8.1 NEW DOOR / WINDOW AS SCHED. - 4 1/2" CLEAR
 - 8.2 ANCHORED INSULATION EXTERIOR.
 - 8.3 REPAIR EXISTING DOOR - REPLACE BROKEN / MISSING GLASS, PAINT AND SEAL
 - 8.4 NEW WOOD SASH TO REPLICATE EXISTING.
 - 8.5 NEW LAMINATE REPAIR PANELS
 - 8.6 PAINTED ALUM. DOOR FRAME
- DIVISION 9 - FINISHES**
- 9.1 FID. WALL / CURB
 - 9.2 NEW CERAMIC TILE WALL / BASE AS SCHED.
- DIVISION 10 - BRICKMASONRY**
- 10.1 BRICKWORK AS SCHED.
 - 10.2 KITCHEN EQUIPMENT BY OWNER.
- DIVISION 11 - MECHANICAL**
- 11.1 MECHANICAL EQUIPMENT AS SCHED. RE MEP. DWG
- DIVISION 12 - ELECTRICAL**
- 12.1 ELECTRICAL DEVICE, LIGHT, FIXTURE AS SCHED. RE MEP. DWG.

01.reflectedceilingPLAN 2nd FLOOR
 SCALE: 1/4" = 1'-0"
 (NOTED FOR 3/4" X 3/4" MEDIA)





FIRE STATION RESTAURANT
504 SOUTH ALAMO STREET
SAN ANTONIO, TEXAS 78205

DRAWN	STAFF
CHECKED	JMS
DATE	02.16.15
PROJECT NO.	2450
ISSUE DATES	
02.19.2015	REVIEW
03.03.2015	PRICING

SHEET NO.

A8.0

Produce 62-Terrace Treatments
Produce 62-Terrace Treatments, pre-sold and framing treatments complying with the Texas Department of Agriculture (TDA) standards, control conditions and regulate the application of pesticides for the prevention or control of arborescent tamarisks.

The construction treatments may include methods such as soil treatments, baiting systems, treatments of woody structural components, and other methods.

A pre-construction liquid soil termiticide treatment to be a full treatment, defined in the following manner:

Effective preconstruction treatment for arborescent tamarisk requires the establishment of complete vertical coverage of the soil and the application of termiticide to the soil and the structure of the arborescent tamarisk to the soil.

For Vertical Chemical Barriers, applications are to be made using a low pressure spray after grading is completed and prior to the pouring of the floor or footing to provide thorough and continuous coverage of the area being treated. For Vertical Chemical Barriers, establish vertical barriers in areas such as around the base of foundations, planning, and other structures.

A pre-construction treatment of all or part of the soil having as described in BPCIS Rule 173 (c) shall be designed to provide a continuous vertical barrier between the soil and the structure of the arborescent tamarisk. The arborescent tamarisk treatment may provide greater protection than treatments designed to protect a specific area or location.

Termiticide labels have specific directions about the product's use. These control contracts must follow these directions.

(a) All pesticides applications must be made by using the application rate and methods and by following the precautionary statements on the labeling of the pesticide being used.

(b) All pesticides applications must be made by using the application rate and methods and by following the precautionary statements on the labeling of the pesticide being used.

(c) For all treatments the entire structure and soil to be treated to provide a continuous horizontal and vertical barrier to be applied and installed according to the product label and the Final Treatments to be performed within 30 days of completion of construction or landscaping or one year from the date of completion of construction, or both, whichever is earlier.

(d) The contractor shall be responsible for the application of the pesticide, and the contractor shall be responsible for the company providing the treatment is called to perform the application, a permit treatment, will be performed if the contractor is not licensed to apply the pesticide.

(e) The contractor shall be responsible for the application of the pesticide, and the contractor shall be responsible for the company applying the treatment to the conditions, and attach to it the contract with an amended graph showing the treatment.

Termiticides must be used at the prescribed rate, to protect the structure from termites and to comply with federal and state laws.

As that the building is dried in, spray the complete frame from the ridge to the base plates with a borate solution that meets BCCG Disinfection and is approved by PHA-146 and TDA for termite treatment. The solution is to penetrate into the wood.

To ensure the treatment is effective, the application of arborescent tamarisk, this guarantee is to be made to ensure the re-treatment of infested areas for termites.

Concrete Unit-Structural Concrete
Concrete units as defined in the architectural plan.
Product data and dimensions for manufactured materials and products.
Door thresholds indicating reinforcing bar layout, panel size, and arrangement. Provide drawings indicating all exposed walls and conditions.

Fabricator Qualifications Reinforcing bar surface production capacity to produce, transport and deliver required units without causing delays in the project.

Strength Accurately represent tensile strength and ultimate strength to withstand pressures due to concrete placing operations and temperature changes. Furnish test data to provide completed product concrete unit of shape, size and dimensions indicated, after appropriate reinforcement tolerances. Form panels are to be equally spaced and arranged with the long dimension vertical; panels are to be level.

Surface Finish Reinforce units and provide exposed surface finished as indicated/finish - Low voids free traditional but not typically void free.

The successful installation requires experienced, knowledgeable installers in order to achieve a quality installation. Considerations for installation include:

- Establish concrete members panel, layout and fit alignment. Provide temporary supports and bracing as required to maintain proper verticality and alignment as members are being permanently connected.
- Maintain horizontal and vertical joints aligned and uniform joint width as erection progresses.

Anchor units in their position by blocking, setting, grouting, or an alternative indicated. Remove temporary bracing and supports after erection and grouting. Grouting and setting grouting are completed.

Clear exposed faces to remove dirt and stains or units or units on erection and completion of joints treatment. Clean up such that the work area is free of debris. Operations, do not use cleaning materials or processes that could change the character of attached concrete finishes.

DeltaCore Air-Mesh Enclosures: DeltaCore's Air-Mesh Enclosures are made of high quality material and soundproof. All enclosures are at least level 4 applicable or at a constant level 5 applicable. Enclosures are available in 10, 15, 20, 25, 30, 35, 40, 45, 50, 55, 60, 65, 70, 75, 80, 85, 90, 95, 100, 105, 110, 115, 120, 125, 130, 135, 140, 145, 150, 155, 160, 165, 170, 175, 180, 185, 190, 195, 200, 205, 210, 215, 220, 225, 230, 235, 240, 245, 250, 255, 260, 265, 270, 275, 280, 285, 290, 295, 300, 305, 310, 315, 320, 325, 330, 335, 340, 345, 350, 355, 360, 365, 370, 375, 380, 385, 390, 395, 400, 405, 410, 415, 420, 425, 430, 435, 440, 445, 450, 455, 460, 465, 470, 475, 480, 485, 490, 495, 500, 505, 510, 515, 520, 525, 530, 535, 540, 545, 550, 555, 560, 565, 570, 575, 580, 585, 590, 595, 600, 605, 610, 615, 620, 625, 630, 635, 640, 645, 650, 655, 660, 665, 670, 675, 680, 685, 690, 695, 700, 705, 710, 715, 720, 725, 730, 735, 740, 745, 750, 755, 760, 765, 770, 775, 780, 785, 790, 795, 800, 805, 810, 815, 820, 825, 830, 835, 840, 845, 850, 855, 860, 865, 870, 875, 880, 885, 890, 895, 900, 905, 910, 915, 920, 925, 930, 935, 940, 945, 950, 955, 960, 965, 970, 975, 980, 985, 990, 995, 1000, 1005, 1010, 1015, 1020, 1025, 1030, 1035, 1040, 1045, 1050, 1055, 1060, 1065, 1070, 1075, 1080, 1085, 1090, 1095, 1100, 1105, 1110, 1115, 1120, 1125, 1130, 1135, 1140, 1145, 1150, 1155, 1160, 1165, 1170, 1175, 1180, 1185, 1190, 1195, 1200, 1205, 1210, 1215, 1220, 1225, 1230, 1235, 1240, 1245, 1250, 1255, 1260, 1265, 1270, 1275, 1280, 1285, 1290, 1295, 1300, 1305, 1310, 1315, 1320, 1325, 1330, 1335, 1340, 1345, 1350, 1355, 1360, 1365, 1370, 1375, 1380, 1385, 1390, 1395, 1400, 1405, 1410, 1415, 1420, 1425, 1430, 1435, 1440, 1445, 1450, 1455, 1460, 1465, 1470, 1475, 1480, 1485, 1490, 1495, 1500, 1505, 1510, 1515, 1520, 1525, 1530, 1535, 1540, 1545, 1550, 1555, 1560, 1565, 1570, 1575, 1580, 1585, 1590, 1595, 1600, 1605, 1610, 1615, 1620, 1625, 1630, 1635, 1640, 1645, 1650, 1655, 1660, 1665, 1670, 1675, 1680, 1685, 1690, 1695, 1700, 1705, 1710, 1715, 1720, 1725, 1730, 1735, 1740, 1745, 1750, 1755, 1760, 1765, 1770, 1775, 1780, 1785, 1790, 1795, 1800, 1805, 1810, 1815, 1820, 1825, 1830, 1835, 1840, 1845, 1850, 1855, 1860, 1865, 1870, 1875, 1880, 1885, 1890, 1895, 1900, 1905, 1910, 1915, 1920, 1925, 1930, 1935, 1940, 1945, 1950, 1955, 1960, 1965, 1970, 1975, 1980, 1985, 1990, 1995, 2000, 2005, 2010, 2015, 2020, 2025, 2030, 2035, 2040, 2045, 2050, 2055, 2060, 2065, 2070, 2075, 2080, 2085, 2090, 2095, 2100, 2105, 2110, 2115, 2120, 2125, 2130, 2135, 2140, 2145, 2150, 2155, 2160, 2165, 2170, 2175, 2180, 2185, 2190, 2195, 2200, 2205, 2210, 2215, 2220, 2225, 2230, 2235, 2240, 2245, 2250, 2255, 2260, 2265, 2270, 2275, 2280, 2285, 2290, 2295, 2300, 2305, 2310, 2315, 2320, 2325, 2330, 2335, 2340, 2345, 2350, 2355, 2360, 2365, 2370, 2375, 2380, 2385, 2390, 2395, 2400, 2405, 2410, 2415, 2420, 2425, 2430, 2435, 2440, 2445, 2450, 2455, 2460, 2465, 2470, 2475, 2480, 2485, 2490, 2495, 2500, 2505, 2510, 2515, 2520, 2525, 2530, 2535, 2540, 2545, 2550, 2555, 2560, 2565, 2570, 2575, 2580, 2585, 2590, 2595, 2600, 2605, 2610, 2615, 2620, 2625, 2630, 2635, 2640, 2645, 2650, 2655, 2660, 2665, 2670, 2675, 2680, 2685, 2690, 2695, 2700, 2705, 2710, 2715, 2720, 2725, 2730, 2735, 2740, 2745, 2750, 2755, 2760, 2765, 2770, 2775, 2780, 2785, 2790, 2795, 2800, 2805, 2810, 2815, 2820, 2825, 2830, 2835, 2840, 2845, 2850, 2855, 2860, 2865, 2870, 2875, 2880, 2885, 2890, 2895, 2900, 2905, 2910, 2915, 2920, 2925, 2930, 2935, 2940, 2945, 2950, 2955, 2960, 2965, 2970, 2975, 2980, 2985, 2990, 2995, 3000, 3005, 3010, 3015, 3020, 3025, 3030, 3035, 3040, 3045, 3050, 3055, 3060, 3065, 3070, 3075, 3080, 3085, 3090, 3095, 3100, 3105, 3110, 3115, 3120, 3125, 3130, 3135, 3140, 3145, 3150, 3155, 3160, 3165, 3170, 3175, 3180, 3185, 3190, 3195, 3200, 3205, 3210, 3215, 3220, 3225, 3230, 3235, 3240, 3245, 3250, 3255, 3260, 3265, 3270, 3275, 3280, 3285, 3290, 3295, 3300, 3305, 3310, 3315, 3320, 3325, 3330, 3335, 3340, 3345, 3350, 3355, 3360, 3365, 3370, 3375, 3380, 3385, 3390, 3395, 3400, 3405, 3410, 3415, 3420, 3425, 3430, 3435, 3440, 3445, 3450, 3455, 3460, 3465, 3470, 3475, 3480, 3485, 3490, 3495, 3500, 3505, 3510, 3515, 3520, 3525, 3530, 3535, 3540, 3545, 3550, 3

Polymers (Plastics): Low Risk Assessment

Polymers that require fire insulation: **17CNBNE 10-G-0087H** by **Ignome Inc.**, **Extrag**

Following insulating materials are being used with fireproofing and intumescent standards.

Insulating materials are low-density, ultra-light foams, conforming to the following:

Thermal Resistance (R)-value's #19 **3/4** **ASTM E 318** 131 **infrared Insulating (R)170**

Heat Loss Reduction

Following 1 inch	19 percent
Following 1 1/2 inches	28 percent
Following 1 3/4 inches	38 percent
Following 2 inches	48 percent

Air Permeance (for 1/2 inches of material): **ASTM E 298** **60B** **1400** **479** **ft³**

Air Permeance (for 1/2 inches of material): **ASTM E 298** **4** **400** **1/4** **ft³**

Water Vapor Transmission (for 1/2 inches of material): **ASTM E 541** **5** **100** **1/4** **ft³**

Mass Spread and Smoke Developing Rating: **ASTM E 84**

Mass Spread: **Less than 100**

Smoke Developed: **Less than 450**

Organic Matter: **25 percent**

Structural and Fireproof Growth and Fuel Value: **Tests** **Technical** **not a source of food for mold (not for food)**

Product Description

ICC-ES ESR-1398 **Report No. ESR-1398**

UNF800-RS-100-060

Collaborative for Fire Protection Standards (COPUS) **Low-emitting material per CA 65/65/65**

Effective "Non-toxic" **(Vapor Permeable)** **air barrier material that can move into the building to maintain the barrier characteristics for the life of the building.**

UL-94 **CLASS 1** **CONFORM**

Product produced in an ISO 9001 registered facility.

Examine standards and conditions, under which work is to be performed. Do not proceed until satisfactory conditions have been confirmed.

Review products used to determine that location is not at site or 1/2 inch of any test source where the temperature is 100 degrees Fahrenheit (37.8 degrees Celsius) or in accordance with standards per UL 94.

Class substrates and cavities of some substrate's capability of retaining with insulation packaging.

Use this liquid components manufactured by Ignome and applied by Independent Ignome Licensed Dealer.

Apply insulation to substrates in compliance with the following instructions.

Apply insulation to produce thickness required for indicated R-Value.

R-19 is achieved at 1 1/2 inches

R-28 is achieved at 2 inches

Extend insulation at 3 inches indicated to envelope entire area to be insulated.

Extend insulated insulation to envelope entire area to be insulated.

Extend insulated insulation from ceiling down to envelope entire area with, coordinate location of piping to ensure it is placed on same side of insulation and insulation enclosures required.

Apply repair mat to surface by an Ignome Licensed Dealer.

Exclude insulated insulation from damage due to fire, explosion, physical abuse, and other causes. Provide secondary coverage where insulation is subject to abuse.

RCSF **R-Value** **R-60**

Division 07-TPO/HDPE Adhesive Roofing System
TPO/HDPE Adhesive Roofing System 80-10% reinforced Thermoplastic Polypropylene (TPO) Membrane system.

Color: White

System is to be installed by a system manufacturer approved installer.

Test Reports: Submit test reports verifying compliance with all code requirement required by the project and local building codes.

Supplies: Provide a range of typical product sections and finish samples in manufacturer's standard sizes.

Examples: 10 year sealant and warranty information.

Notes: 1. System is to be a system manufacturer approved system. Provide a mechanically fastened or an adhesive roof deck. Membrane sheets are fastened along the building edges and joined where seams are mechanically fastened to substrate. Seams are fastened with a mechanical fastener and a heat welded seam.

Adjoining sheets of TPO membrane are overlapped and joined with a minimum 1:100 fold in all wind, freeze, rain or the Thermoplastic Splicing for the required number of parallel membrane sheets and the required fasteners.

Seams: Seams and overlapping are to be reinforced by TPO manufacturer prior to submittal to architect.

Weathering: Insulation is to be installed in accordance with manufacturer's instructions and are fastened in sequence and make the proper exterior exposure from flashing through completed assembly.

Deliver materials to the job site as the original, unopened containers labeled with manufacturer's name and installation instructions.

Store adhesive and sealant in cool dry storage per manufacturer's recommendations.

Refer to manufacturer's installation instructions for proper installation techniques.

Paint all walls and curbs with reflective white paint.

Terminate all flashing in accordance with approved manufacturer's details.

Provide reinforced roof system saddle pads as indicated on drawings.

[illegible]

Division 05 - Interiors
Painting - Provide top quality spraying for exterior sealants for materials and uniformity. Provide manufacturer's 30-year guarantee for exterior building sealant.
Hardware/Sealant Type [Exterior Building Sealant]: Use Corning 760 or 785 (depending on substrate and weather conditions) silicone sealant with color matching pigments. Color to be selected by Architect.
Backer Rods: Closed cell polyethylene foam or open cell polyethylene foam of type recommended by sealant manufacturer.
Joint Breaker Tape: Pressure sensitive adhesive polyethylene, Teflon, or polyethylene foam tape.
Installation
 Prepare all surfaces and install in accordance with manufacturer's requirements and recommendations.
Exterior Building Sealant Type: Apply sealant in continuous, even beads along all exterior openings, around windows and door frames, at thresholds, sash assembly joints, and at all other locations required for a complete weather-tight seal. Prime substrate as recommended by sealant manufacturer.
 Clean surfaces adjoining sealant joints of setting caused by sealant cure.

[illegible]

