

HISTORIC AND DESIGN REVIEW COMMISSION

June 15, 2016

Agenda Item No: 5

HDRC CASE NO: 2016-219
ADDRESS: 622 S FLORES ST
LEGAL DESCRIPTION: NCB 929 (ARSENAL(REPLAT)), BLOCK 3 LOT 5
ZONING: D H HS RIO-4
CITY COUNCIL DIST.: 1
DISTRICT: Arsenal Historic District
APPLICANT: Eduardo Garcia/Duende Design
OWNER: City of San Antonio
TYPE OF WORK: Site work
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform various site modifications at 622 S Flores that include the following:

1. Remove, restore, clean and replace existing stamped concrete
2. Remove scored concrete sidewalks and pour new scored concrete sidewalks with salt finish and concrete stain
3. Remove concrete curbs and pour new concrete curbs to match historic profile
4. Install 20 gauge standing seam metal roof at Ceramics Building
5. Install new entry canopy at Ceramics Building
6. Install new steel bollard at Ceramics Building
7. Install new 6' x 4' metal gutters and downspout
8. Install decomposed granite strip in planting bed
9. Remove box hedges and replace with 28 big bluestems
10. Install two benches along front walkway

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repainting*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

5. Architectural Features: Lighting

A. MAINTENANCE (PRESERVATION)

- i. *Lighting*—Preserve historic light fixtures in place and maintain through regular cleaning and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Rewiring*—Consider rewiring historic fixtures as necessary to extend their lifespan.
- ii. *Replacement lighting*—Replace missing or severely damaged historic light fixtures in-kind or with fixtures that match the original in appearance and materials when in-kind replacement is not feasible. Fit replacement fixtures to the existing mounting location.
- iii. *New light fixtures*—Avoid damage to the historic building when installing necessary new light fixtures, ensuring they may be removed in the future with little or no damage to the building. Place new light fixtures and those not historically present in locations that do not distract from the façade of the building while still directing light where needed. New light fixtures should be unobtrusive in design and should not rust or stain the building.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to

cause damage.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

UDC Section 35-676. – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

FINDINGS:

- a. The historic landmark, the Commander's House is also located at this address within the National Registered Arsenal Historic District. These requests are repairs and modifications to a non-historic accessory structure, called the Ceramics Building and to existing sidewalks. The Texas Historical Commission has reviewed the project and determined that the proposed project of sidewalk replacement with retention of historic stamps, landscaping, and rehabilitation of Ceramics Building are appropriate and will not negatively impact existing historic resources.
- b. The property received administrative approval to perform minor repairs such as replacing rotten wood elements with new, repairing cracks in pilaster, waterproofing the wall base, and re-painting with existing color.
- c. Currently there are stamped and scored sidewalks. UDC Sec 35-676 and Guidelines for Exterior Maintenance and Alterations both state repairs should be considered before replacement. The applicant is proposing to remove existing scored sidewalks and curbs and re-pour new concrete to match existing, removing and re-installing historic stamps. Staff made a site visit June 8, 2016, and found that the sidewalks warranted replacement.
- d. The applicant is requesting to make some modification to the non-historic Ceramics Building. The Ceramics

Building was built after 1976 and currently has plaster siding and has a gable roof with composition shingles. The applicant is requesting to replace the shingle roof of the Ceramics Building with a copper red 20 gauge standing seam metal roof. Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds this proposal appropriate and consistent with the Guidelines as the building is simple in construction.

- e. The applicant is requesting to add a gabled entry canopy and dark green steel bollard at the Ceramics Building. The Guidelines state that architectural details should be simple and not distinct from historic building. Staff finds the entry consistent with the Guidelines.
- f. The applicant is proposing to add tan gutters to the Ceramics Building that blend with the existing siding color. This is consistent with the Guidelines for Exterior Maintenance & Alteration 7.B.
- g. The applicant is proposing to remove existing box hedges and install decomposed granite in existing bed with 28 bluestems. According to the Guidelines, native plants should be selected. Staff finds this replacement appropriate.
- h. The applicant is proposing to install two black iron benches. The Guidelines for Exterior Maintenance & Alteration 7.B. state that new furniture should be simple in design and compatible with the style of the historic building. The bench color and design are simple and subtle, thus the proposal is consistent with the Guidelines.

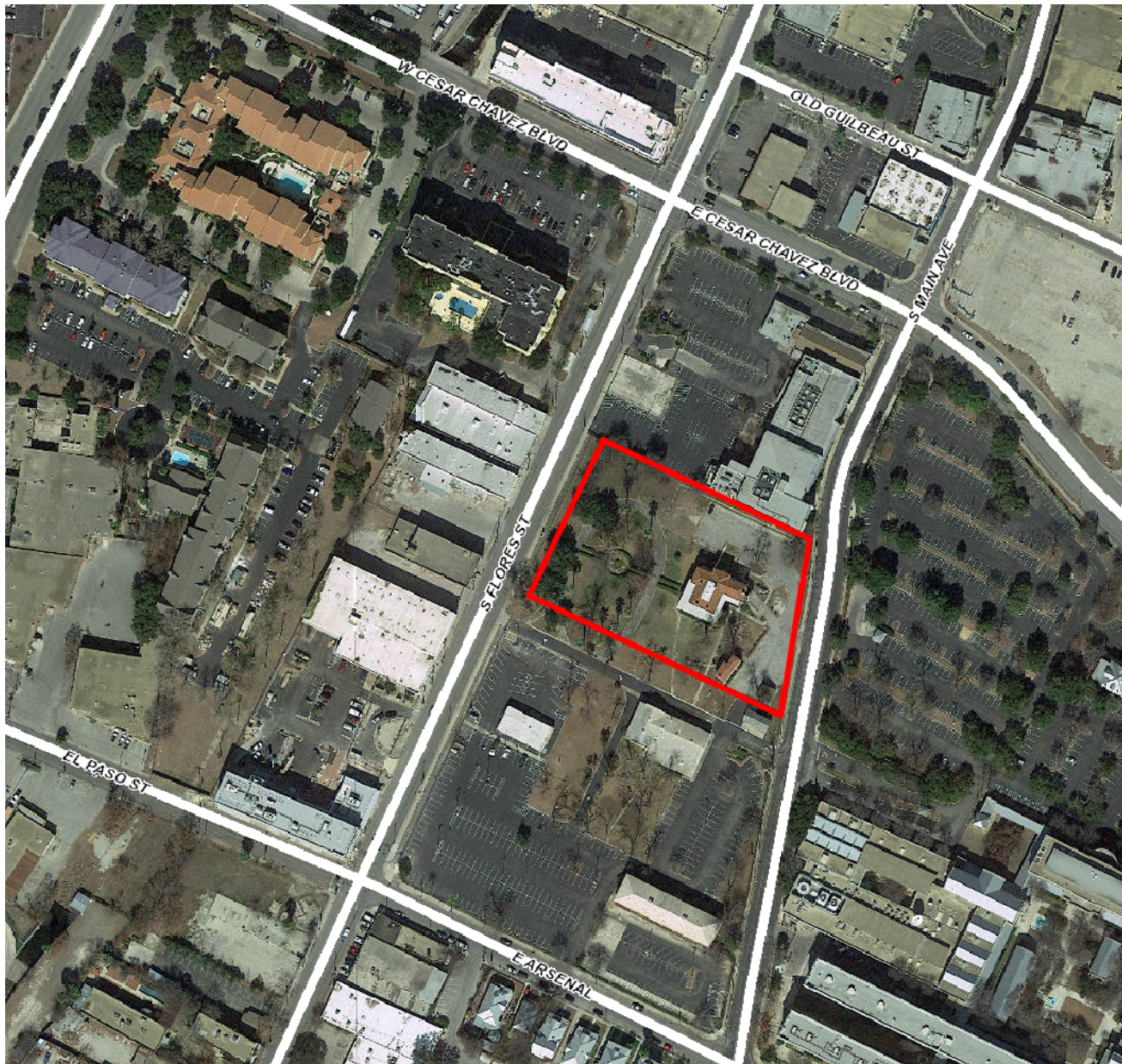
RECOMMENDATION:

Staff recommends approval of #1 through #12 based on findings c through h with the following stipulations:

- 1. That the new sidewalk concrete match the historic color and texture of the existing historic sidewalk.
- 2. That large, intact portions of sidewalk and stamped sidewalks be preserved, if possible.

CASE MANAGER:

Lauren Sage



Flex Viewer

Powered by ArcGIS Server

Printed: Jun 08, 2016

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Root Factory Outlet

HEB - South Flores Market

Redbox

S Flores St

Commanders House Park

Commander's House

S Flores St

622 S Flores St

S Flores St



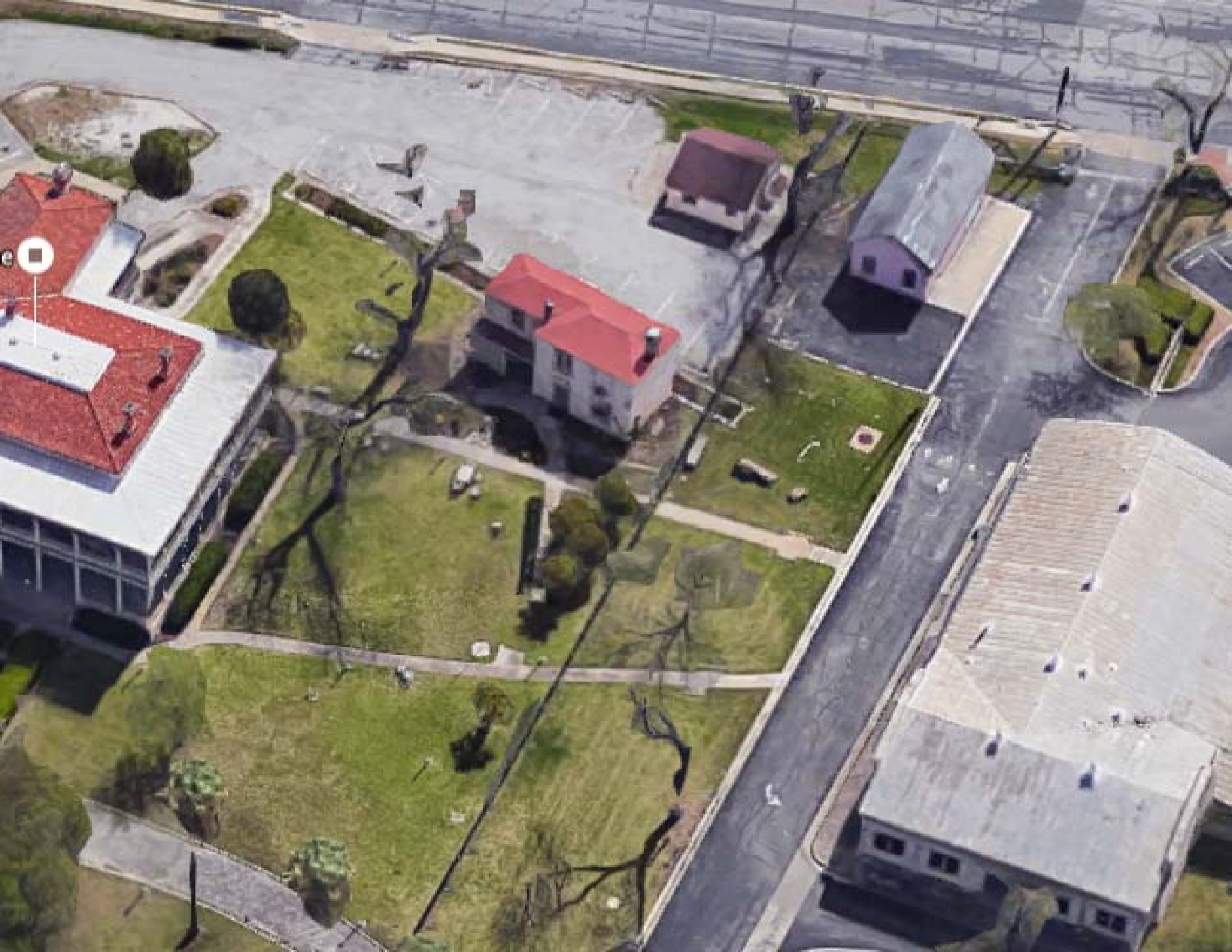
outh
Market

Commanders
House Park

S Flores St

S Flores St

622 S Flores St





Broken Sidewalks at Commanders House.



Restoring and replacing stamped concret.



Replacing broken segments



Broken Sidewalks at Commanders House.



Replacing all walks at commanders House



Replacing with similar scored concrete.

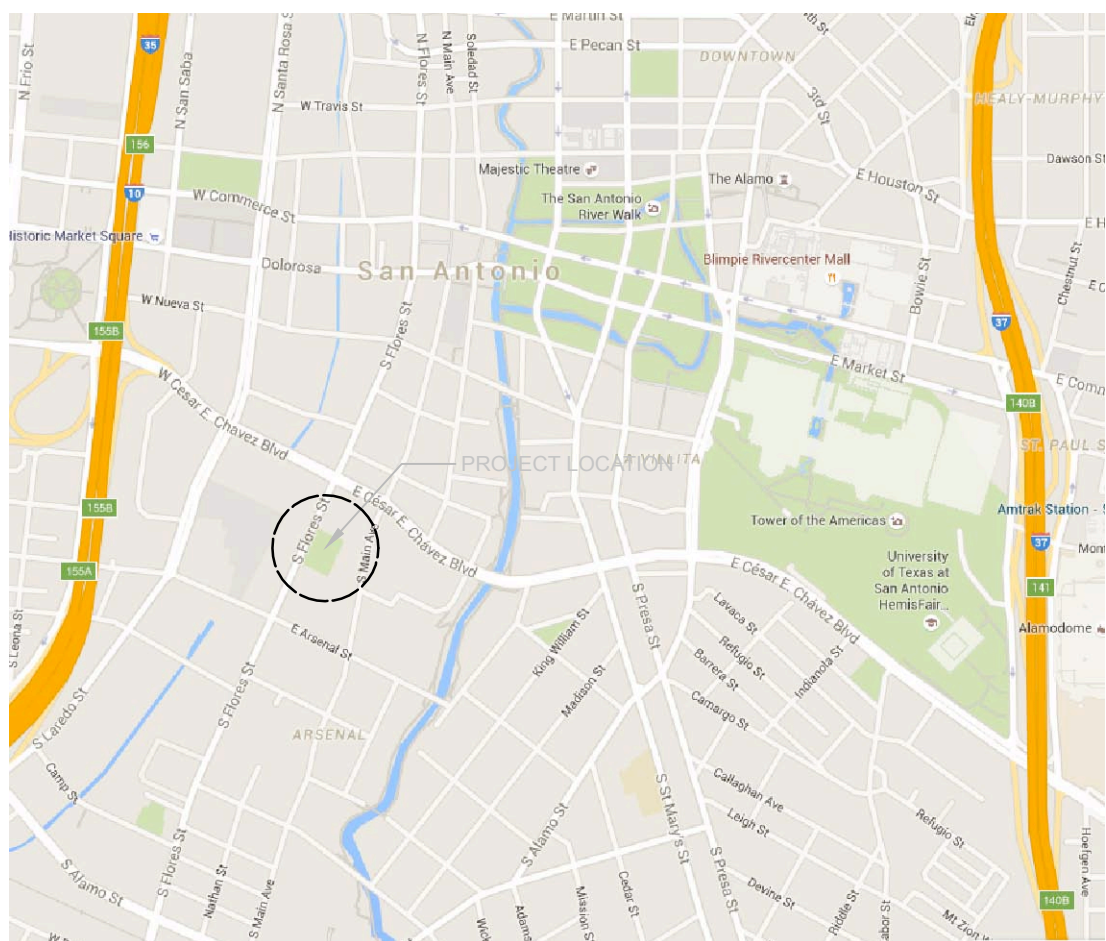
CITY OF SAN ANTONIO



COMMANDERS HOUSE Sidewalk Replacement Project

645 SOUTH MAIN AVE.
SAN ANTONIO, TEXAS 78204

MAY 20, 2016



DRAWING INDEX

CVR	COVER
G1.0	GENERAL NOTES
A1.0	OVERALL SITE PLAN
A1.1	AREA 1 SITE PLAN
A1.2	AREA 2 SITE PLAN
A 2.0	CERAMICS BUILDING
C1.0	WEST SITE PLAN
C1.1	EAST SITE PLAN

CITY MANAGER
SHERYL SCULLEY

DIRECTOR OF PARKS AND RECREATION
XAVIER URRUTIA
PARKS AND RECREATION
SANDY JENKINS
PROJECT MANAGER
114 W Commerce, 11th Floor
San Antonio, Texas 78205



PARKS & RECREATION
SAN ANTONIO

CITY COUNCIL

MAYOR
IVY TAYLOR

Roberto Treviño	District 1
Alan Warrick	District 2
Rebecca J. Viagran	District 3
Ray Saldaña	District 4
Shirley Gonzales	District 5
Ray Lopez	District 6
Cris Medina	District 7
Ron Nirenberg	District 8
Joe Krier	District 9
Mike Gallagher	District 10

PRIME CONSULTANT
DUENDE DESIGN ARCHITECTS, INC.
1333 BUENA VISTA STE. 205
SAN ANTONIO, TX. 78207
2100-326-0158

CIVIL ENGINEER
BURY
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SAN ANTONIO, TX. 78216
210-525-9090

The mission of the San Antonio Parks and Recreation Department is to provide exceptional parks, facilities, programs and services to improve the quality of life for all.

CONSTRUCTION DOCUMENT ORGANIZATION

I. SPECIFICATIONS

This set of CONSTRUCTION DOCUMENTS is presented in two parts: a set of technical SPECIFICATIONS and a set of DRAWINGS.

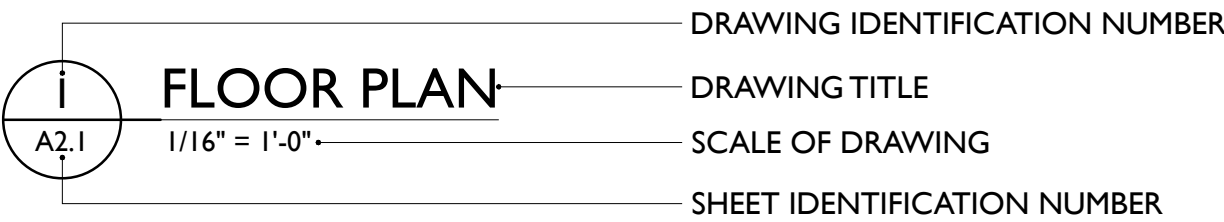
SPECIFICATIONS are organized according to the 16 divisions of the UNIFORM CONSTRUCTION INDEX as follows:	
DIVISION 1	GENERAL REQUIREMENTS
DIVISION 2	SITE WORK
DIVISION 3	CONCRETE
DIVISION 4	MASONRY
DIVISION 5	METALS
DIVISION 6	WOOD AND PLASTICS
DIVISION 7	THERMAL AND MOISTURE PROTECTION
DIVISION 8	DOORS AND WINDOWS
DIVISION 9	FINISHES
DIVISION 10	SPECIALTIES
DIVISION 11	EQUIPMENT
DIVISION 12	FURNISHINGS
DIVISION 13	SPECIAL CONSTRUCTION
DIVISION 14	CONVEYING SYSTEMS
DIVISION 15	MECHANICAL
DIVISION 16	ELECTRICAL

2. DRAWINGS

DRAWINGS are organized according to discipline. Each discipline is a discipline describing a general aspect of the construction. Disciplines are arranged in the order of typical construction sequence as follows:

- C-CIVIL
Work related to site grading, parking and utilities.
- A-ARCHITECTURAL:
Work required to produce the basic building envelope, including:
Floor plan(s), roof plan(s), exterior elevations, building sections, wall sections, stair details, exterior enclosure details, interior floor plan(s), enlarged plan(s).
- S-STRUCTURAL:
Work related to the building structure.
- M-MECHANICAL
Work related to heating, ventilating and cooling systems.
- P-PLUMBING
Work related to plumbing systems.
- E-ELECTRICAL
Work related to the electrical system.

3. DRAWING NUMBERING

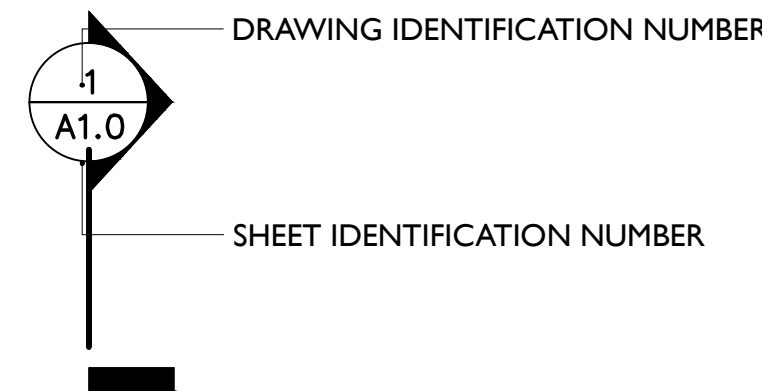


Each drawing is numbered preceding the drawing title. In this example, drawing 1 represents the first drawing on a sheet of the architectural discipline, A-FLOOR PLAN.

4. SYMBOLS

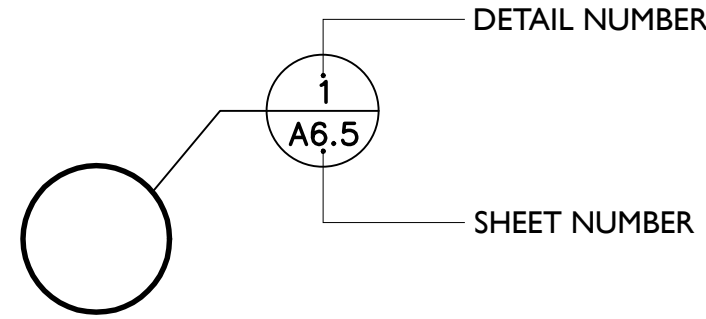


This symbol represents the direction of north for this set of drawings.

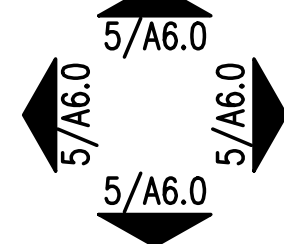


This symbol is a key to a building section drawing taken along the straight line of the symbol. The arrow points in the direction of the view for the section. The number is a reference to the section drawing.

4. SYMBOLS (continued)



This symbol is a key to a detail drawn of the area within the dashed line. The number is a reference to the detail drawing. In this example, detail number 1, sheet A6.5



This symbol is a key to an elevation drawing. The arrow points in the direction of view for the elevation. The number is a reference to the elevation drawing.



This symbol is a key to a partition type, if included. The number is a reference to the partition drawing, in this example, partition type "25."

GENERAL NOTES

1. REFER TO CIVIL SHEETS FOR SIDEWALK DIMENSIONS, RAMP LOCATIONS AND ELEVATION INFORMATION.
2. CONTRACTOR OF WORK SHALL VERIFY IN THE FIELD ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING BUT NOT LIMITED TO EXISTING LIGHTS PROPERTY LINE DIMENSIONS, SETBACK, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING, AND NEW DRIVEWAYS, WALKS APRONS, UTILITIES GRADES, AND DRAINAGE. SHOULD ANY QUESTION OR DISCREPANCIES ARISE PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
3. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATION. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO WATER AND SEWER FEES, DRIVEWAY AND SIDEWALK FEES, ETC. THE LOCATION OF THE UTILITIES SHOWN ON THE SITE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
4. THE WORK AREA IS TO BE KEPT CLEAN AND ORDERLY AT ALL TIMES. REFUSE AND DEBRIS SHALL BE REMOVED ON A REGULAR BASIS.
5. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
6. ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE UNLESS OTHERWISE NOTED BY "CLEAR" OR "HOLD." NOTIFY THE ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO BEGINNING NEW CONSTRUCTION.
7. CONTRACTOR TO REMOVE ND SAFE-GUARD MONUMENTS DURING DEMOLITION, STORAGE AND CONSTRUCTION.
8. CONTRACTOR TO PHASE CONSTRUCTION WORK TO ALLOW EXISTING SERVICES TO REMAIN IN OPERATION DURING CONSTRUCTION. BUSINESS TO REMAIN OPERATIONAL DURING CONSTRUCTION. COORDINATE PHASING WITH OWNER, OPERATING SYSTEMS, UTILITIES, AND SERVICES (INCLUDING WATER, POWER, HVAC, SANITARY SEWER, FIRE ALARM, FIRE DETECTION, FIRE SUPPRESSION, TELEPHONE, SECURITY, AND COMMUNICATIONS) SERVING OCCUPIED OR UNOCCUPIED PORTIONS OF THE WORK UNDER THIS CONTRACT SHALL BE MAINTAINED OPERATION. PRIOR TO ANY TEMPORARY INTERRUPTION OF THEIR SERVICES DEEMED ABSOLUTELY NECESSARY BY THE CONTRACT TO PERFORM THE WORK, THE CONTRACTOR SHALL BE CONSTULT BUILDING MANAGEMENT TO ARRIVE AT A MUTUALLY ACCEPTABLE SCHEDULE FOR THE INTERRUPTION, SWITCH OVER OR OTHER CHANGE IN OPERATION TO THE SYSTEM, SERVICE, OR UTILITY IN QUESTION.
9. CONTRACTOR TO PROVIDE MOCK-UP PANELS FOR EACH DIFFERENT PATTERN DIMENSION 4'-0" BY 4'-0" FOR APPROVAL BY ARCHITECT.

ADDITIONAL GENERAL NOTES

1. THE GENERAL CONDITIONS OF THIS CONTRACT ARE THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION." NO CONTRACTUAL ADJUSTMENT SHALL BE DUE AS A RESULT OF FAILURE IN THE PART OF THE GENERAL CONTRACTOR (G.C.) TO FULLY ACQUAINT HIMSELF AND ALL OTHER PARTIES TO THE CONTRACT WITH THE CONDITIONS OF DOCUMENT A201.
2. THE GENERAL CONTRACTOR (G.C.) SHALL MAINTAIN AND PAY FOR ALL INSURANCE AS REQUIRED BY THE LAWS OF THE STATE. THE G.C. SHALL PAY ALL THE TAXES REQUIRED BY FEDERAL, STATE, AND LOCAL LAWS. THE G.C. SHALL FILE FOR AND SECURE ALL PERMITS, APPROVALS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
3. EACH CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE EXISTING JOB CONDITIONS BEFORE SUBMITTING BIDS AS NO ALLOWANCES WILL BE MADE BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH EXISTING JOB CONDITIONS.
4. G.C. SHALL VERIFY ALL SITE DIMENSIONS SHOWN ON THE DRAWINGS. ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO THE TENANT AND ARCHITECT AND HIS DISPOSITION OBTAINED BEFORE ANY WORK IS BEGUN. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED IN ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS OF WORK AND THE MEASUREMENTS INDICATED ON THE DRAWINGS.
5. ALL PROPOSALS SHALL PRECLUDE THAT THE G.C. IS FAMILIAR WITH JOB SITE CONDITIONS AND UTILITY LOCATIONS. THE LACK OF SPECIFIC INFORMATION ON THE DRAWING SHALL NOT RELIEVE THE G.C. OF ANY RESPONSIBILITY. ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE G.C. SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH RELAXED WORK. OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE G.C. SUCH ERROR WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA CONSIDERATION.
6. G.C. SHALL PROVIDE PRIOR TO START OF WORK THE FOLLOWING INFORMATION TO THE OWNER FOR ALL PARTIES PERFORMING WORK ON THIS PROJECT:
A. BUSINESS NAME AND ADDRESS
B. NAME OF CONTACT PERSON
C. REGULAR PHONE NUMBER
D. EMERGENCY PHONE NUMBER

Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

1333 Buena Vista 201
San Antonio, Texas 78205
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www.duende-design.com

ARCHITECT



DATE: 09/02/09

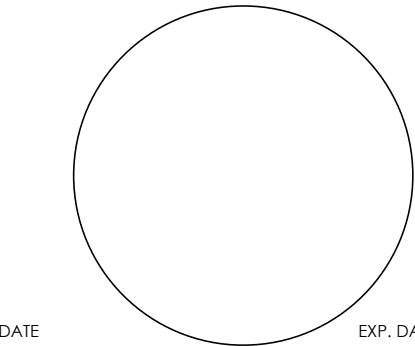
EXP. DATE

CONSULTANT

Bury Inc.
Civil Engineers

922 Isom Road - Ste 100
San Antonio, Tx.
210 525 9090

ENGINEER



DATE

EXP. DATE

OWNER

City of San Antonio
Parks and Rec. Dept.

114 W. Commerce - 11th Floor
SA TX 78204

PROJECT TITLE

Commanders House
Site Repairs

645 So. Main
San Antonio, Tx 78205

PROJECT NUMBER

16.01.02

DRAWN BY

EG

CHECKED BY

EG

REVISIONS

NUMBER DATE DESCRIPTION

SHEET TITLE

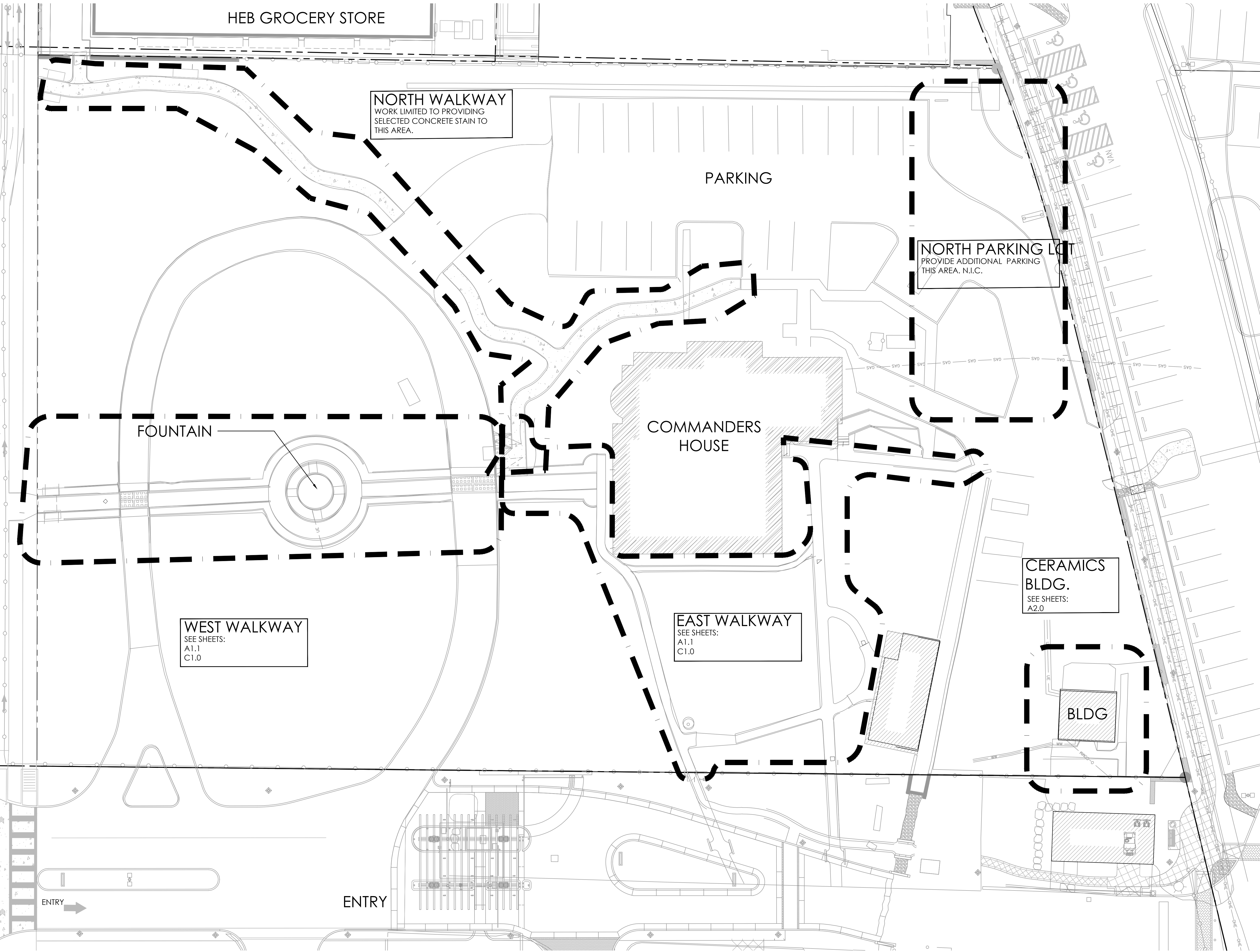
GENERAL NOTES

DATE

January 30, 2016

SHEET NUMBER

G1.0



Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

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ARCHITECT

DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

DATE: 09/02/09EXP. DATE:

CONSULTANT

Bury Inc. Civil Engineers

922 Isom Road - Ste 100
San Antonio, Tx.
210 525 9090

ENGINEER

DATEEXP. DATE

OWNER

City of San Antonio Parks and Rec. Dept.

114 W. Commerce - 11th Floor
SA TX 78204

PROJECT TITLE

Commanders House Site Repairs

645 So. Main
San Antonio, Tx 78205

PROJECT NUMBER

16.01.02

DRAWN BY

EG

CHECKED BY

EG

REVISIONS

NUMBER	DATE	DESCRIPTION
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SHEET TITLE

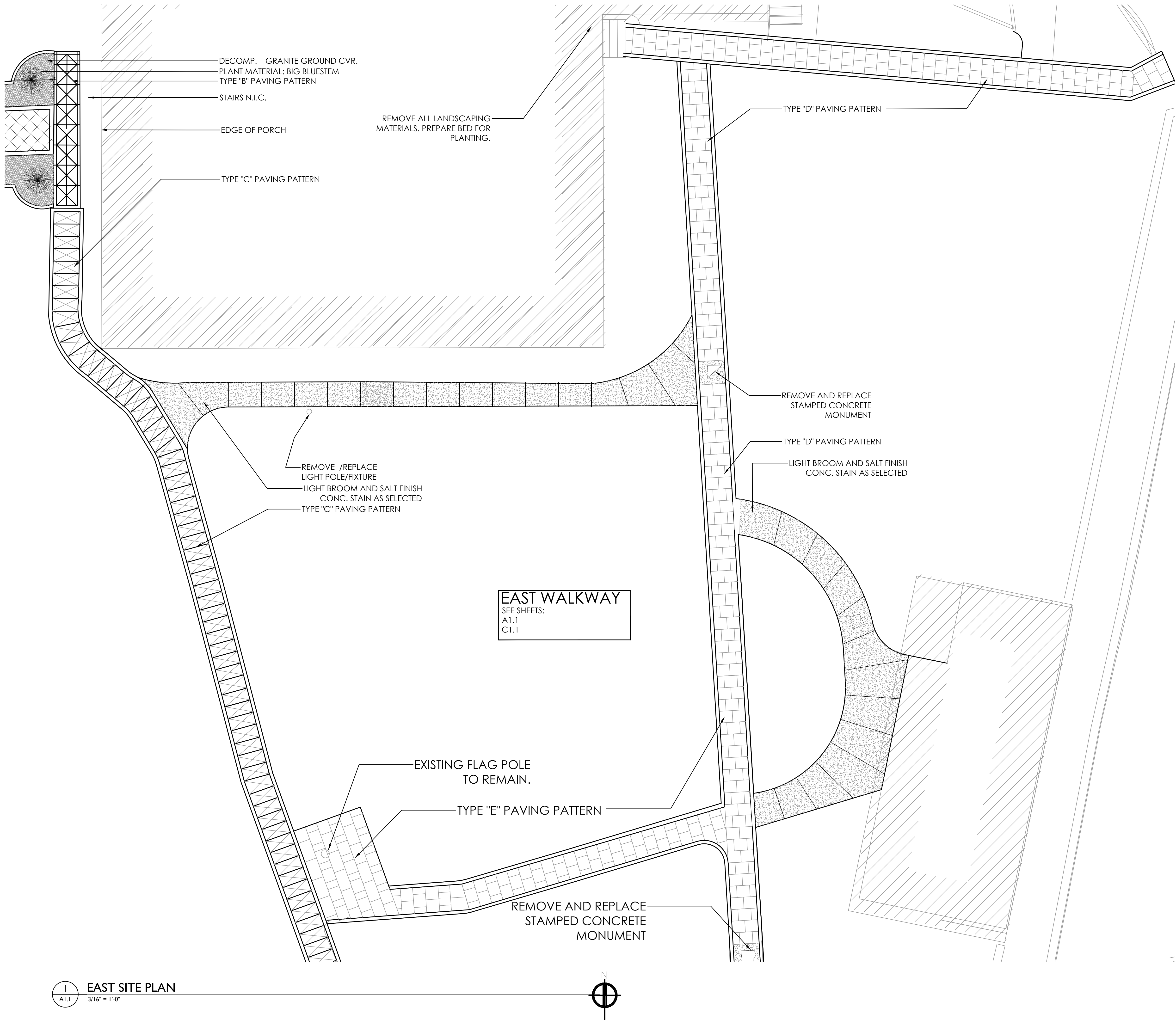
OVERALL SITE PLAN

DATE

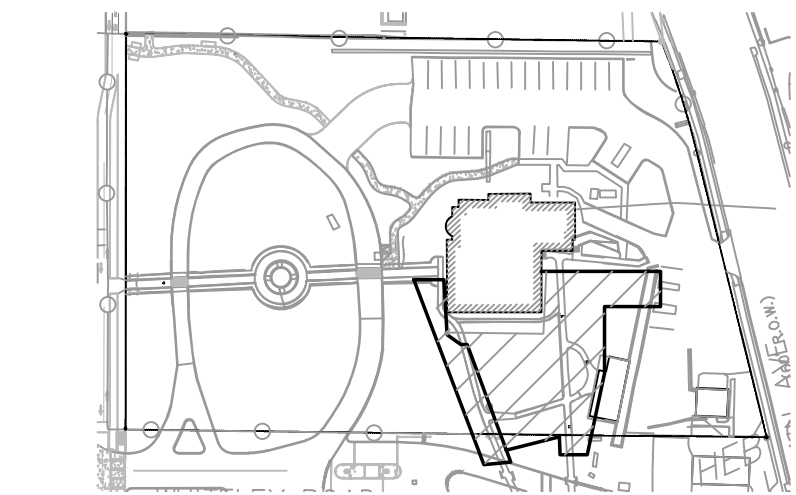
January 30, 2016

SHEET NUMBER

A1.0



The existing lightpole mentioned is to be replaced in the same spot.



- NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
 2. FOUNTAIN TO BE RESTORED BY OWNER. N.I.C.
 3. REPAIR FOUNTAIN CURB SURROUND S NEEDED.
 4. ALL STAMPED CONCRETE SCHEDULED FOR RESTORATION TO BE CAREFULLY REMOVED, CLEANED AND RESTORED PRIOR TO REPLACEMENT.

Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

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ARCHITECT

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DATE: 09/02/09

EXP. DATE

CONSULTANT

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Civil Engineers

922 Isom Road - Ste 100
San Antonio, Tx.
210 525 9090

ENGINEER

DATE

EXP. DATE

OWNER

City of San Antonio
Parks and Rec. Dept.

114 W. Commerce - 11th Floor
SA TX 78204

PROJECT TITLE

Commanders House
Site Repairs

645 So. Main
San Antonio, Tx 78205

PROJECT NUMBER

16.01.02

DRAWN BY

EG

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EG

REVISIONS

NUMBER DATE DESCRIPTION

SHEET TITLE

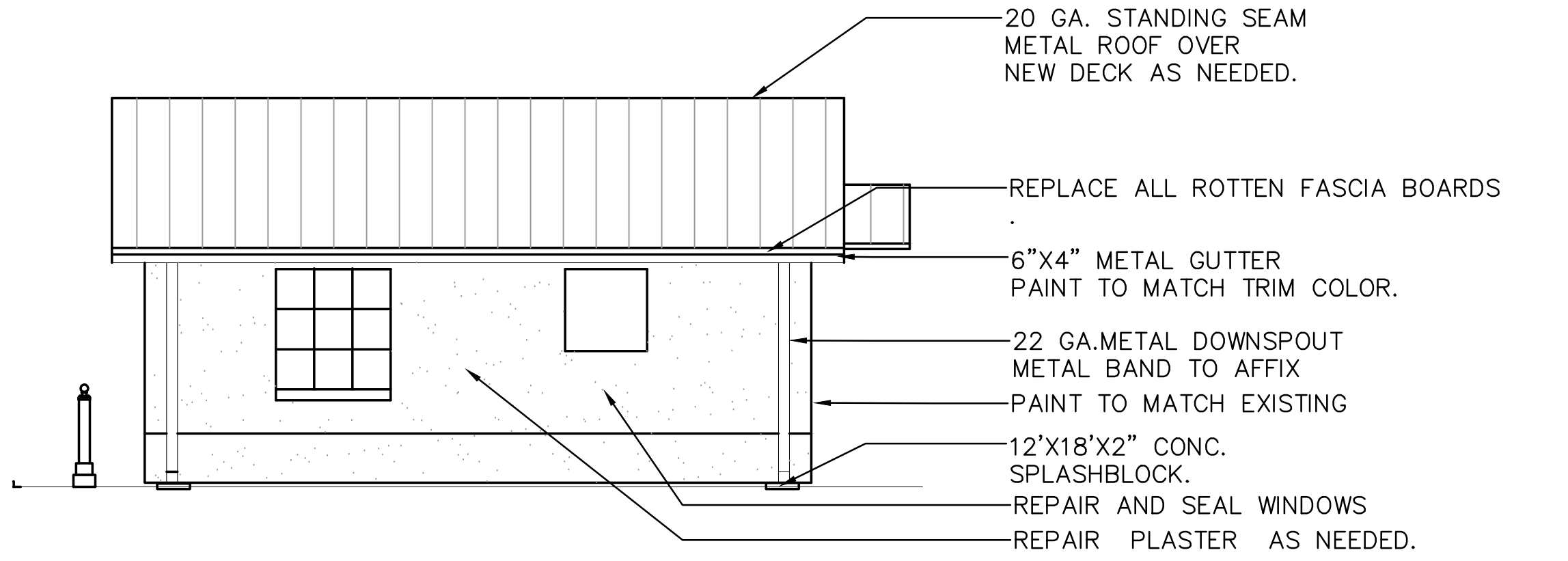
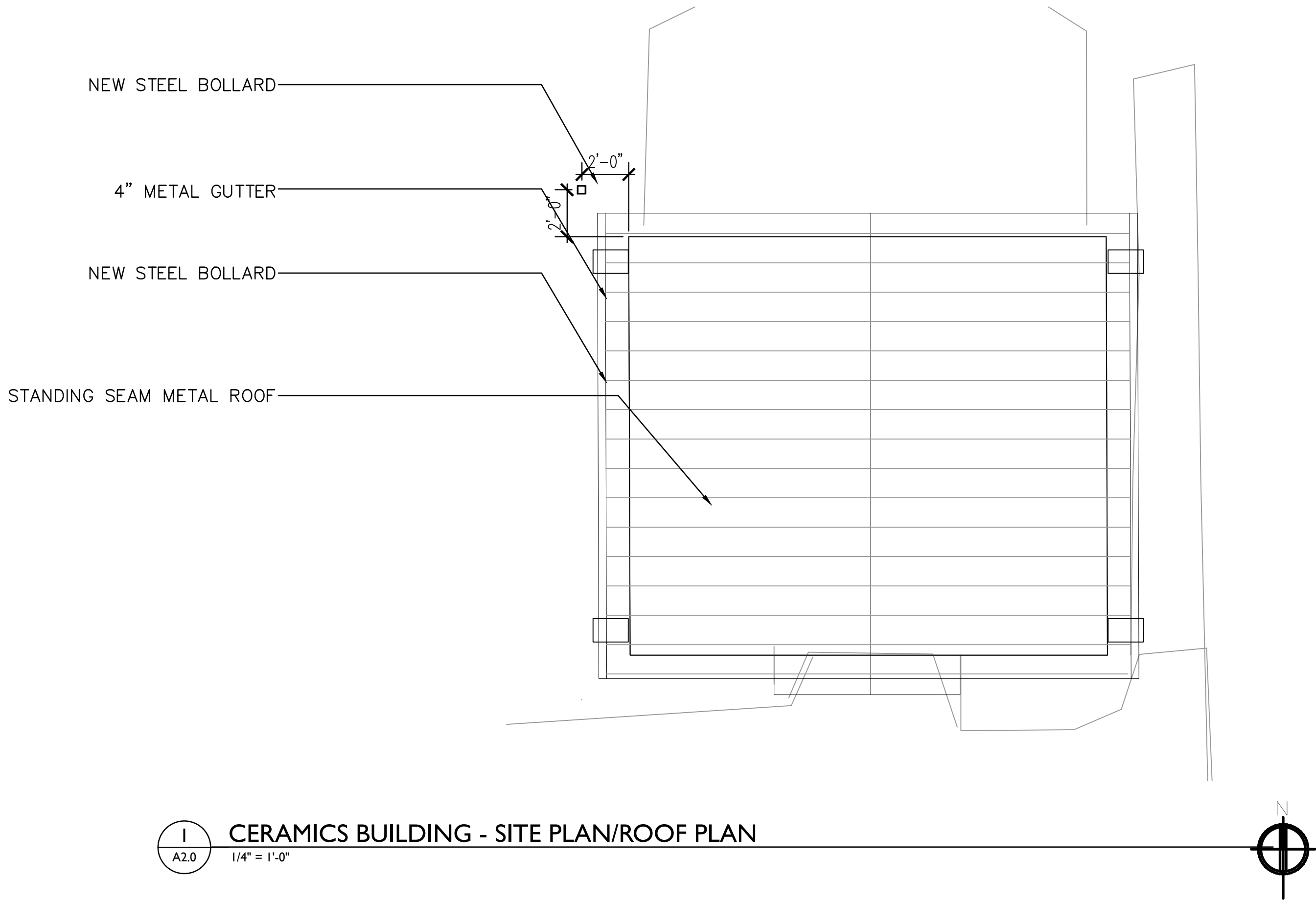
AREA 2
SITE PLAN

DATE

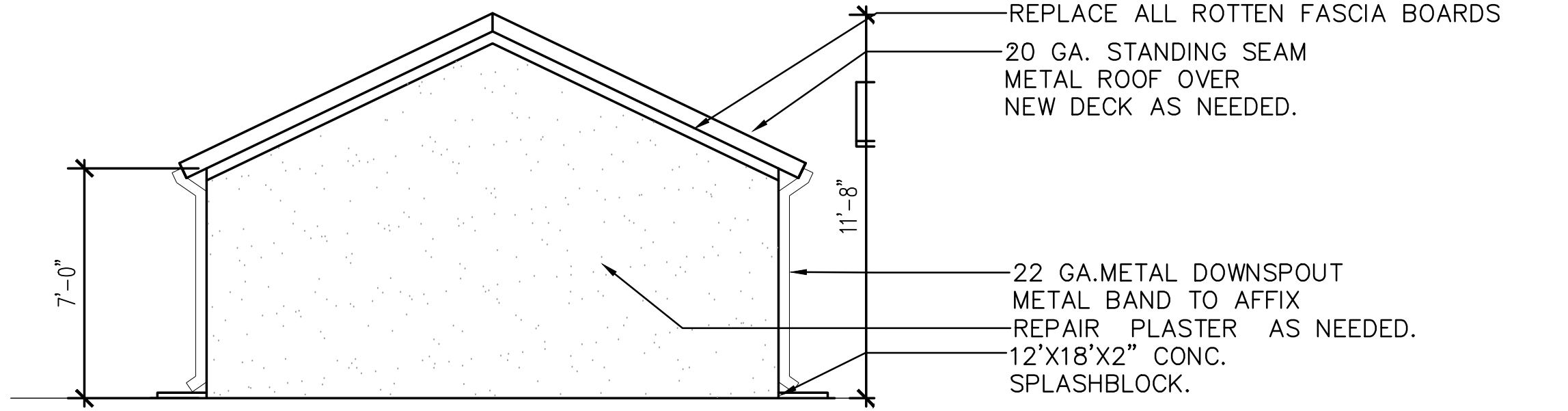
January 30, 2016

SHEET NUMBER

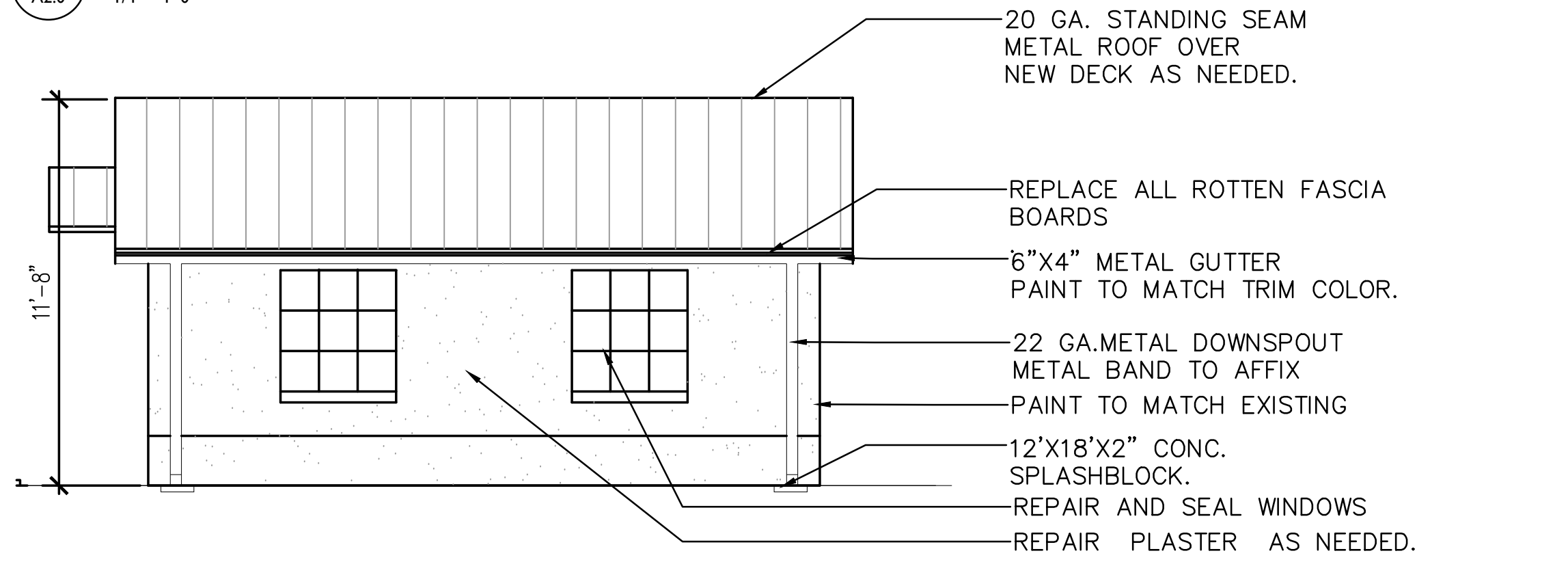
A1.2



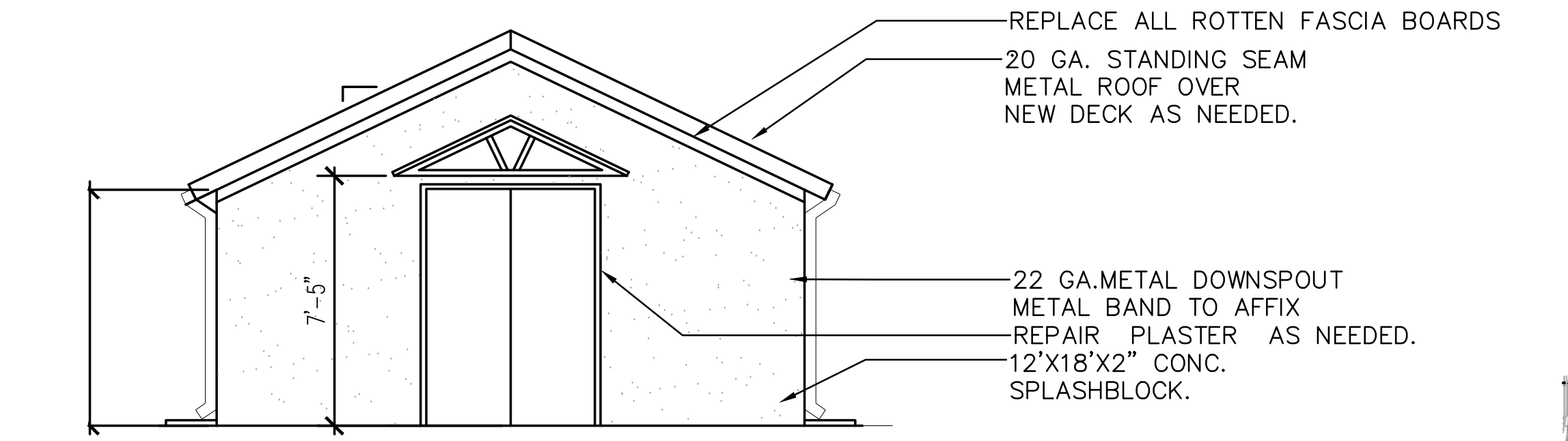
2 WEST ELEVATION
1/4" = 1'-0"



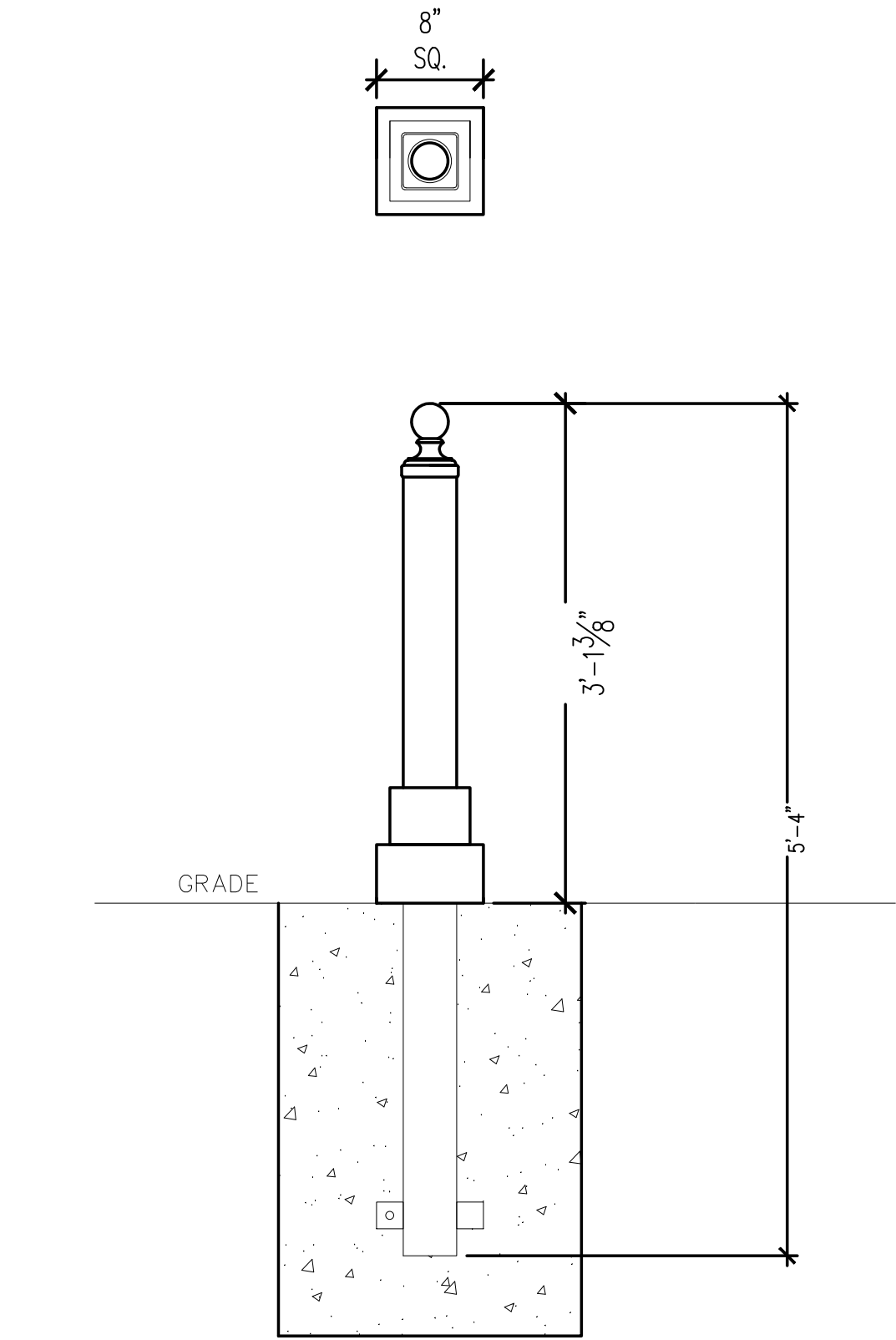
3 NORTH ELEVATION
1/4" = 1'-0"



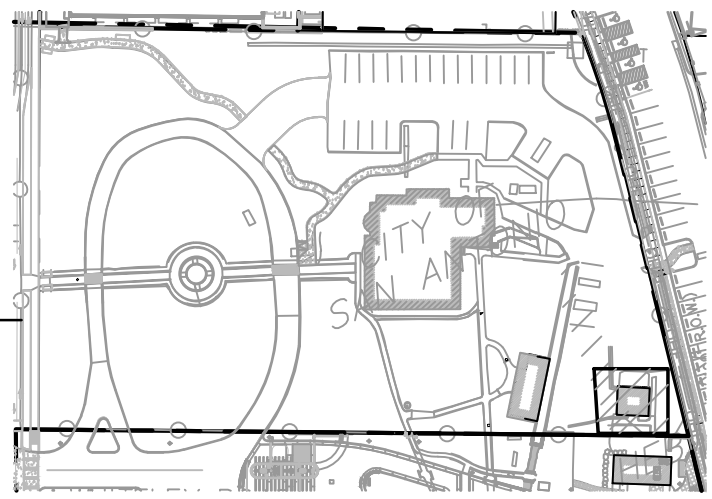
4 EAST ELEVATION
1/4" = 1'-0"



5 SOUTH ELEVATION
1/4" = 1'-0"



6 METAL BOLLARD
1" = 1'-0"



KEY PLAN

Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

1333 Buena Vista 201
San Antonio, Texas 78205
210/326-0158 voice
210/223-1403 fax
www.duende-design.com

ARCHITECT

DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

DATE: 09/02/09

EXP. DATE

CONSULTANT

Bury Inc.
Civil Engineers

922 Isom Road - Ste 100
San Antonio, Tx.
210 525 9090

ENGINEER

DATE

EXP. DATE

OWNER

City of San Antonio
Parks and Rec. Dept.

114 W. Commerce - 11th floor
SA TX 78204

PROJECT TITLE

Commanders House
Site Repairs

645 So. Main
San Antonio, Tx 78205

PROJECT NUMBER

16.01.02

DRAWN BY

EG

CHECKED BY

EG

REVISIONS

NUMBER DATE DESCRIPTION

SHEET TITLE

CERAMICS
BUILDING

DATE

January 30, 2016

SHEET NUMBER

A2.0

ARCHITECT

DATE: 09/02/05

EXP. DATE

CONSULTANT

ENGINEER



EXP DATE

OWNER

114 W. Commerce - 11th Floor
SA TX 78204

PROJECT TITLE

645 So. Main
San Antonio, Tx 78205

PROJECT NUMBER _____

16.01.02

DRAWN BY
EG

CHECKED BY _____
EG

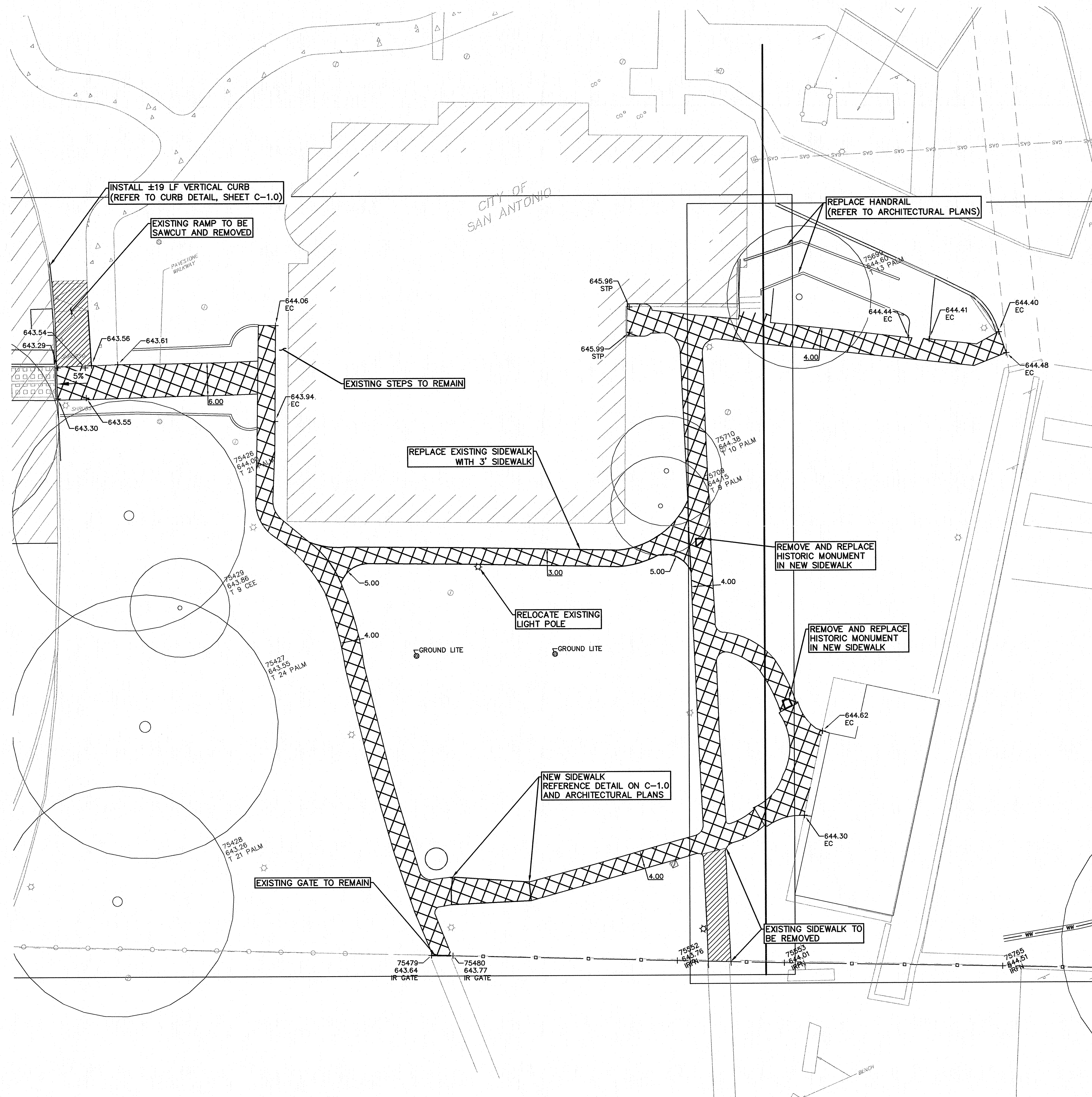
REVISIONS

SHEET TITLE

DATE
April 4, 2016

SHEET NUMBER

Date: Apr 04, 2016, 02:22PM User ID: cresponek
File: G:\113256\50001\CD DWG\113256001SPN.DWG





View facing Northwest



View facing West

Commanders House

Ceramics Building

HDRC Review

View facing East



View facing Southwest



Proposed
Bench

SW 2816
Rookwood Dark Green
Interior / Exterior

Bollard Color

SW 2829
Classical White
Interior / Exterior

Gutter
Color

SW 2839
Roycroft Copper Red
Interior / Exterior

Metal Roof
Color

To match
adjacent
roofs

Commanders House

Ceramics Building

HDRC Review



Bluestem Grass



Decomposed Granite

TEXAS HISTORICAL COMMISSION

real places telling real stories

June 3, 2016

Eduardo García
Duende Design Architects, Inc.
1333 Buena Vista #205
San Antonio, TX 78207

Re: *Project review under the Antiquities Code of Texas*
Proposed site improvements, Additional information, Commander's House, San Antonio, Bexar County (NR)

Dear Mr. García:

Thank you for the additional information regarding the above referenced project which you provided via email on May 24, 2016. This letter presents the comments of the Executive Director of the Texas Historical Commission, the state agency responsible for administering the Antiquities Code of Texas.

The review staff, led by Sara Ludueña, has completed its review of the project documentation provided. As we mentioned in our previous letter, the Commander's House is located within the Arsenal Historic District which is **listed** in the National Register of Historic Places. It is our understanding that this project consists of limited sidewalk replacement with retention of historic stamps, landscape planning, fountain restoration, and rehabilitation of the Ceramics Studio Building at the southeast corner of the site. At the time of our initial review, we found that overall the scope of work described was appropriate and consistent with the Secretary of the Interior's Standards for Rehabilitation, but we had questions about the proposed fountain restoration. Based on the additional information you have provided, the actual fountain repairs are not in the scope of this project. We appreciate the clarification and find that the proposed work is appropriate and will not negatively impact existing historic resources. If the scope of work changes, please provide updated project information.

We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. Thank you for your cooperation in this state review process, and for your efforts to preserve the irreplaceable heritage of Texas. **If you have any questions concerning our review or if we can be of further assistance, please contact Sara Ludueña at 512/463-8952.**

Sincerely,



Sara Ludueña, Project Reviewer

for: Mark Wolfe, State Historic Preservation Officer

cc: Virginia S. Nicholas, Bexar County Historical Commission
Kay Hindes, City of San Antonio Office of Historic Preservation

MW/sl



GREG ABBOTT, GOVERNOR • JOHN L. NAU, III, CHAIR • MARK WOLFE, EXECUTIVE DIRECTOR

P.O. BOX 12276 • AUSTIN, TEXAS • 78711-2276 • P 512.463.6100 • F 512.475.4872 • www.thc.state.tx.us