HISTORIC AND DESIGN REVIEW COMMISSION

June 15, 2016 Agenda Item No: 5

HDRC CASE NO: 2016-219

ADDRESS: 622 S FLORES ST

LEGAL DESCRIPTION: NCB 929 (ARSENAL(REPLAT)), BLOCK 3 LOT 5

ZONING: D H HS RIO-4

CITY COUNCIL DIST.: 1

DISTRICT: Arsenal Historic District **APPLICANT:** Eduardo Garcia/Duende Design

OWNER: City of San Antonio

TYPE OF WORK: Site work

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform various site modifications at 622 S Flores that include the following:

- 1. Remove, restore, clean and replace existing stamped concrete
- 2. Remove scored concrete sidewalks and pour new scored concrete sidewalks with salt finish and concrete stain
- 3. Remove concrete curbs and pour new concrete curbs to match historic profile
- 4. Install 20 gauge standing seam metal roof at Ceramics Building
- 5. Install new entry canopy at Ceramics Building
- 6. Install new steel bollard at Ceramics Building
- 7. Install new 6' x 4' metal gutters and downspout
- 8. Install decomposed granite strip in planting bed
- 9. Remove box hedges and replace with 28 big bluestems
- 10. Install two benches along front walkway

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. Clear area—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.
- B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof. vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.
- 5. Architectural Features: Lighting

A. MAINTENANCE (PRESERVATION)

- i. Lighting—Preserve historic light fixtures in place and maintain through regular cleaning and repair as needed.
- B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
- i. Rewiring—Consider rewiring historic fixtures as necessary to extend their lifespan.
- ii. *Replacement lighting*—Replace missing or severely damaged historic light fixtures in-kind or with fixtures that match the original in appearance and materials when in-kind replacement is not feasible. Fit replacement fixtures to the existing mounting location.
- iii. *New light fixtures*—Avoid damage to the historic building when installing necessary new light fixtures, ensuring they may be removed in the future with little or no damage to the building. Place new light fixtures and those not historically present in locations that do not distract from the façade of the building while still directing light where needed. New light fixtures should be unobtrusive in design and should not rust or stain the building.
- 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

A. PLANTINGS

- i. Historic Gardens— Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to

cause damage.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

UDC Section 35-676. – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

FINDINGS:

- a. The historic landmark, the Commander's House is also located at this address within the National Registered Arsenal Historic District. These requests are repairs and modifications to a non-historic accessory structure, called the Ceramics Building and to existing sidewalks. The Texas Historical Commission has reviewed the project and determined that the proposed project of sidewalk replacement with retention of historic stamps, landscaping, and rehabilitation of Ceramics Building are appropriate and will not negatively impact existing historic resources.
- b. The property received administrative approval to perform minor repairs such as replacing rotten wood elements with new, repairing cracks in pilaster, waterproofing the wall base, and re-painting with existing color.
- c. Currently there are stamped and scored sidewalks. UDC Sec 35-676 and Guidelines for Exterior Maintenance and Alterations both state repairs should be considered before replacement. The applicant is proposing to remove existing scored sidewalks and curbs and re-pour new concrete to match existing, removing and re-installing historic stamps. Staff made a site visit June 8, 2016, and found that the sidewalks warranted replacement.
- d. The applicant is requesting to make some modification to the non-historic Ceramics Building. The Ceramics

Building was built after 1976 and currently has plaster siding and has a gable roof with composition shingles. The applicant is requesting to replace the shingle roof of the Ceramics Building with a copper red 20 gauge standing seam metal roof. Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds this proposal appropriate and consistent with the Guidelines as the building is simple in construction.

- e. The applicant is requesting to add a gabled entry canopy and dark green steel bollard at the Ceramics Building. The Guidelines state that architectural details should be simple and not district from historic building. Staff finds the entry consistent with the Guidelines.
- f. The applicant is proposing to add tan gutters to the Ceramics Building that blend with the existing siding color. This is consistent with the Guidelines for Exterior Maintenance & Alteration 7.B.
- g. The applicant is proposing to remove existing box hedges and install decomposed granite in existing bed with 28 bluestems. According to the Guidelines, native plants should be selected. Staff finds this replacement appropriate.
- h. The applicant is proposing to install two black iron benches. The Guidelines for Exterior Maintenance & Alteration 7.B. state that new furniture should be simple in design and compatible with the style of the historic building. The bench color and design are simple and subtle, thus the proposal is consistent with the Guidelines.

RECOMMENDATION:

Staff recommends approval of #1 through #12 based on findings c through h with the following stipulations:

- 1. That the new sidewalk concrete match the historic color and texture of the existing historic sidewalk.
- 2. That large, intact portions of sidewalk and stamped sidewalks be preserved, if possible.

CASE MANAGER:

Lauren Sage



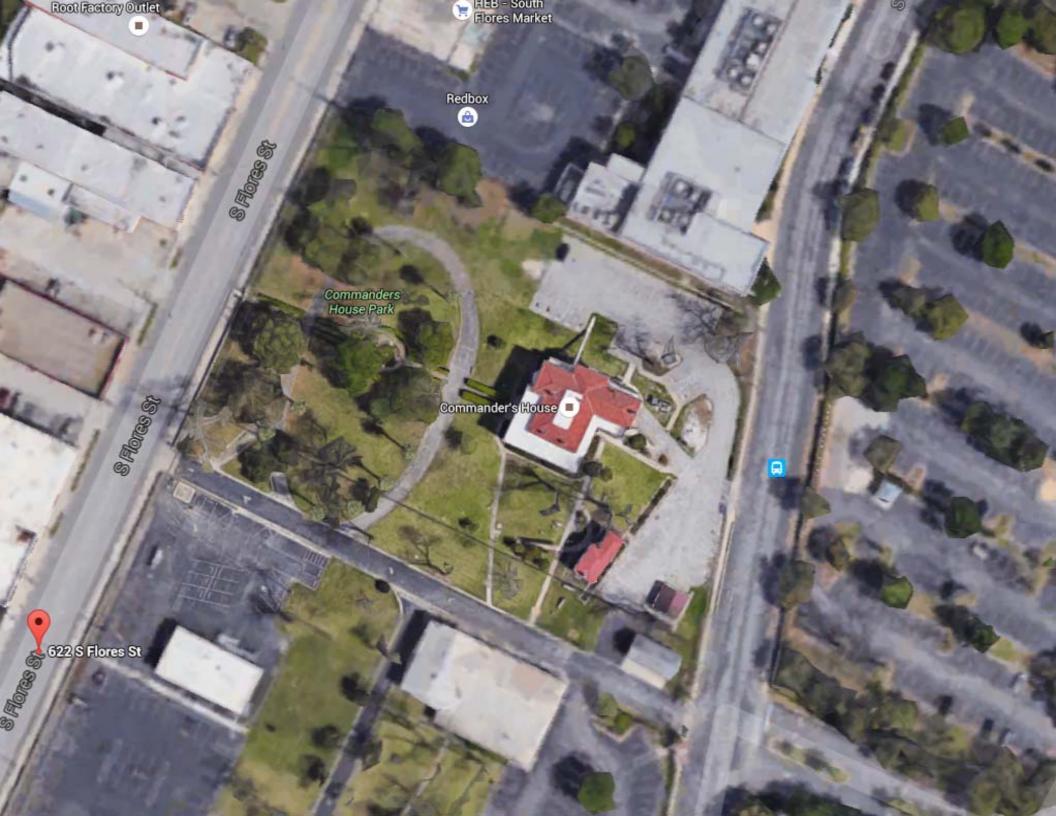


Flex Viewer

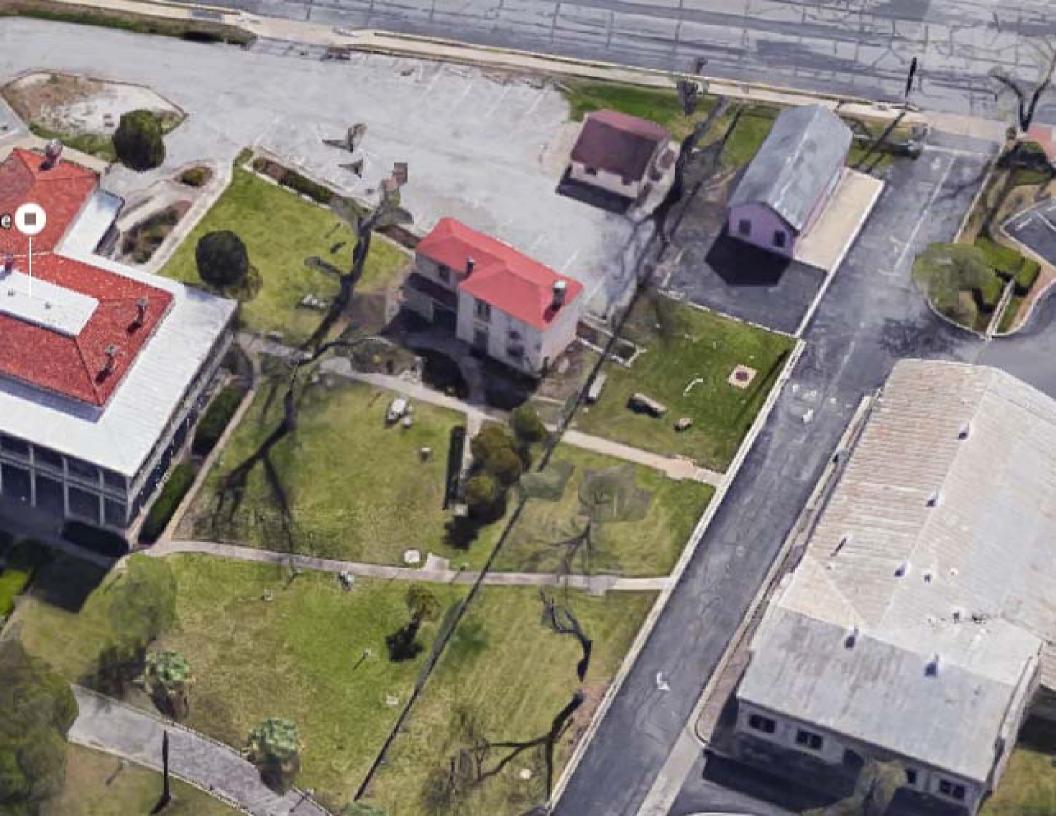
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Printed:Jun 08, 2016

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Broken Sidewalks at Commanders House.



Restoring and replacing stamped concret.



Replacing broken segments



Broken Sidewalks at Commanders House.



Replacing all walks at commanders House



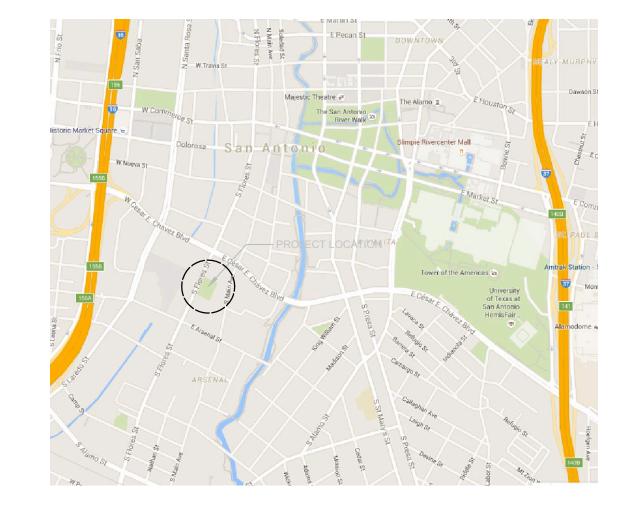
Replacing with similar scored concrete.

CITY OF SAN ANTONIO



COMMANDERS HOUSE Sidewalk Replacement Project

645 SOUTH MAIN AVE. SAN ANTONIO, TEXAS 78204 MAY 20, 2016



DRAWING INDEX

CVR	COVER
G1.0	GENERAL NOTES
A1.0	OVERALL SITE PLAN
A1.1	AREA 1 SITE PLAN
A1.2	AREA 2 SITE PLAN
A 2.0	CERAMICS BUILDING
C1.0	WEST SITE PLAN
C1.1	EAST SITE PLAN

CITY MANAGER SHERYL SCULLEY

DIRECTOR OF PARKS AND RECREATION

XAVIER URRUTIA

PARKS AND RECREATION

SANDY JENKINS
PROJECT MANAGER
114 W Commerce, 11th Floor
San Antonio, Texas 78205



CITY COUNCIL

MAYOR

IVY TAYLOR

Roberto Treviño	District 1
Alan Warrick	District 2
Rebecca J. Viagran	District 3
Ray Saldaña	District 4
Shirley Gonzales	District 5
Ray Lopez	District 6
Cris Medina	District 7
Ron Nirenberg	District 8
Joe Krier	District 9
Mike Gallagher	District 10

PRIME CONSULTANT

DUENDE DESIGN ARCHITECTS, INC. 1333 BUENA VISTA STE. 205 SAN ANTONIO, TX. 78207 2100-326-0158

CIVIL ENGINEER

BURY

70 NE LOOP 410 STE 1100 SAN ANTONIO, TX. 78216 210-525-9090

The mission of the San Antonio Parks and Recreation Department is to provide exceptional parks, facilities, programs and services to improve the quality of life for all.

CONSTRUCTION DOCUMENT ORGANIZATION

I. SPECIFICATIONS

This set of CONSTRUCTION DOCUMENTS is presented in two parts: a set of technical SPECIFICATIONS and a set of DRAWINGS.

SPECIFICATIONS are organized according to the 16 dividions of the UNIFORM CONSTRUCTION INDEX as follows:

> GENERAL REQUIREMENTS is a key to a partition type, if included. The number is **DIVISION I DIVISION 2** SITE WORK a reference to the partition drawing, in this example, partition type "25." CONCRETE DIVISION 3 **DIVISION 4 MASONRY** DIVISION 5 **METALS** WOOD AND PLASTICS **DIVISION 6** THERMALAND MOIS LEVEL BY THE MOST ECTION **DIVISION 7** DIVISION 8 DOORS AND WINDOWS DIVISION 9 **FINISHES** DIVISION 10 **SPECIALTIES** DIVISION I I **EQUIPMENT** This symbol is a key to the door schedule, if included. Doors are **FURNISHINGS** DIVISION 12 DIVISION 13 SPECIAL CONSTRUCTION **CONVEYING SYSTEMS** DIVISION 14 DIVISION 15 **MECHANICAL ELECTRICAL** DIVISION 16 This symbol is a key to the window schedule, if included.

2. DRAWINGS

5. DIMENSIONS All plan dimensions are to face of stud framing or face of masonry unless otherwise noted.

DRAWINGS are organized according to disciplines Y Prictivate COOR PLACEMENT discipline describing a general aspect of the constituction be installed with the clearances indicated below Disciplines are are arranged in the order of typical construction sequence as follows:

Work related to site grading, parking and utilities.

A-ARCHITECTURAL: Work required to produce the basic building envelope,

including: Floor plan(s), roof plan(s), exterior elevations, building

sections, wall sections, stair details, exterior enclosure details, interior floor plan(s), enlarged plan(s).

S-STRUCTURAL:

Work related to the building structure.

M-MECHANICAL

Work related to heating, ventilating and cooling systems.

P-PLUMBING

Work related to plumbing systems.

E-ELECTRICAL

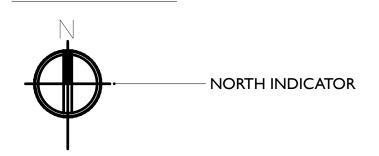
Work related to the electrical system.

3. DRAWING NUMBERING

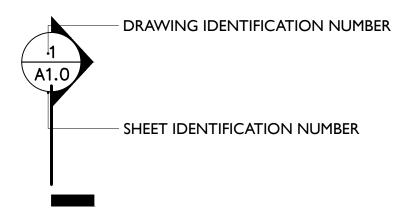
DRAWING IDENTIFICATION NUMBER FLOOR PLAN-DRAWING TITLE A2.1 I/I6" = I'-0"**←** SCALE OF DRAWING - SHEET IDENTIFICATION NUMBER

Each drawing is numbered preceding the drawing title. In this example, drawing I represents the first drawing on a sheet of the architectural discipline, A-FLOOR PLAN.

4. SYMBOLS

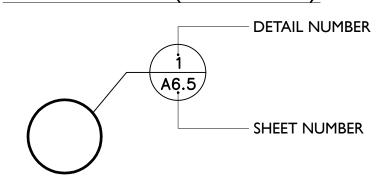


This symbol represents the direction of north for this set of drawings.



This symbol is a key to a building section drawing taken along the straight line of the symbol. The arrow points in the direction of the view for the section, The number is a reference to the section drawing.

4. SYMBOLS (continued)



This symbol is a key to a detail drawn of the area within the dashed line. The number is a reference to the detail drawing. In this example, detail number 1, sheet A6.5

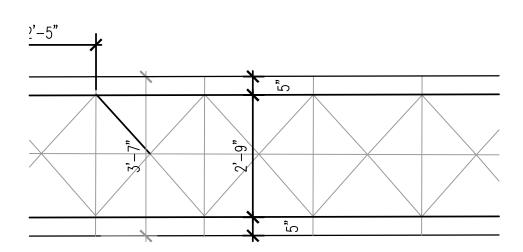


This symbol is a key to an elevation drawing. The arrow points in the direction of view for the elevation. The number is a reference to the elevation drawing.



This symbol is a key to a partition type, if included. The number is a reference to the partition drawing, in this example, partition type "25."







GENERAL NOTES

I. REFER TO CIVIL SHEETS FOR SIDEWALK DIMENSIONS, RAMP LOCATIONS AND ELEVATION INFORMATION.

2, CONTRACTOR OF WORK SHALL VERIFY IN THE FIELD ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING BUT NOT LIMITED TO EXISTING LIGHTS PROPERTY LINE DIMENSIONS. SETBACK, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING, AND NEW DRIVEWAYS, WALKS APRONS, UTILITIES GRADES, AND DRAINAGE, SHOULD ANY QUESTION OR DISCREPANCIES ARISE PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.

3.ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATION. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO WATER AND SEWER FEES, DRIVEWAY AND SIDEWALK FEES, ETC. THE LOCATION OF THE UTILITIES SHOWN ON THE SITE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.

4. THE WORK AREA IS TO BE KEPT CLEAN AND ORDERLY AT ALL TIMES. REFUSE AND DEBRIS SHALL BE REMOVED ON A REGULAR BASIS.

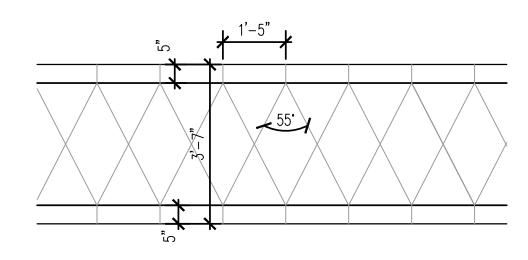
5. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

6.ALL DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE UNLESS OTHERWISE NOTED BY "CLEAR" OR "HOLD." NOTIFY THE ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO BEGINNING NEW CONSTRUCTION.

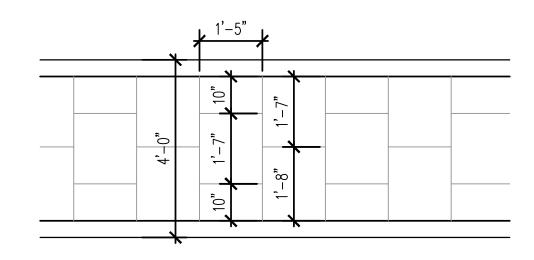
7. CONTRACTOR TO REMOVE ND SAFE-GUARD MONUMENTS DURING DEMOLITION, STORAGE AND CONSTRUCTION.

8. CONTRACTOR TO PHASE CONSTRUCTION WORK TO ALLOW EXISTING SERVICES TO REMAIN IN OPERATION DURING CONSTRUCTION, BUSINESS TO REMAIN OPERATIONAL DURING CONSTRUCTION. COORDINATE PHASING WITH OWNER. OPERATING SYSTEMS, UTILITIES, AND SERVICES (INCLUDING WATER, POWER, HVAC, SANITARY SEWER, FIRE ALARM, FIRE DETECTION, FIRE SUPPRESSION, TELEPHONE, SECURITY, AND COMMUNICATIONS) SERVING OCCUPIED OR UNOCCUPIED PORTIONS OF THE WORK UNDER THIS CONTRACT SHALL BE MAINTAINED OPERATION. PRIOR TO ANY TEMPORARY INTERRUPTION OF THEIR SERVICES DEEMED ABSOLUTELY NECESSARY BY THE CONTRACT TO PERFORM THE WORK, THE CONTRACTOR SHALL BE CONSTULT BUILDING MANAGEMENT TO ARRIVE AT A MUTUALLY ACCEPTABLE SCHEDULE FOR THE INTERRUPTION. SWITCH OVER OR OTHER CHANGE IN OPERATION TO THE SYSTEM, SERVICE, OR UTILITY IN QUESTION.

9. CONTRACTOR TO PROVIDE MOCK-UP PANELS FOR EACH DIFFERENT PATTERN DIMENSION 4'-0" BY 4'-0" FOR APPROVAL BY ARCHITECT.









ADDITIONALGENERAL NOTES

I.THE GENERAL CONDITIONS OF THIS CONTRACT ARE THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION." NO CONTRACTUAL ADJUSTMENT SHALL BE DUE AS A RESULT OF FAILURE IN THE PART OF THE GENERAL CONTRACTOR (G.C.) TO FULLY ACQUAINT HIMSELF AND ALL OTHER PARTIES TO THE CONTRACT WITH THE CONDITIONS OF DOCUMENT A201. 2.THE GENERAL CONTRACTOR (G.C.) SHALL MAINTAIN AND PAY FOR ALL INSURANCE AS REQUIRED BY THE LAWS OF THE STATE. THE G.C. SHALL PALL ALL THE TAXES REQUIRED BY FEDERAL, STATE, AND LOCAL LAWS. THE G.C. SHALL FILE FOR AND SECURE ALL PERMITS, APPROVALS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.

3. EACH CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE EXISTING JOB CONDITIONS BEFORE SUBMITTING BIDS AS NO ALLOWANCES WILL BE MADE BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH EXISTING JOB CONDITIONS. 4. G.C. SHALL VERIFY ALL SITE DIMENSIONS SHOWN OF THE DRAWINGS.ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO THE TENANT AND ARCHITECT AND HIS DISPOSITION OBTAINED BEFORE ANY WORK IS BEGUN. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED IN ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS OF WORK AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. 5.ALL PROPOSALS SHALL PRECLUDE THAT THE G.C. IS FAMILIAR WITH JOB SITE CONDITIONS AND UTILITY LOCATIONS. THE LACK OF SPECIFIC INFORMATION ON THE DRAWING SHALL NOT RELIEVE THE G.C. OF ANY RESPONSIBILITY. ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE G.C. SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH RELAXED WORK. OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE G.C.

SUCH ERROR WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS

6. G.C. SHALL PROVIDE PRIOR TO START OF WORK THE FOLLOWING INFORMATION TO THE OWNER FOR ALL PARTIES PERFORMING WORK ON THIS PROJECT:

A. BUSINESS NAME AND ADDRESS B. NAME OF CONTACT PERSON C. REGULAR PHONE NUMBER D. EMERGENCY PHONE NUMBER

FOR EXTRA CONSIDERATION.

Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

1333 Buena Vista 201 San Antonio, Texas 78205 210/326-0158 voice 210/223-1403 fax

www.duende-design.com

ARCHITECT DOCUMENTS ARE INCOMPLETE AND MAYNOT BÉ USED FOR REGULATORY APPROVAL, PERMIT, ØR CONSTRUCTION., DATE: 09/02/09 EXP. DATE

Bury Inc. Civil Engineers

922 Isom Road - Ste 100 San Antonio, Tx. 210 525 9090

ENGINEER

OWNER

City of San Antonio Parks and Rec. Dept

114 W. Commerce - 11th Floor SA TX 78204

PROJECTIILE Commanders House Site Repairs

645 So. Main San Antonio, Tx 78205

16.01.02

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NUMBER DATE DESCRIPTION

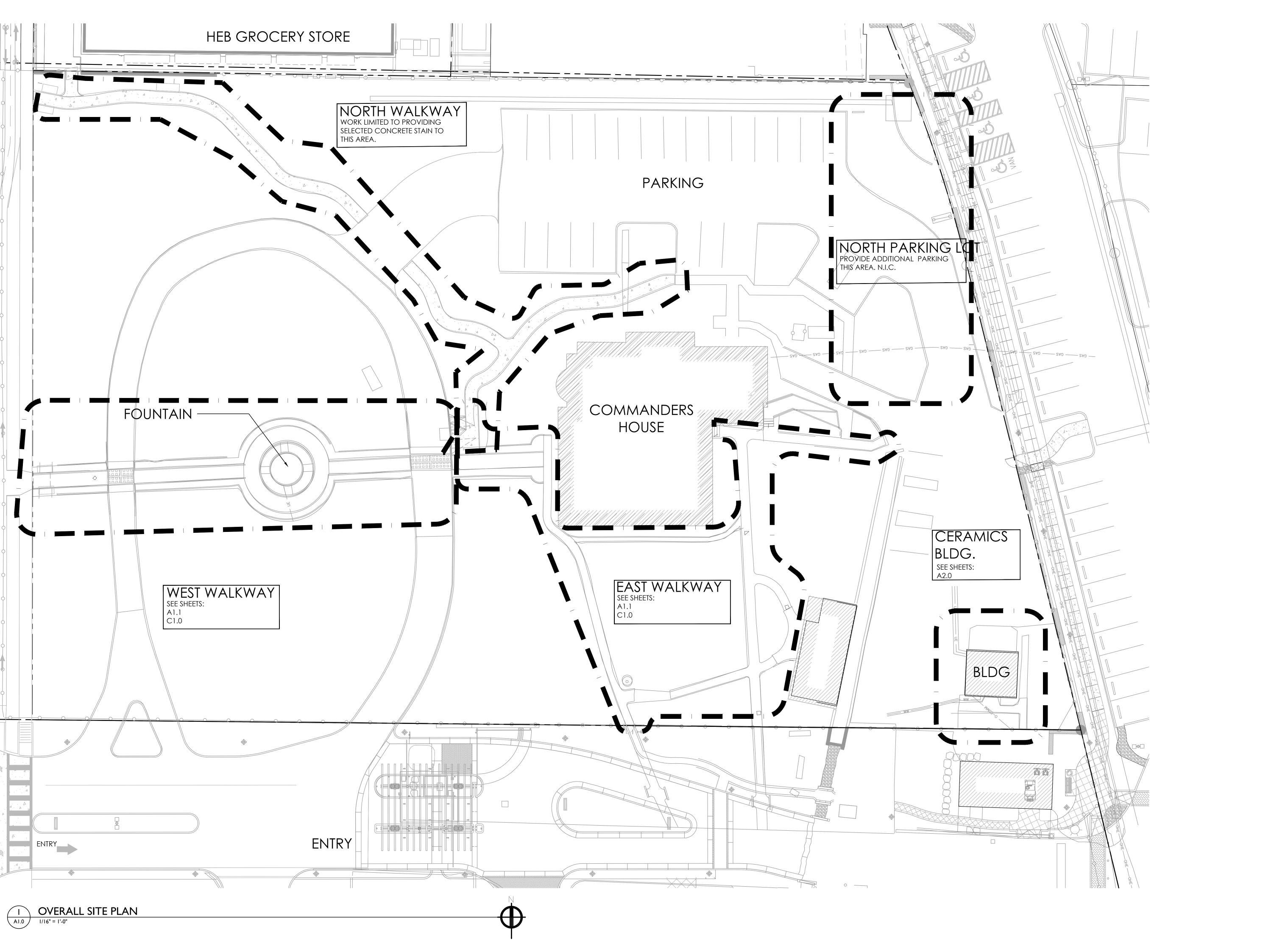
REVISIONS

GENERAL NOTES

January 30, 2016

SHEETNUMBER

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Duende Design Architects, Inc.

1333 Buena Vista 201 San Antonio, Texas 78205 210/326-0158 voice 210/223-1403 fax www.duende-design.com

ARCHITECT

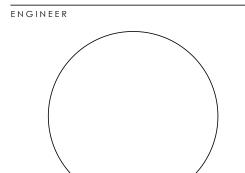
DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

ENVIRONMENTS THAT MOVE THE SPIRIT

DATE: 09/02/09

Bury Inc. Civil Engineers

922 Isom Road - Ste 100 San Antonio, Tx. 210 525 9090



OWNER

City of San Antonio Parks and Rec. Dept.

114 W. Commerce - 11th Floor SA TX 78204

PROJECTIITLE

Commanders House Site Repairs 645 So. Main San Antonio, Tx 78205

16.01.02

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NUMBER DATE DESCRIPTION

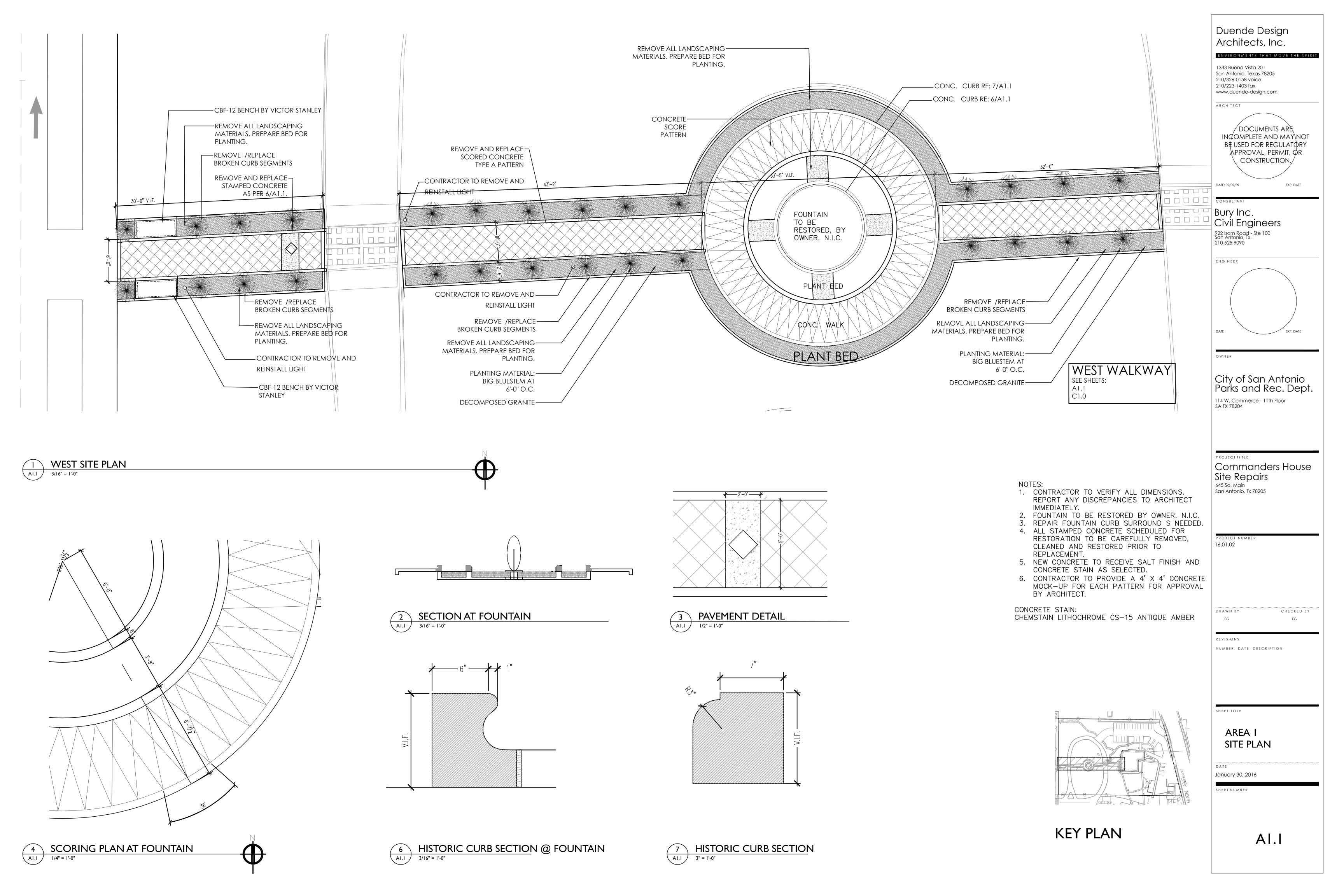
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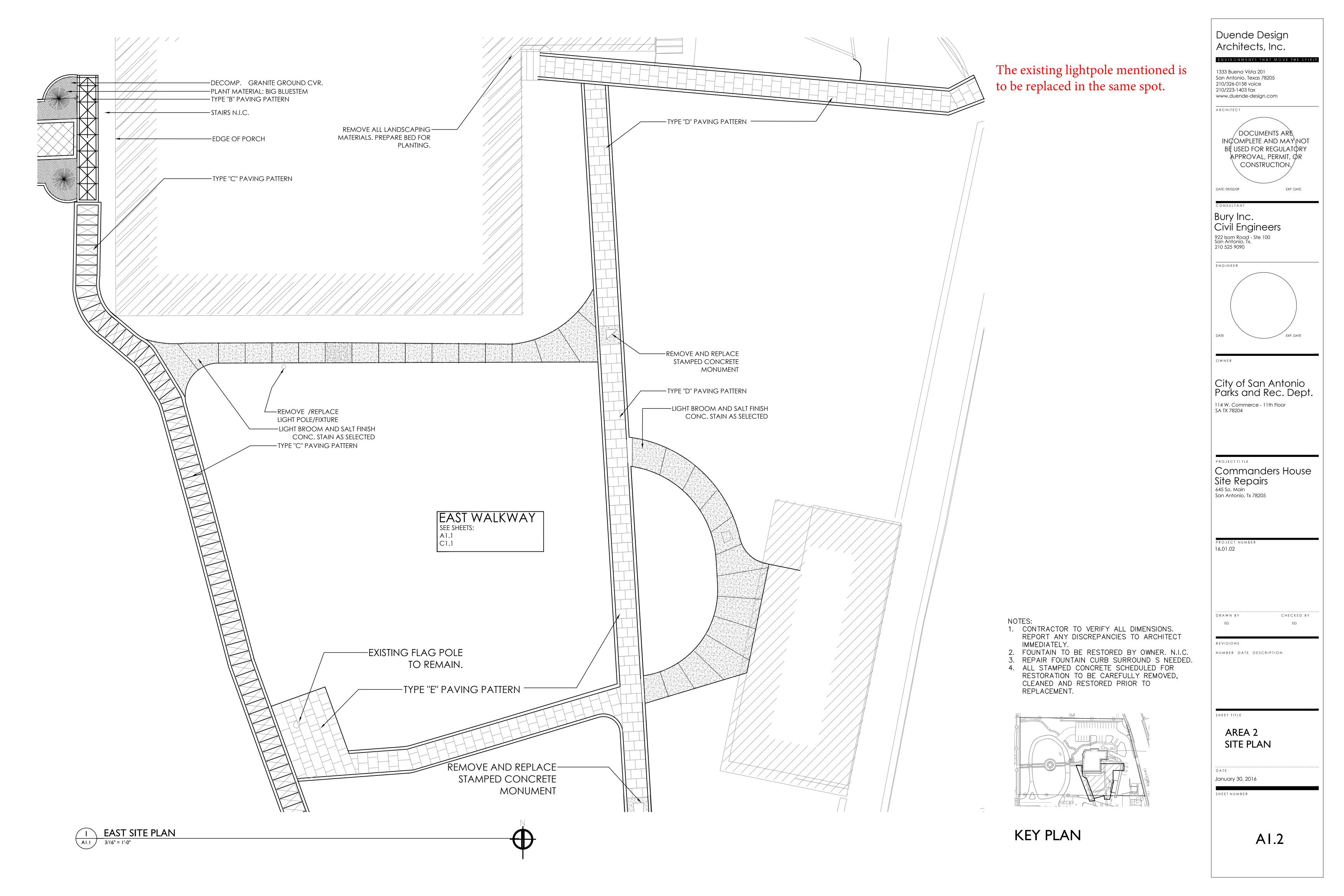
OVERALL SITE PLAN

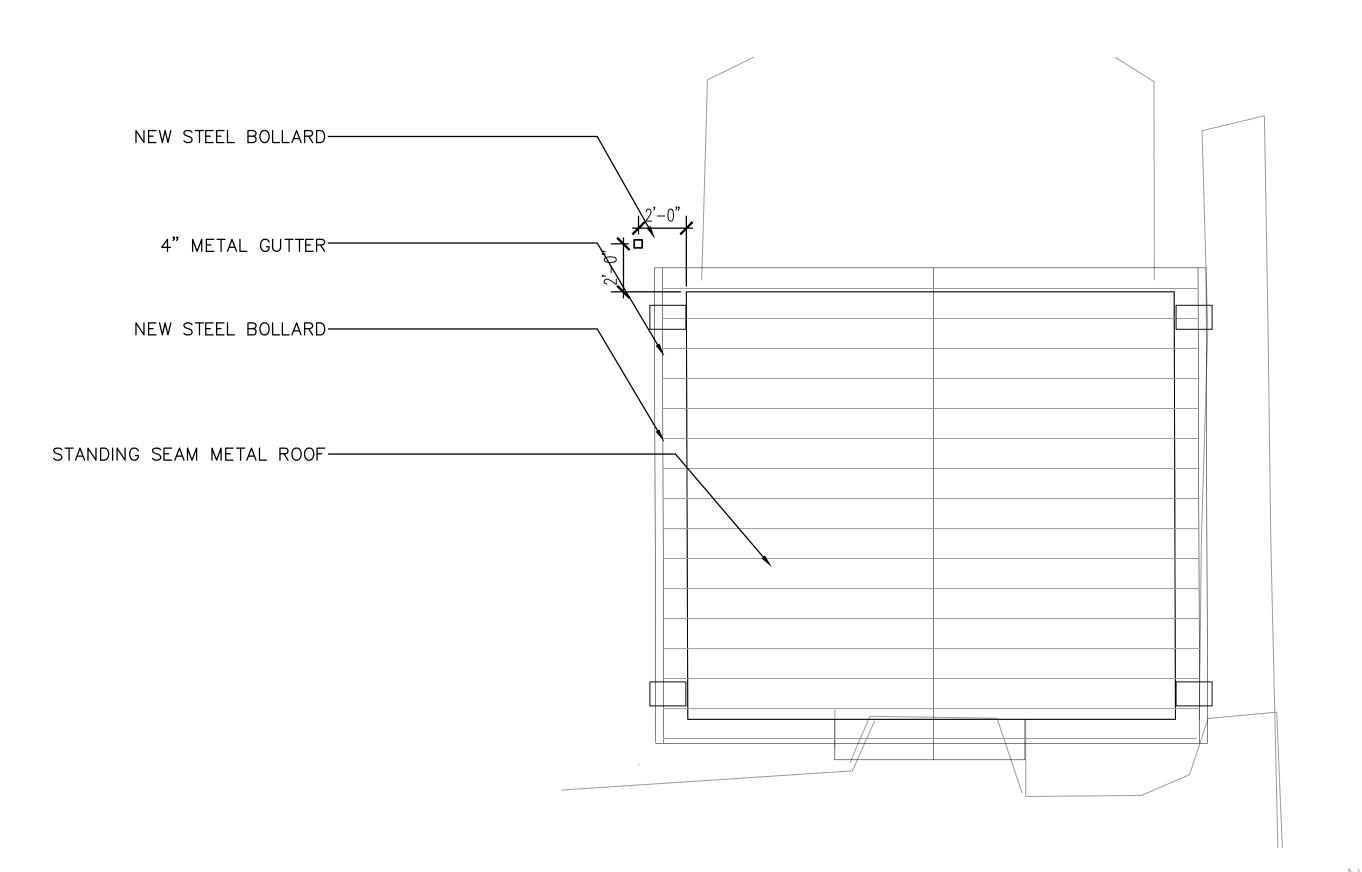
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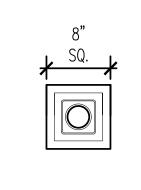


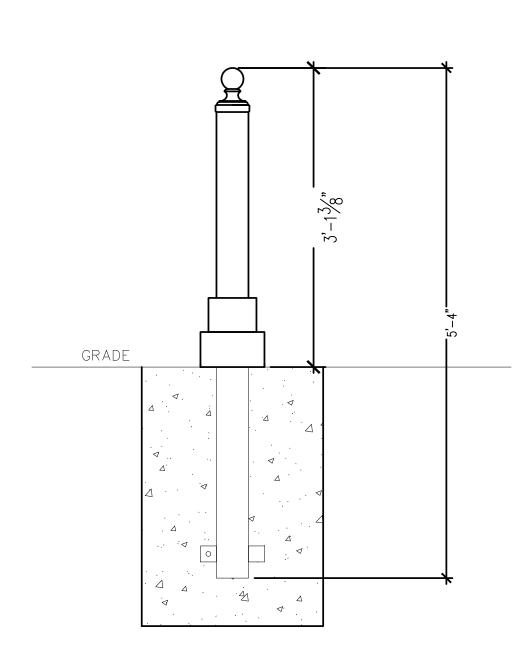




CERAMICS BUILDING - SITE PLAN/ROOF PLAN

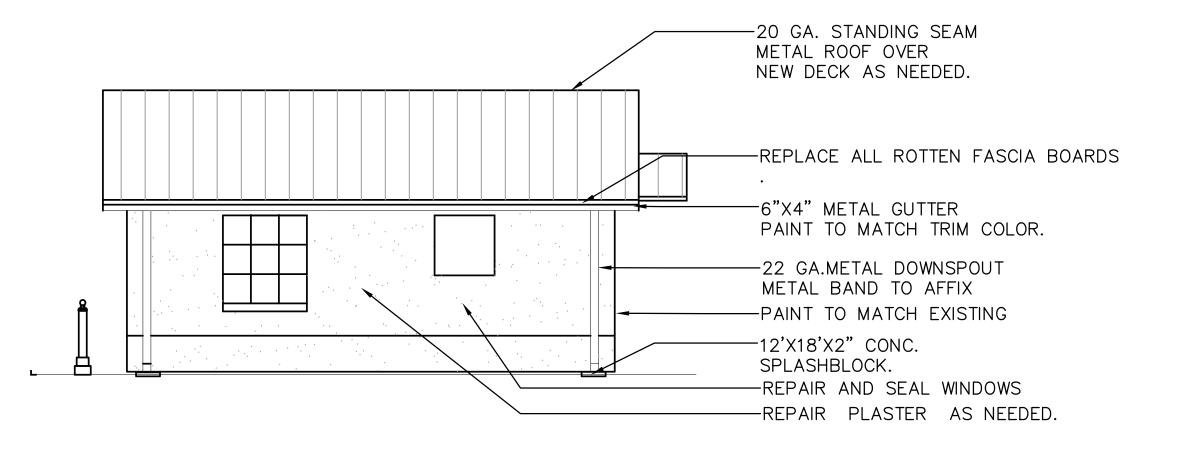
A2.0 | 1/4" = 1'-0"



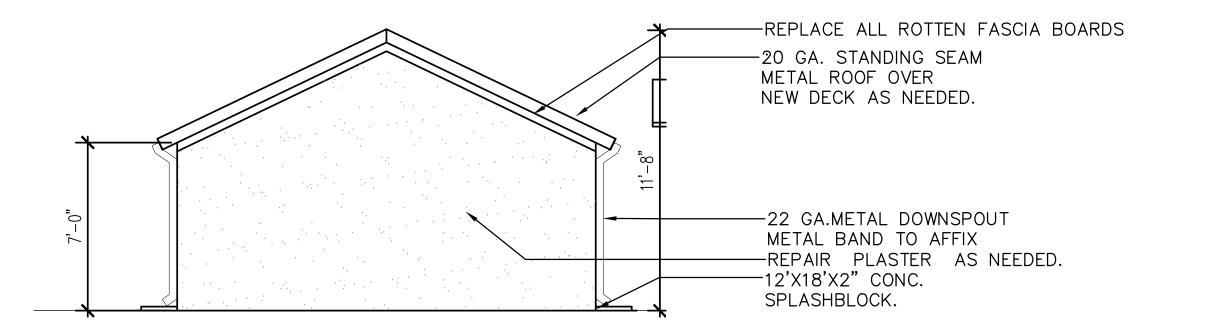


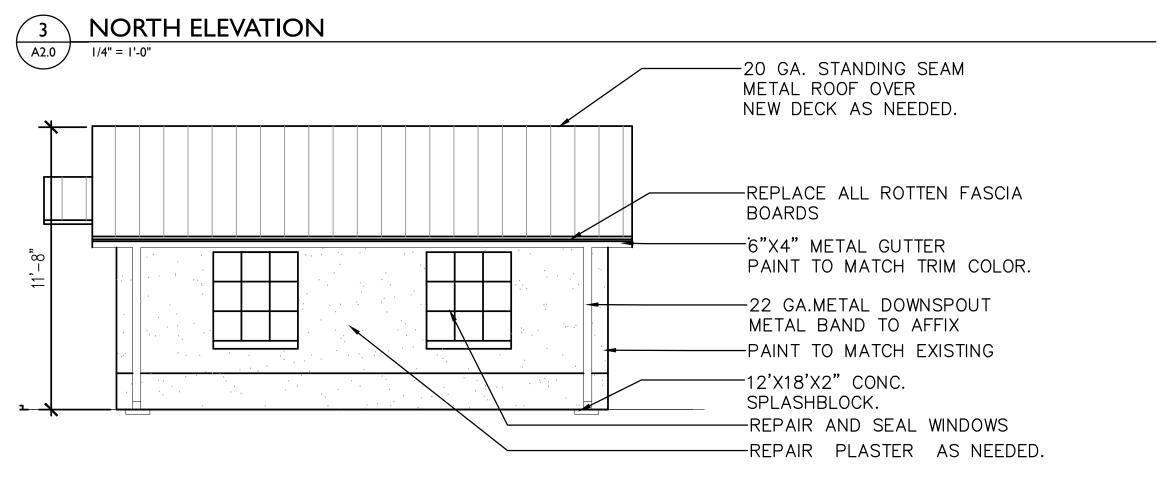
6 METAL BOLLARD

I" = I'-0"

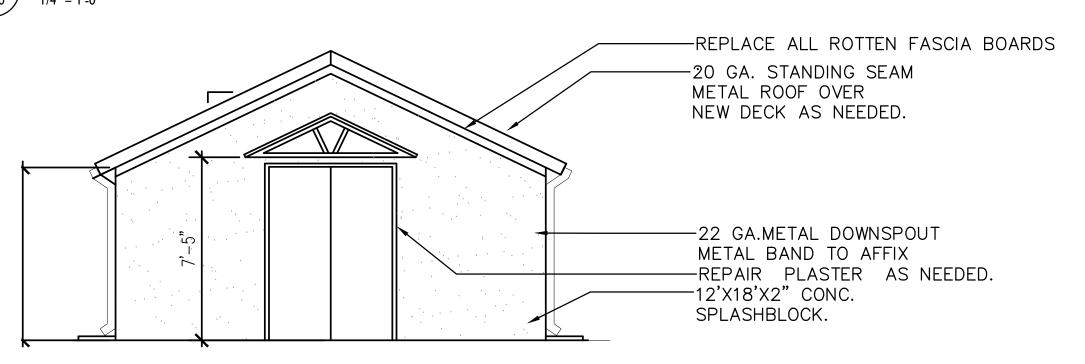


WEST ELEVATION 1/4" = 1'-0"

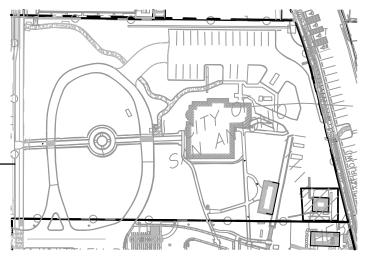




4 EAST ELEVATION 1/4" = 1'-0"



5 SOUTH ELEVATION
A2.0 1/4" = 1'-0"



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1333 Buena Vista 201 San Antonio, Texas 78205 210/326-0158 voice 210/223-1403 fax www.duende-design.com

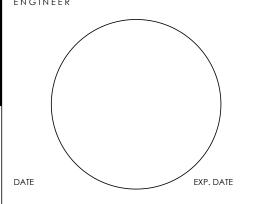
DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.

DATE: 09/02/09 EXP. DATE

Bury Inc. Civil Engineers

922 Isom Road - Ste 100 San Antonio, Tx. 210 525 9090

210 525 9090 ENGINEER



OWNER

City of San Antonio Parks and Rec. Dept.

114 W. Commerce - 11th Floor SA TX 78204

Commanders House

Site Repairs 645 So. Main San Antonio, Tx 78205

16.01.02

EG

DRAWN BY CHECKED BY

REVISIONS

NUMBER DATE DESCRIPTION

SHEET TITLE

CERAMICS BUILDING

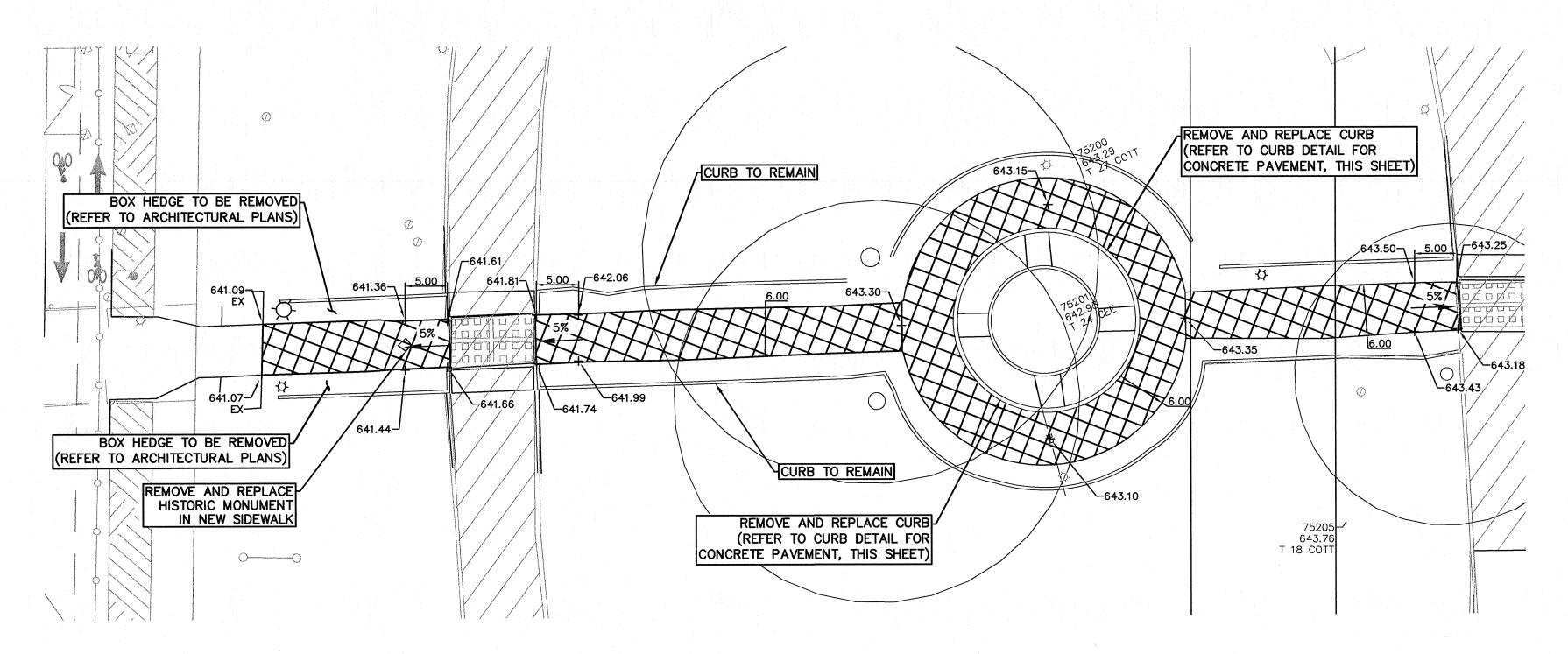
DATE

January 30, 2016

SHEET NUMBER

A2.0

KEY PLAN



GENERAL NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DRAWINGS OF THE CITY, COUNTY AND/OR TXDOT (AS WELL AS THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)).
- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO LOCATE EXISTING FACILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY OF LAREDO, CONSULTING ENGINEER, CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES.
- 5. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE. NFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 903 SAN JACINTO, RM 319, AUSTIN, TEXAS, 78701.
- NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MAINTAINED AT ALL TIMES (24 HRS. PER DAY) DURING THE CONSTRUCTION PROCESS.
- 7. THE INFORMATION CONTAINED ON THESE DRAWINGS IN REGARDS TO EXISTING UTILITIES. TOPOGRAPHY, CONTOURS, HYDROGRAPHY, OR SUBSURFACE CONDITIONS IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AT THIS TIME. ITS ACCURACY IS NOT GUARANTEED AND ITS USE IN NO WAY RELIEVES THE CONTRACTOR OF ANY RESPONSIBILITY FOR DAMAGES DUE TO ANY
- 8. THE LOCATION AND ELEVATION OF IMPROVEMENTS TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO THE CONSTRUCTION OF THE WORK. THE CONTRACTOR IS TO MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL THE NECESSARY ARRANGEMENTS WITH THE RESPECTIVE UTILITY COMPANIES. GRAVITY LINE CONSTRUCTION IS REQUIRED TO BE VERIFIED AT CONNECTION
- POINT THEN BUILD UPSTREAM. 9. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FACILITIES FROM DAMAGE AND COST OF REPAIR TO EXISTING FACILITIES AND IMPROVEMENTS AS A RESULT OF CONTRACTOR'S WORK. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OFFICES PRIOR TO STARTING WORK AND
- SHALL COORDINATE THEIR WORK WITH THE UTILITY OFFICES.
- 10. DURING CONSTRUCTION, THE OWNER WILL PROVIDE A GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION. RETESTS REQUIRED DUE TO CONTRACTOR PERFORMANCE SHALL BE PAID FOR BY THE CONTRACTOR.
- 11. THE CONTRACTOR SHALL KEEP AND LEAVE THE AREA NEAT AND CLEAN DURING CONSTRUCTION. DEBRIS SHALL NOT BE BURIED OR DUMPED ANYWHERE WITHIN THE LIMITS OF THE PROJECT. ALL DEBRIS, CONSTRUCTION MATERIALS, CONTRACTOR'S BUILDINGS OR EQUIPMENT, LOGS, STUMPS, BOULDERS, OR ANY OTHER EXTRANEOUS MATERIAL DEPOSITED DURING CONSTRUCTION SHALL BE DISPOSED OFFSITE PROMPTLY IN COMPLIANCE WITH APPLICABLE REGULATIONS.
- 12. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
- 13. ALL UNDERGROUND FACILITIES SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO THE CONSTRUCTION OF SURFACE IMPROVEMENTS, SUCH AS SIDEWALKS, CURBS, GUTTERS AND
- 14. ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AND PAID FOR BY THE CONTRACTOR.
- 15. THE CONTRACTOR SHALL KEEP THE APPROVED SET OF PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL REDLINE THE ACTUAL LOCATIONS AND DIMENSIONS (VERTICAL AND HORIZONTAL) OF UTILITIES, STRUCTURES, SERVICES, AND OTHER DETAILS DEFERRING FROM OR NOT SHOWN ON THE ORIGINAL DRAWINGS. UPON COMPLETION OF THE WORK, THE CONTRACTOR
- SHALL SUBMIT THE RECORD DRAWINGS TO THE ENGINEER OF RECORD. 16. THE CONTRACTOR SHALL RESTORE AND REVEGETATE ALL DISTURBED AREAS NOT COVERED BY
- LANDSCAPE PLANS AT THEIR EXPENSE. 17. CONTRACTOR SHALL MAKE REQUIRED SUBMITTALS AT LEAST 7 DAYS PRIOR TO USE.
- 18. IF THE CONTRACTOR INTENDS TO HAVE FUEL TANKS STORED ON THE PROJECT SITE AT ANY IME, THE CONTRACTOR WILL NEED TO PROVIDE THE OWNER AND ENGINEER WITH A COPY OF THEIR "SPILL PREVENTION, CONTROL AND COUNTERMEASURE" (SPCC) PLAN MEETING THE REQUIREMENTS OF TITLE 40, CODE OF FEDERAL REGULATIONS, PART 112 AS GOVERNED BY THE USEPA. THIS IS A CONTRACTOR PROVIDED ITEM.

ACCESSIBILITY NOTES

- 1. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. [TAS 4.3.7] 2. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. [TAS 4.8.2]
- 3. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. [TAS 4.3.7]
- 4. GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [TAS 4.5.1]

EARTHWORK

PREPARE SUBGRADE BY EXCAVATION OR EMBANKMENT FOR BUILDING SLABS, WALKS AND PAVEMENTS. EXCAVATION AND BACKFILL FOR UNDERGROUND UTILITIES AND DRAINAGE FILL COURSE FOR SUPPORT OF BUILDING SLABS ARE INCLUDED IN THIS ITEM.

- **EXECUTION:** 1. ALL EXCAVATION, BACKFILL AND COMPACTION SHALL BE PERFORMED AS SHOWN IN THE PLANS AND GEOTECHNICAL REPORT FOR THE SITE.
- 2. EXCESS MATERIAL RESULTING FROM EXCAVATION OPERATIONS IS THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 3. ALL EXCAVATION SHALL BE PERFORMED AS DIRECTED IN THE PLANS AND IN COMPLIANCE
- 4. OWNER WILL ENGAGE AT THE OWNER'S COST SOIL TESTING AND INSPECTION SERVICE IN ACCORDANCE WITH MATERIAL TESTING SPECIFICATION TO VERIFY COMPLIANCE WITH THE PLANS & SPECIFICATIONS. REPLACEMENT AND RETESTING OF DEFICIENT WORK SHALL BE DONE BY CONTRACTOR AT NO ADDITIONAL COMPENSATION.
- 5. DATA ON SUBSURFACE CONDITIONS IS AVAILABLE TO THE CONTRACTOR. THE OWNER MAKES NO WARRANTY AS TO THE CORRECTNESS OF THESE REPORTS. THE CONTRACTOR MAY, AT HIS OWN EXPENSE, PERFORM ADDITIONAL TEST BORINGS.
- 6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL AFFECTED UTILITY COMPANIES. THIS SHALL INCLUDE LOCATION OF FACILITIES, PROTECTION DURING CONSTRUCTION, DAMAGE
- 7. THE EXCAVATION IS UNCLASSIFIED, AND CONTRACTOR SHALL PERFORM EXCAVATION TO THE ELEVATIONS INDICATED IN THE PLANS, REGARDLESS OF CHARACTER OF MATERIAL, WITH NO ADDITIONAL COMPENSATION FROM THE OWNER. USE OF EXPLOSIVE IS PROHIBITED.
- 8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING BARRICADES REQUIRED TO WARN AND/OR PREVENT ACCESS TO CONSTRUCTION AREA.
- 9. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FACILITIES FROM DAMAGE.
- 10. EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LANDSCAPE PROTECTION REQUIREMENTS. 11. OVER-EXCAVATION IS NONCOMPENSABLE, AND SHALL BE BACKFILLED AND COMPACTED AS
- DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- 12. CONTRACTOR SHALL PROVIDE ALL LABOR AND EQUIPMENT NECESSARY TO PROPERLY DEWATER EXCAVATION AREAS - AS REQUIRED. 13. EXCAVATED MATERIAL SHALL BE STOCKPILED WHERE DIRECTED IN THE PLANS. STOCKPILE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL RELEVANT POLLUTION PREVENTION PLANS.

STORM WATER COLLECTION SYSTEM

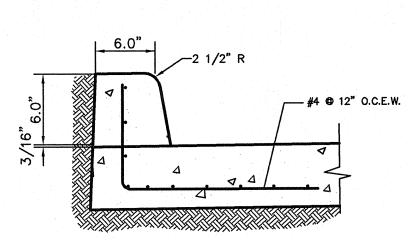
FURNISH AND INSTALL ALL MATERIAL COMPRISING THE STORM WATER COLLECTION

- EXECUTION: ALL WORK UNDER THIS ITEM SHALL BE IN COMPLIANCE WITH ANY GOVERNING PERMITS FOR THIS SITE INCLUDING BUT NOT LIMITED TO FEDERAL TPDES PERMITS OR LOCAL WATERWAY
- 2. ALL MATERIALS AND INSTALLATION OF STORM SEWER PIPING SHALL COMPLY WITH THE FOLLOWING TEXAS DEPARTMENT OF TRANSPORTATION 1993 STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES: * ITEM 464 - REINFORCED CONCRETE PIPE CULVERT * ITEM 481 - PVC PIPE
- 3. INSTALLATION OF THE STORM SEWER SYSTEM SHALL BEGIN AT THE OUTFALL AND PROGRESS
- 4. ANY WORK DONE IN THE PUBLIC RIGHT OF WAY WILL BE COMPLETED ACCORDING TO GOVERNING SPECIFICATIONS AND REGULATIONS.
- 5. TRENCH EXCAVATION SHALL BE PERFORMED AND BACKFILL MATERIAL AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION 2003 STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES, ITEM 100 - EXCAVATION AND BACKFILL FOR STRUCTURES.

FLEXIBLE BASE SUBGRADE

- 1. INSTALL 1/2" PREMOLDED EXPANSION JOINT MATERIAL AT 40.0' INTERVALS & AT BEGINNING & END OF ALL CURB RETURNS & DRIVE APPROACHES.
- 2. INSTALL 5/8" ø x 2.0' LONG, SMOOTH DOWEL BARS AT ALL EXPANSION JOINTS & AT BEGINNING & END OF ALL CURB RETURNS. EXTEND BARS 1.0' INTO EACH SIDE OF JOINT & WRAP ONE END W/ 147.3 LBS FELT, 1.25' LONG. 3. ALL CURB AND GUTTER TO BE 3000 PSI CONCRETE.
- 4. ALL VERTICAL CURBS NEED TO EXTEND AT LEAST 3 INCHES INTO THE SUBGRADE UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT.

VERTICAL CURB FOR ASPHALT PAVEMENT



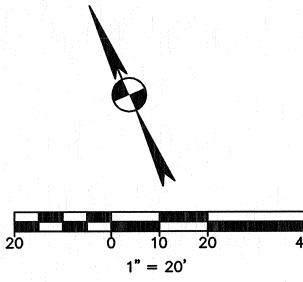
1. INSTALL 1/2" PREMOLDED EXPANSION JOINT WITH CONCRETE SEALER AT 40.0' INTERVALS & AT BEGINNING & END OF ALL CURB RETURNS & DRIVE APPROACHES.

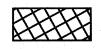
2. INSTALL 5/8" Ø x 2.0' LONG, SMOOTH DOWEL BARS AT ALL EXPANSION JOINTS & AT BEGINNING & END OF ALL CURB RETURNS, EXTEND BARS 1.0' INTO EACH SIDE OF JOINT & WRAP ONE END W/ 147.3 LBS FELT, 1.25' LONG. 3. ALL CURB TO BE 3000 PSI CONCRETE.

CURB FOR CONCRETE PAVEMENT NOT TO SCALE

SHEET INDEX

Sheet Number	Sheet Title			
C-1.0	GENERAL NOTES	AND EAST SITE	PLAN	
C-1.1	WEST SITE PLAN			

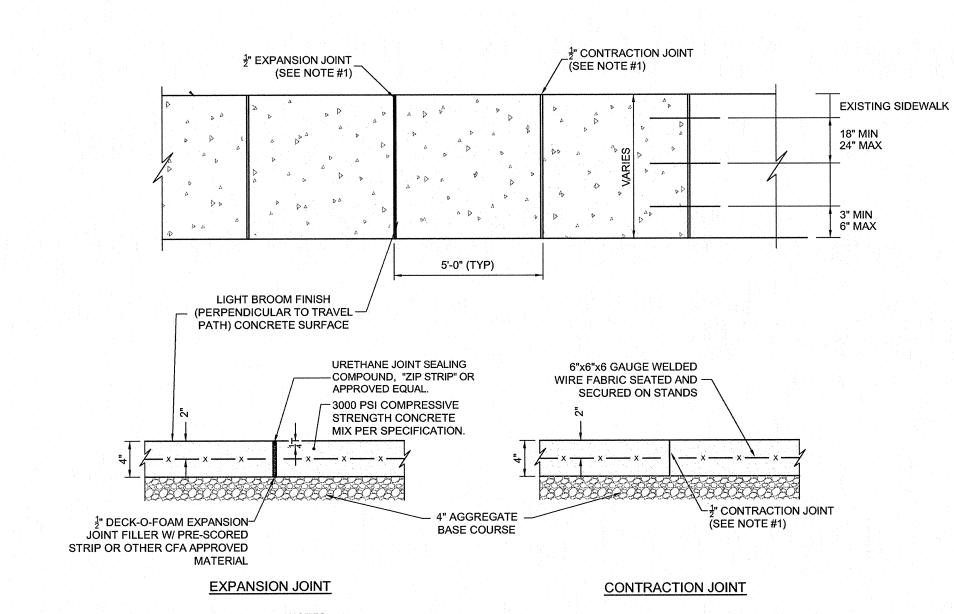




REMOVE AND REPLACE EXISTING SIDEWALK REFER TO SIDEWALK DETAIL, THIS SHEET REFER TO ARCHITECTURAL PLANS FOR SCORE PATTERN

NOTES:

- 1. CONTRACTOR TO REVEGETATE DISTURBED AREAS DURING CONSTRUCTION.
- 2. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF HISTORICAL MONUMENTS TO BE REMOVED AND REPLACED.



TYPICAL CONCRETE SIDEWALK NOT TO SCALE

JOINTS AT 5'-0" O.C. TOOLED ¹/₂" WIDE, 1" DEEP OR MAX. ⁰/₄ DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN

VIEW JOINT PATTERN.





THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Duende Design Architects, Inc.

ENVIRONMENTS THAT MOVE THE SPIRIT

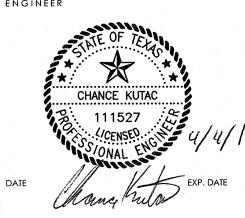
1333 Buena Vista 201 San Antonio, Texas 78205 210/326-0158 voice 210/223-1403 fax www.duende-design.com

ARCHITECT

DATE: 09/02/09

EXP. DATE

70 NE Loop 410, Suite 1100 San Antonio, TX 78216 Tel. (210) 525-9090 Fax (210) 525-0529 TBPE # F-1048 TBPLS # F-10107501 Copyright © 2016 ENGINEER



OWNER

City of San Antonio Parks and Rec. Dept.

114 W. Commerce - 11th Floor SA TX 78204

Commanders House Site Repairs

San Antonio, Tx 78205

645 So. Main

PROJECT TITLE

16.01.02

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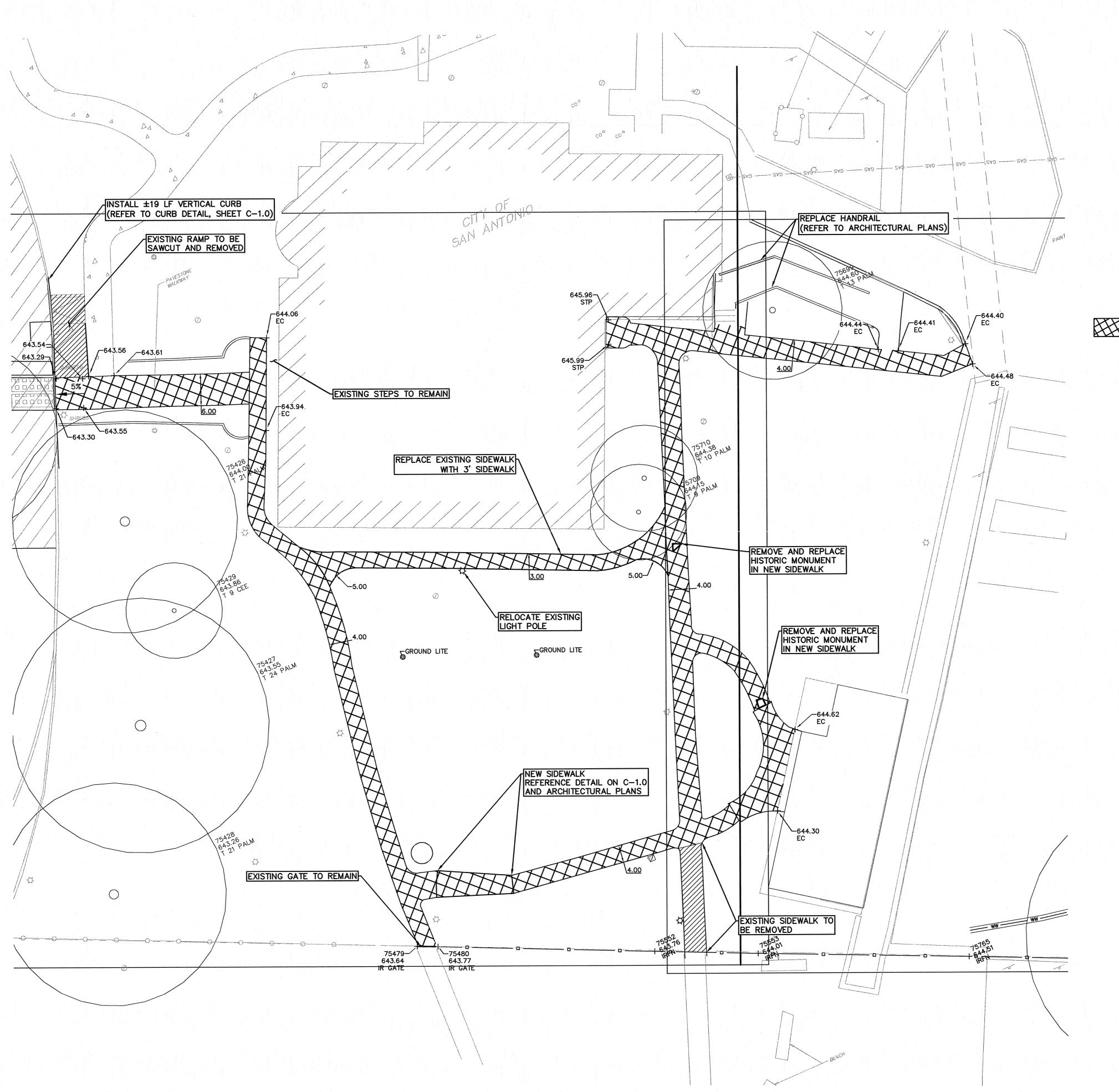
SHEET TITLE

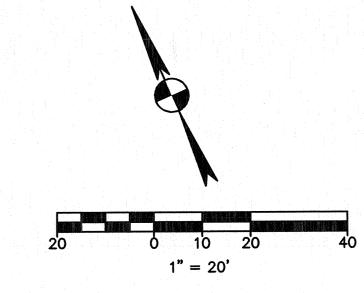
GENERAL NOTES & WEST SITE PLAN

April 4, 2016

SHEETNUMBER

C-1.0





REMOVE AND REPLACE EXISTING SIDEWALK
REFER TO SIDEWALK DETAIL ON C-1.0
REFER TO ARCHITECTURAL PLANS FOR SCORE PATTERN

The existing lightpole mentioned is to be replaced in the same spot. The handrail request has been withdrawn from this application.

Duende Design Architects, Inc.

> 1333 Buena Vista 201 San Antonio, Texas 78205 210/326-0158 voice 210/223-1403 fax www.duende-design.com

ENVIRONMENTS THAT MOVE THE SPIRIT

ARCHITECT

DATE: 09/02/09

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City of San Antonio Parks and Rec. Dept. 114 W. Commerce - 11th Floor SA TX 78204

PROJECTITLE Commanders House Site Repairs 645 So. Main San Antonio, Tx 78205

16.01.02

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SHEET TITLE

EAST SITE PLAN

April 4, 2016

C-1.1



View facing Northwest



View facing West

Commanders House

Ceramics Building

HDRC Review View facing East





View facing Southwest



Proposed Bench



Bollard Color

SW 2829 Classical White

Interior / Exterior

Gutter Color

SW 2839 Roycroft Copper Red Interior / Exterior

Metal Roof Color

To match adjacent roofs



Bluestem Grass



Decomposed Granite

TEXAS HISTORICAL COMMISSION

real places telling real stories

June 3, 2016

Eduardo García Duende Design Architects, Inc. 1333 Buena Vista #205 San Antonio, TX 78207

Re:

Project review under the Antiquities Code of Texas

Proposed site improvements, Additional information, Commander's House, San Antonio, Bexar County (NR)

Dear Mr. García:

Thank you for the additional information regarding the above referenced project which you provided via email on May 24, 2016. This letter presents the comments of the Executive Director of the Texas Historical Commission, the state agency responsible for administering the Antiquities Code of Texas.

The review staff, led by Sara Ludueña, has completed its review of the project documentation provided. As we mentioned in our previous letter, the Commander's House is located within the Arsenal Historic District which is listed in the National Register of Historic Places. It is our understanding that this project consists of limited sidewalk replacement with retention of historic stamps, landscape planning, fountain restoration, and rehabilitation of the Ceramics Studio Building at the southeast corner of the site. At the time of our initial review, we found that overall the scope of work described was appropriate and consistent with the Secretary of the Interior's Standards for Rehabilitation, but we had questions about the proposed fountain restoration. Based on the additional information you have provided, the actual fountain repairs are not in the scope of this project. We appreciate the clarification and find that the proposed work is appropriate and will not negatively impact existing historic resources. If the scope of work changes, please provided updated project information.

We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. Thank you for your cooperation in this state review process, and for your efforts to preserve the irreplaceable heritage of Texas. If you have any questions concerning our review or if we can be of further assistance, please contact Sara Ludueña at 512/463-8952.

Sincerely,

Sara Ludueta, Project Reviewer

for: Mark Wolfe, State Historic Preservation Officer

cc: Virginia S. Nicholas, Bexar County Historical Commission

Kay Hindes, City of San Antonio Office of Historic Preservation

MW/sl

