

HISTORIC AND DESIGN REVIEW COMMISSION

July 06, 2016

Agenda Item No: 16

HDRC CASE NO: 2016-244
ADDRESS: 8806 MISSION RD
LEGAL DESCRIPTION: NCB 11175 BLK 1 LOT 2 ARMAS DE CORTEZ SUBD
ZONING: R6 H RIO-6
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: John Cortez
OWNER: Thomas Cortez
TYPE OF WORK: Relocation of a structure located to 8806 Mission
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Relocate the structure located at 511 Brackenridge Avenue to 8806 Mission Road.
2. Install 8' wide front walkway
3. Install a 6' wrought iron fence

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

FINDINGS:

- a. The applicant is proposing to relocate the structure currently located at 511 Brackenridge to the lot at 8806 Mission Road.
- b. The lot at 8806 Mission Road is a vacant lot, with concrete driveway, 4' iron fence and a large number of mesquite trees.
- c. According to the Guidelines for New Construction 1.A.i, new buildings should be aligned with front facades of adjacent buildings where a consistent setback has been established. Staff finds that the relocated structure will be in light with its only other residential neighbor adjacent to the right. According to the Guidelines for New Construction 1.A.ii, front facades should be oriented so that it's consistent with the predominate orientation of the other historic buildings. Staff finds the proposed orientation toward Mission Road consistent with the Guidelines.
- d. The applicant is proposing to relocate the home located at 511 Brackenridge. The architecture is Shingle-style; the structure exhibits all of the features of Shingle-style including shingle siding, clapboard siding for wall cladding, characteristic corner turret, a hipped roof with cross gables, multiple porches featuring classical porch supports consisting of round columns, pediments, transom windows, dormer and original doors and windows. According to the Guidelines for New Construction 4.A., new buildings should incorporate details that are in keeping with the predominate style along the block face or within the district when one exists. Staff finds that there is not a predominate style in the Mission Historic district, but that the home is similar in scale and mass to its neighbor.
- e. The applicant is proposing to the relocate the house re-installing the existing porch, porch steps, and skirting and trim details.
- f. That applicant is proposing to install an 8' wide concrete walkway. According to the Guidelines for Site Elements 5.A., new sidewalks should follow the historic alignment, configuration and width. Staff made a site visit June 21, 2016, and found that other home along Mission Road had a narrower walkway. Staff recommends that the walkway be narrowed to 4' and flare at the existing porch and that the walkway extend beyond the front gate.
- g. Currently, there is not a rear fence. The applicant is proposing to install a 6' wrought iron starting behind the front porch, to the rear of the lot and terminating at the rear of the left property line. According to the Guidelines for Site Elements 2.B., new fences should be designed, located, and made of materials that would historically be there. Staff finds the material, location, design appropriate and consistent with the Guidelines.
- h. There will be approximately 10 mesquite trees removed to relocate the structure to this lot. The City Arborist reviewed the application and made the determination that the applicant will need to submit a tree permit or tree

affidavit application to remove the trees needed to relocate the house. The application also needs to show how the City's tree preservation requirement of 35% preservation and tree canopy cover requirement of 38% tree canopy cover is met. The applicant will also be required to plant two trees per the UDC.

- i. Staff visited the site June 21, 2016, and found that a heavily wooded lot on a rural road.

RECOMMENDATION:

Staff recommends approval of items #1 through #2 based on findings a through h with the stipulations:

1. That the applicant narrow the walkway to 4' and flare it at the porch.
2. That the applicant obtain the required permits from the City Arborist.

CASE MANAGER:

Lauren Sage

CASE COMMENTS:

- Historic designation is applied through a zoning overlay, therefore, if the relocation is approved, any work done to the exterior of the house and property must abide by the UDC 35, Article VI and the Historic Design Guidelines.
- The property would need to be re-zoned or replatted in order to locate a second primary residence. The applicant is aware of this.
- A tree permit or tree affidavit application is required to remove the trees needed to relocate the house. Per the UDC 35-523, 35% preservation, 38% tree canopy cover, and planting of two trees is required.



Flex Viewer

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CITY of SAN ANTONIO
NOTICE of HEARING
HISTORIC & DESIGN
REVIEW COMMISSION

ADDRESS: 8206 Mission Rd.
REQUEST: Relocation of a house from 511 Breckinridge to 8206
HEARING DATE: July 6th 2016
TIME: 3:00 P.M.
FOR MORE INFORMATION CONTACT
(210) 315-9274
ALL HDRC MEETINGS TAKE PLACE AT 1901 S. ALAMO



Detailed Description of the Project for 511 Brackenridge, San Antonio, Texas 78209

A detailed description, from John F. Cortez for the project located at 511 Brackenridge, San Antonio, Texas, 78209, USA, for the purpose of seeking approval by the Historic & Design Review Commission (HDRC), is as follows:

The house located at 511 Brackenridge will be moved to 8806 Mission Rd, San Antonio, Texas 78214 by Gator Inc. dba as Dodson House Moving, P.O. Box 240339, San Antonio, Texas 78224.

The house is a wood-frame home; its dimensions are 75'x 60' and will be prepared so as to allow Dodson House Moving for its seamless transportation. The maximum removal of interior woodwork will include: doors, mantels. The removal of exterior wood work will be systematically stored to be replaced. The plaster from walls and ceiling, as well as brick from chimneys will be demolished. The chimneys will be replaced by new pressed brick; and the walls and ceilings will be replaced by drywall. The roof shall be wrecked and shall be replaced by a metal roof.

Dodson House Moving will load, brace, cut and move the two main sections of the house to its new location. The house will be prepared for the cut by installing shipping walls to reduce twisting of the house and to hold the roof joist in place. The cut will run north to south parallel with the floor, allowing for a clean cut. The two sections of the house will be loaded on moving beams; and on specialized air ride dollies. Also, the two sections will be braced and lag bolted together.

Dodson House Moving will prepare the foundation on the new site prior to the moving of the house. The foundation will be 2'x 2' round concrete footer dug; and poured at ground level. Upon positioning the sections over the foundation a precast concrete block will sit on the 2' x 2' footer and filled with concrete on the finished grade. An estimate of approximately 70 piers will be installed.

Repair of house and finish out to include landscaping will be completed within allotted time as requested by The City of San Antonio.



Road Ministries

Gate 2

Mission Rd

Mission Rd

8806 Mission Rd

San Antonio
River Authority

Mission Pkwy

Mission

Acequia



San Antonio
River Authority

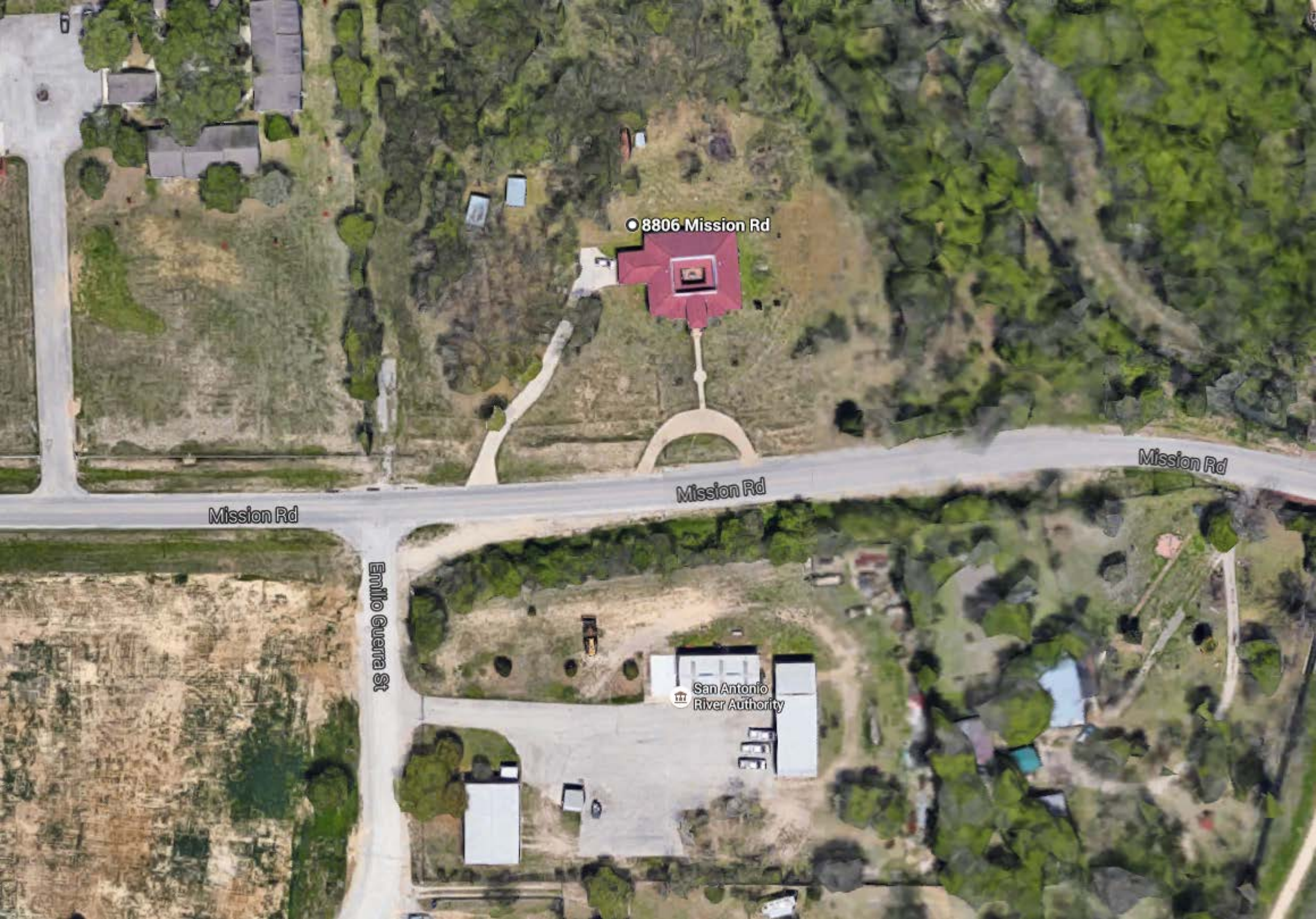
Emilio Guerra St

Mission Rd

Mission Rd







● 8806 Mission Rd

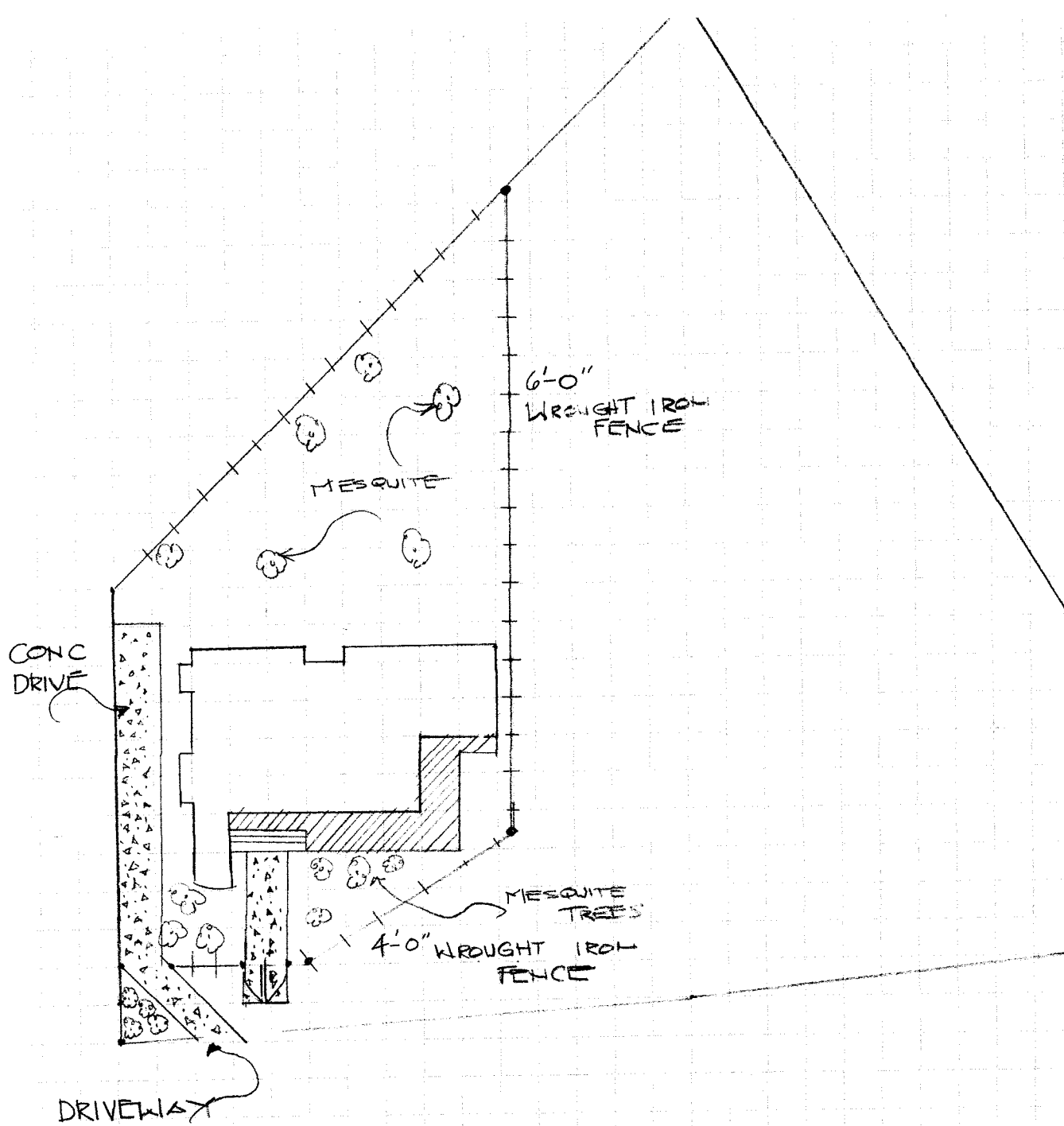
Mission Rd

Mission Rd

Mission Rd

Emilio Guerra St

San Antonio
River Authority



LANDSCAPING
8806 MISSION Rd.

