

# HISTORIC AND DESIGN REVIEW COMMISSION

July 20, 2016  
Agenda Item No: 12

**HDRC CASE NO:** 2016-D06  
**ADDRESS:** 215 N San Saba  
**LEGAL DESCRIPTION:** NCB 340 LOT 12 & NW IRR 3 FT OF LOT 6  
**ZONING:** D  
**PUBLIC PROPERTY:** No  
**COUNCIL DISTRICT:** 1  
**DISTRICT:** Downtown Business District  
**LANDMARK:** No  
**APPLICANT:** Alamo Sign Solutions – James Alfaro  
**OWNER:** STRC San Saba Properties LLC  
**TYPE OF WORK:** Signage

## REQUEST:

The applicant requests a Certificate of Appropriateness for approval four new signs, as shown in the attached Exhibits A, B, C, D, E, F, G, H, I, J and K.

The proposed signage includes the following:

- One fascia sign located on the west building façade, measuring 5'h x 33'w, approximately 42' above the sidewalk/parking lot elevation, consisting of face-lit channel letters with black perforated film, lit with LEDs; and
- One fascia sign located on the east building façade, measuring 6'-6"h x 10'-1 3/4"w, approximately 42' above the sidewalk/parking lot elevation, consisting of face-lit channel letters with black perforated film, lit with LEDs; and
- One monument sign located at the southeast corner of the property, measuring 9'-8"h x 8'w (sign face measuring 7'h x 8'w), consisting of an aluminum case and base with acrylic face, internally lit with LEDs or florescent lamps; and
- One double-sided cabinet pylon sign located near the southern property line along Houston Street and visible from Interstate Highway 35, measuring 60' in total height, with the sign face measuring 15'h x 25'w for a total sign area of 375 square feet as permitted by Chapter 28 of the City Code for signs located along an expressway), consisting of an aluminum cabinet with flex-face materials for the ID cabinet and plastic modules for the LED portion of the sign.

## APPLICABLE CITATIONS:

### City of San Antonio Downtown Design Guide:

#### Required Standards

1. Chapter 10. Section C.1: All fascia signage shall be integrated into the architecture. Signs may be mounted to architectural canopies or painted or mounted directly onto building surfaces without a back plate. The signage material will be weather proof and fade resistant.
2. Chapter 10. Section C.7: No signs shall be located between 20 feet above sidewalk elevation and 40 feet above sidewalk elevation to avoid conflicts with the tree canopy, except where the applicant demonstrates that no conflict will occur.
3. Chapter 10. Section C.8: Trees may not be topped or headed back on the sides to expose signs.

4. Chapter 10. Section C.9: Signs shall use appropriate means of illumination. These include: neon tubes, fiber optics, incandescent lamps, cathode ray tubes, shielded spotlights and wall wash fixtures.

#### Preferred Guidelines

1. Chapter 10. Section C.2: Signs should be conceived as an integral part of the project design so as not to appear as an afterthought.
2. Chapter 10. Section C.3: The location, size, and appearance of signs should complement the building and character of the Downtown districts in which they are located.
3. Chapter 10. Section C.5: Wall mounted signs on fascias above storefront windows should be sized to fit within existing friezes, lintels, spandrels, and other features and not extend above, below, or beyond them.
4. Chapter 10. Section C.6: Graphics and signage may be illuminated by indirect, internal, or bare-bulb sources, providing that a glare is not produced; by indirect light sources concealed by a hood or diffuser; by internal illumination with standard opal glass or other translucent materials or with an equal or smaller light transmission factor.
5. Chapter 10. Section C.10: The following signs are strongly discouraged in downtown: internally illuminated awnings, conventional plastic faced box signs or cabinet signs (can signs), formed plastic faced box or injection molded plastic signs, luminous vacuum formed letters, and animated or flashing signs.

#### **FINDINGS:**

The proposed signage meets the purpose and intent of the **Downtown Design Guide**.

The property is located directly abutting an elevated expressway, and just south of the I-35 and I-10 confluence. Clients traveling to the property by expressway will have to exit the highway before the building is visible. The proposed pylon cabinet sign allows more visibility from the elevated expressway. Therefore, staff finds the pylon cabinet sign to be appropriate for this particular subject property.

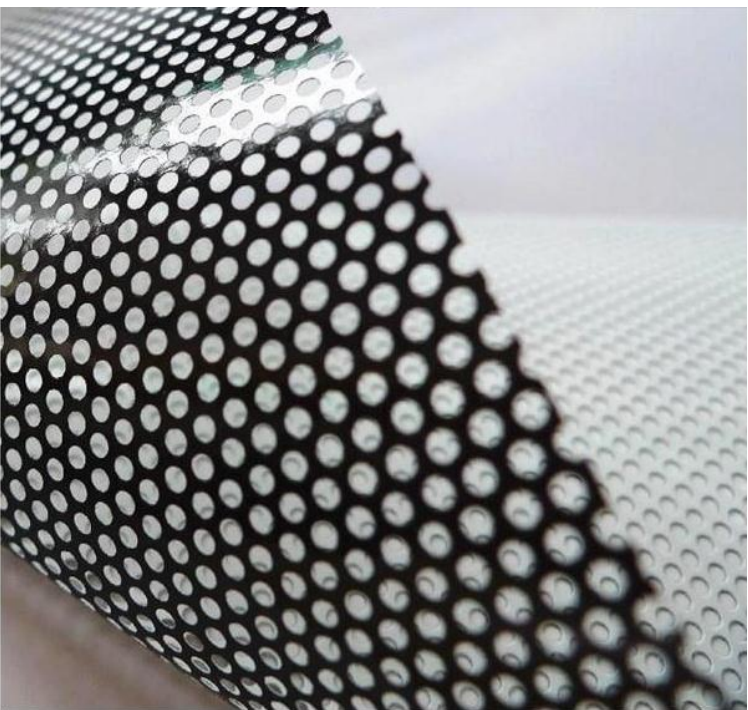
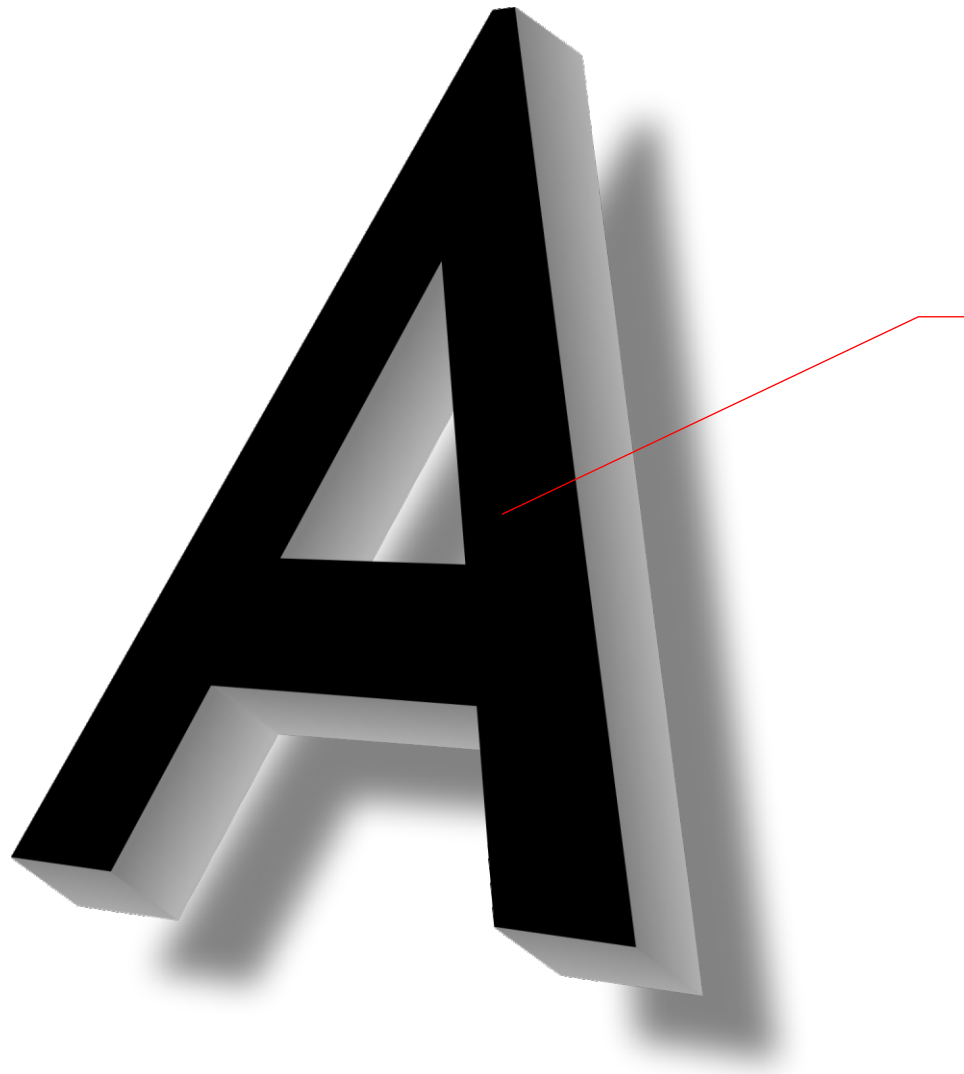
#### **RECOMMENDATION:**

Staff recommends approval as submitted, as shown in the attached Exhibits A, B, C, D, E, F, G, H, I, J, and K.

#### **CASE MANAGER:**

Micah Diaz, Senior Planner, Department of Planning & Community Development

EXHIBIT A



3M Black Perforated Film  
Appears black during the day, and illuminates  
as a lite grey at night.

Face Lit Channel Letters  
with Perforated Film Faces

- Face Lit Channel Letter with Black Perforated Film  
(appears black during the day - lite grey at night)
- Returns painted to match building (metallic silver)
- Black trim cap
- Flush mounted to wall, remote wired



**Alamo Sign Solutions, LLC**  
A Veteran Owned Company  
Phone: **210-310-6565**  
Nat: 1-866-586-1187  
Fax: 210-646-6175  
[www.AlamoSignSolutions.com](http://www.AlamoSignSolutions.com)

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Electrical hookup by others.  
Electrical requirements: 120V (or as indicated)  
All landscaping by others

This conceptual illustration is designed to provide a view of how the sign might look in it's chosen location. Due to variables in digital photography, architectural renderings and unforeseen structural obstacles, the ratio of the finished sign to the area it is installed in may appear slightly different from the illustration. Colors shown are representative of the actual color code chosen. Variables in monitors, printers, inks and paper will alter how these colors appear on the drawing. Please refer to the actual color codes prior to approval.

**Customer Information**

Business Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Location Address: \_\_\_\_\_

**Customer Approval**

Name and Title \_\_\_\_\_

Authorization \_\_\_\_\_ Date \_\_\_\_\_

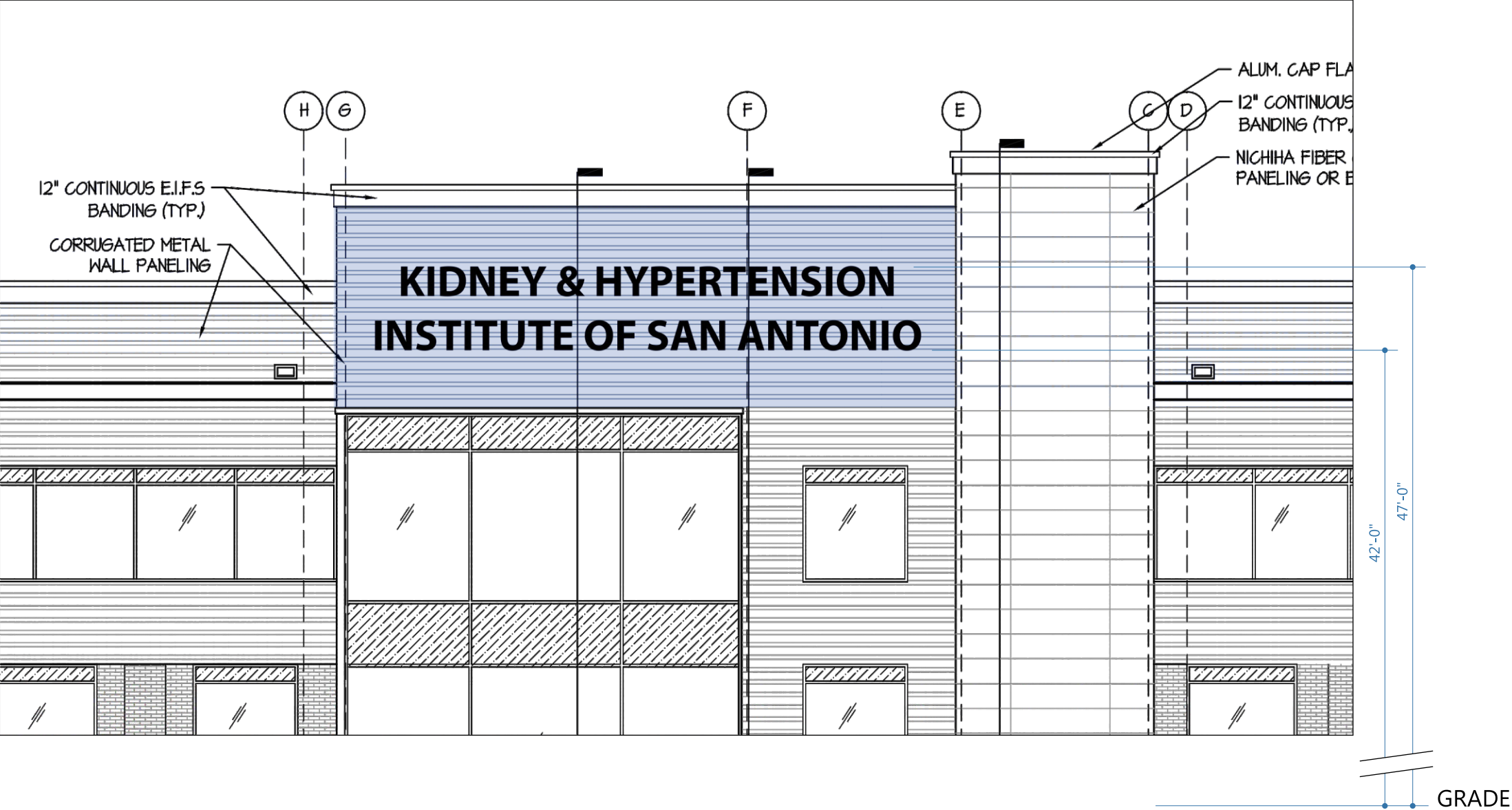
**Orig Date:**

Rev 1:  
Rev 2:  
Rev 3:  
Rev 4:  
Rev 5:

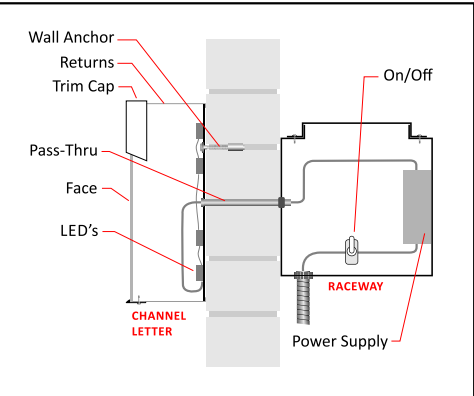
Drwg#:

EXHIBIT B

Face Lit Channel Letters  
with Perforated Film Faces



- Face Lit Channel Letter with Black Perforated Film  
(appears black during the day - lite grey at night)
- Returns painted to match building (metallic silver)
- Black trim cap
- Flush mounted to wall, remote wired



Face Lit Channel Letter  
Flush Mounted to Wall, Remote Wired



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Customer Approval

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Name and Title  
\_\_\_\_\_  
Authorization Date

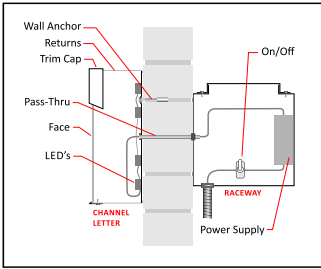
Orig Date:

Rev 1:  
Rev 2:  
Rev 3:  
Rev 4:  
Rev 5:

Drwg#:



Face Lit Channel Letters  
with Perforated Film Faces



Face Lit Channel Letter  
Flush Mounted to Wall, Remote Wired



- Face Lit Channel Letter with Black Perforated Film (appears black during the day - lite grey at night)
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Scale: 1/4" = 1'-0"



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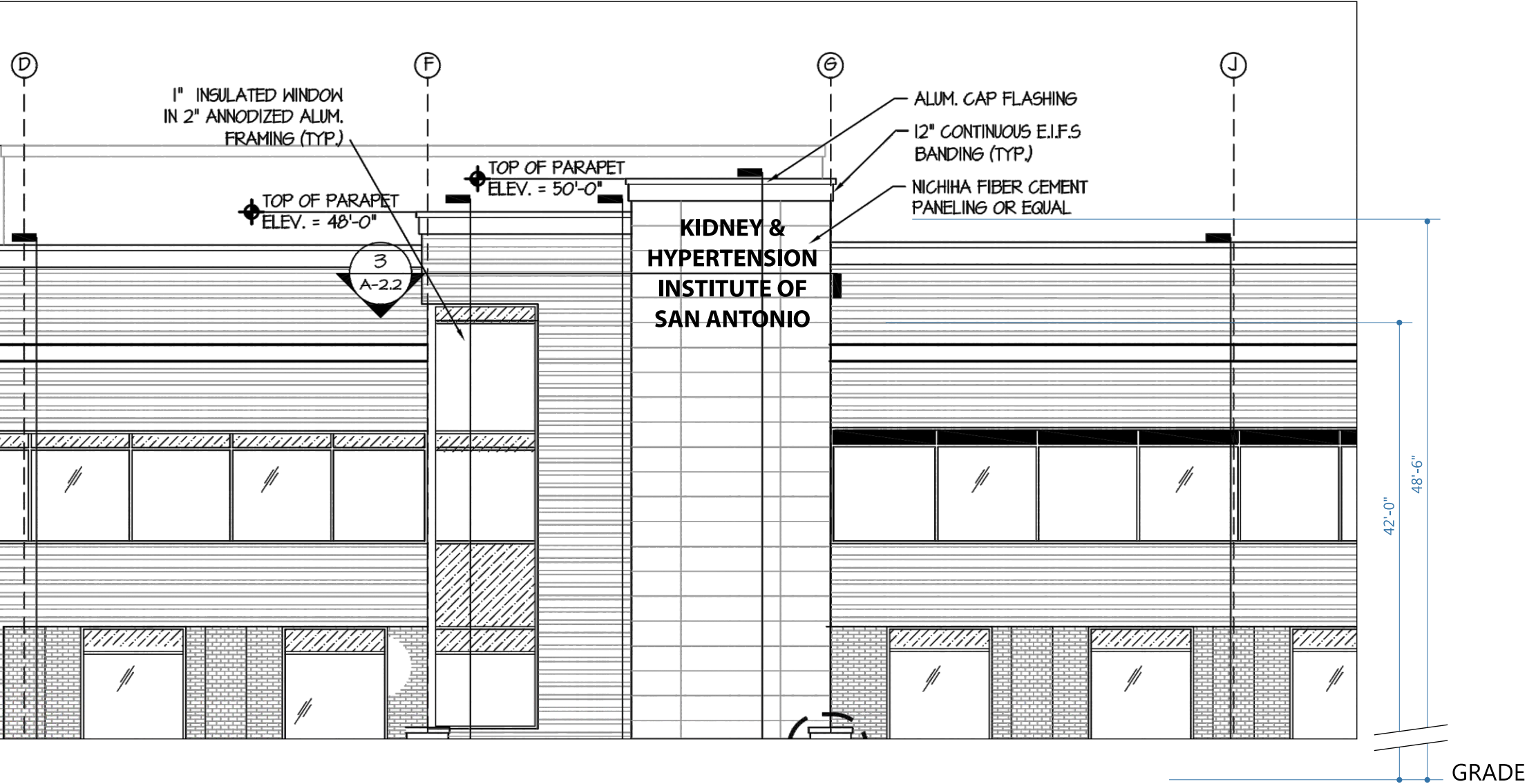
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Rev 5:

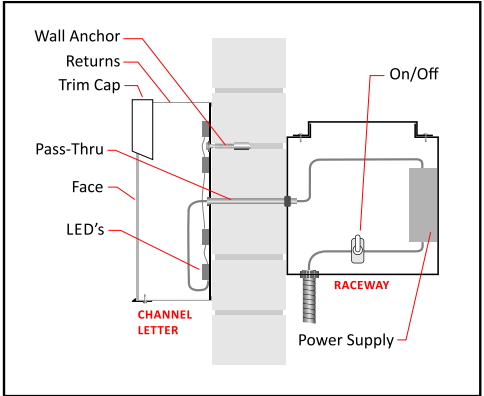
Drwg#:

EXHIBIT D

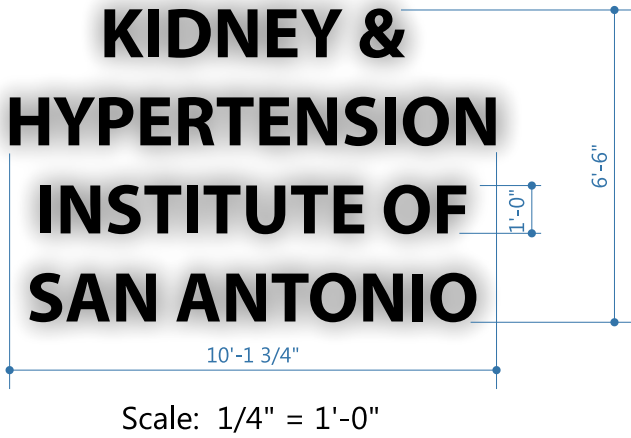
Face Lit Channel Letters  
with Perforated Film Faces



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Face Lit Channel Letter  
Flush Mounted to Wall, Remote Wired



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Customer Information

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Project Name: \_\_\_\_\_  
Location Address: \_\_\_\_\_

Customer Approval

Name and Title \_\_\_\_\_  
Authorization \_\_\_\_\_ Date \_\_\_\_\_

Orig Date:

Rev 1:  
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Rev 3:  
Rev 4:  
Rev 5:

Drwg#:



- Top Cap:** 2" square tube aluminum
- Top Cabinet:** Acrylic faces with cut vinyl letters, 1 1/2" retainers
- Tenant Cabinet:** Acrylic faces with cut vinyl letters, 1 1/2" retainers
- Reveal:** 2" painted black
- Base:** Fabricated aluminum with aluminum skins
- ILLUM:** White LED or Florescent Lamps

Scale: 1/2" = 1'-0"

EXHIBIT F



Scale: 1/2" = 1'-0"



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Project Name: \_\_\_\_\_

Location Address: \_\_\_\_\_

**Customer Approval**

\_\_\_\_\_  
Name and Title

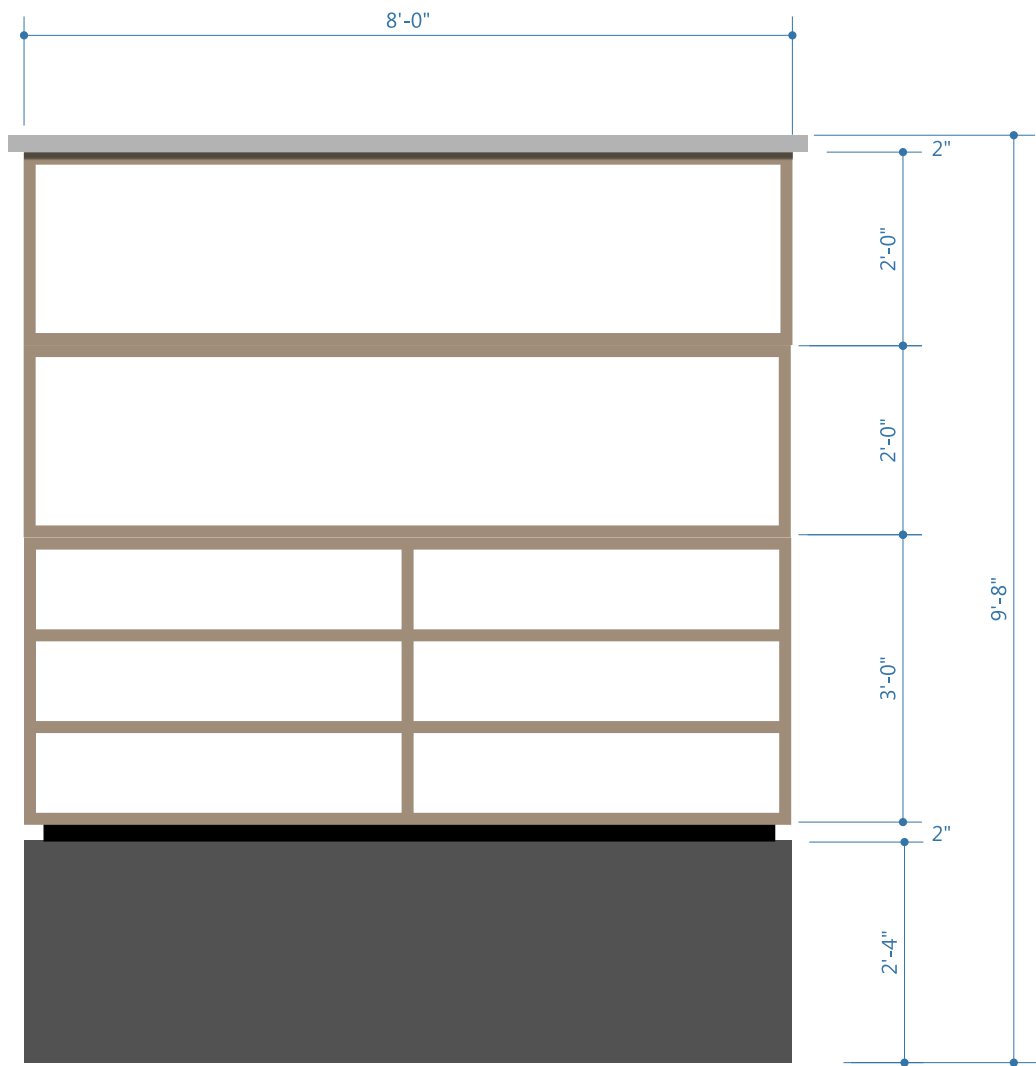
\_\_\_\_\_  
Authorization Date

**Orig Date:**

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Rev 3:  
Rev 4:  
Rev 5:

Drwg#: \_\_\_\_\_

EXHIBIT G



Scale: 1/2" = 1'-0"



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Project Name: \_\_\_\_\_

Location Address: \_\_\_\_\_

**Customer Approval**

\_\_\_\_\_  
Name and Title

\_\_\_\_\_  
Authorization Date

**Orig Date:**

Rev 1:  
Rev 2:  
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Rev 4:  
Rev 5:

Drwg#: \_\_\_\_\_

EXHIBIT H

Option "A"

15'-0"  
(Cabinets)  
(O.H.)

Pole Sign Elevation  
Scale: 1/8" = 1'-0" (approx.)

Proposed Sign ① Total: 375.0 sq. ft.



210.310.6565  
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Customer Information

Business Name: Kidney & Hypertension Institute  
Project Name: Kidney & Hypertension Institute  
315 N. San Saba #102  
Location Address: San Antonio, TX 78207

Customer Approval

Name and Title  
Authorization Date

Orig Date:  
Rev 1:  
Rev 2:  
Rev 3:  
Rev 4:  
Rev 5:

Drwg#:

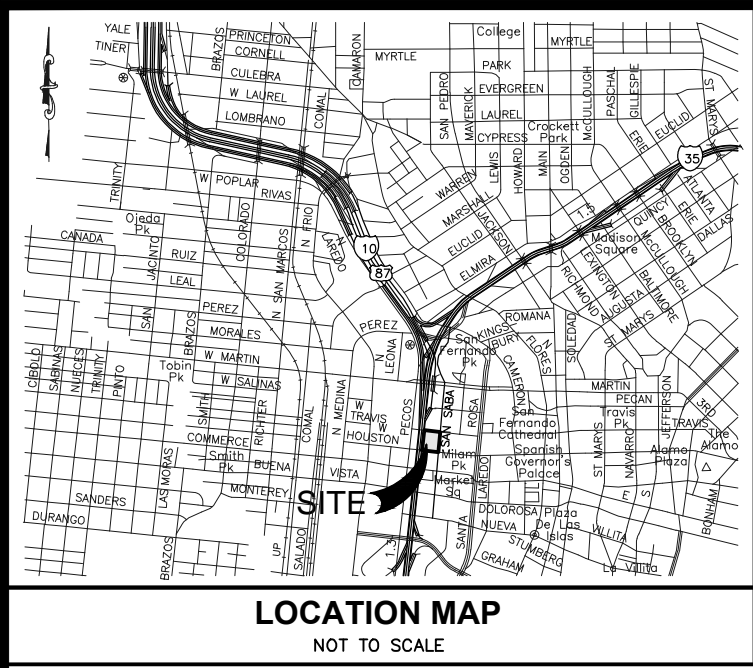
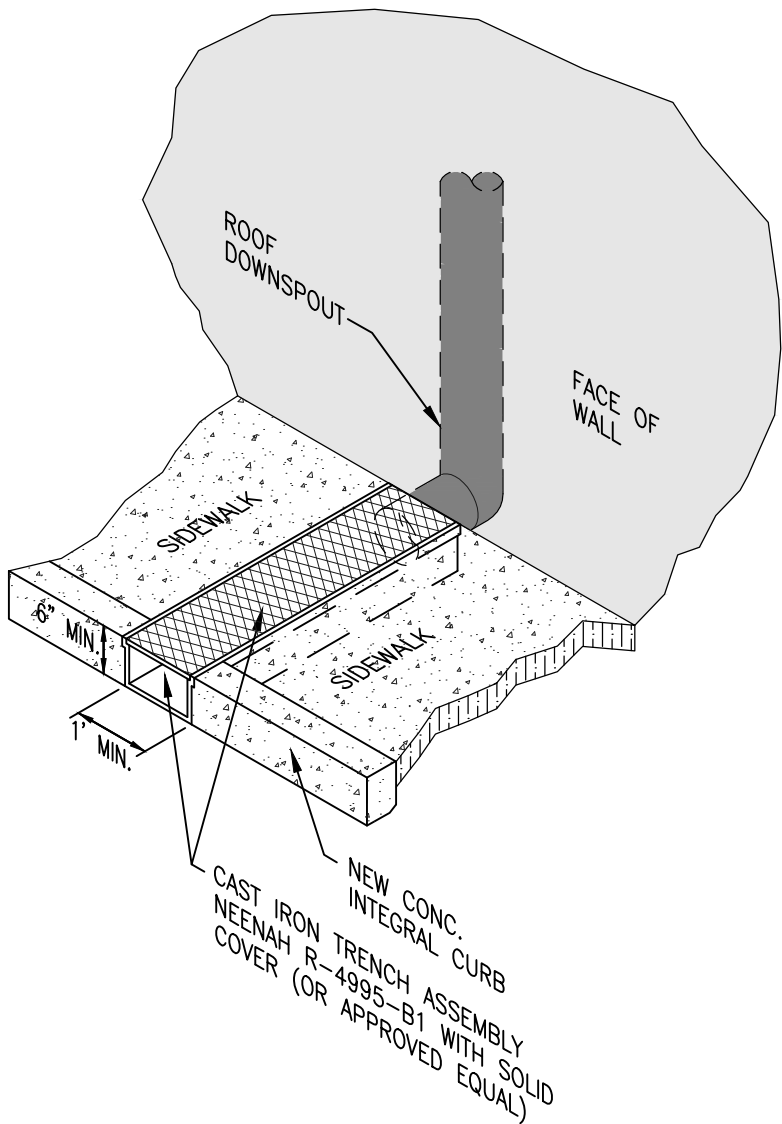
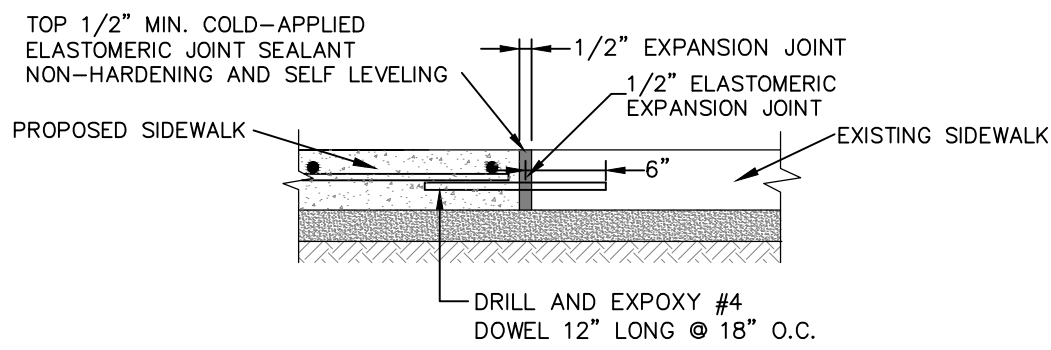


EXHIBIT I

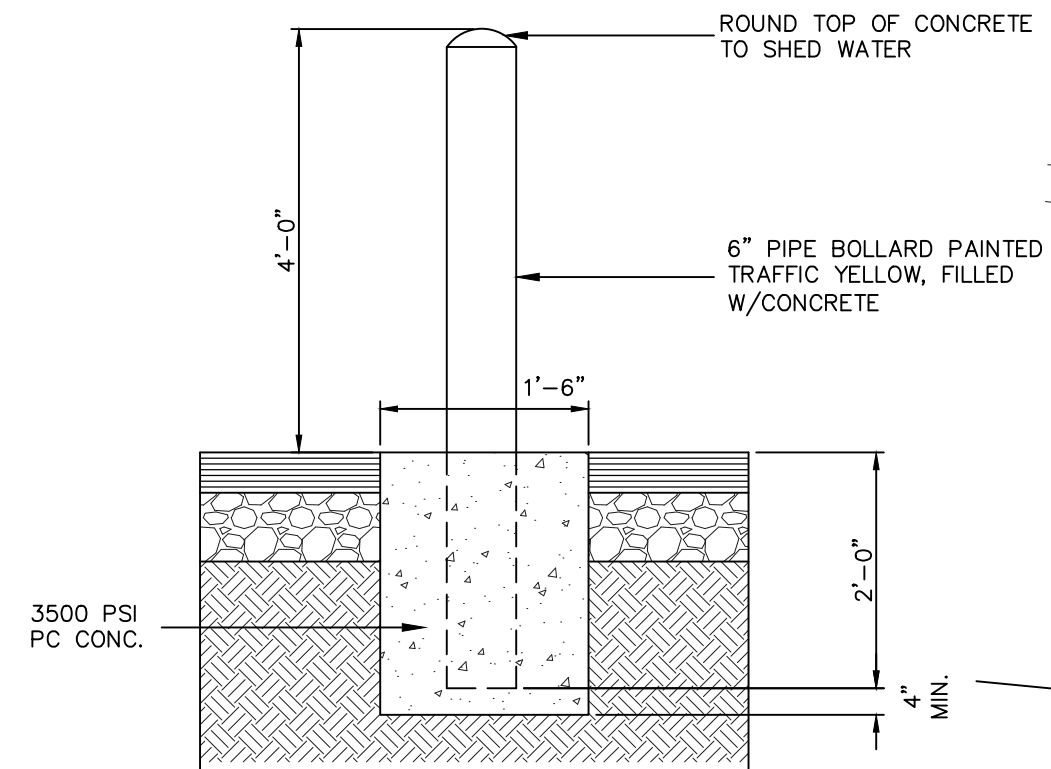
PARKING SUMMARY TABLE	
BUILDING USE	MEDICAL
GROSS FLOOR AREA (FT <sup>2</sup> )	32,841 SF
HANDI-CAPPED (ADA)	1
REQUIRED REGULAR H.C. PARKING	4
REQUIRED VAN ACCESSIBLE PARKING	4
PROPOSED H.C. PARKING	2
BICYCLE PARKING	2



1' DOWNSPOUT SIDEWALK DRAIN ASSEMBLY  
NOT TO SCALE



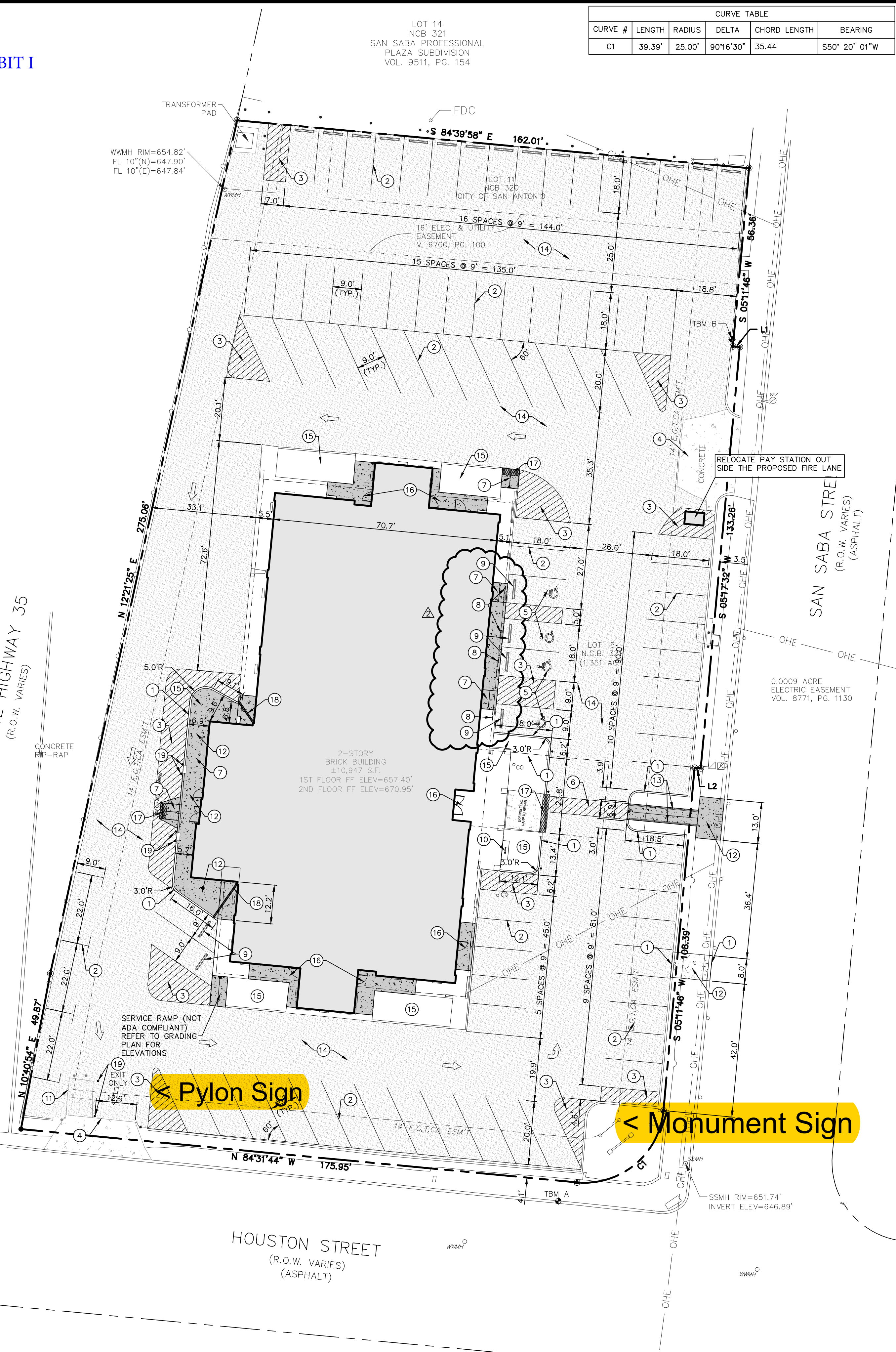
SIDEWALK JUNCTION DETAIL  
NOT TO SCALE



6" BOLLARD DETAIL  
NOT TO SCALE

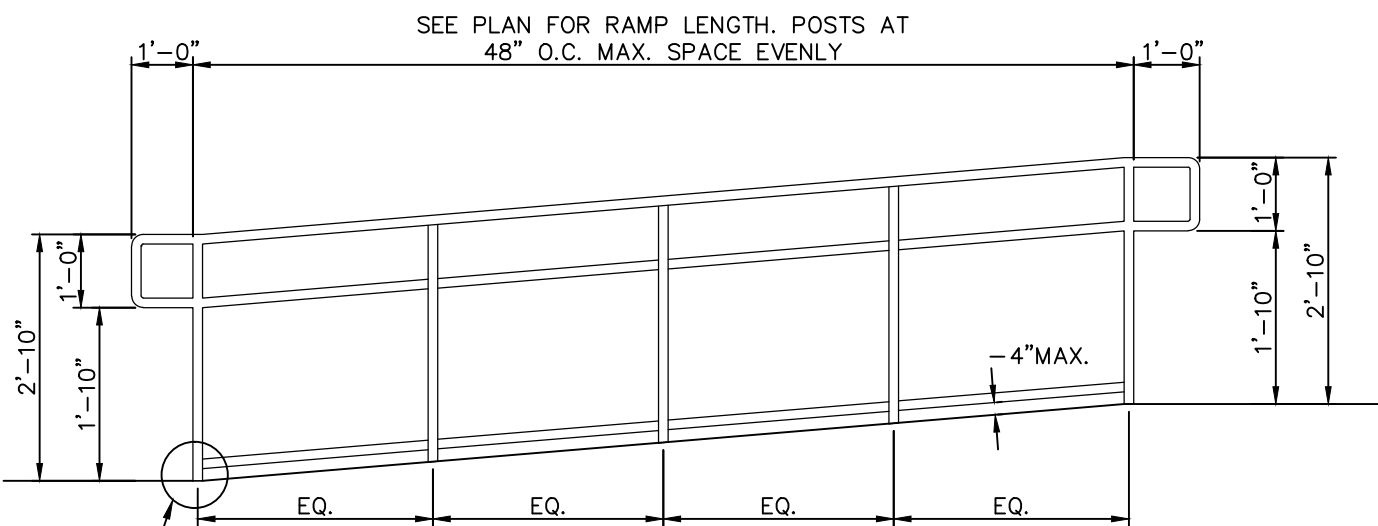


INTERSTATE HIGHWAY 35  
(R.O.W. VARIES)

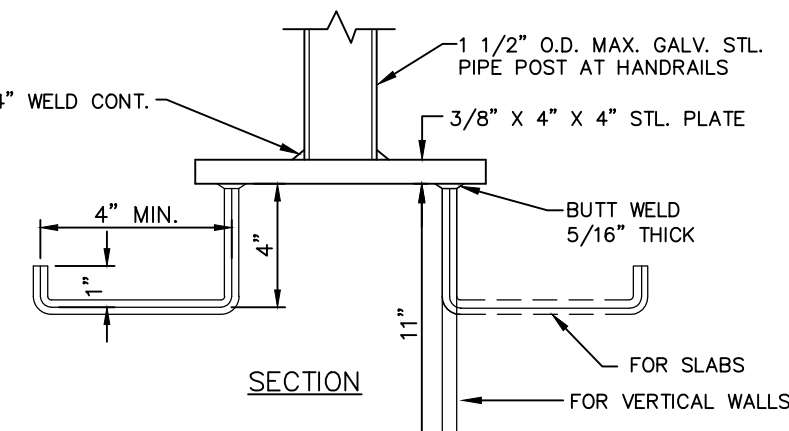
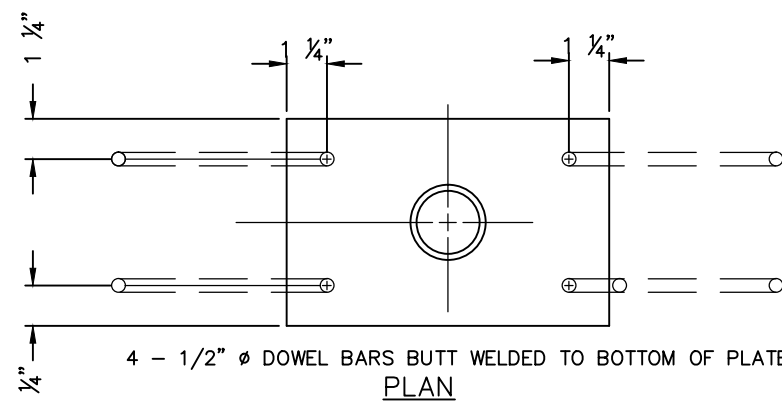


CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C1	39.39'	25.00'	90°16'30"	35.44	S50°20'01"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	2.17'	S 84°48'14" E
L2	1.94'	N 84°48'14" W



TYPICAL RAIL AT RAMP DETAIL  
NOT TO SCALE



BASE PLATE ANCHOR DETAIL  
NOT TO SCALE

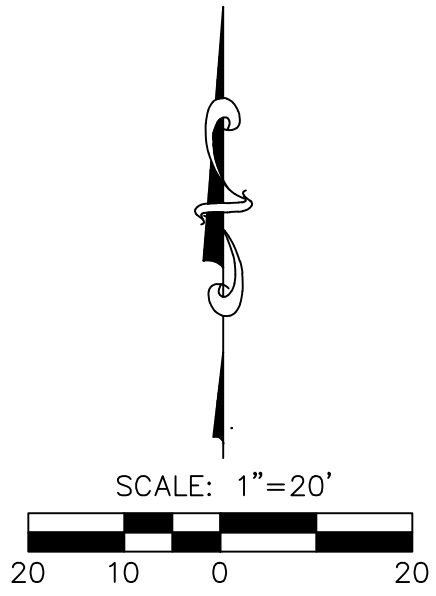
#### KEY NOTES

- PROPOSED 6" CONCRETE CURB (TYPICAL) REF. DETAIL C7.0.3
- PROPOSED 4" YELLOW WIDE PARKING STRIPE (TYPICAL).
- PROPOSED 4" WIDE 45° STRIPING @ 2.5' O.C. WITH BORDER STRIPE.
- EXISTING CONCRETE DRIVEWAY TO REMAIN.
- HANDICAP PARKING SYMBOL FOR REFERENCE ONLY. THESE SYMBOLS ARE NOT TO BE INSTALLED AND/OR INCLUDED IN THE BID.
- PROPOSED PAINTED CROSSWALK STRIPING. REF. DETAIL C7.0.9
- PROPOSED CURB RAMP (TYPICAL) REF. DETAIL C7.0.3
- PROPOSED HANDICAP SIGN. REF. DETAIL C7.0.8
- PROPOSED WHEELSTOP. REF. DETAIL C7.0.2
- PROPOSED BICYCLE PARKING AREA. REF. DETAIL C7.0.6
- EXISTING CONCRETE DUMPSTER PAD TO REMAIN.
- PROPOSED CONCRETE SIDEWALK REF. DETAIL C7.0.1
- PROPOSED HANDRAIL. REF. DETAILS THIS SHEET.
- CONTRACTOR TO REMOVE THE TOP 1" OF EXISTING ASPHALT AND REPLACE IT WITH A NEW LAYER OF ASPHALT.
- LANDSCAPING. REF. LANDSCAPE PLANS.
- DEMO AND REPAIR EXISTING SIDEWALKS AT ALL EXTERIOR DOORS TO BE IN COMPLIANCE WITH CURRENT ADA STANDARDS AND MAKE SURE A SMOOTH TRANSITION IS PRESENT WHERE THE NEW PORTIONS OF SIDEWALK MEET THE EXISTING SIDEWALKS TO REMAIN
- 2' STRIP OF DETECTABLE WARNINGS. REF. DETAIL C7.0.11
- 1' DOWNSPOUT SIDEWALK DRAIN ASSEMBLY REF DETAIL THIS SHEET
- BOLLARD REF DETAIL THIS SHEET

#### BENCHMARKS

- TBM A: CUT "SQUARE" IN THE TOP OF CURB LOCATED IN THE NORTHERLY LINE OF HOUSTON STREET, ±30' WEST OF SAN SABA STREET ELEV. = 651.94'
- TBM B: CUT "SQUARE" IN THE TOP OF CURB LOCATED IN THE WEST RIGHT OF WAY LINE OF SAN SABA STREET, ±269' NORTH OF HOUSTON STREET. ELEV. = 655.18'

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE / SUBDIVISION BOUNDARY
---	---	ADJACENT PROPERTY RECORD INFORMATION
---	---	BENCHMARK
---	---	LIGHT POLE
---	---	POWER POLE
---	---	DOWN GUY
---	---	TRANSFORMER (SIZE VARIES)
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	WATER METER VAULT
---	---	WATER MANHOLE
---	---	TELEPHONE RISER
---	---	CABLE TV RISER
---	---	ELECTRIC BOX
---	---	ELECTRIC METER
---	---	GAS VALVE
---	---	GAS METER
---	---	TRAFFIC SIGNAL POST
---	---	UNDERGROUND GAS LINE MARKER
---	---	GREASE TRAP (SIZE VARIES)
---	---	STORMDRAIN LINE
---	---	WATER LINE
---	---	FIRE LINE
---	---	WASTEWATER LINE
---	---	GAS LINE
---	---	OVERHEAD ELECTRIC (PRIMARY)
---	---	UNDERGROUND ELECTRIC (PRIMARY)
---	---	UNDERGROUND ELECTRIC (SECONDARY)
---	---	UNDERGROUND TELEPHONE
---	---	UNDERGROUND CABLE
---	---	ELECTRIC MANHOLE (SIZE VARIES)
---	---	WASTEWATER MANHOLE (SIZE VARIES)
---	---	STORMDRAIN MANHOLE (SIZE VARIES)
---	---	TELEPHONE MANHOLE (SIZE VARIES)
---	---	FIRE DEPARTMENT CONNECTION
---	---	WASTEWATER CLEANOUT
---	---	CURB
---	---	HEADER CURB
---	---	SAWTOOTH CURB
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE SIDEWALKS
---	---	CONTOUR
---	---	DIRECTION OF FLOW
---	---	SPOT ELEVATION/TOP OF CURB
---	---	SPOT ELEVATION
---	---	SWALE
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT

NOTE:

SIDEWALK JUNCTION. DRAIN INTO EXISTING CONCRETE SIDEWALK USING #4 DOWELS AT 18" O.C. WITH A MINIMUM EMBEDMENT OF 8" INTO PROPOSED AND EXISTING SIDEWALK.



**Klove ENGINEERING**  
Site Development Engineering Services  
Firm No. 11042  
www.kloveengineering.com (210) 485-5683

#### IMPORTANT

Contractor is to verify all dimensions and conditions before executing any work.

The scales as stated herein are valid on the original drawing. These scales are hereby changed by the scale of the overall sheet dimensions of the original drawing.

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Alex Roush Architects, Inc.

2255 CUMBERLAND PARKWAY

BUILDING 100

ATLANTA, GEORGIA 30339

(770) 333-7878

FAX 333-7902

NORTH SAN SABA

US RENAL CARE

215 NORTH SAN SABA

SAN ANTONIO, TEXAS

CIVIL SITE AND DIMENSIONAL CONTROL PLAN

DRAWN BY:

JM

DATE: 7/23/15

PROJECT NO.

REVISIONS

REV. 2: ADA COMMENTS

REV.

REV.

Sheet No.

C3.0

EXHIBIT J



**Alamo Sign Solutions, LLC**  
A Veteran Owned Company  
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All landscaping by others

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**Customer Information**

Business Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Location Address: \_\_\_\_\_

**Customer Approval**

\_\_\_\_\_  
Name and Title

\_\_\_\_\_  
Authorization Date

**Orig Date:**

Rev 1:  
Rev 2:  
Rev 3:  
Rev 4:  
Rev 5:

Drwg#:

EXHIBIT K



**Alamo Sign Solutions, LLC**  
A Veteran Owned Company  
Phone: **210-310-6565**  
Nat: 1-866-586-1187  
Fax: 210-646-6175  
[www.AlamoSignSolutions.com](http://www.AlamoSignSolutions.com)

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Electrical hookup by others.  
Electrical requirements: 120V (or as indicated)  
All landscaping by others

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