

## HISTORIC AND DESIGN REVIEW COMMISSION

July 20, 2016

### Agenda Item No: 15

**HDRC CASE NO:** 2016-276  
**ADDRESS:** 201 W COMMERCE ST  
**LEGAL DESCRIPTION:** NCB 122 BLK LOT 1 & 2  
**ZONING:** D H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Main/Military Plaza Historic District  
**OWNER:** B-Y UF 107 N Flores SA, Ltd  
**TYPE OF WORK:** Installation of a storefront system  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to create recessed, new entry doors at 201 W Commerce, Suite 103.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

#### 10. Commercial Facades

##### A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

### FINDINGS:

- a. The structure at 201 W Commerce was constructed circa 1900, features a canopy which covers the sidewalk on both the south and east facades of the structure, a brick and stucco façade and wood windows. The original brick façade exists above the canopy, however, non-original stucco and aluminum storefront systems are the primary materials on the south façade below the existing canopy.
- b. The applicant has proposed to modify the existing façade at suite 103 on the south façade of the structure by creating a new entrance which is to include an aluminum storefront system. The applicant has noted that the proposed entrance will be recessed from the existing exterior wall plane. According to the Guidelines for Exterior Maintenance and Alterations, new features that alter, destroy or disrupt the rhythm of a historic façade should not be introduced to a historic structure. The applicant has proposed to introduce the entry system in a location that

currently features existing, non-original openings. Staff finds that the applicant's proposal to modify an existing, non-original opening appropriate.

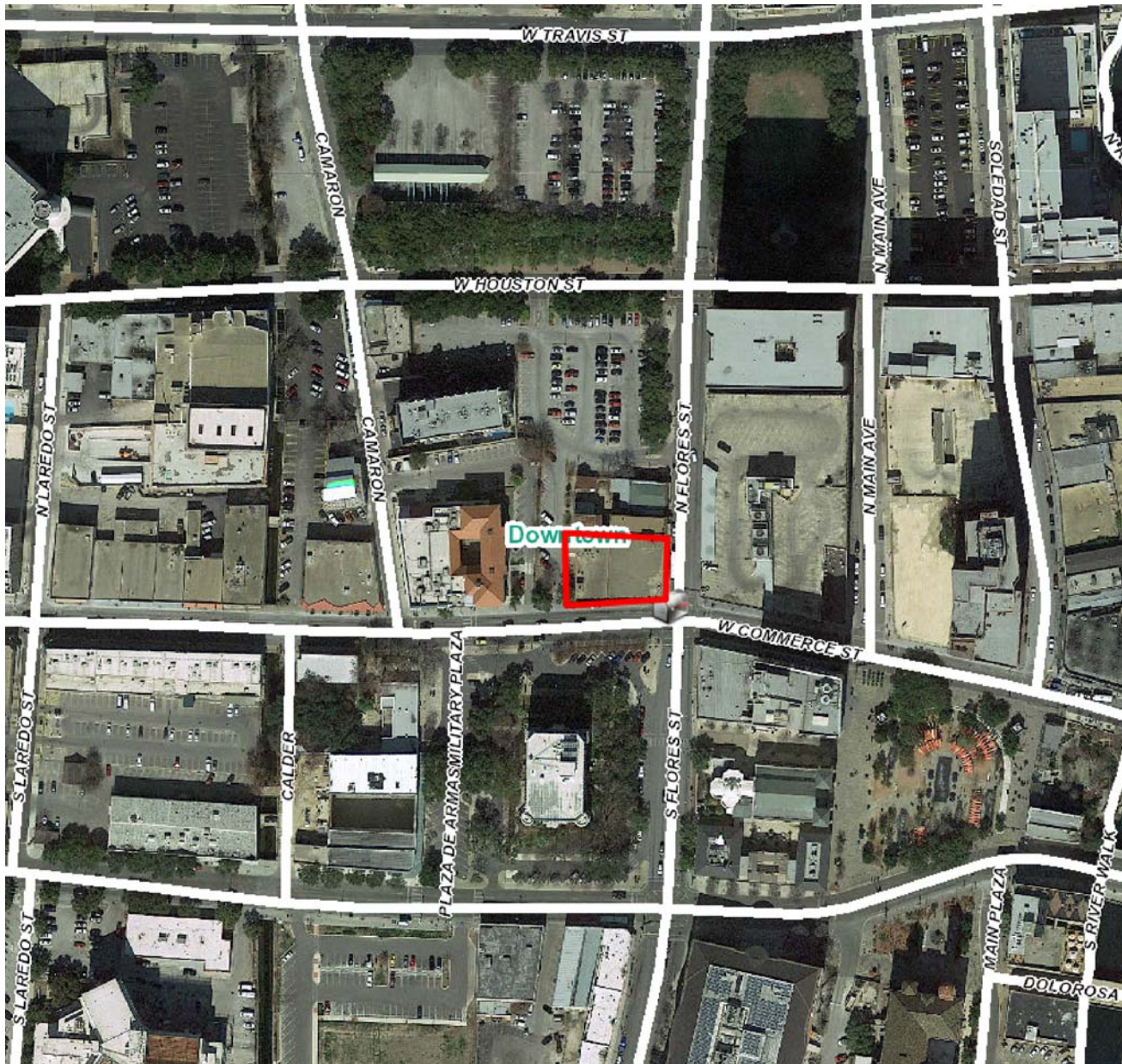
- c. As previously mentioned, the façade below the existing canopy features marble tile, stucco and aluminum storefront systems, none of which are original. The applicant has proposed to match the existing finishes and materials for the proposed recessed storefront system. Staff finds this appropriate.
- d. ARCHAEOLOGY – The property is within the local Main and Military Plaza Historic District, the Main and Military Plaza National Register of Historic Places District, the original footprint of the 1722 Presidio de Bexar, and the Spanish Colonial Plaza de Armas. Furthermore, the project boundaries encompass previously recorded archaeological site 41BX1598. Previously recorded archaeological 41BX795 is in close proximity to the property, as well. Therefore, archaeological investigations shall be required for all excavations. The archaeology consultant should submit the scope of work to the Office of Historic Preservation (OHP) for review and approval prior to the commencement of field efforts.

#### **RECOMMENDATION:**

Staff recommends approval based on findings a through d with the stipulation that archaeological investigations are required for all excavations. The archaeological scope of work should be submitted to the OHP archaeologists for review and approval prior to the commencement of field efforts. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

#### **CASE MANAGER:**

Edward Hall



## Flex Viewer

Powered by ArcGIS Server

Printed: Jul 08, 2016

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W Houston St

Camaron St

W Commerce St

Plaza De Armas

Military Plaza

San Fernando Cathedral

S Main Plaza

201 W Commerce St

N Flores St

N Flores St

W Comm

N Main Ave

E Commerce St



CITY of SAN ANTONIO  
NOTICE of HEARING  
HISTORIC & DESIGN  
REVIEW COMMISSION

ADDRESS: 277 COMPTON  
REQUEST: [REDACTED]  
HEARING DATE: [REDACTED]  
TIME: 3:00 P.M.  
FOR MORE INFORMATION CONTACT  
(202) 34-4234  
ALL PUBLIC MEETINGS TAKE PLACE AT THIS LOCATION







**GENERAL NOTES:**

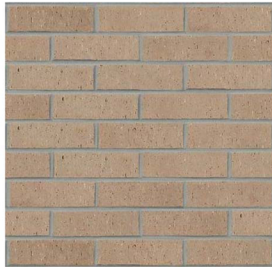
- NEW ALUMINUM STOREFRONT SYSTEM TO BE INSTALLED AT ENTRY OF NEW METRO PCS TENANT.
- NEW GLASS AND DOUBLE DOOR TO BE INSTALLED RECESSED FROM THE CURRENT STOREFRONT LOCATION.
- ALL EXISTING MATERIALS ON THE BUILDING TO REMAIN THE SAME THROUGHOUT.
- NEW STOREFRONT SYSTEM TO MATCH EXISTING ADJACENT ALUMINUM STOREFRONT SYSTEMS.

T1



EXISTING MARBLE TILE

B1



EXISTING BRICK VENEER

P3



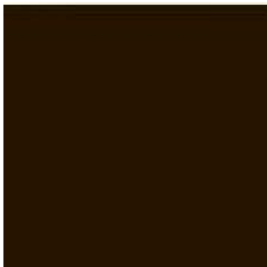
CANOPY PAINT COLOR  
SW7675 SEALSKIN

P1



STUCCO FINISH COLOR  
SW6107 NOMADIC DESERT

P2

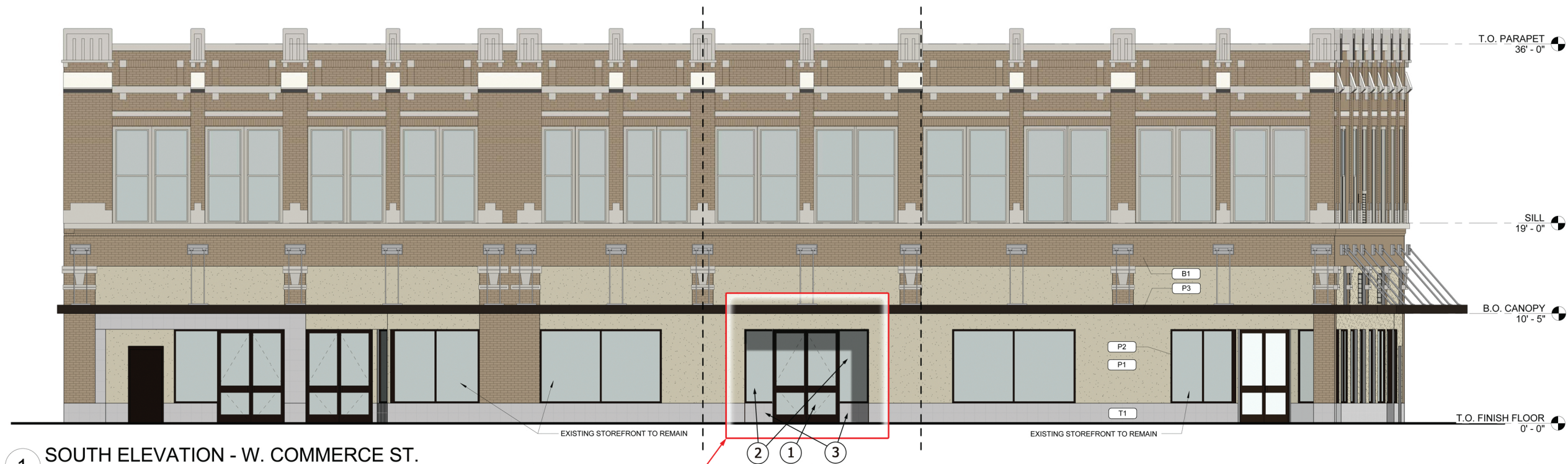


KAWNEER STOREFRONT  
DARK BRONZE NO.40

**FORMER KRESS BLDG. - DOWNTOWN S.A. EXISTING FACADE**  
201 W. Commerce St, San Antonio, TX 78205







1 SOUTH ELEVATION - W. COMMERCE ST.

PROPOSED RECESSED STOREFRONT ENTRY

T1



EXISTING MARBLE TILE

B1



EXISTING BRICK VENEER

P3



CANOPY PAINT COLOR  
SW7675 SEALSKIN

P1



STUCCO FINISH COLOR  
SW6107 NOMADIC DESERT

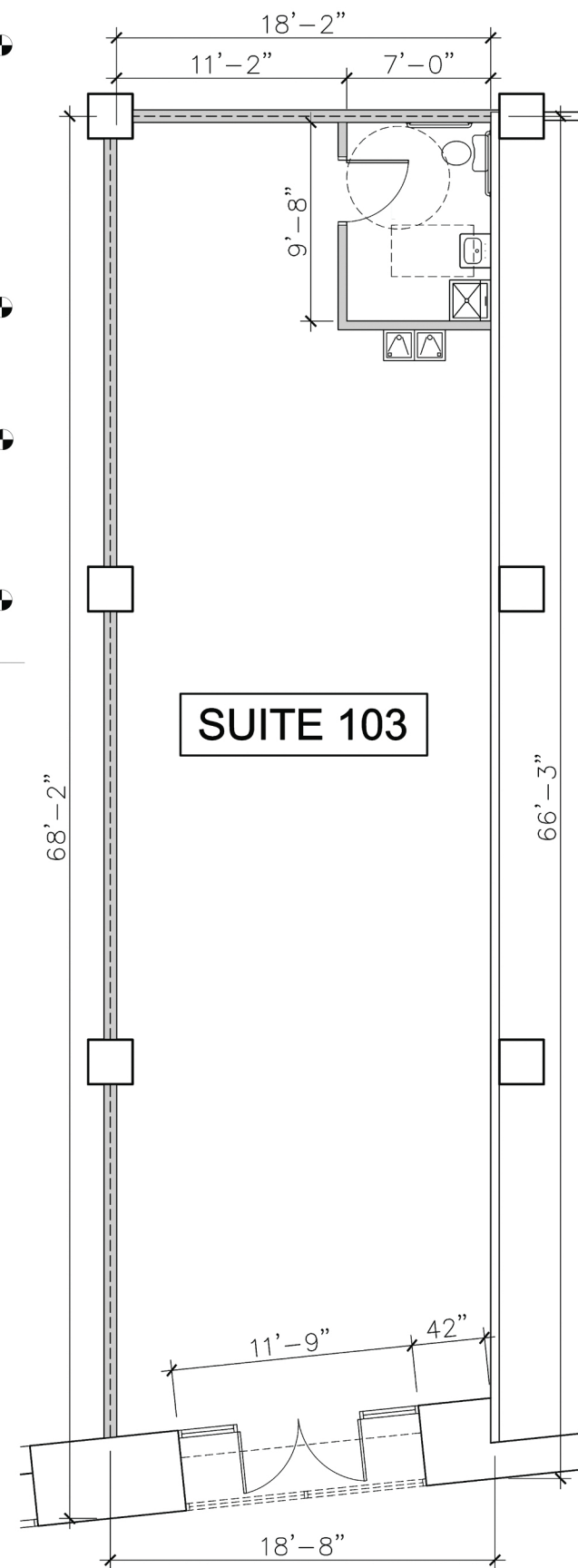
P2



KAWNEER STOREFRONT  
DARK BRONZE NO.40

## KEYNOTES

1. NEW ALUMINUM STOREFRONT DOORS TO BE INSTALLED - DOORS TO MATCH EXISTING SUITES
2. NEW ALUMINUM STOREFRONT GLASS SYSTEM TO BE INSTALLED - GLASS TO MATCH EXISTING STOREFRONT
3. NEW TILE TO BE INSTALLED ON KNEE WALL - TILE TO MATCH EXISTING MARBLE TILE ON BUILDING.



2 FLOOR PLAN

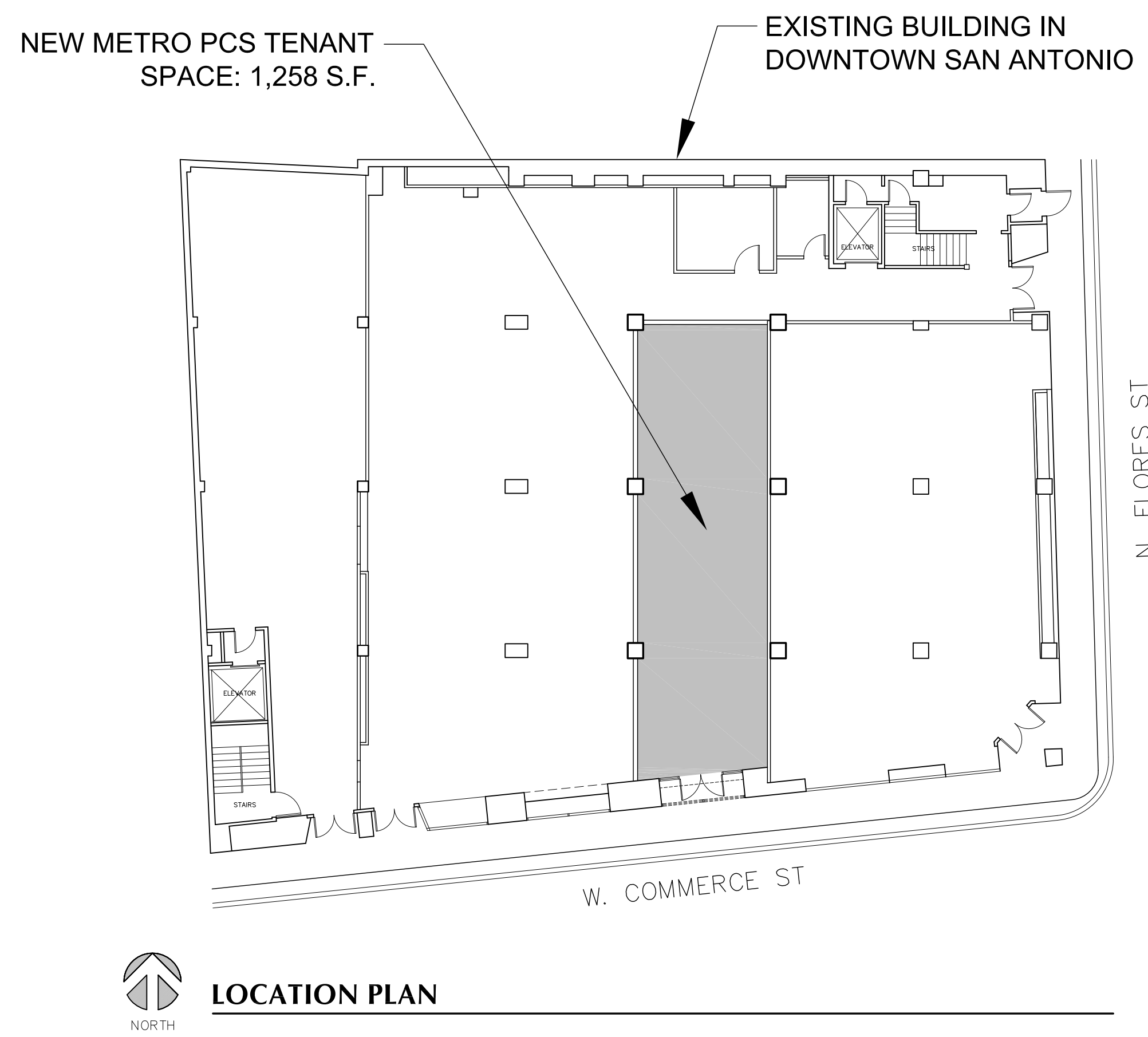
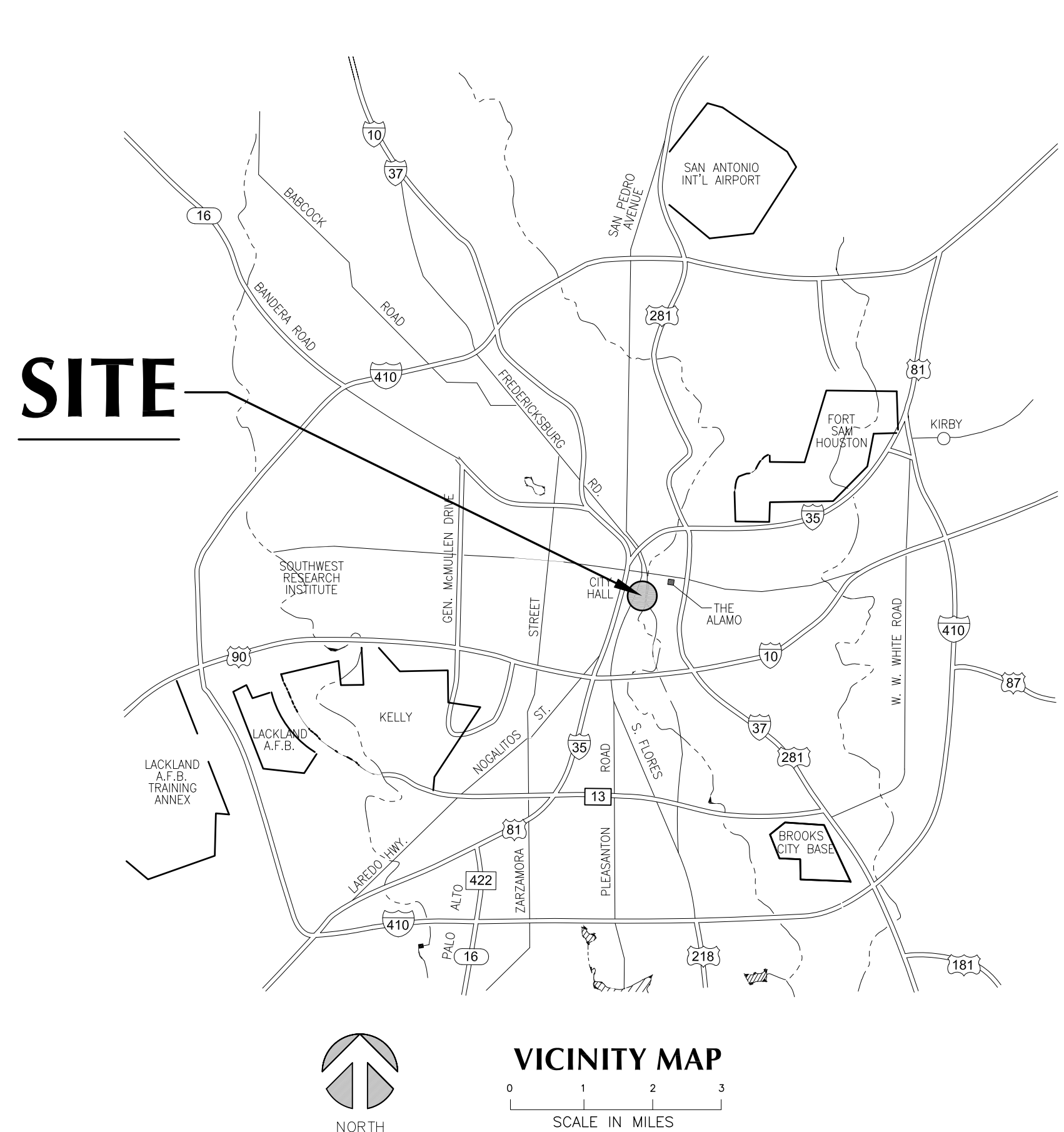
## FORMER KRESS BUILDING - DOWNTOWN SAN ANTONIO

201 W. Commerce St, San Antonio, TX 78205



# INTERIOR FINISH-OUT, SUITE 103: METRO PCS

**201 W. COMMERCE ST  
SAN ANTONIO, TEXAS 78205**



## CONTACT LIST

CONSTRUCTION MANAGER:

ED HERNANDEZ  
CBG  
4629 MACRO DRIVE  
SAN ANTONIO, TEXAS 78218  
210-424-8061 - OFFICE  
210-445-3572 - CELL  
ed@cbgcre.com

MEP CONSULTING ENGINEER:

ORLANDO CANAMAR  
MEP DESIGN, INC.  
2000 N.W. MILITARY HWY., #11  
SAN ANTONIO, TEXAS 78213  
210-979-8969  
ocanamar@sbcglobal.net

ARCHITECT:

GERMAN VALDES, ARCHITECT  
CBG  
4629 MACRO DRIVE  
SAN ANTONIO, TEXAS 78218  
210-424-8081 - OFFICE  
210-859-0329 - CELL  
gvaldes@cbgcre.com

## INDEX OF DRAWINGS

A1	COVER SHEET
A2	FLOOR PLAN & RCP

M-1	HVAC PLAN & DETAILS, PLUMBING PLAN & DETAILS
E-1	LIGHTING & POWER PLAN, DETAILS, DIAGRAM & SCHEDULE

## CODE ANALYSIS

1. SCOPE OF WORK:  
INTERIOR WORK INCLUDES AN INTERIOR FINISH-OUT IN AN EXISTING RETAIL BUILDING.  
EXTERIOR WORK INCLUDES MINOR RE-WORKING TO THE EXISTING ALUMINUM GLASS  
STOREFRONT SYSTEM.

2. GOVERNING CODES:  
ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING APPLICABLE CODES:

- BUILDING - 2015 INTERNATIONAL BUILDING CODE
- MECHANICAL - 2015 INTERNATIONAL MECHANICAL CODE
- ELECTRICAL - 2014 NATIONAL ELECTRICAL CODE
- ENERGY - 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- FIRE - 2015 INTERNATIONAL FIRE CODE
- PLUMBING - 2015 INTERNATIONAL PLUMBING CODE
- ACCESSIBILITY - 2012 TEXAS ACCESSIBILITY STANDARDS

3. BUILDING DEPARTMENT:  
CITY OF SAN ANTONIO BUILDING INSPECTIONS DEPARTMENT  
P.O. BOX 839966  
SAN ANTONIO, TEXAS 78283  
(210) 207-8220

4. OCCUPANCY: MERCANTILE GROUP M

5. CONSTRUCTION TYPE: TYPE II-B, SPRINKLERED

6. BUILDING AREA: 1,258 S.F.

## GENERAL NOTES

1. THE GENERAL CONDITIONS OF THIS CONTRACT ARE THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION". NO CONTRACTUAL ADJUSTMENT SHALL BE DUE AS A RESULT OF FAILURE ON THE PART OF THE GENERAL CONTRACTOR (G.C.) TO FULLY ACQUAINT HIMSELF AND ALL OTHER PARTIES TO THE CONTRACT WITH THE CONDITIONS OF DOCUMENT A201.
2. THE GENERAL CONTRACTOR (G.C.) SHALL MAINTAIN AND PAY FOR ALL INSURANCE AS REQUIRED BY THE LAWS OF THE STATE. THE G.C. SHALL PAY ALL TAXES REQUIRED BY FEDERAL, STATE, AND LOCAL LAWS. THE G.C. SHALL FILE FOR AND SECURE ALL PERMITS, APPROVALS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
3. EACH CONTRACTOR SHALL THOROUGHLY ACQUAINT HIMSELF WITH THE EXISTING JOB CONDITIONS BEFORE SUBMITTING BIDS AS NO ALLOWANCES WILL BE MADE BECAUSE OF THE CONTRACTOR'S UNFAMILIARITY WITH EXISTING JOB CONDITIONS.
4. G.C. SHALL VERIFY ALL SITE DIMENSIONS SHOWN OF THE DRAWINGS. ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO THE TENANT AND ARCHITECT AND HIS DISPOSITION OBTAINED BEFORE ANY WORK IS BEGUN. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS OF WORK AND THE MEASUREMENTS INDICATED ON THE DRAWINGS.
5. ALL PROPOSALS SHALL PRECLUDE THAT THE G.C. IS FAMILIAR WITH JOB SITE EXISTING CONDITIONS AND UTILITY LOCATIONS. THE LACK OF SPECIFIC INFORMATION ON THE DRAWING SHALL NOT RELIEVE THE G.C. OF ANY RESPONSIBILITY. ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE G.C. SHALL BE BROUGHT TO ATTENTION OF THE TENANT BEFORE PROCEEDING WITH RELATED WORK. OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE G.C. SUCH ERROR WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA CONSIDERATION.
6. THIS PROJECT IS AN INTERIOR FINISH-OUT FOR A NEW TENANT IN AN EXISTING RETAIL BUILDING. THE PROJECT INCLUDES WORK BY THE GENERAL CONTRACTOR AND THE OWNER AND HIS SUPPLIERS. G.C. SHALL COORDINATE ALL WORK OF THE OWNER AS IT RELATES TO THE GENERAL CONTRACTOR'S WORK TO INSURE A COMPLETE PROJECT BY THE AGREED UPON DATE.
7. G.C. SHALL PROVIDE SHOP DRAWINGS AND MATERIAL SAMPLES OF ALL MATERIALS REQUIRED TO COMPLETE THE PROJECT. G.C. SHALL PROVIDE PRIOR TO START OF WORK THE FOLLOWING INFORMATION TO THE OWNER FOR ALL PARTIES PERFORMING WORK ON THIS PROJECT:
  - A. BUSINESS NAME AND ADDRESS
  - B. NAME OF CONTACT PERSON
  - C. REGULAR PHONE NUMBER
  - D. EMERGENCY PHONE NUMBER



**CBG**  
4629 Macro Drive  
San Antonio, Tx 78218  
(210) 424-8000



**CBG**  
Commercial Real Estate

**INTERIOR FINISH-OUT,  
SUITE 103; METRO PCS**

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201 W. COMMERCE ST.      SAN ANTONIO, TX 78205

## REVISIONS

PROJECT NO.  
16-102  
DATE  
6/16/2016

SHEET

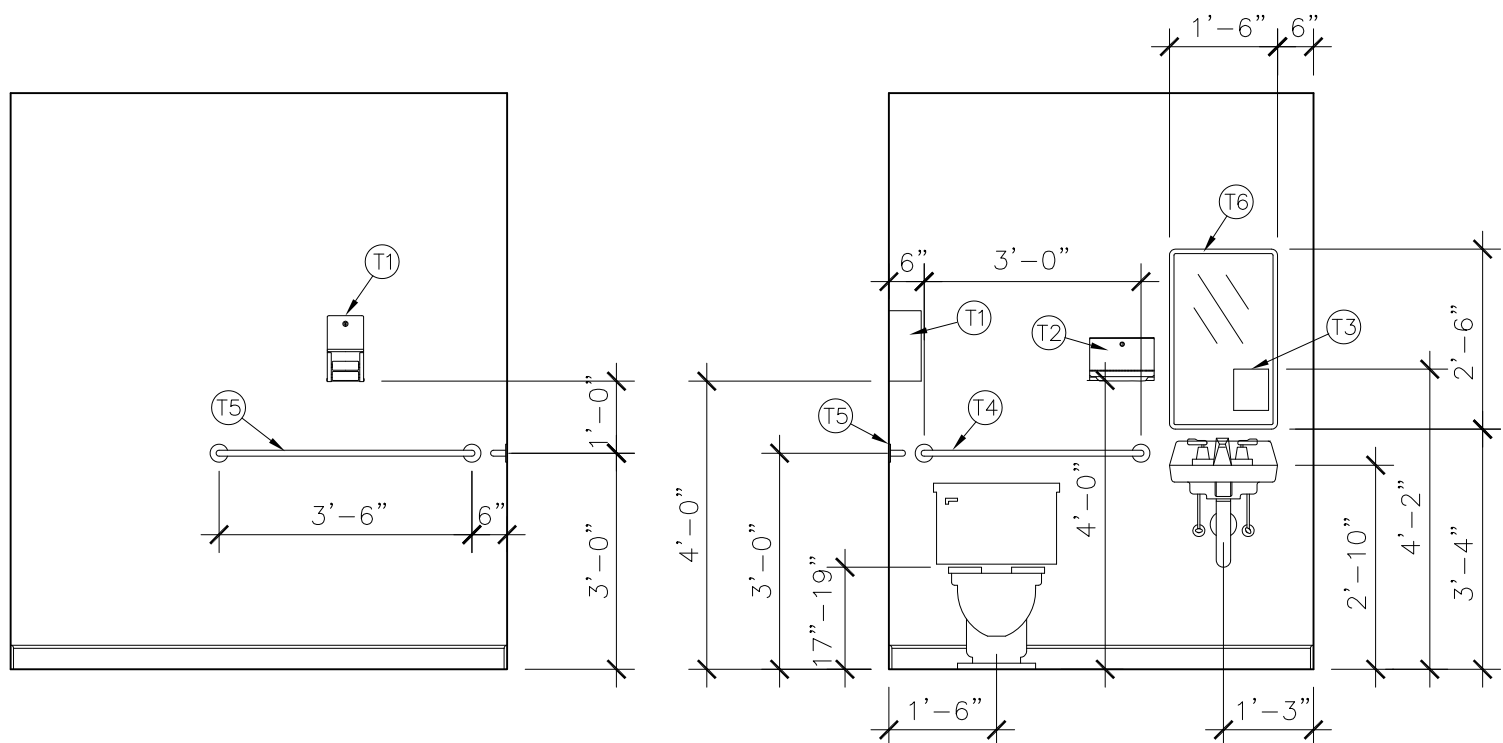
**A1**



ROOM FINISH SCHEDULE						
ROOM #	ROOM NAME	BASE	FLOOR	WALL	CEILING	REMARKS
101	SHOWROOM	N/A	F2	W1	C1	NO BASE, CEILING @ 10'-0" AFF
102	TOILET ROOM	B1	F1	W1	C1	4'-0" FRP WAINSCOT ON PLUMBING WALL & SIDE WALL ADJACENT TO TOILET, CEILING @ 8'-0" AFF

ROOM FINISH LEGEND					REMARKS
FINISH #	DESCRIPTION:				
B1:	VINYL COVE BASE "EARTHWERKS RX-400", COLOR: SABLE				PROVIDED & INSTALLED BY G.C.
F1:	VCT "EXPRESSIONS BY TARKETT" - 1317 WHITE/BEIGE				PROVIDED & INSTALLED BY G.C.
F2:	SEALED CONCRETE - SH. WILLIAMS H&C WET-LOOK WATER-BASED CLEAR CONCRETE SEALER				PROVIDED & INSTALLED BY G.C.
W1:	GYP. BD, TAPED, FLOATED & PRIMED - READY FOR TENANT FINISH				LEVEL 4 FINISH, NO TEXTURE
C1:	2' X 4' LAY-IN ACOUSTIC TILE: USG RADAR #2310 FIRE CODE				PROVIDED & INSTALLED BY G.C.

DOOR SCHEDULE					
DOOR	DIMENSION	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	REMARKS
A	PR, 3'-0" X 7'-0" X 1 3/4"	ALUM. & GLASS	ALUMINUM	MFR'S, STANDARD LOCKING HARDWARE	
B	3'-0" X 7'-0" X 1 3/4"	S.C. WOOD	STEEL	PRIVACY LATCH	DOOR SHALL BE PAINT-GRADE, READY FOR TENANT'S PAINT, FRAMES SHALL BE "TIMELY" STD, PREFINISHED STEEL FRAMES W/ "ALUMINATONE" FINISH.

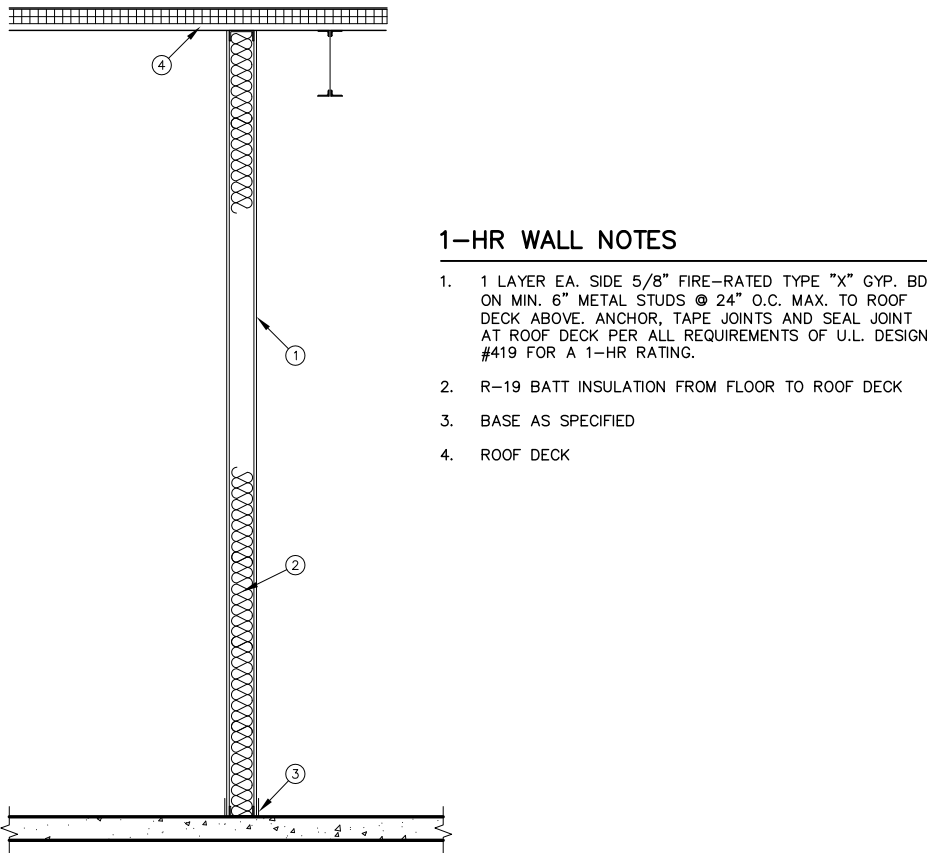


## A2.4 TYPICAL TENANT TOILET ROOM ELEVATIONS

SCALE: 3/8" = 1'-0"

### KEYNOTES

- EXISTING ANODIZED ALUMINUM STOREFRONT SYSTEM AND KNEE WALL BELOW TO BE DEMOLISHED AND BE MADE READY FOR NEW STOREFRONT ENTRY.
- G.C. TO INSTALL NEW 2" X 4 1/2" ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" SOLARBAN 60 (2) (CLEAR + CLEAR) INSULATING GLASS UNITS OR APPROVED EQUAL W/ U-FACTOR 0.29 & SHGC 0.38 OR BETTER - ALL GLASS TO BE 1/4" TEMPERED GLASS CONFORMING TO IBC SECTION 2406. - G.C. TO VERIFY FINISH APPEARANCE TO BE IDENTICAL TO EXISTING STOREFRONTS.
- NEW 1-HR. FIRE-RATED GYP. BD. WALL TO STRUCTURE ABOVE SEE DETAIL A2.3 - PROVIDED AND INSTALLED BY G.C.
- HIGH-LOW HANDICAP ACCESSIBLE DRINKING FOUNTAIN BY G.C. - SEE PLUMBING.
- TOILET FIXTURES AND ACCESSORIES PER TAS REQUIREMENTS BY G.C. - G.C. TO PROVIDE ADEQUATE BLOCKING FOR ALL WALL MOUNTED PLUMBING FIXTURES AND HANDICAP ACCESSORIES - SEE PLUMBING.
- FLOOR MOUNTED JANITOR'S SINK BY G.C. - SEE PLUMBING.
- G.C. TO COMPLETE FURR-OUT AT EXISTING INTERIOR GYP. BD. WALL - G.C. TO ADD 5/8" GYP. BD. ON 3 5/8" 22 GA. METAL STUDS AT 24" O.C. TO ROOF DECK ABOVE AT LOCATIONS THAT ARE NOT YET INSTALLED - G.C. TO FILL CAVITY W/ 6" R-19 BATT INSULATION TO DECK ABOVE.
- NEW WALL TYPICAL TO UNDERSIDE OF CEILING - 5/8" GYP. BD. ON 3 5/8" 22 GA. METAL STUDS AT 24" O.C. - PROVIDED AND INSTALLED BY G.C.
- 2' X 4' LAY-IN CEILING W/ USG RADAR #2310 ACOUSTIC TILES BY G.C. - 8'-0" AFF IN TOILET ROOM, 10'-0" AFF IN SHOWROOM.
- EXISTING 1-HR FIRE-RATED GYP. BD. WALL TO REMAIN.
- EXISTING COLUMN TO REMAIN.
- G.C. TO PROVIDE CONCRETE SLOPE MAX. 1:20 FROM EXISTING SIDEWALK TO FINISH FLOOR ELEVATION.
- G.C. TO PROVIDE SUBSTRATE FOR PORCELAIN TILE THAT WILL BE PROVIDED & INSTALLED BY TENANT.



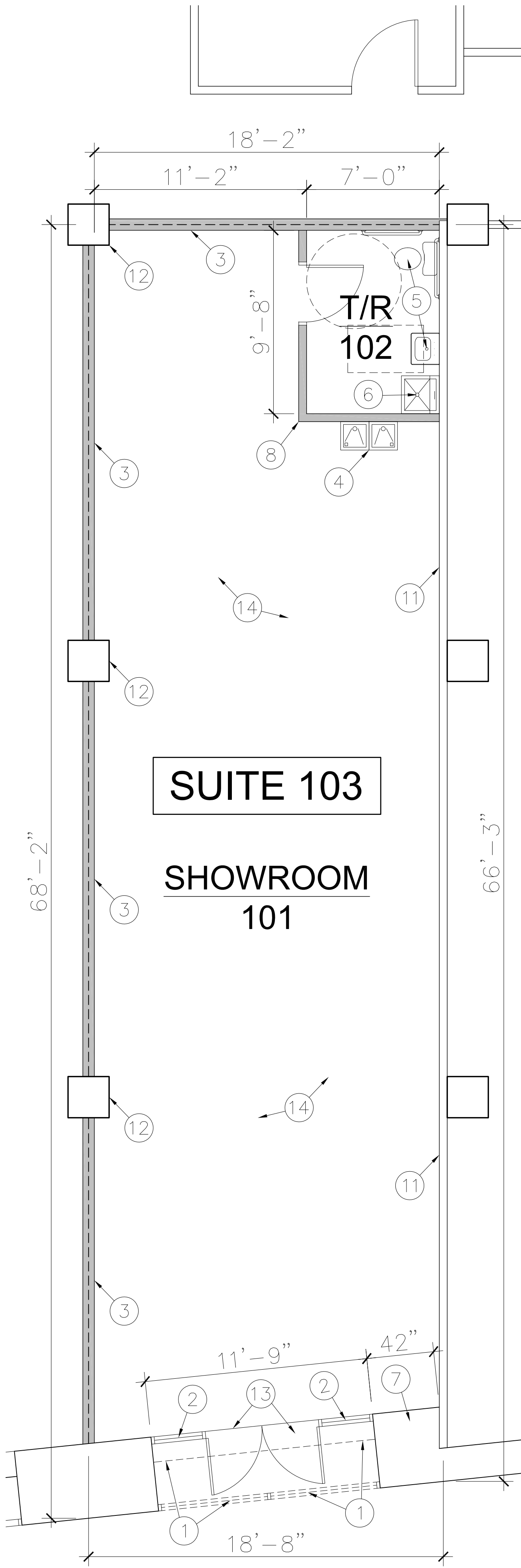
## A2.3 1-HR. WALL DETAIL

SCALE: N.T.S.

- 1-HR WALL NOTES**
1. LAYER EA. SDE 5/8" FIRE-RATED TYPE "X" GYP. BD. ON MIN. 6" METAL STUDS @ 24" O.C. MAX. TO ROOF DECK ABOVE, ANCHOR, TAPE JOINTS AND SEAL JOINT AT ROOF DECK PER ALL REQUIREMENTS OF U.L. DESIGN #419 FOR A 1-HR RATING.
  2. R-19 BATT INSULATION FROM FLOOR TO ROOF DECK
  3. BASE AS SPECIFIED
  4. ROOF DECK

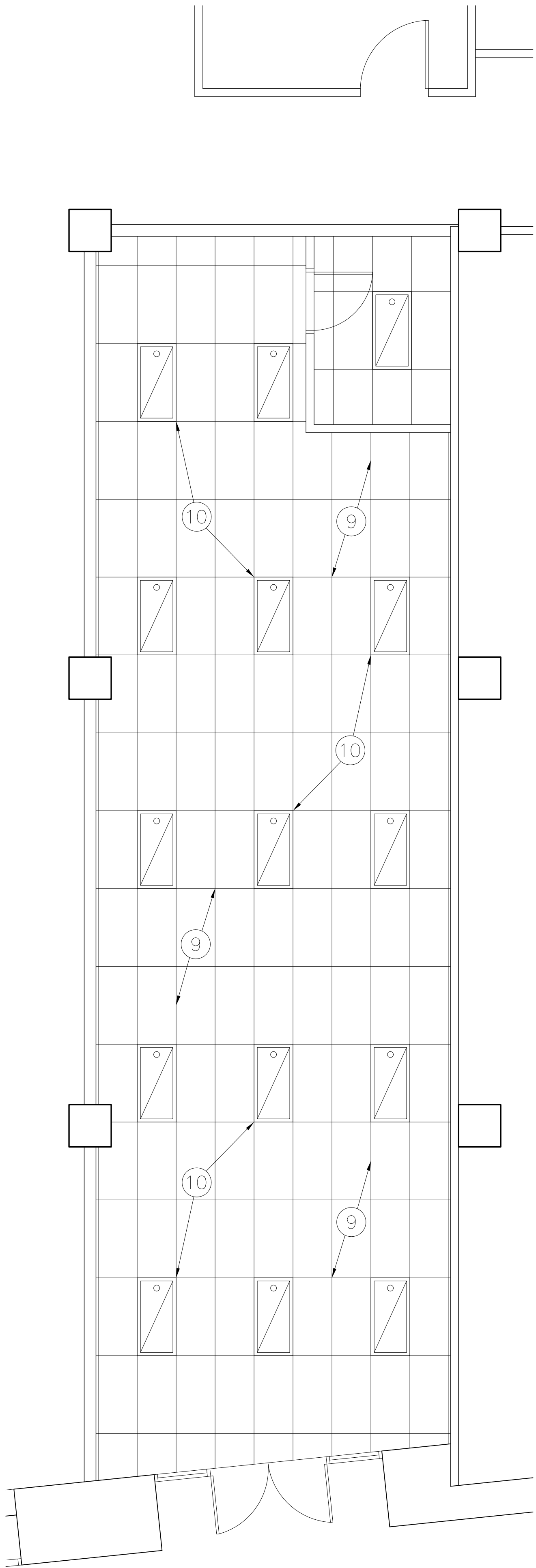
### TOILET ACCESSORY SCHEDULE

- T1: BOBRICK B-2888 SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER  
T2: BOBRICK B-26212 SURFACE-MOUNTED PAPER TOWEL DISPENSER  
T3: BOBRICK B-40 CLASSIC SERIES SURFACE-MOUNTED SOAP DISPENSOR 5 13/16"W X 6 7/8"H X 3 3/16"D  
T4: BOBRICK B-6806.99X36 36" GRAB BAR  
T5: BOBRICK B-6806.99X42 42" GRAB BAR  
T6: BOBRICK B-165 1830 CHANNEL FRAMED MIRROR 18"W X 30"H



## A2.1 FLOOR PLAN

SCALE: 1/4" = 1'-0"



## A2.2 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



**CBG**  
Commercial Real Estate  
4625 Macro Drive  
San Antonio, TX 78218  
(210) 424-8000

**INTERIOR FINISH-OUT,  
SUITE 103: METRO PCS**  
201 W. COMMERCE ST  
SAN ANTONIO, TX 78205

### REVISIONS

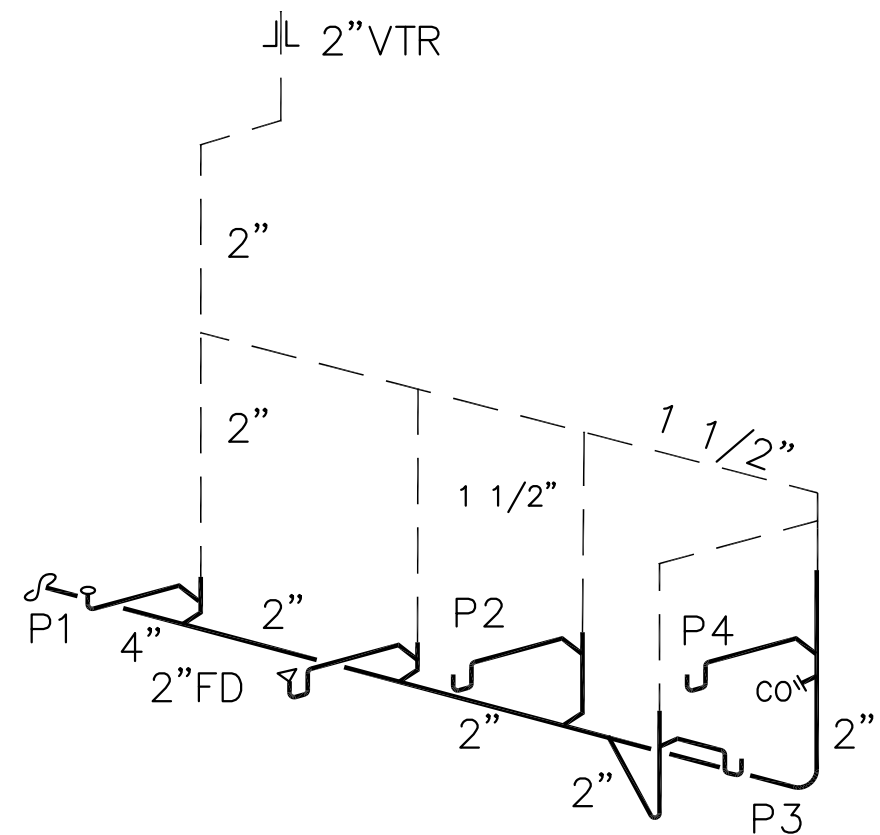
PROJECT NO.  
16-102  
DATE  
6/16/2016

SHEET  
**A2**  
OF 2 SHEETS

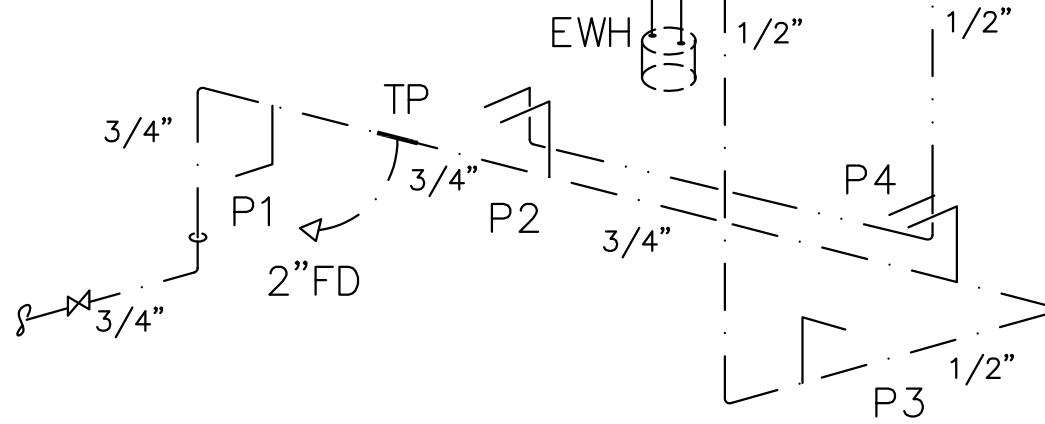


PLUMBING EQUIPMENT SCHEDULE											
UNIT NO.	CFM	TOTAL BTUH	ODBT	EAT	ESP	HP	AMPS/WATTS	ELEC HEAT	VOLTAGE	O.A. CFM	EER
AHU-1	1400	41500	---	---	.75"	3/4	49.3	10 KW	208V/3PH	---	---
CU-1	---	---	---	---	---	---	21.6MCA	---	208V/1PH	---	---
EF-1,2	80	---	---	---	1.00"	1/3	5	---	120V/1PH	---	---

H.V.A.C. EQUIPMENT SCHEDULE											
PACKAGE AIR CONDITION UNITS AND EXHAUST FANS											
UNIT NO.	CFM	TOTAL BTUH	ODBT	EAT	ESP	HP	AMPS/WATTS	ELEC HEAT	VOLTAGE	O.A. CFM	EER
AHU-1	1400	41500	---	---	.75"	3/4	49.3	10 KW	208V/3PH	---	---
CU-1	---	---	---	---	---	---	21.6MCA	---	208V/1PH	---	---
EF-1,2	80	---	---	---	1.00"	1/3	5	---	120V/1PH	---	---



WASTE & VENT PIPING RISER DIAGRAM  
SCALE: NONE



H & C.W. PIPING RISER DIAGRAM  
SCALE: NONE

**PLUMBING GENERAL NOTES**  
All Plumbing and Mechanical work shall comply with local administrative authority codes and regulations. Comply with the 2015 CODEs and City of San Antonio, Texas Ammendments. And the INTERNATIONAL ENERGY COMPLIANCE CODE 2015 Code.

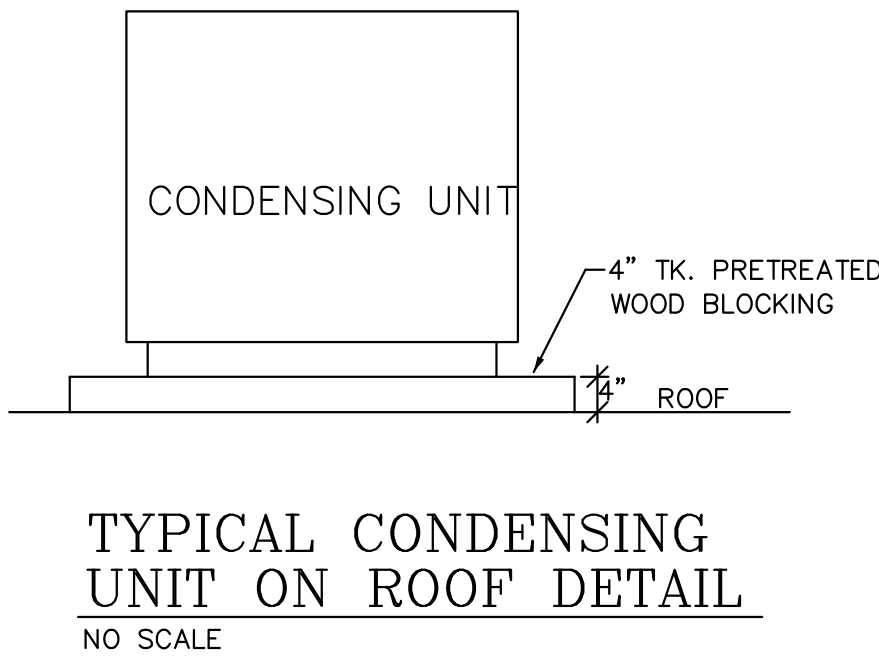
**PLUMBING:**  
All faucets shall comply with flow requirements as per Table 604.4 of the Plumbing Code. Coordinate all work with other trades to avoid any conflicts. Contractor shall familiarized himself with all the drawings prior to submitting bid. Contact Architect as soon as possible to note any discrepancies, prior to bid.

All interior water piping shall be copper type L or M with fittings. Hang piping each 6'-0". Perforated flat hanger strap is NOT acceptable. Insulate all CW and HW piping with 1" thick preformed fiberglass insulation with cover. Install as per manufacturer's written installation instructions.

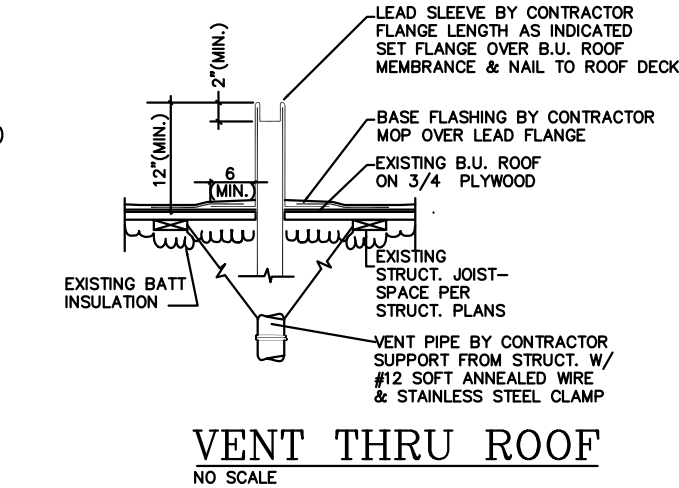
All valves shall be ball valves. All sanitary sewer piping shall be schedule 40 PVC. with DWV fittings. Provide cleanouts under each lavatory or sink and where indicated on the drawings. Vents thru roof shall be terminated a min. of 12" above horizontal roof or as per Code.

**MECHANICAL:**  
All supply and return air ductwork shall be either ductboard 1 1/2" thick, or flexible U.L. Listed 181. All branch take-offs shall be provided with air scoops. All supply air devices shall be provided with adjustable volume dampers. Toilet exhaust ductwork may be round sheet metal or metallic flexible aluminum duct. All flexible duct take-offs shall be provided with air scoops. Provide volume dampers, where accessible above ceilings. Drawings are diagrammatic and do not indicate all offsets, elevations or obstacles, therefore Contractor shall plan his duct routing so as to avoid any conflict with roof framing members. Ductwork shall be laid as straight as possible with minimum turns and bends. Hang ductwork every 6'-0" max. Coordinate all air device locations with lighting layout and with architectural features as directed by Architect.

Drawings are diagrammatic and do not indicate all offsets, elevations or obstacles, therefore Contractor shall plan his work in reference to other trades.

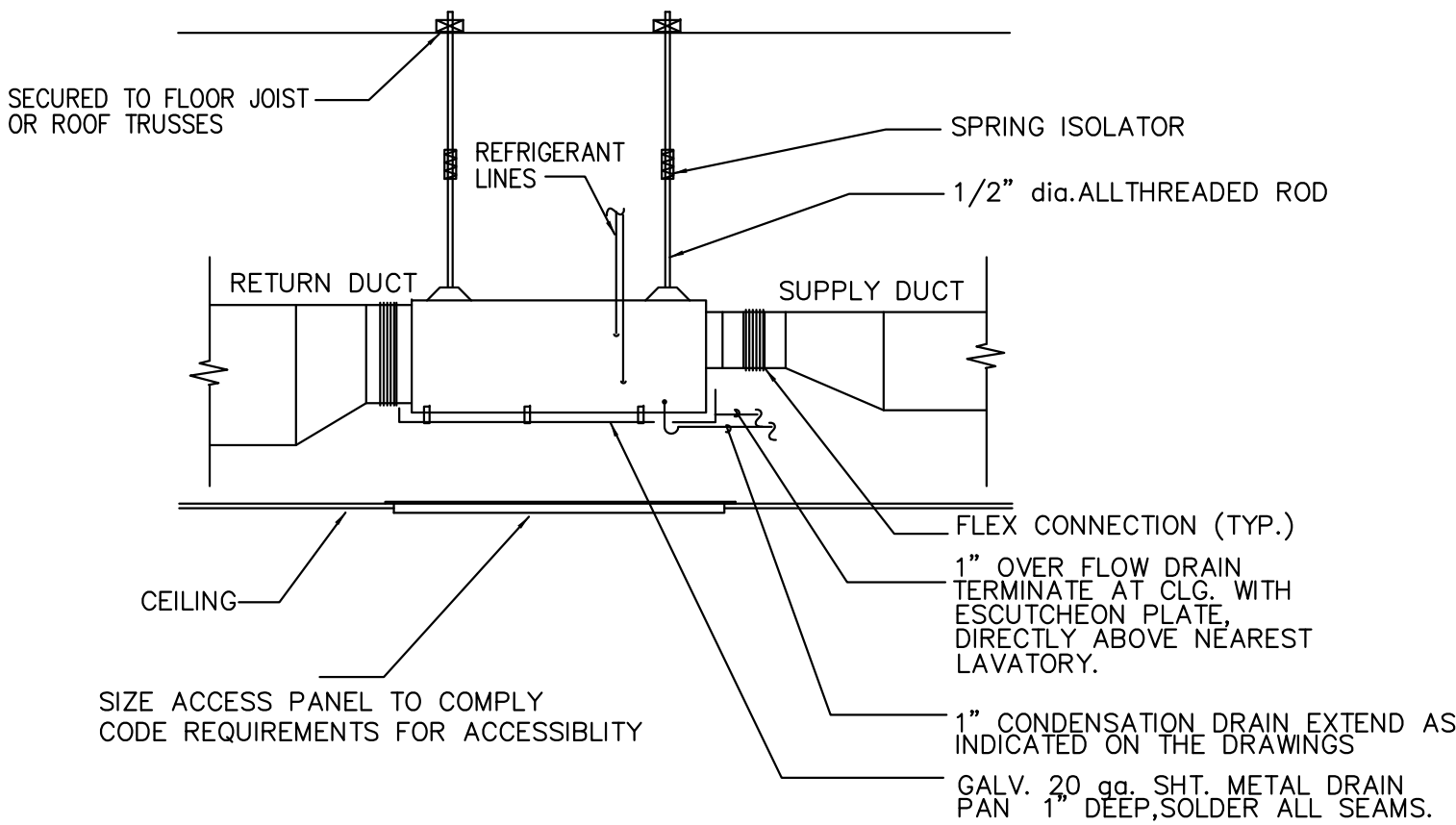


TYPICAL CONDENSING UNIT ON ROOF DETAIL  
NO SCALE

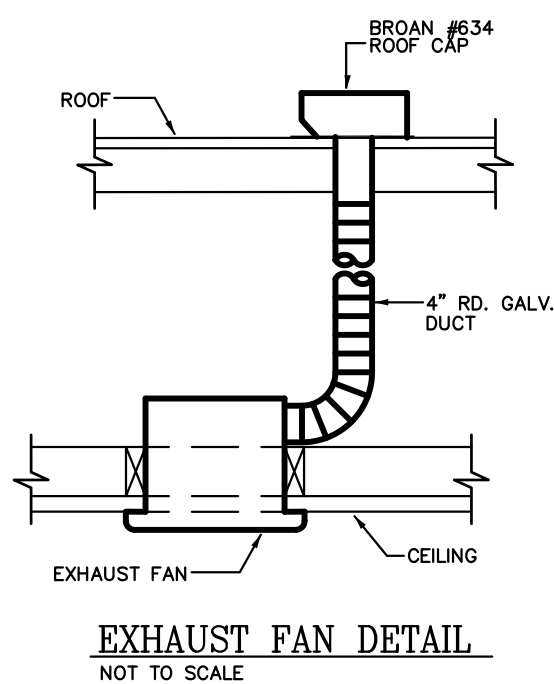


VENT THRU ROOF  
NO SCALE

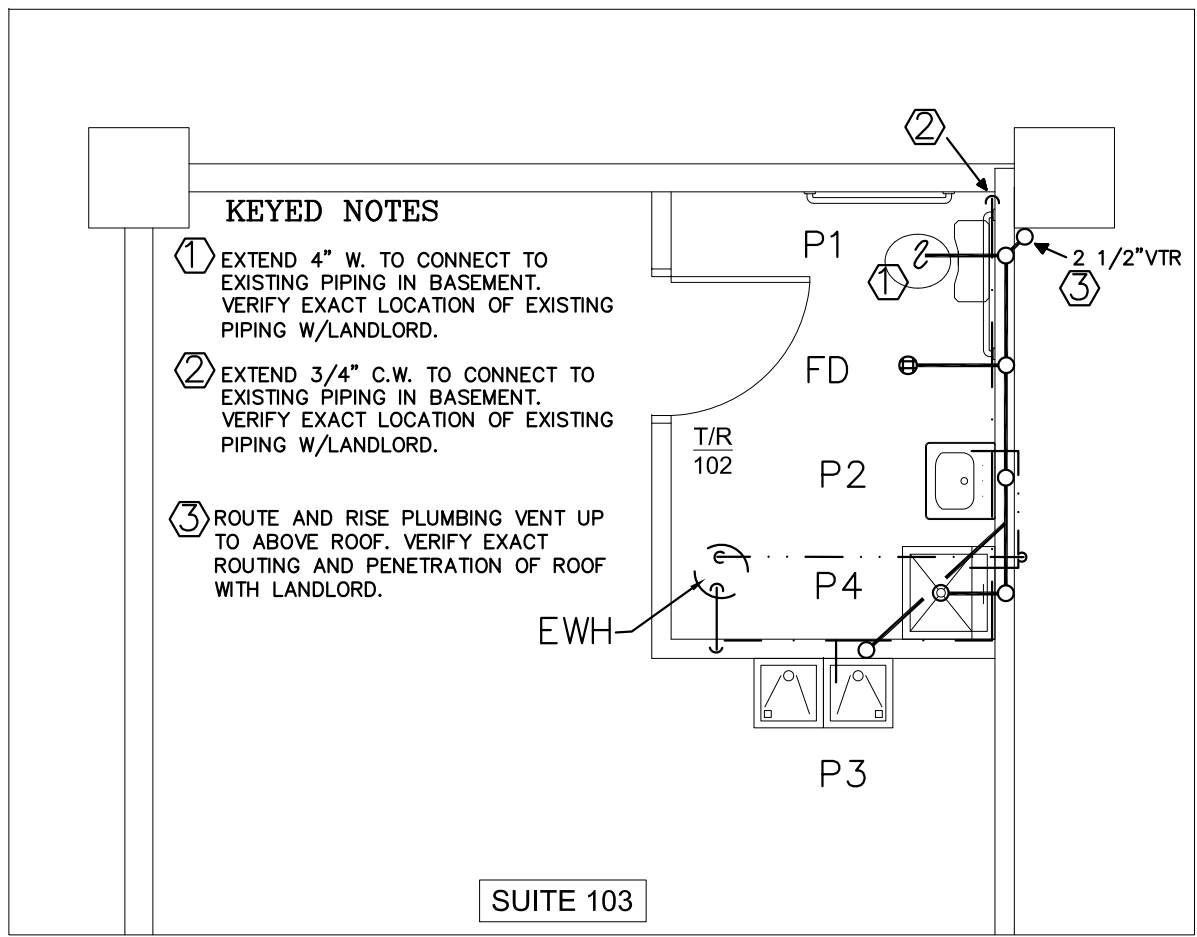
SYMBOL	DESCRIPTION
	SPLITTER DAMPER
	TRANSITION
	DUCT W/ SIZE
	PLAN / VERTICAL DIMENSION
	SUPPLY DUCT SECTION
	RETURN DUCT SECTION
	FLEX DUCT
	LAY-IN CEILING DIFFUSER
	DIFFUSER SYMBOL MARK/ NECK/ CFM
	SURFACE MOUNTED SUPPLY GRILLE
	THERMOSTAT
	SUPPLY AIR
	RETURN AIR
	EXHAUST FAN
	EXPANSION TAKEOFF WITH VOLUME DAMPER - SEE DETAIL



TYPICAL -ELECTRIC AIR HANDLER FOR ABOVE THE CEILING DETAIL  
SCALE: NONE



EXHAUST FAN DETAIL  
NOT TO SCALE



TOILET ROOM PLUMBING FLOOR PLAN SCALE: 1/4"=1'-0"

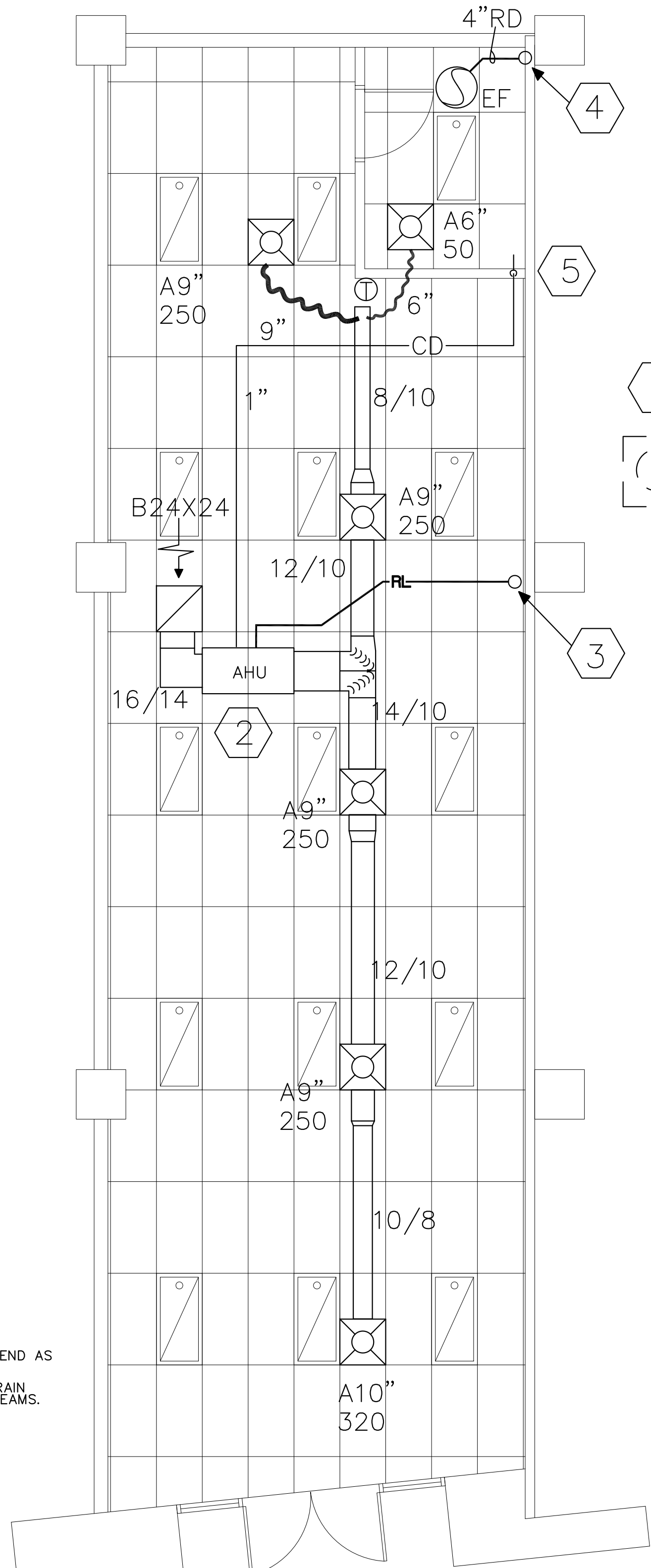
**KEYED NOTES-HVAC FLOOR PLAN**  
LOCATE CONDENSING UNIT ON ROOF. PROVIDE WOOD SKIDS AS INDICATED ON DETAIL. VERIFY LOCATION WITH LANDLORD PRIOR TO INSTALLING.

LOCATE AHU IN ATTIC. REFER TO DETAIL THIS SHEET.

ROUTE AND RISE REFRIGERANT LINES UP TO CU ON ROOF. VERIFY EXACT ROUTING WITH LANDLORD.

ROUTE AND RISE 4"RD EXHAUST DUCT UP THROUGH FLOOR AND TERMINATE WITH APPROVED FLASHING AND COUNTER FLASHING AND CAP. VERIFY EXACT ROUTING WITH LANDLORD.

SPILL C.D. ONTO SERVICE SINK



HVAC FLOOR PLAN SCALE: 1/8"=1'-0"

**CBG**  
4629 Macro Drive  
San Antonio, Tx 78218  
(210) 424-8000

**CBG**  
Commercial Real Estate



9/30/2016

**D MEP DESIGN, INC.**  
Mechanical Engineering  
1500 N. W. Military Hwy. #11  
San Antonio, TX 78213  
P: 210-442-9799  
F: 210-442-9799  
G: 210-442-9799

INTERIOR FINISH-OUT,  
SUITE 103 METRO PCS  
201 W. COMMERCE ST SAN ANTONIO, TX 78205

REVISIONS

PROJECT NO.  
16-102  
DATE  
6/13/2016

SHEET

**M-1**  
OF SHEET



PROJECT ELECTRICAL SYMBOLS	
MARK	DESCRIPTION
	RECEPTACLE
	GROUND FAULT INTERCEPTOR RECEPTACLE
	SWITCH
	PANELBOARD
	DISCONNECT SWITCH
	SWITCH LEG
	HOMERUN
	EXIT LIGHT
	EXHAUST FAN
	EMERGENCY LIGHT
	NIGHT LIGHT-LEAVE UNSWITCHED

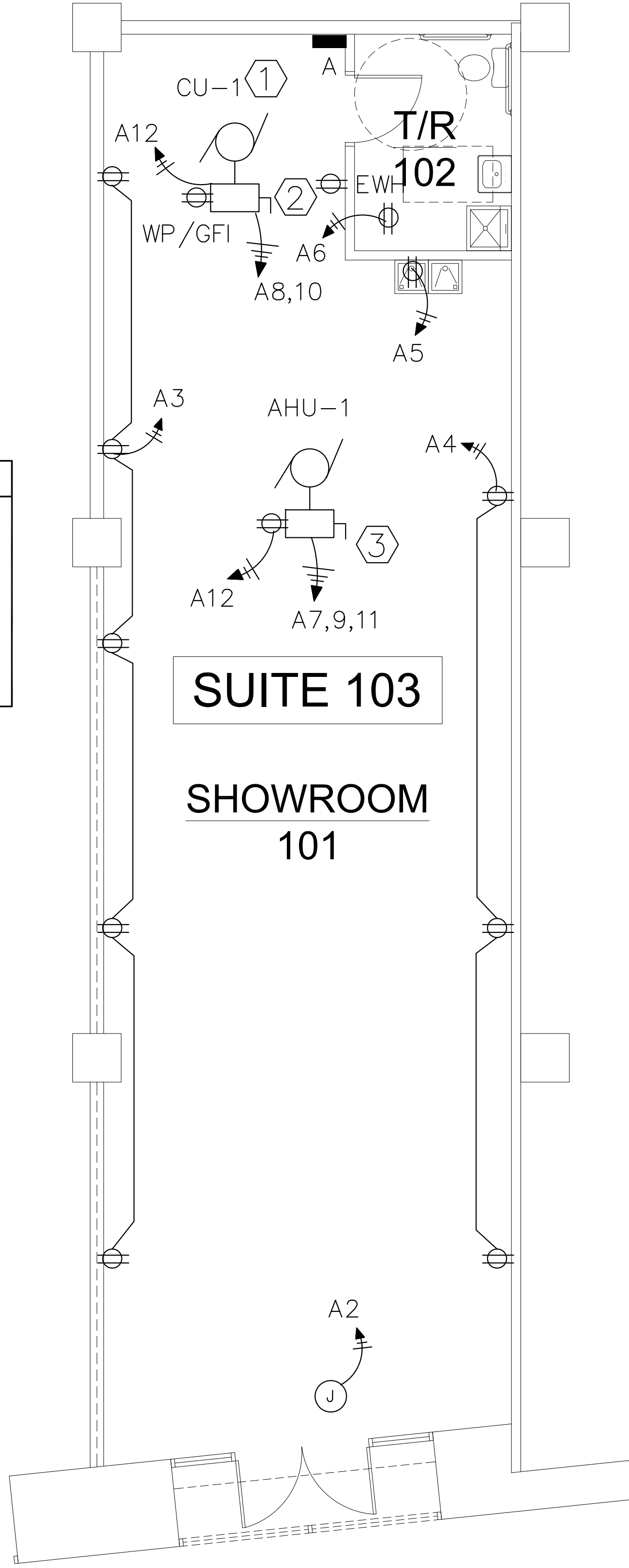
ELECTRICAL PANEL SCHEDULE											
NO. OF RECEPT.	DESCRIPTION OF LIGHTING	EQUIPMENT	TRIP TOTAL	A	B	C	TOTAL TRIP	EQUIPMENT	DESCRIPTION OF LIGHTING	NO. OF RECEPT.	
1	FLUORESCENT		20 1000	1			2 500	20	X		
1	X		20 800	1			2 540	20	X		
1	EDF		20 800	1			2 1500	20	EWI	X	
1	X	AMU	40 3750	7			6 1350	20	CU	X	
1	X		20 1300	9			10 1350		*		
1	X		3750	11			12 180	20	X		
1	X	SPACE	20 150	13			14 320	20	SPACE		
1	X		20 500	15							
1	X		20 500	17							
1	X		20 500	19							
1	X		20 500	21							
1	X		20 500	23							
1	X		20 500	25							
1	X		20 500	27							
1	X		20 500	29							
1	X		20 500	31							
1	X		20 500	33							
1	X		20 500	35							
1	X		20 500	37							
1	X		20 500	39							
1	X		20 500	41							
				42							
PANEL		TOTAL WATTS:	A	7160					VOLTS: 120/208		
"A"			B	7040					AMPS: 57		
SPACE			C	6350					3 PHASE / 4 WIRE		
		TOTAL CONNECTED LOAD:		20550					MAIN: 100 MLO		

ELECTRICAL LOAD ANALYSIS		
	S.F.	VA
LIGHTING	25885 X 3.5W=	90597.5
A/C	NOT USED	
ELEC HTG		120000
WATER HTG		30000
ELEVATOR		18500
MISC.		12000
VIA SPACE WATTS		23000
TOTAL WATTS		294097.5
TOTAL AMPS		817.3007
TOTAL AMPS	X 1.25	1021.626

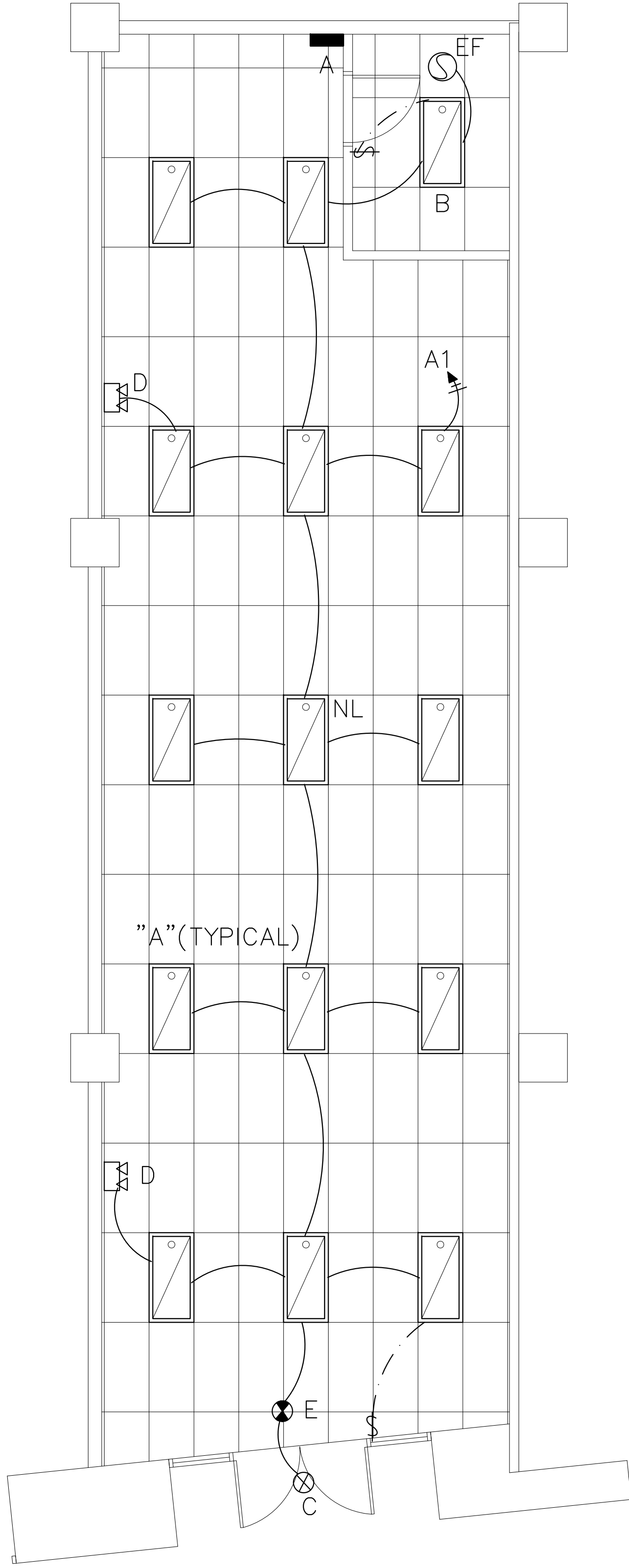
NOTE: GROUNDING SYSTEM SHALL COMPLY WITH ONE OR MORE OF THE ELECTRODES AVAILABLE AS PER NEC 250.52-A4 THRU

LIGHTING FIXTURE SCHEDULE	
A	FLUORESCENT RECESSED 2'X4' FIXTURE WITH 3-32W-T-5 LAMPS,120V/1PH. CLASS P,HPF,A+ ELECTRONIC BALLAST.
B	FLUORESCENT RECESSED 2'X4' FIXTURE WITH 2-32W-T-5 LAMPS, 120V/1PH. CLASS P, HPF,A+ ELECTRONIC BALLAST.
C	EMERGENCY LIGHT, WALL MOUNTED BRACKETT, 120V/1PH. #AFN-PREM-2-6W XNEON LAMPS WITH EMERGENCY BATTERY PACK
D	COMBINATION EXIT/EMERGENCY LIGHT, UNIVERSAL MOUNTING BATTERY PACK, U.L. LISTED, 120V/1PH
NL	NIGHT LIGHT: LEAVE THIS LIGHT UNSWITCHED.

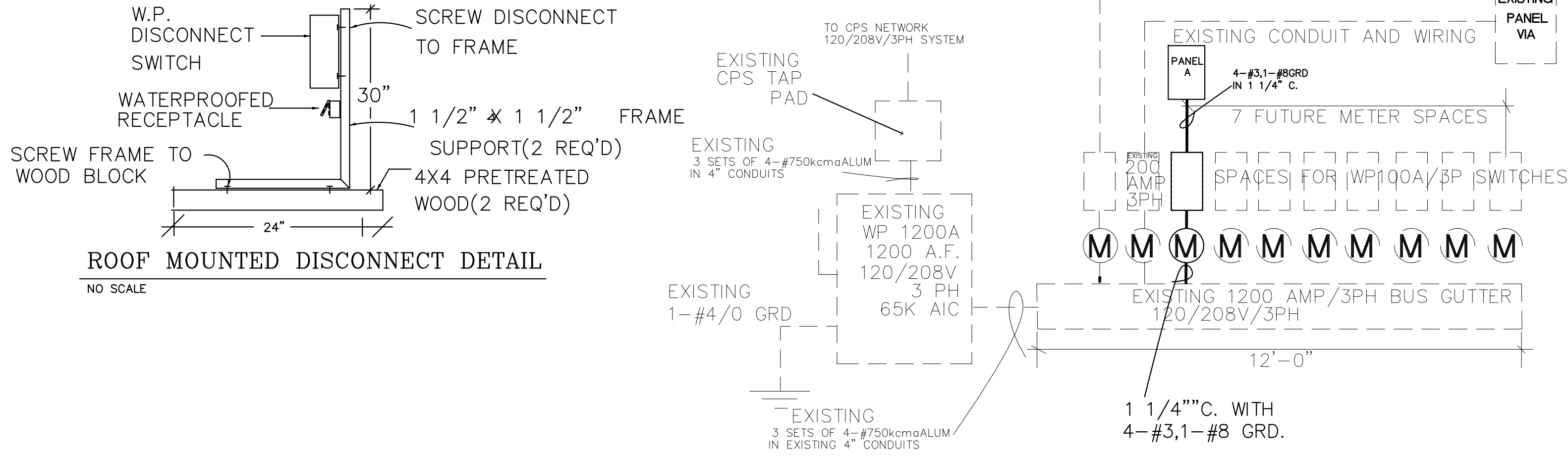
- KEYED NOTES
- CONDENSING UNIT ON ROOF
  - 30A/3P(R3)
  - 60A/3P(IN ATTIC)



POWER FLOOR PLAN  
NO SCALE



LIGHTING FLOOR PLAN  
NO SCALE



RISER DIAGRAM  
NO SCALE

ELECTRICAL GENERAL NOTES AND SPECIFICATIONS

All work shall comply with the applicable rules of the National Electrical Code, the National Electrical Safety Code, City of SAN ANTONIO, Texas Local Codes, the National Fire Codes (published by National Fire Protection Association), FEDERAL REGISTER VOL. 56, NO. 144 RULES AND REGULATIONS for A.D.A. as well as any other authorities that may have lawful jurisdiction pertaining to the work specified.

Pay all fees and charges imposed by utility company.

Provide new telephone service and company for their requirements to provide services to project.

Coordinate all work with other trades to avoid any conflicts. Contractor shall familiarized himself with all the drawings prior to submitting bid.

Contact Owner as soon as possible to note any discrepancies, prior to bid.

Drawings are diagrammatic and do not indicate all offsets, elevations or obstacles, therefore Contractor shall plan his work in reference to other trades.

Wiring shall be U.L. Listed and shall be (COPPER)THHN, RHW or XHHW.

Exterior conduit shall be E.M.T. or Rigid, PVC or Flexible metal conduit as allowed by Code.

Interior conduit shall be E.M.T. or Flexible metal conduit as allowed by Code.

Colors for all receptacles and light switch cover plates be IVORY or WHITE.

All electrical devices shall be U.L. Listed and installed as per the applicable NEC code.

The electrical system shall be grounded in accordance with Article 250 of the National Electrical Code. All work shall comply with the International Energy Conservation Code 2015.

CBG  
4629 Macro Drive  
San Antonio, Tx 78218  
(210) 424-8000



9/30/2016

D.M.E.P. DESIGN, INC.  
Mechanical Engineering  
P-3648  
TEL: (210) 976-9999  
FAX: (210) 976-9999  
2000 S.W. MILITARY HWY. STE. #11  
SAN ANTONIO, TX 78213

INTERIOR FINISH-OUT,  
SUITE 103 METRO PCS

201 W. COMMERCE ST SAN ANTONIO, TX 78205

REVISIONS

PROJECT NO.  
16-102  
DATE  
5/26/2016

SHEET  
E-1

OF SHEET