

## **HISTORIC AND DESIGN REVIEW COMMISSION**

**July 20, 2016**

**Agenda Item No: 23**

**HDRC CASE NO:** 2016-278  
**ADDRESS:** 222 E MITCHELL ST  
203 FELISA  
215 FELISA  
**LEGAL DESCRIPTION:** NCB 3975 B:1 L: 1-4,6-10,17- 24,29, N IRR PT 25,E IRR 384 OF A29,A-31A, &  
ADJ 16'STRIP  
**ZONING:** MF33 H RIO-4 MPOD-1  
**CITY COUNCIL DIST.:** 3  
**DISTRICT:** Mission Historic District  
**APPLICANT:** Mark Tolley/210 Development Group  
**OWNER:** Archdiocese of San Antonio  
**TYPE OF WORK:** Final approval of the redevelopment of St John's Seminary  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish eight buildings on the St. John's Seminary property and two, single family residences as non-contributing structures. The demolitions are identified on the demolition site plan as buildings 5, 8, 9, 10, 11, a, c, d, e and f.
2. The rehabilitation of St. Mary's Hall, Drossaerts Hall and Megil Hall.
3. The construction of seven new structures.

### **APPLICABLE CITATIONS:**

Secretary of the Interior's Standards for Rehabilitation number 9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

#### **10. Commercial Facades**

#### **B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)**

ii. Historical commercial facades—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

#### **1. Building and Entrance Orientation**

#### **A. FAÇADE ORIENTATION**

i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of

setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

## 2. Building Massing and Form

### A. SCALE AND MASS

- i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

### B. ROOF FORM

- i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

### C. RELATIONSHIP OF SOLIDS TO VOIDS

- i. Window and door openings—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.
- ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

## 3. Materials and Textures

### A. NEW MATERIALS

- i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
- ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
- v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

## UDC Section 35-614. Demolition.

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners. (3)Property Located in Historic District and Contributing to District Although Not Designated a Landmark. No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided is

subsection (c)(3) in order to receive a certificate for demolition of the property.

Sec. 35-673. - Site Design Standards.

(c)Topography and Drainage.

(4) Enhance or Incorporate Acequias Into The Landscape Design and Drainage Scheme of the Site. Where archeological evidence indicates a site contains or has contained a Spanish colonial acequia, incorporate the original path of the acequia as a natural drainageway or a landscape feature of the site by including it as part of the open space plan, and a feature of the landscape design.

Sec. 35-680. - Demolition of Historic Features in the Riverwalk Overlay Districts.

(c)Topography and Drainage.

(a) Other Items of Historic or Archaeological Interest. No certificate shall be issued for demolition of such historic and archaeological features dating from Spanish Colonial times including but not limited to acequias, dams, aqueducts, old mills, trailways, and other river related features or similar items.

UDC Section 35-675. Archaeology.

When an HDRC application is submitted for commercial development projects within a river improvement overlay district

the city archeologist shall review the project application to determine if there is potential of containing intact archaeological deposits utilizing the following documents/methods:

(1)The Texas Sites Atlas for known/recorded sites, site data in the files of the Texas Archeological Research Laboratory and the Texas Historical Commission;

(2)USGS maps;

(3)Soil Survey maps;

(4)Distance to water;

(5)Topographical data;

(6)Predictive settlement patterns;

(7)Archival research and historic maps;

(8)Data on file at the office of historic preservation.

If after review the city archeologist determines there is potential of containing intact archaeological deposits, an archaeological survey report shall be prepared and submitted. If, after review by the city archeologist, a determination is made that the site has little to no potential of containing intact archaeological deposits, the requirement for an archaeological survey report may be waived.

Upon completion of a survey, owners of property containing inventoried archaeological sites are encouraged to educate the public regarding archaeological components of the site and shall coordinate any efforts with the office of historic preservation.

**FINDINGS:**

- a. The St. John's Seminary campus first opened at this location in 1920 with the construction of the main, 3-story building located to the northeast of Mission Concepcion. A second building, Margil Hall, was constructed in 1935 to the rear of the main seminary building. St. Mary's Hall, to the north along Mitchell Street, was constructed in 1949. Several other buildings were constructed after 1951, including the chapel immediately to the east of the Mission Concepcion. Other site features include an allée of trees between Mission Road and the main seminary building, multiple sports courts and a historic koi pond.
- b. At the June 17, 2015, HDRC Hearing, the HDRC found structures 5, 9 and 10 to be contributing as recommended by OHP staff and that every attempt should be made to relocate these structures within the Mission Historic District. The applicant has noted that the relocation of the structures 9 and 10 do not qualify for transport. The HDRC found the remaining structures, 8, 11, a, c, d, e and f to be eligible for demolition to be approved administratively.
- c. Conceptual approval of the proposed new construction was also granted at the June 17, 2015, HDRC Hearing with the stipulations that the applicant incorporate additional materials such as brick and cast stone in order to

more appropriately complement the surrounding structures, that the applicant incorporate additional architectural details, that the applicant incorporate contemporary architectural details and that an archaeological investigation is required.

- d. This request was reviewed by the Design Review Committee on June 22, 2016, who noted that the existing structures should be taken into consideration as a buffer between the new construction and Mission Concepcion, that board and batten siding is appropriate, that brick would further complement the historic structures on site and that terra cotta roof tiles were preferred over composite shingles.
- e. REHABILITATION – The applicant has proposed to rehabilitate and restore St. Mary’s Hall, Drossaerts Hall and Margil Hall which includes the repair to original brick, limestone, cast stone, clay roof tiles, wood windows and casement windows. The applicant’s proposed rehabilitative efforts are appropriate and consistent with the Guidelines.
- f. MISSION PROTECTION OVERLAY DISTRICT – This project falls within the MPOD and exceeds the height requirements. The applicant has provided a line of sight study noting the distance at which the proposed new construction exceeds allowable height. Additionally, the applicant has provided staff with various other diagrams noting existing structures and trees which will limit the view of the proposed new construction from Mission Concepcion. Staff recommends the applicant provide a to scale elevation drawing to ensure that no new construction will be visible from Mission Concepcion.
- g. SETBACKS – The applicant has presented a site plan which uniquely positions each new structure to have a setback that is consistent throughout the site, be oriented toward both the interior courtyard as well as address each street and feature primary entrance orientations that are situated to respond to the automobile circulation of the site. This is consistent with the Guidelines for New Construction 1.A.
- h. SCALE & MASS – The existing, contributing structures at St. John’s Seminary feature both one and multiple story structures. The applicant has proposed a series of one, two and three story structures which vary in height at various locations. The applicant has proposed for each structure to feature height transitions as well as similar floor heights as the existing, contributing structures. This is consistent with the Guidelines for New Construction 2.A.
- i. ROOF FORM – Many of the existing, contributing structures at St. John’s Seminary feature moderately pitched ridged hipped roofs. The applicant has proposed for each of the new structures to have similar roofs. This is consistent with the Guidelines for New Construction.
- j. RELATIONSHIP OF SOLIDS TO VOIDS – According to the Guidelines for New Construction 2.C. in regards to the relationship of solids to voids, the applicant has proposed a façade arrangement which features proportionately sized windows and facades which feature a base, midsection and cap. This is consistent with the Guidelines.
- k. LOT COVERAGE – With the construction of multiple new structures, the applicant will be covering a large percentage of the available lot space, however, the existing Seminary structures provide the precedent with a campus-like design. Staff finds the applicant’s proposed site design appropriate and consistent with the Guidelines for New Construction D.i.
- l. MATERIALS – The applicant has proposed materials which include cement plaster, Hardi board and batten siding, fiberglass or vinyl windows and doors, cast stone trim, wood trim and barrel tile roofing. Generally, the applicant’s proposed materials are appropriate; however, staff recommends the applicant use fiberglass windows.
- m. WINDOWS – As previously mentioned, staff recommends the applicant use fiberglass windows. Additionally, staff recommends the applicant inset each window at least two to three inches within walls.
- n. ARCHITECTURAL DETAILS – New structures in historic districts should be designed to reflect their own time while respecting the historic context of the district. Staff finds that since conceptual approval, the applicant has incorporated additional materials that separate and define various levels and functions of the proposed facades. Additionally, staff finds that the incorporation of Hardi board on the interior contributes to the overall lowering of mass and scale.
- o. LANDSCAPING – The applicant has proposed parking internally within the site to be surrounded by the proposed new construction and historic structures. Additionally, the applicant has proposed surface parking at the corner of Mission Road and E Mitchell. The applicant has proposed to maintain the existing trees and to install new fencing to serve as a buffer between the proposed parking lot and the public right of way. Within each proposed parking lot, the applicant has proposed to install trees on parking islands and maintain islands of grass throughout. Staff finds this appropriate.
- p. ARCHAEOLOGY – The property is within the River Improvement Overlay District, the local Mission Historic District, the Mission Parkway National Register of Historic Places District, the Mission Concepcion National



Register of Historic Places District, and the recorded Battle of Concepcion battlefield area. Furthermore, the project footprint is within the site boundaries of previously recorded archaeological site 41BX12, which is also a registered State Antiquities Landmark (SAL). Under state law, the SAL designation mandates that the development project will require coordination with the Texas Historical Commission prior to the commencement of construction efforts. In addition, as illustrated on historic maps, the property is traversed by the Pajalache or Concepcion Acequia, a registered National Historic Civil Engineering Landmark. Human remains have also been recorded next to this project area, and could possibly extend into the property. The development project shall comply with the Health and Safety Code of Texas, a state law regarding human remains. The archaeology consultant should submit the scope of work to the Office of Historic Preservation (OHP) for review and approval prior to the commencement of field efforts. Archaeological investigations shall be required for the project area.

## **RECOMMENDATION:**

Staff recommends approval based on finding a through m with the following stipulations:

- i. That the applicant provide a to scale elevation drawing to ensure that no new construction will be visible from Mission Concepcion.
- ii. That the applicant provide additional information regarding the inability to relocate 203 and 215 Felisa as well as a plan for salvaging.
- iii. That the applicant use fiberglass windows instead of vinyl and that they be inset at least two to three inches within walls.
- iv. That the applicant provide a detailed landscaping plan.
- v. Archaeological investigations are required. The archaeological scope of work should be submitted to the OHP archaeologists for review and approval prior to the commencement of field efforts. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

## **CASE MANAGER:**

Edward Hall









ARCHITECTS

30Impulse











3D Impulse







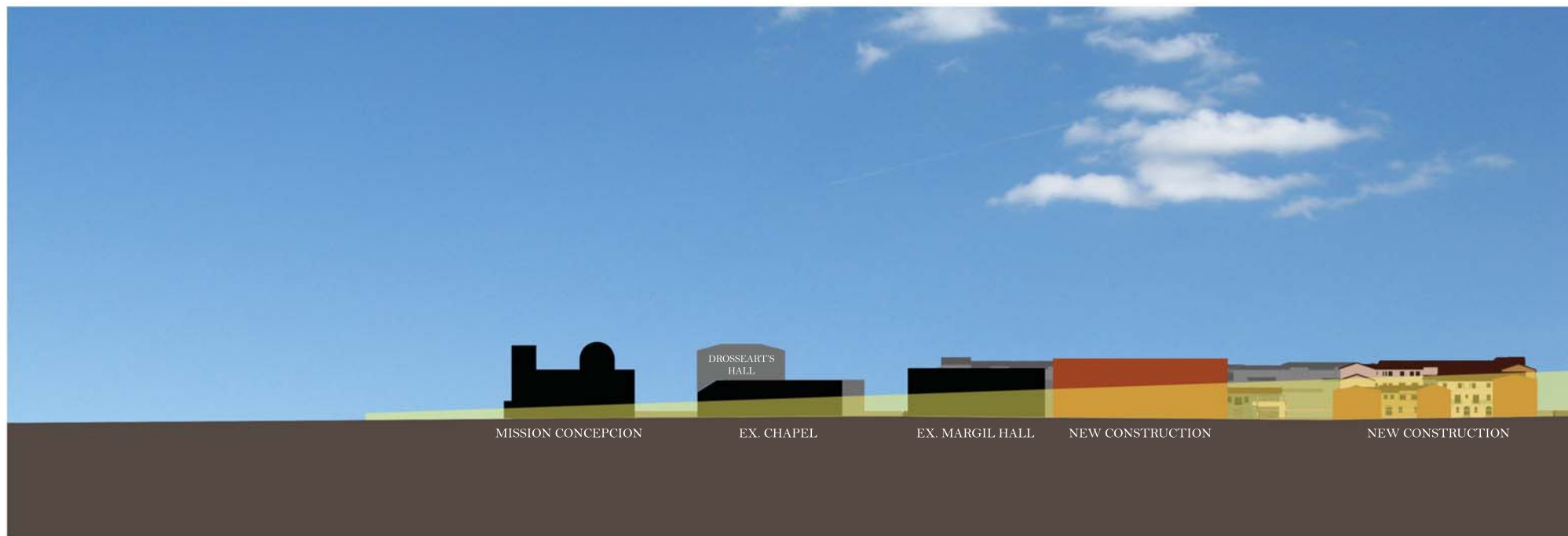






ARCHITECTS

3D impulse



07.01.2016



# ST. JOHN'S APARTMENTS

## Mission Overlay Protection District Section

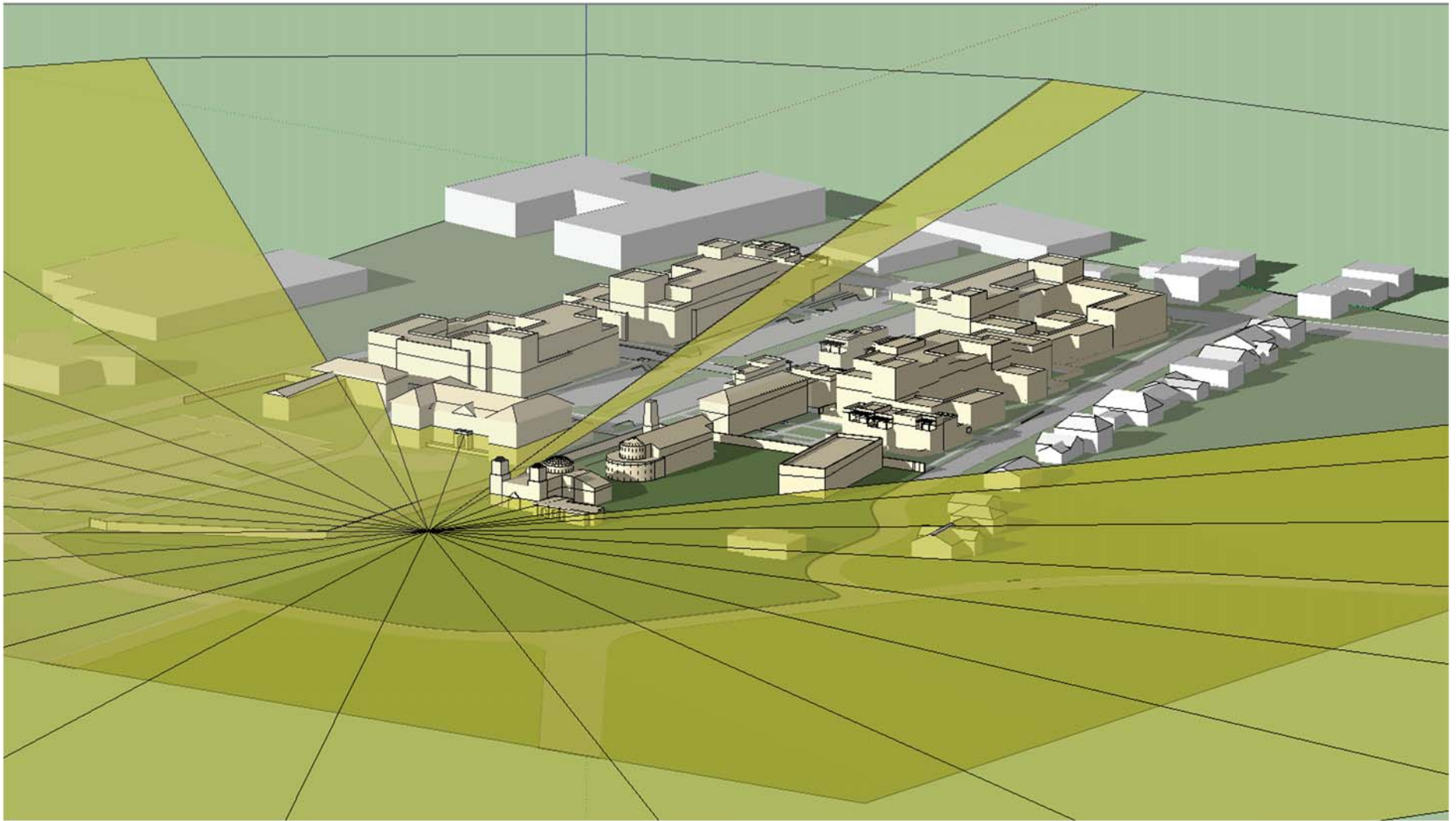


# ST. JOHN'S APARTMENTS

MPOD Visibility Study w/o Heritage Tree Canopy Obstruction

07.01.2016

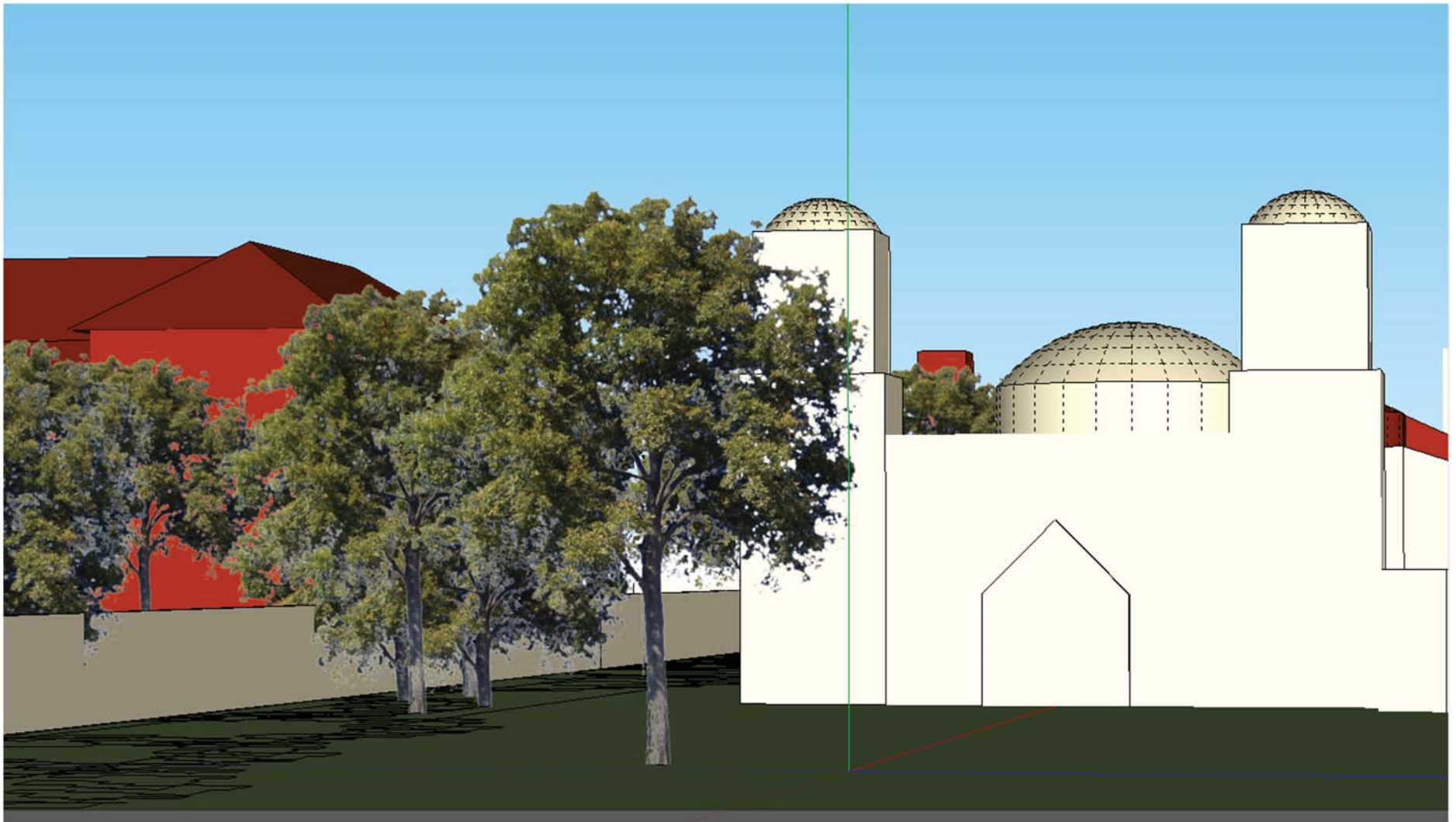




**MODELED VIEW FROM MPO MARKER w/o EXISTING TREES**



**MODELED VIEW FROM MPO MARKER w/o EXISTING TREES**



**MODELED VIEW FROM MPO MARKER W/ EXISTING TREES**



























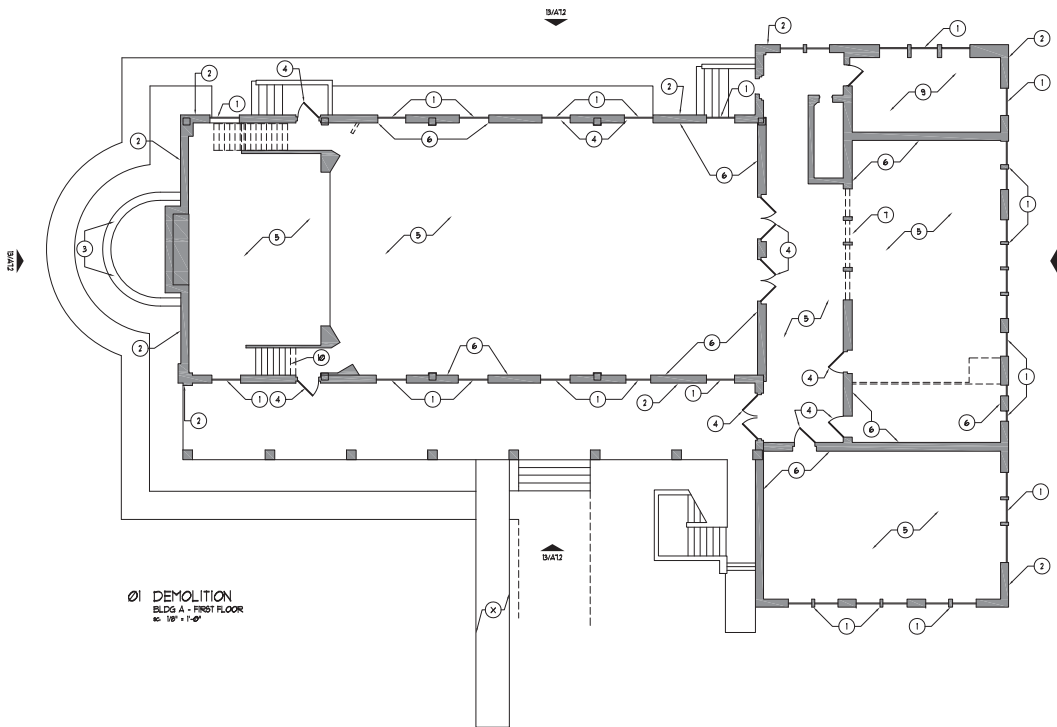
# St. John's Seminary Redevelopment - Demo Site Plan

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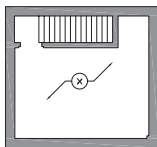
# St. John's Seminary Redevelopment

Renovation Building Plans and Elevations

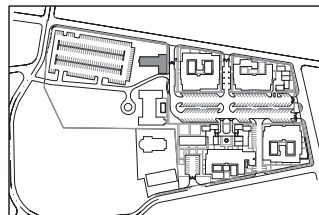




01 DEMOLITION  
BLDG A - FIRST FLOOR  
NO. 19' x 1-0'



02 DEMOLITION  
BLDG A - BASEMENT  
NO. 19' x 1-0'



03 KEY PLAN  
BLDG A  
NO. N/A



04 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



05 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



06 INTERIOR PHOTO  
DEMOLITION  
NO. N/A

#### KEYNOTES

1. SURVEY EXISTING WINDOW SILLAS, TRIMS, AND GLAZING. REPORT FINDINGS TO ARCHITECT AND OWNER. REMOVE IRREPARABLE WOOD AND UNDOOR. PATCH AND REPAIR WOOD TO REPAIR AND PREPARE TO RECEIVE NEW PAINT.
2. PATCH AND REPAIR EXISTING MASONRY WALL.
3. PATCH AND REPAIR EXISTING MASONRY PLANTER.
4. SURVEY EXISTING DOOR, TRIM, AND HARDWARE. REPORT FINDINGS TO ARCHITECT AND OWNER. REMOVE IRREPARABLE DOOR AND TRIM. SALVAGE HARDWARE. PATCH AND REPAIR WOOD TO REPAIR AND PREPARE TO RECEIVE NEW PAINT.
5. REMOVE EXISTING FLOORING TO SUBSTRATE. PATCH AND REPAIR CONCRETE AND PREPARE TO RECEIVE NEW FINISH.
6. PATCH AND REPAIR EXISTING WALL AND PREPARE TO RECEIVE NEW PAINT.
7. REMOVE EXISTING WINDOW.
8. REMOVE WALL CAREFULLY TO UNCOVER EXISTING WINDOW.
9. REMOVE ALL TOILET PARTITION AND BATHROOM FIXTURES. PROTECT EXISTING TILE DURING DEMOLITION.
10. REMOVE ALL FIRE DAMAGE. CLEAN, AND REPAIR AREA TO RECEIVE NEW WALL AND NEW FINISHES.
11. EXISTING DOOR TO REPAIR.
12. REMOVE EXISTING DOOR.
13. PATCH AND REPAIR PLAT ROOF AS NECESSARY.
14. REPLACE MISSING AND DAMAGED TILE TO MATCH EXISTING.

#### DEMOLITION - LEGEND

- EXISTING CONSTRUCTION
- WALLS TO BE REMOVED



09 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



10 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



01 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



08 INTERIOR PHOTO  
DEMOLITION  
NO. N/A



11 INTERIOR PHOTO  
DEMOLITION  
NO. N/A

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Issuance:  
Review Only Set: 07.01.2016

Revisions:

St. John's  
Apartments  
San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG. A  
BASEMENT & 1ST  
FLR PLANS - DEMO

When drawings and specifications  
specifications are to be an extension  
of a contract and shall remain the property  
of the architect. They are not to be  
used for other projects or extensions of  
this project without the architect's  
written consent with appropriate  
compensation for the architect.

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Checked By: --

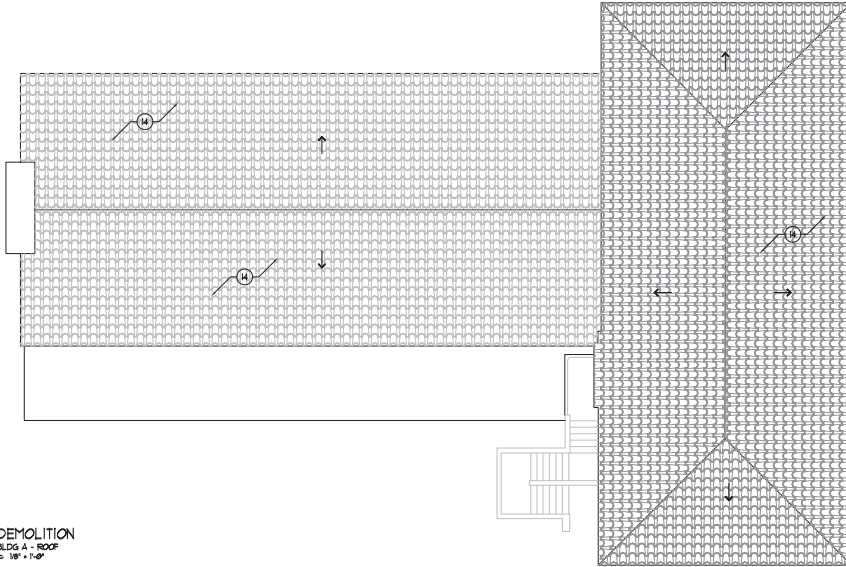
Project No. 14005

Date: 07/01/2016

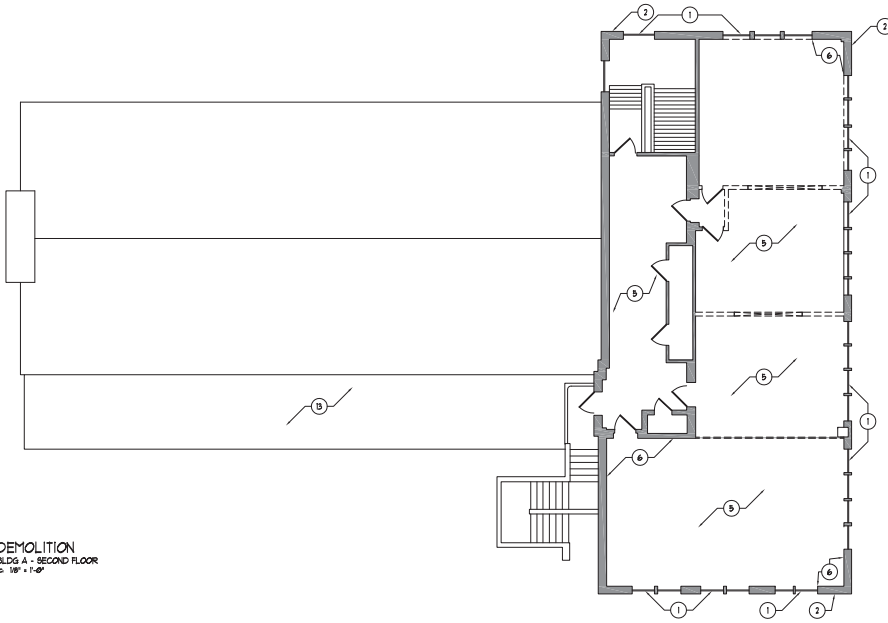
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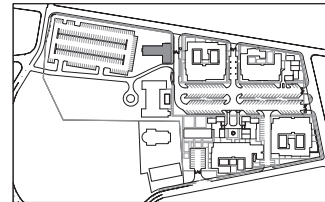
01 DEMOLITION  
BLDG A - ROOF  
SC: 1/8" = 1'-0"



02 DEMOLITION  
BLDG A - SECOND FLOOR  
SC: 1/8" = 1'-0"



03 KEY PLAN  
BLDG A  
SC: N/A



04 INTERIOR PHOTO  
DEMOLITION  
SC: N/A



05 INTERIOR PHOTO  
DEMOLITION  
SC: N/A



06 INTERIOR PHOTO  
DEMOLITION  
SC: N/A



#### KEYNOTES

1. SURVEY EXISTING WINDOW SILL, TRIM, AND GLAZING. REPORT FINDINGS TO ARCHITECT AND OWNER. REMOVE IRREPARABLE WOOD AND UNDOOR. PATCH AND REPAIR WOOD TO REPAIR AND PREPARE TO RECEIVE NEW PANEL.
2. PATCH AND REPAIR EXISTING MASONRY PLANTER.
3. PATCH AND REPAIR EXISTING MASONRY PLANTER.
4. SURVEY EXISTING DOOR, TRIM, AND HARDWARE. REPORT FINDINGS TO ARCHITECT AND OWNER. REMOVE IRREPARABLE DOOR AND TRIM. SALVAGE HARDWARE. PATCH AND REPAIR WOOD TO REPAIR AND PREPARE TO RECEIVE NEW PANEL.
5. REMOVE EXISTING FLOORING TO SUBSTRATE. PATCH AND REPAIR CONCRETE AND PREPARE TO RECEIVE NEW FINISH.
6. PATCH AND REPAIR EXISTING WALL AND PREPARE TO RECEIVE NEW PAINT.
7. REMOVE EXISTING WINDOWS.
8. REMOVE WALL CAREFULLY TO UNCOVER EXISTING WINDOWS.
9. REMOVE ALL TOILET PARTITION AND BATHROOM FIXTURES. PROTECT EXISTING TILE DURING DEMOLITION.
10. REMOVE ALL WIRE DAMAGE, CLEAN, AND REPAIR AREA TO RECEIVE NEW WALL AND NEW FINISHES.
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#### DEMOLITION - LEGEND

- EXISTING CONSTRUCTION
- WALLS TO BE REMOVED

07 INTERIOR PHOTO  
DEMOLITION  
SC: N/A



08 INTERIOR PHOTO  
DEMOLITION  
SC: N/A



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St. John's  
Apartments  
San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG. A  
2ND FLOOR & ROOF  
PLANS - DEMO

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Page

A3.2



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St. John's  
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Page Description

EXISTING BLDG. A  
ELEVATIONS  
DEMOLITION

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Project No. 14005

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Page

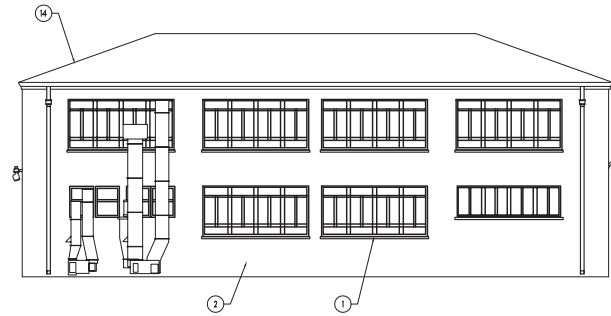
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#### KEYNOTES

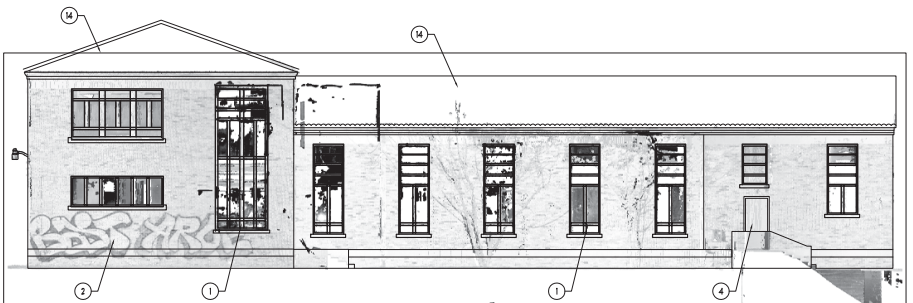
1. SURVEY EXISTING WINDOW SILLS, TRIMS, AND GLAZING. REPORT FINDINGS TO ARCHITECT AND OWNER. REMOVE IRREPARABLE WOOD AND UNDOUBT PATCH AND REPAIR WOOD TO REPAIR AND PREPARE TO RECEIVE NEW PAINT.
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10. REMOVE ALL FIRE DAMAGE. CLEAN AND REPAIR AREA TO RECEIVE NEW WALL AND NEW FINISHES.
11. EXISTING DOOR TO REMAIN.
12. REMOVE EXISTING DOOR.
13. PATCH AND REPAIR PLAT ROOF AS NECESSARY.
14. REPLACE MISSING AND DAMAGED TILE TO MATCH EXISTING.



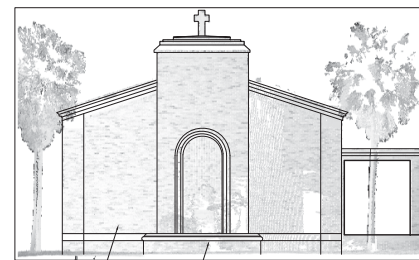
01 SOUTH ELEVATION  
EXISTING BLDG A  
sc. 1/8" = 1'-0"



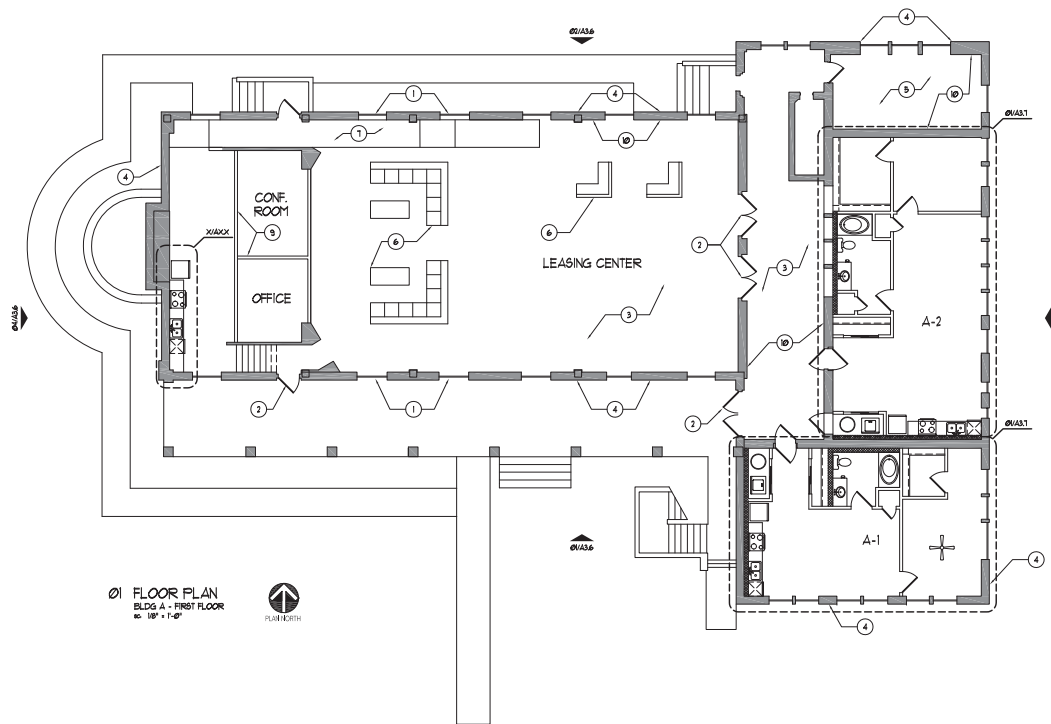
03 EAST ELEVATION  
EXISTING BLDG A  
sc. 1/8" = 1'-0"



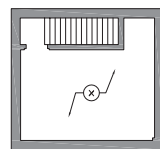
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EXISTING BLDG A  
sc. 1/8" = 1'-0"



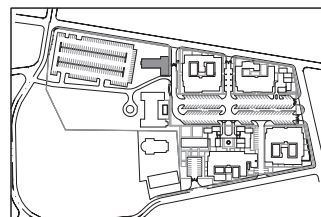
04 WEST ELEVATION  
EXISTING BLDG A  
sc. 1/8" = 1'-0"



01 FLOOR PLAN  
BLDG A - FIRST FLOOR  
AS SHOWN - 1/4" = 1'-0"



02 FLOOR PLAN  
BLDG A - BASEMENT  
AS SHOWN - 1/4" = 1'-0"



03 KEY PLAN  
BLDG A  
AS SHOWN - 1/4" = 1'-0"



## LEGEND

	WINDOW TYPE ID SYMBOL, REF. SHEET A210
	DOOR TYPE ID SYMBOL, REF. SHEET A210
	FURRED DOWN CEILING
	CORPORATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
	WALL MOUNTED VENT ONLY, REF. ELECT. DRAWINGS
	SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
	6" CAN LIGHT FIXTURE, REF. ELECT. DRAWINGS
	SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
	VINYL PLANK TILE NOTHING SHOWN INDICATES CARPET
	INDICATES CEILING HEIGHT
	3 1/2" STUD WALLS
	8" STUD WALLS W/ WOOD BLOCKING FOR GRAB BARS
	2x6 STUD WALL

## GENERAL NOTES

1. REFER TO SHEET A210 FOR SHOWER HEAD, FLUSHING FIXTURE, GRAB BARS AND TOILET ACCESSORY HEIGHTS.
2. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED.
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A 100W 115V EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTENDS UNDER ALL RANGES.
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BARE CABINETS.
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER.
7. REFER TO BLDG PLANS FOR RATED WALLS.
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DENOMINATIONS & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF UIC.
11. ALL DOORS NOT OTHERWISE NOTED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM.
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHUNG BRACING REQUIREMENTS.

## KEYNOTES

1. PAINT WINDOW SILLS AND TRIM.
2. PAINT DOOR AND TRIM.
3. NEW FLOORING AS SCHEDULED.
4. CLEAN AND RESTORE EXISTING EXTERIOR BRICK.
5. RE-GROUT EXISTING TILE FLOOR.
6. FURNITURE PROVIDED BY OWNER.
7. NEW RAMP.
8. NEW DOOR.
9. NEW 3'-10" STUD WALL.
10. PAINT WALLS, COLOR TO BE SELECTED BY OWNER.

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Issuance:  
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San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG, A  
BASEMENT & 1ST  
FLOOR PLANS

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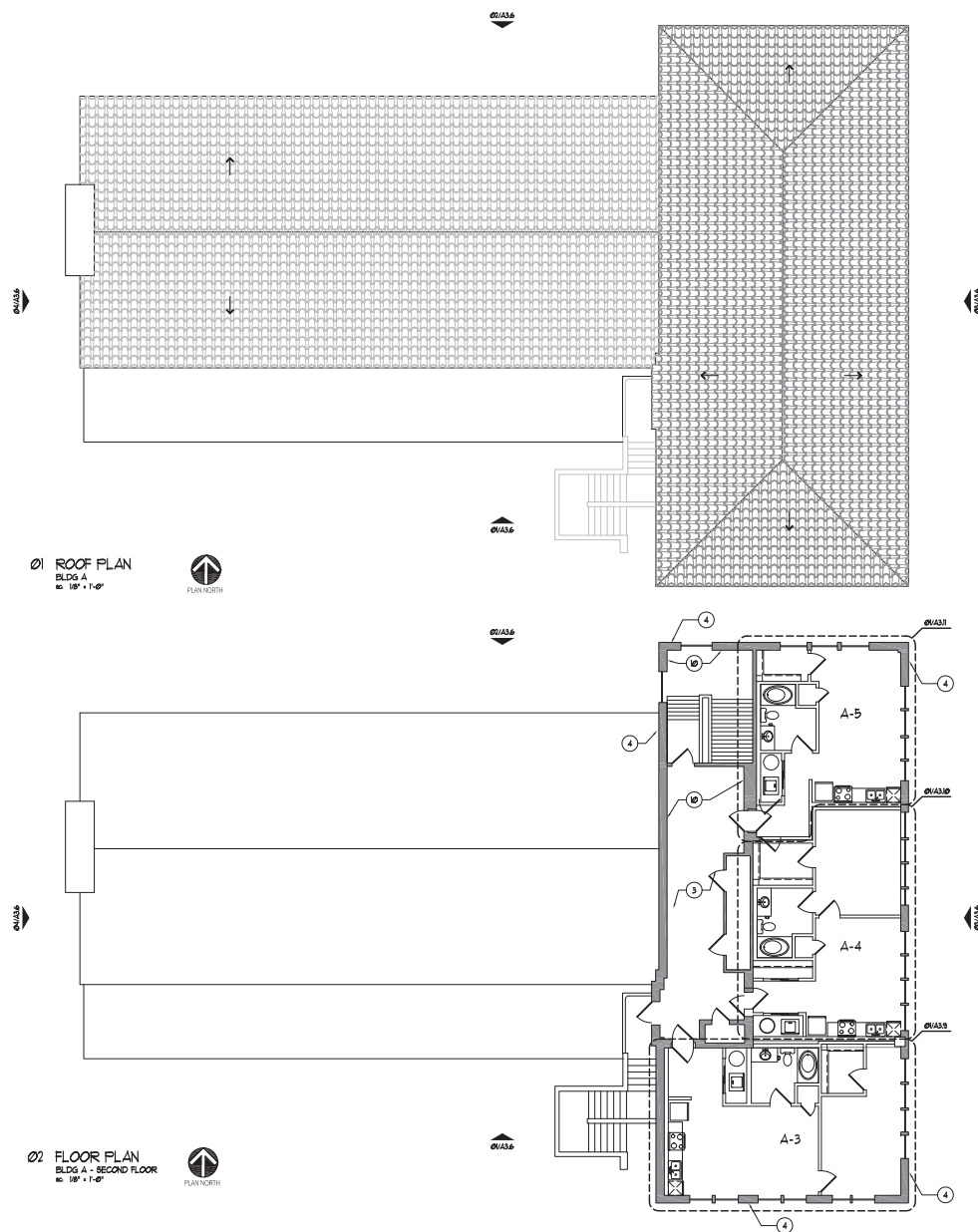
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Page

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# LEGEND

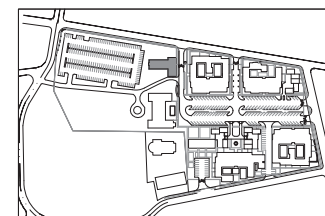
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- DOOR TYPE ID SYMBOL, REF. SHEET A210
- FURRED DOWN CEILING
- COORDINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 6" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- VINYL PLANK TILE
- NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STUD WALL

## GENERAL NOTES

- REFER TO SHEET A03 FOR SHOWER HEAD, FLUSHING FIXTURE, GRAB BARS AND TOILET ACCESSORY HEIGHTS
- ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED
- EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 24" WIDE FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN
- TILE EXTENDS UNDER ALL RANGES
- EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BARE CABINETS
- COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
- REFER TO BLDG PLANS FOR RATED WALLS
- TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
- FIELD VERIFY ALL CABINET SIZE DENOMINATIONS & FILLERS AS REQ.
- ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF UIC.
- ALL DOORS NOT OTHERWISE NOTED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
- CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANGS BEARING REQUIREMENTS

## KEYNOTES

- PAINT WINDOW SILLS AND TRIM
- PAINT DOOR AND TRIM
- NEW FLOORING AS SCHEDULED
- CLEAN AND RESTORE EXTERIOR BRICK
- RE-GROUT EXISTING TILE FLOOR
- FURNITURE PROVIDED BY OWNER
- NEW RAMP
- NEW DOOR
- NEW 3'-10" STUD WALL
- PAINT WALLS, COLOR TO BE SELECTED BY OWNER



03 KEYPLAN  
BLDG A  
at 1/8" = 1'-0"



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ROOF & 2ND  
FLOOR PLANS

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ELEVATION

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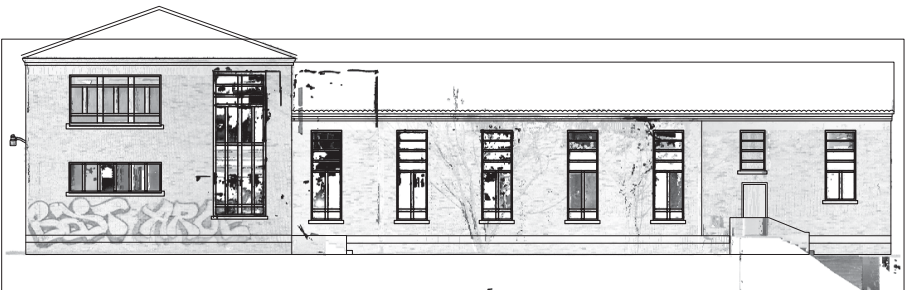
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# KEYNOTES

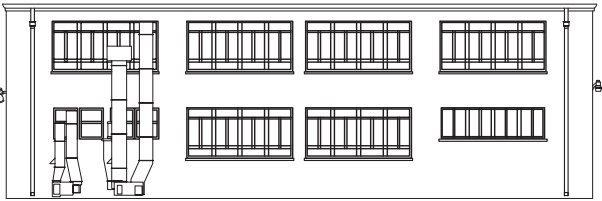
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2. PAINT DOOR AND TRIM.
3. NEW FLOORING AS SCHEDULED.
4. CLEAN AND RESTORE EXTERIOR BRICK.
5. RE-GROUT EXISTING TILE FLOOR.
6. FURNITURE PROVIDED BY OWNER.
7. NEW RAMP.
8. NEW DOOR.
9. NEW 3'-0" STUD WALL.
10. PAINT WALLS, COLOR TO BE SELECTED BY OWNER.



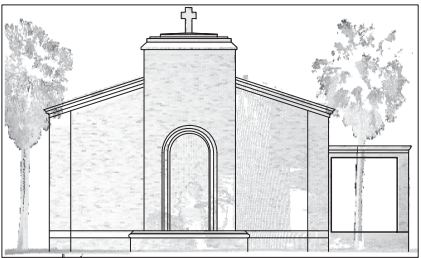
01 SOUTH ELEVATION  
EXISTING BLDG A  
ac. 18' x 1'-0"



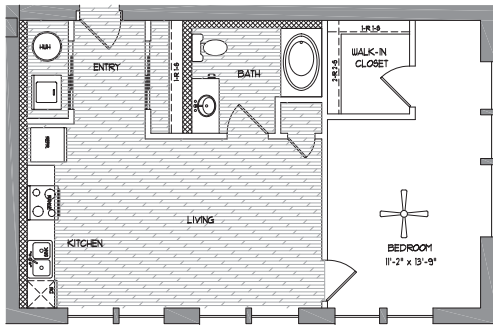
02 NORTH ELEVATION  
EXISTING BLDG A  
ac. 18' x 1'-0"



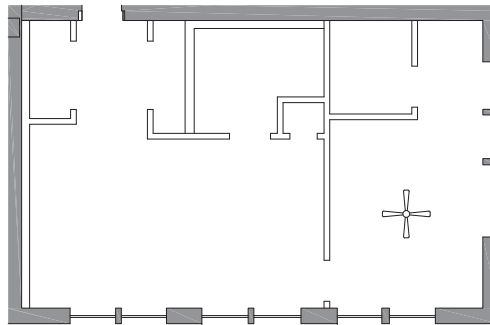
03 EAST ELEVATION  
EXISTING BLDG A  
ac. 18' x 1'-0"



04 WEST ELEVATION  
EXISTING BLDG A  
ac. 18' x 1'-0"



01 FLOOR PLAN  
UNIT TYPE - A1  
11' - 2" x 13' - 9"



02 REFLECTED CEILING PLAN  
UNIT TYPE - A1  
11' - 2" x 13' - 9"

## LEGEND

- WINDOW TYPE ID SYMBOL, REF. SHEET A210
- DOOR TYPE ID SYMBOL, REF. SHEET A210
- FURRED DOWN CEILING
- COORDINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 4" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- VINYL PLANK TILE NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STUD WALL

## GENERAL NOTES

- REFER TO SHEET A02 & A03 FOR SHOWER HEAD, PLUMBING FIXTURE GRAB BARS AND TOILET ACCESSORY HEIGHTS
- ALL CEILING HEIGHTS ARE 8'0" UNLESS OTHERWISE NOTED
- EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE (1) FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
- TILE EXTENDS UNDER ALL RANGES.
- EXTEND FLOOR TILE (FINISH) ON ALL REMOVABLE KITCHEN BASE CABINETS.
- COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER.
- REFER TO BLDG PLANS FOR RATED WALLS.
- TYPE, COLOR, TEXTURE AND PAINT ALL GYP. BD.
- FIELD VERIFY ALL CABINET SIZE DENOTATIONS & FILLERS AS REQ.
- ALL WATER CLOSETS ARE 8" OFF FINISH WALL TO CENTER OF UIC.
- ALL DOORS NOT OTHERWISE NOTED ARE 4" OFF CORNER ON INSIDE SIDE OR CENTERED IN ROOM.
- COORDINATE TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS.

## KEYNOTES

- BASE CABINETS
- UPPER CABINETS
- BASE BOARD
- DISPOSAL / VENT-A-HOOD COMBO
- GRANITE TOP w/ 4" BACKSPLASH PER I.D.
- REFRIGERATOR w/ ICE MAKER
- RANGE
- DOUBLE SINK w/ DISPOSAL AND FAUCET
- DISHWASHER
- GYP. BD WALL/TEXTURE & PAINT
- GRANITE BATH TOP
- WASHER CONNECTION BOX, RECESSED
- WATER HEATER
- DRYER VENT
- WASHER
- DRYER
- FIXED WOOD OR WIRE SHELVES
- FRINKS 1A-09
- LAVATORY
- WATER CLOSET
- PENDANT LIGHT FIXTURE
- LIGHT FIXTURE MOUNTED ABOVE FRINKS
- PANTRY CLOSET
- GRANITE TILE 4x4 OR 6x6 w/ 3x1 BULL NOSE AT TOP & EDGE
- SHOWER DOOR
- PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, AND BRACK ALL TO FIXTURES IN ALL UNITS.
- SHOWER ROOF 1A-04
- MILLWORK LINEN CABINET
- MILLWORK PANTRY CABINET
- TOILET PAPER HOLDER 1A-01
- WALK-IN SHOWER 1B-01
- DOOR REF. PLAN FOR NUMBER
- SHOWER UNIT
- FRINKS 1D-01
- SINK w/ DISPOSAL AND FAUCET
- RAISED PLATFORM WITH PAN FOR WATER HEATERS



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UNIT TYPE A1  
FLOOR PLAN & RCP

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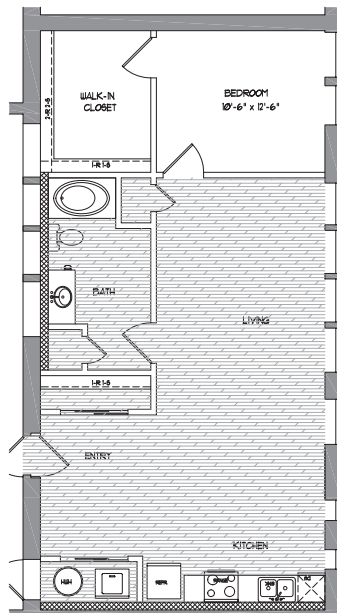
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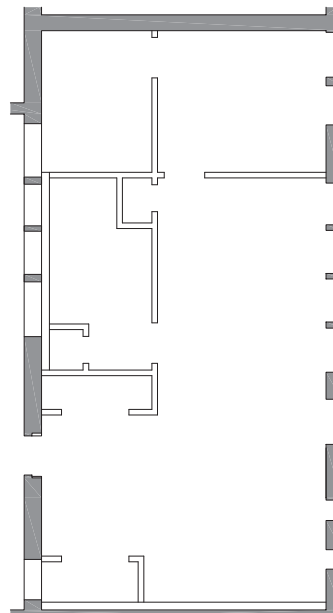
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A3.7



01 FLOOR PLAN  
UNIT TYPE - A2  
66, 14' x 7'-0"



02 REFLECTED CEILING PLAN  
UNIT TYPE - A2  
66, 14' x 7'-0"

## LEGEND

- UNDOOR TYPE ID 817800L, REF. SHEET A210
- DOOR TYPE ID 817800L, REF. SHEET A210
- FURRED DOWN CEILING
- CORNERATION CEILING FAN 4 INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 6" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- VINYL PLANK TILE NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- 8" STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6" STUD WALL

## GENERAL NOTES

1. REFER TO SHEET A63, 1 AND 2 FOR BROWER HEAD PLUMBING FUTURE GRAB BARS AND TOILET ACCESSORY HEIGHTS
2. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE (1) 2000 PSI EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED UNDER THE CABINET UNDER THE SINK IN THE KITCHEN
4. TILE EXTENDS UNDER ALL FRAMES
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
7. REFER TO BLDG PLANS FOR RATED WALLS
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DENOTATIONS & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 10" OFF FINISH WALL TO CENTER OF L.C.
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
12. COORDINATION TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERSINK DRAINING REQUIREMENTS

## KEYNOTES

1. BARE CABINETS
2. UPPER CABINETS
3. BARE BOARD
4. MICROWAVE & VENT-A-HOOD COMBO
5. GRANITE TOP w/ 4" BACKSPLASH PER ID.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DRAINWATER
10. GYP. BD. WALL/CEILING & PAINT
11. GRANITE BARE TOP
12. WARMER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WARMER
16. DRYER
17. FIXED WOOD OR WIRE SHELVES
18. FINISHING TA-205
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PAINTED CLOSET
25. CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL. NOSE AT TOP & EDGE
26. BATHROOM DOOR
27. PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, AND BEHIND ALL TA FIXTURES IN ALL UNITS
28. BATHROOM TA-204
29. MILLWORK LINEN CABINET
30. MILLWORK PAINTED CABINET
31. TOILET PAPER HOLDER TA-201
32. WALL-A-BATH TA-201
33. DOOR REF. PLAN FOR NUMBER
34. BATHROOM UNIT
35. FINISHED END PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. RAISED PLATFORM WITH PAIN FOR WATER HEATERS

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Renovation Phase

Page Description  
EXISTING BLDG. A  
UNIT TYPE A2  
FLOOR PLAN & RCP

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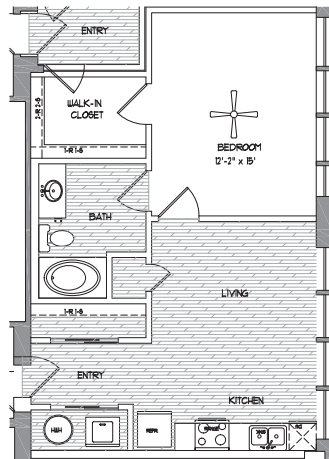
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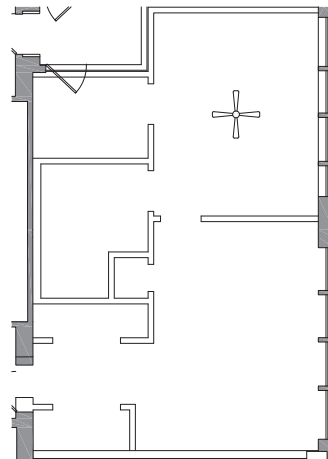
A3.8







01 FLOOR PLAN  
UNIT TYPE - A4  
12' 0" x 17' 0"



02 REFLECTED CEILING PLAN  
UNIT TYPE - A4  
12' 0" x 17' 0"

#### LEGEND

- WINDOW TYPE ID SYMBOL. REF. SHEET A210
- DI DOOR TYPE ID SYMBOL. REF. SHEET A210
- TURNED DOWN CEILING
- ✕ COORDINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE. REF. ELECT. DRAWINGS
- WALL MOUNTED VENT ONLY. REF. ELECT. DRAWINGS
- ◆ SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE. REF. ELECT. DRAWINGS
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE. REF. ELECT. DRAWINGS
- 6" CAN LIGHT FIXTURE. REF. ELECT. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE. REF. ELECT. DRAWINGS
- ▨ VINYL PLANK TILE NOTHING SHOWN INDICATES CARPET
- ⌈ X ⌋ INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STUD WALL

#### GENERAL NOTES

1. REFER TO SHEET A401 FOR BLOWER HEAD, PLATFORM FURNITURE GRAB BARS AND TOILET ACCESSORY HEIGHTS
2. ALL CEILING HEIGHTS ARE 10'-0" UNLESS OTHERWISE NOTED
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A ABCP FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTENDS UNDER ALL RANGES.
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
7. REFER TO BLDG PLANS FOR RATED WALLS.
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BO.
9. FIELD VERIFY ALL CABINET SIZE DIMENSIONS & TELLING AS REQ.
10. ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF S.C.
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HANG SIDE OR CENTERED IN ROOM
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP FABRICATOR FOR OVERHANG BRACING REQUIREMENTS

#### KEYNOTES

1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOARD
4. MICROWAVE / VENT-A-HOOD COFFER
5. GRANITE TOP w/ 4" BACKSPLASH PER ID.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD WALL/TEXTURE & PAINT
11. GRANITE BAR TOP
12. WASHER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WASHER
16. DRYER
17. FIXED WOOD OR WIRE SHELVES
18. TYPICAL TA-60
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PAINTING CLOSET
25. CERAMIC TILE 6x6 OR 6x8 w/ 3/4" BULL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS AND BARRING ALL WALL FIXTURES IN ALL UNITS
28. SHOWER ROD TA-64
29. MILLWORK LINEN CABINET
30. MILLWORK PANTRY CABINET
31. TOILET PAPER HOLDER TA-65
32. WALK-IN SHOWER WITH CURB
33. DOOR REF. PLAN FOR NUMBER
34. SHOWER UNIT
35. FINISHED END PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. RAISED PLATFORM WITH FAN FOR WATER HEATERS

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FLOOR PLAN & RCP

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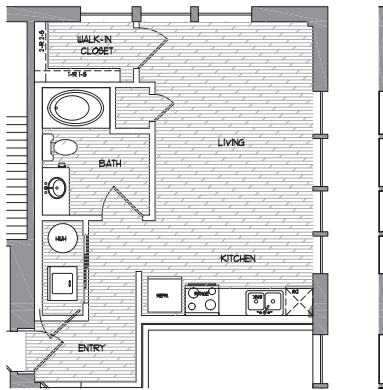
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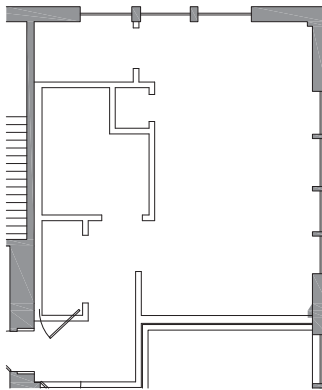
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A3.10



01 FLOOR PLAN  
UNIT TYPE - A5  
40' 1/4" x 7'-0"



02 REFLECTED CEILING PLAN  
UNIT TYPE - A5  
40' 1/4" x 7'-0"

#### LEGEND

- WINDOW TYPE ID BY SOL. REF. SHEET A2.10
- DOOR TYPE ID BY SOL. REF. SHEET A2.10
- FURRED DOWN CEILING
- ✕ COOPERATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 4" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- VINYL PLANK TILE  
NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STUD WALL

#### GENERAL NOTES

1. REFER TO SHEET A5.1 & A5.2 FOR BACKER HEAD, PULPERS, FUTURE GRAB BARS AND TOILET ACCESSORY HEIGHTS
2. ALL CEILING HEIGHTS ARE 10'-0" UNLESS OTHERWISE NOTED
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A, 100% PNE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTENDS UNDER ALL RANGES
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
7. REFER TO BLDG PLANS FOR RATED WALLS
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DISCREPANCIES & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF S/C
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS

#### KEYNOTES

1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOARD
4. MICROWAVE / VENT-A-WOOD COFFBO
5. GRANITE TOP w/ 4" BACKSPLASH PER ID.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD. WALL TEXTURE & PAINT
11. GRANITE BAR TOP
12. WARMER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WASHER
16. DRYER
17. FURRED WOOD ON LINE SHELVES
18. TYPICAL TA-09
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PANTY CLOSET
25. CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS
28. PROVIDE ALL TA FIXTURES IN ALL UNITS
29. SHOWER ROD TA-04
30. MELLOW LAMEN CABINET
31. MELLOW LAMEN CABINET
32. TOILET PAPER HOLDER TA-05
33. WALK-IN SHOWER WITH CURB
34. DOOR REF. PLAN FOR NUMBER
35. SHOWER UNIT
36. FINISHED END PANEL
37. SINGLE SINK WITH DISPOSAL AND FAUCET
38. RAISED PLATFORM WITH PAIL FOR WATER HEATERS

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Page Description  
EXISTING BLDG. A  
UNIT TYPE A5  
FLOOR PLAN & RCP

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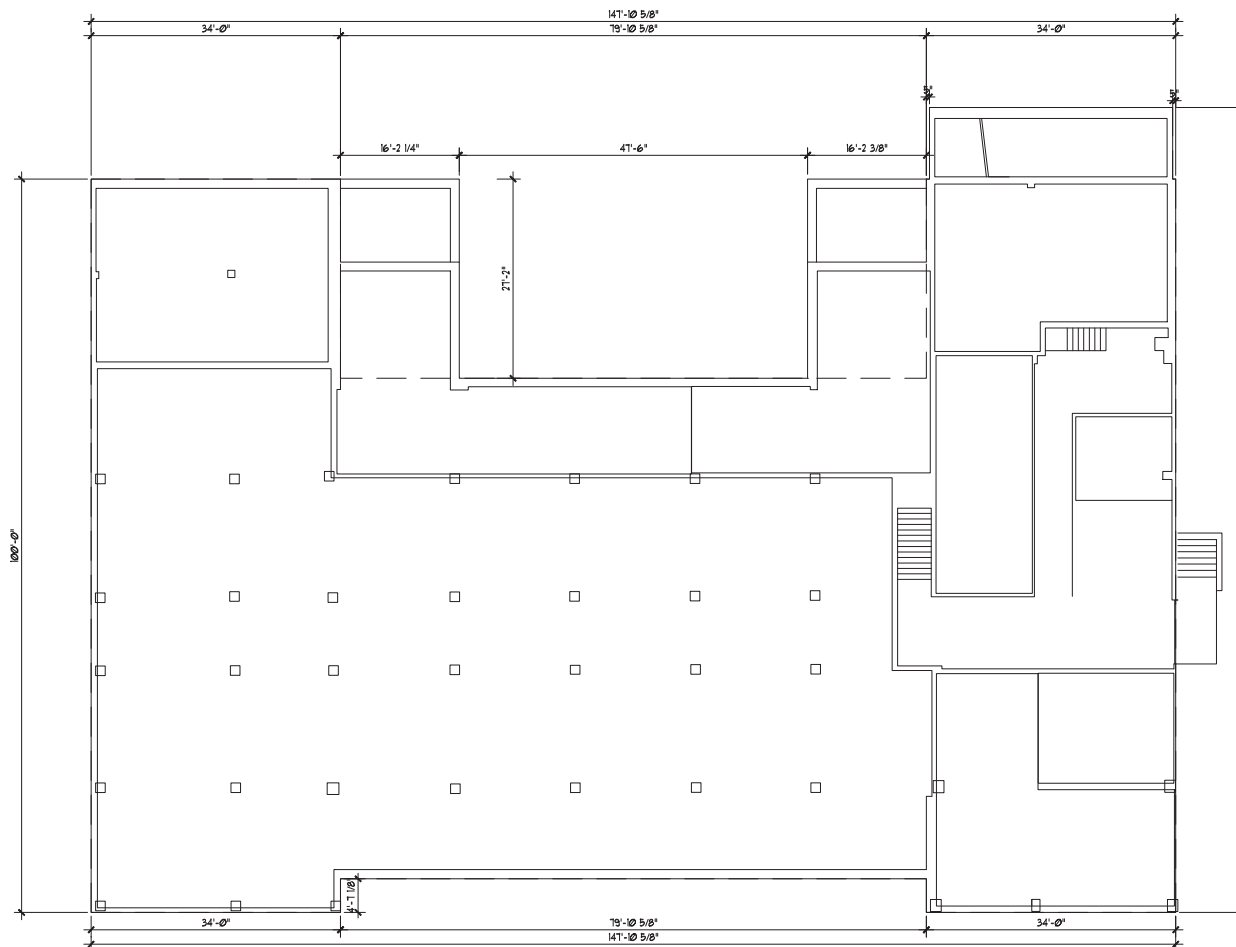
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Page

A3.11





01 BASEMENT  
EXISTING BLDG. B  
at 1/8" = 1'-0"

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EXISTING BLDG. B  
BASEMENT PLAN

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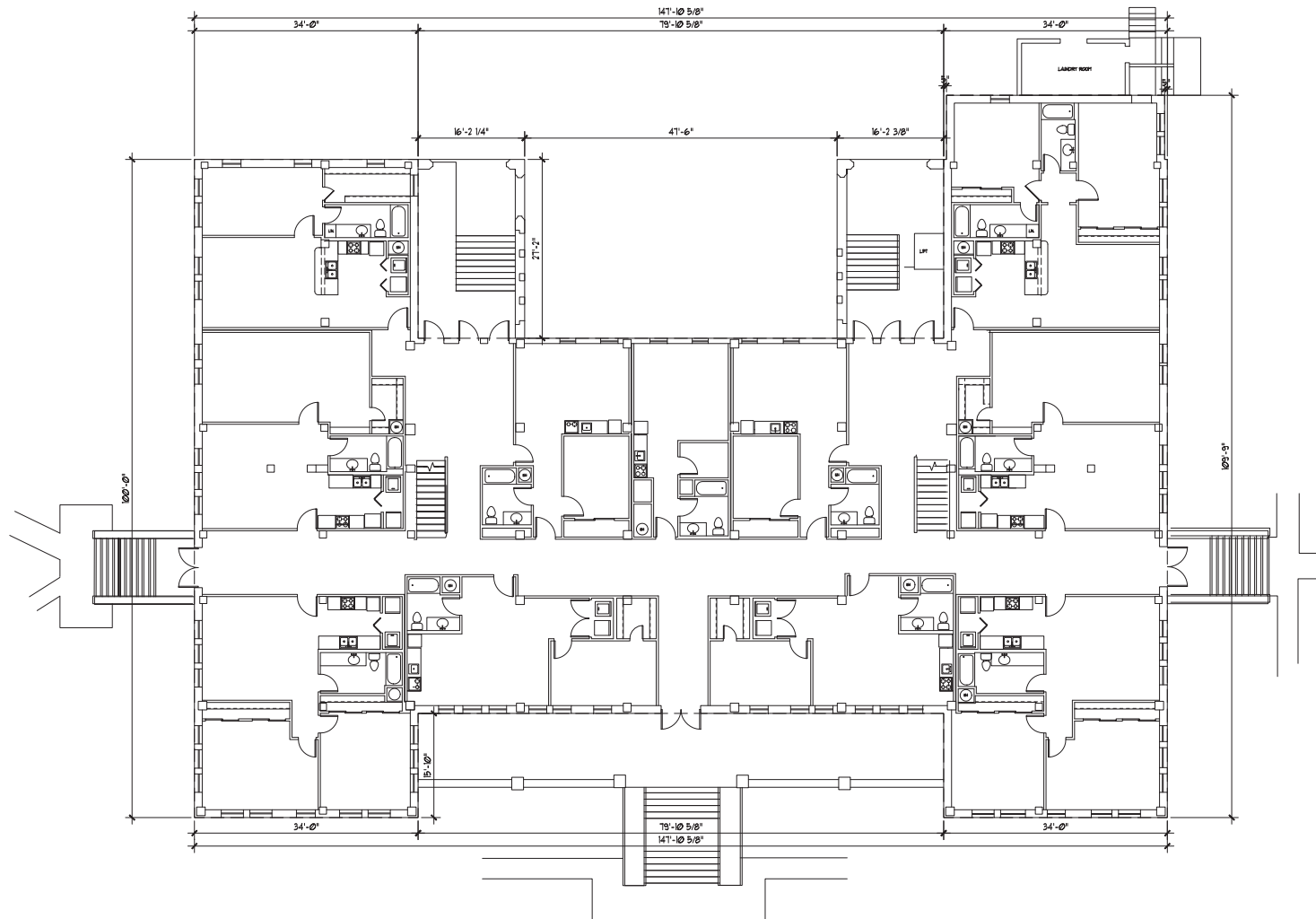
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Page

A4.1



01 FIRST FLOOR  
EXISTING BLDG. B  
10' - 11' - 12'

**NEW WORK GENERAL NOTES**

- A. GENERAL CONTRACTOR IS TO ASSURE THAT NO ASBESTOS CONTAINING MATERIALS ARE ON SITE BEFORE COMMENCEMENT OF NEW WORK.
- B. GENERAL CONTRACTOR IS TO ASSURE THAT ALL NEW MATERIALS ARE NON-ASBESTOS CONTAINING MATERIALS.
- C. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OTHER THAN THE NEW WORK INDICATED, AND IS TO REPAIR SUCH DAMAGE AT THE GC'S EXPENSE.
- D. GENERAL CONTRACTOR IS TO COORDINATE NEW WORK WITH ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- E. GENERAL CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- F. GENERAL CONTRACTOR IS TO ASSURE THAT ALL VOIDS AND DAMAGED AREAS ON EXTERIOR WALLS, INTERIOR WALLS AND FLOORS ARE FILLED WITH MATERIAL TO MATCH EXISTING.
- G. ALL EXTERIOR WALL AND LOAD-BEARING WALL TRACING TO BE A NON-COMBUSTIBLE MATERIAL (REF. NFPA 220 200 EDITION SECTION 4.3.1) AS PER TYPE III-A CONSTRUCTION REQUIREMENTS, REFER TO SHEET A62.

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EXISTING BLDG. B  
1ST FLOOR PLAN

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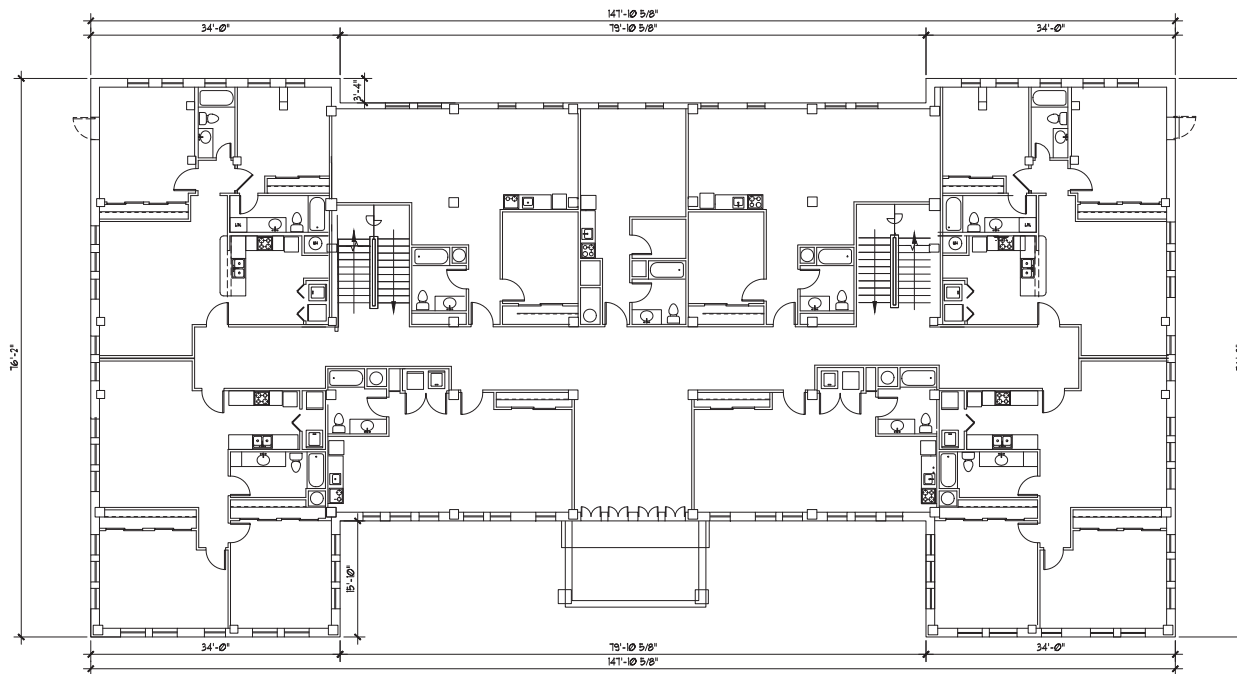
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Page

A4.2



01 SECOND FLOOR  
EXISTING BLDG. B  
40' 10\"/>

NEW WORK GENERAL NOTES

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F. GENERAL CONTRACTOR IS TO ASSURE THAT ALL VOIDS AND DAMAGED AREAS ON EXTERIOR WALLS, INTERIOR WALLS AND FLOORS ARE FILLED WITH MATERIAL TO MATCH EXISTING.

G. ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-COMBUSTIBLE MATERIAL (REF. NFPA 220 3RD EDITION SECTION 4.3) AS PER TYPE II-A CONSTRUCTION REQUIREMENTS, REFER TO SHEET A02.



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EXISTING BLDG. B  
2ND FLOOR PLAN

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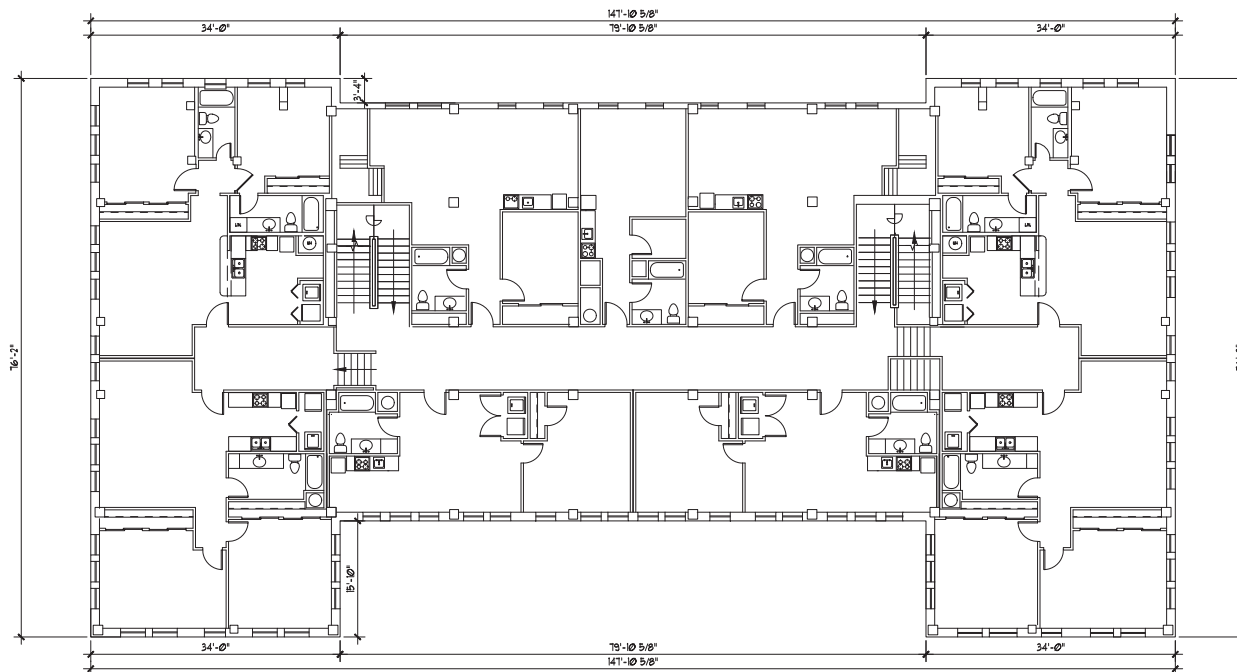
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A4.3

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01 THIRD FLOOR  
EXISTING BLDG. B  
40' 10\"/>

NEW WORK GENERAL NOTES

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- ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-COMBUSTIBLE MATERIAL (REF. UPPA, 208-300 SECTION SECTION 4.3.1) AS PER TYPE II-A CONSTRUCTION REQUIREMENTS, REFER TO SHEET A4.2.

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EXISTING BLDG. B  
3RD FLOOR PLAN

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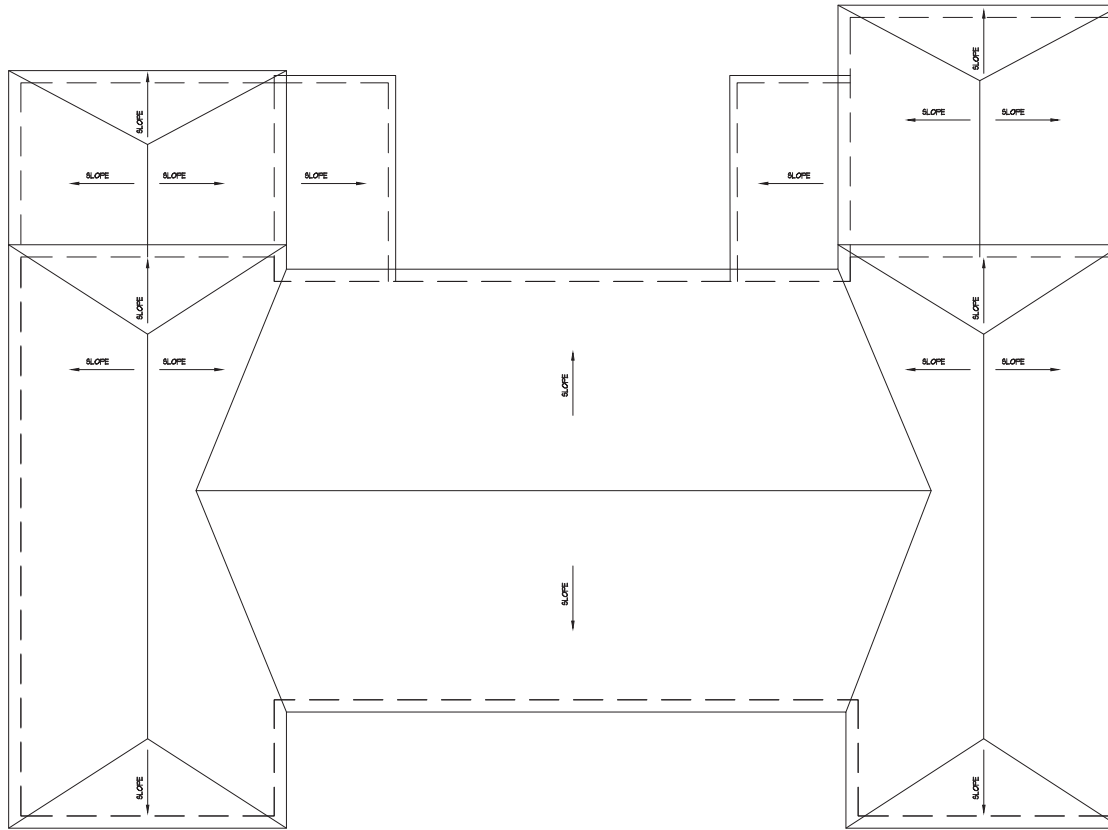
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A4.4





01 ROOF PLAN  
EXISTING BLDG. B  
1/8" = 1'-0"

**NEW WORK GENERAL NOTES**

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- ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-CORROSIble MATERIAL (REF. UFGA, 208-260 SECTION SECTION 4.13) AS PER TYPE II-A CONSTRUCTION REQUIREMENTS, REFER TO SHEET A4.1.

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EXISTING BLDG. B  
ROOF PLAN

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Page

A4.5



01 WEST ELEVATION  
EXISTING BLDG. B  
as 10' x 1'-0"



01 EAST ELEVATION  
EXISTING BLDG. B  
as 10' x 1'-0"



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Page Description  
EXISTING BLDG. B  
FRONT ELEVATION

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A4.6

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01 SOUTH ELEVATION  
EXISTING BLDG. B  
as 10' x 1'-0"



01 NORTH ELEVATION  
EXISTING BLDG. B  
as 10' x 1'-0"

NEW WORK GENERAL NOTES  
A. GENERAL CONTRACTOR IS TO ASSURE THAT NO ASBESTOS CONTAINING MATERIALS ARE ON SITE BEFORE COMMENCEMENT OF NEW WORK.  
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G. ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-COMBUSTIBLE MATERIAL, MEET NFPA, 200 NEW EDITION SECTION 410.1 AS PER TYPE III-A CONSTRUCTION REQUIREMENTS, REFER TO SHEET A02.



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EXISTING BLDG. B  
SIDE ELEV.

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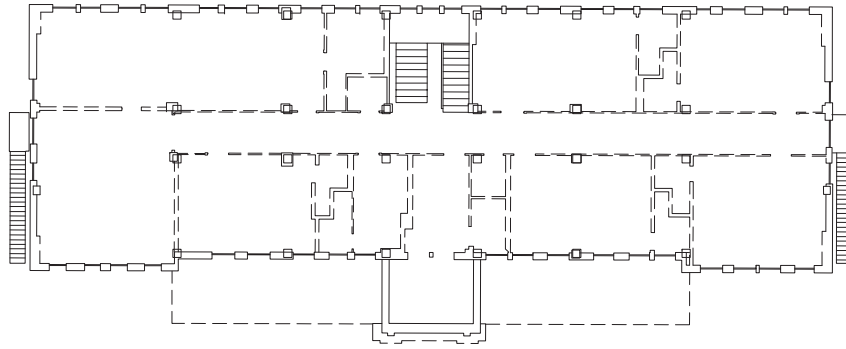
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A4.7

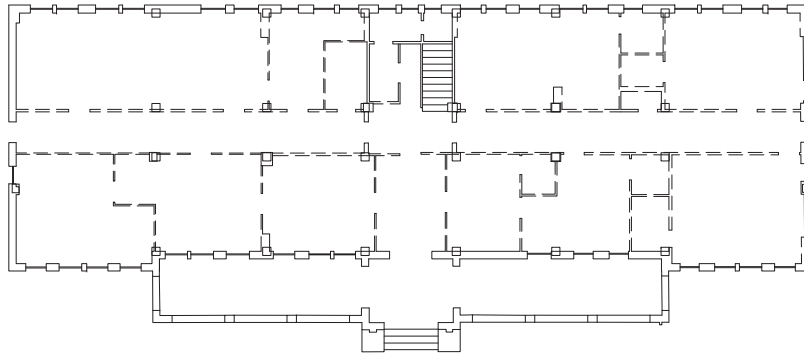
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02 SECOND FLOOR PLAN  
DEMOLITION  
AS 1/8" = 1'-0"



01 FIRST FLOOR PLAN  
DEMOLITION  
AS 1/8" = 1'-0"

DEMOLITION - LEGEND	
	EXISTING CONSTRUCTION
	WALLS TO BE REMOVED

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Page Description  
EXISTING BLDG, C  
FIRST & SECOND  
FLOOR DEMO

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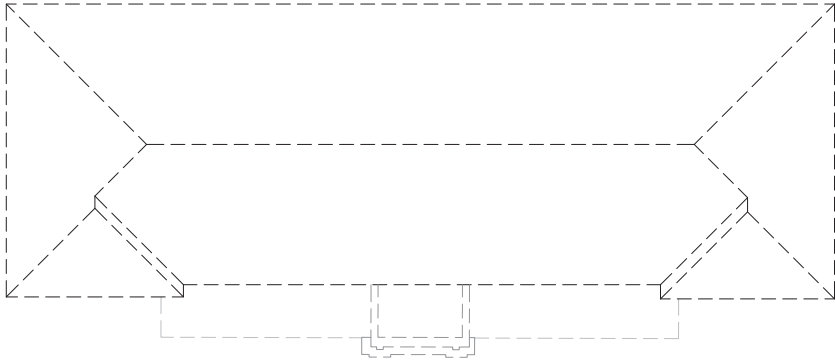
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
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A5.1

01 ROOF PLAN  
DEMOLITION  
at 1/8" = 1'-0"



DEMOLITION - LEGEND	
	EXISTING CONSTRUCTION
	WALLS TO BE REMOVED



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ROOF PLAN  
DEMOLITION

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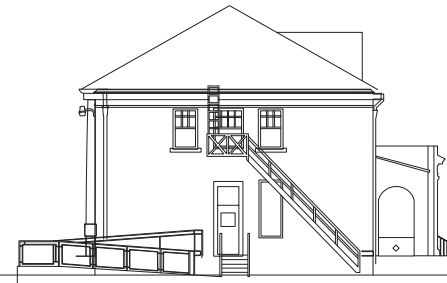
A5.2



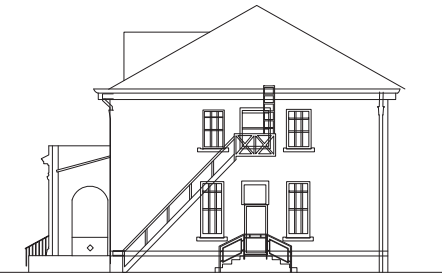
01 EXTERIOR ELEVATION  
EXIST BLDG C - SOUTH  
SC 1/8" = 1'-0"



03 EXTERIOR ELEVATION  
EXIST BLDG C - NORTH  
SC 1/8" = 1'-0"



02 EXTERIOR ELEVATION  
EXIST BLDG C - WEST  
SC 1/8" = 1'-0"



04 EXTERIOR ELEVATION  
EXIST BLDG C - EAST  
SC 1/8" = 1'-0"

#### NEW WORK GENERAL NOTES

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G. ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-COMBUSTIBLE MATERIAL (REF. NFPA 220 402 EDITION SECTION 4.3) AS PER TYPE II-A CONSTRUCTION REQUIREMENTS REFER TO SHEET A02.



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EXTERIOR  
ELEVATIONS

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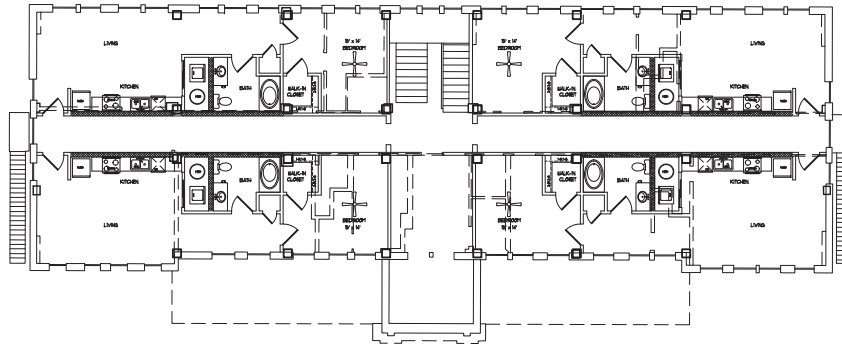
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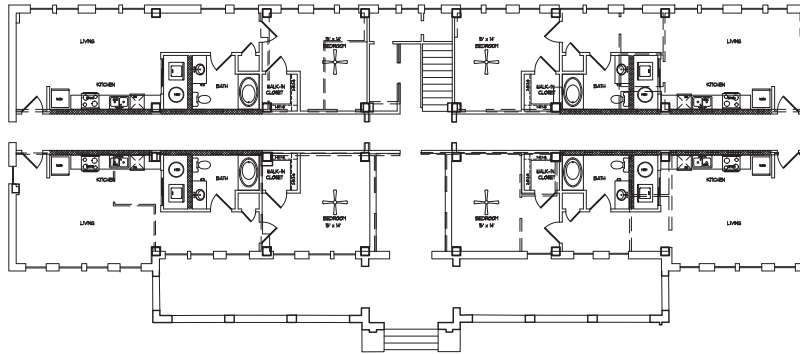
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02 SECOND FLOOR PLAN  
DEMOLITION  
AS 1/8" = 1'-0"



01 FIRST FLOOR PLAN  
DEMOLITION  
AS 1/8" = 1'-0"



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FIRST & SECOND  
FLOOR PLANS

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project. They are to be read  
and interpreted in conjunction with  
the project description and conditions  
of contract and with applicable  
regulations and codes.

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Project No. 14005

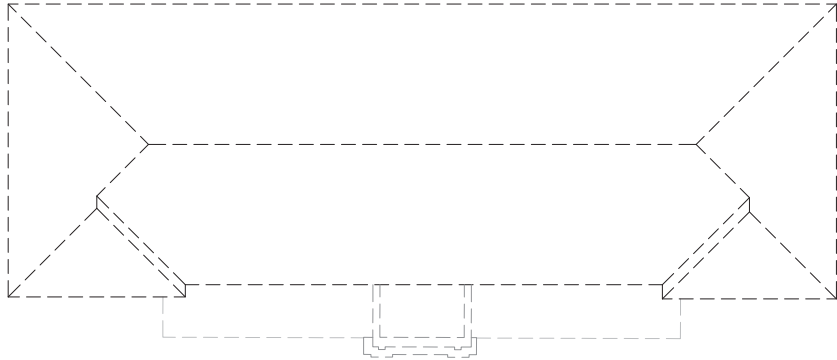
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A5.4

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01 ROOF PLAN  
DEMOLITION  
at 1/8" = 1'-0"



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Issuance:  
Review Only Set: 07.01.2016

Revisions:

St. John's  
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San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG. C  
ROOF PLAN

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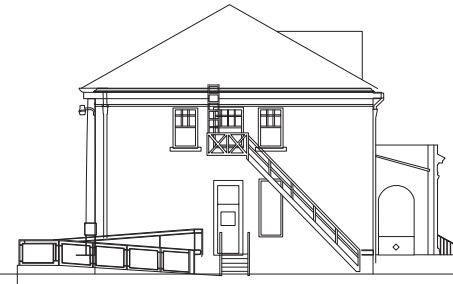
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01 EXTERIOR ELEVATION  
EXIST BLDG C - SOUTH  
SC 1/8" = 1'-0"



03 EXTERIOR ELEVATION  
EXIST BLDG C - NORTH  
SC 1/8" = 1'-0"



02 EXTERIOR ELEVATION  
EXIST BLDG C - WEST  
SC 1/8" = 1'-0"



04 EXTERIOR ELEVATION  
EXIST BLDG C - EAST  
SC 1/8" = 1'-0"

#### NEW WORK GENERAL NOTES

A. GENERAL CONTRACTOR IS TO ASSURE THAT NO ASBESTOS CONTAINING MATERIALS ARE ON SITE BEFORE COMMENCEMENT OF NEW WORK.

B. GENERAL CONTRACTOR IS TO ASSURE THAT ALL NEW MATERIALS ARE NON-ASBESTOS CONTAINING MATERIALS.

C. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OTHER THAN THE NEW WORK INDICATED, AND IS TO REPAIR SUCH DAMAGE AT THE GC'S EXPENSE.

D. GENERAL CONTRACTOR IS TO COORDINATE NEW WORK WITH ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.

E. GENERAL CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

F. GENERAL CONTRACTOR IS TO ASSURE THAT ALL VOIDS AND DAMAGED AREAS ON EXTERIOR WALLS, INTERIOR WALLS AND FLOORS ARE FILLED WITH MATERIAL TO MATCH EXISTING.

G. ALL EXTERIOR WALL AND LOAD-BEARING WALL FRAMING TO BE A NON-COMBUSTIBLE MATERIAL (REF. NFPA 220 402 EDITION SECTION 4.3) AS PER TYPE II-A CONSTRUCTION REQUIREMENTS REFER TO SHEET A02.



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Issuance:

Review Only Set: 07/01/2016

Revisions:

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Page Description

EXISTING BLDG. C  
EXTERIOR  
ELEVATIONS

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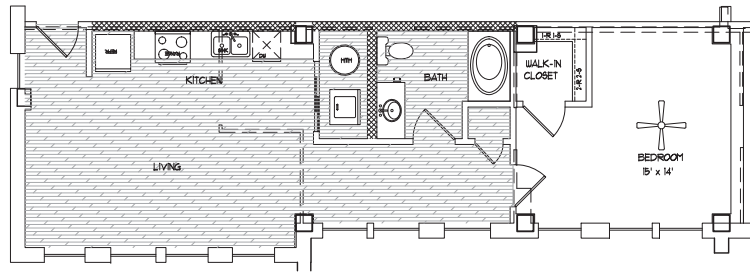
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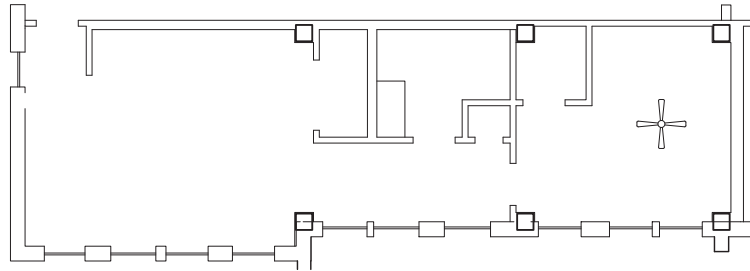
A5.6

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01 UNIT TYPE - C1  
FLOOR PLAN  
AS 14'0" x 17'0"



02 UNIT TYPE - C1  
REFLECTED CEILING PLAN  
AS 14'0" x 17'0"

## LEGEND

- WINDOW TYPE ID SYMBOL, REF. SHEET A210
- DOOR TYPE ID SYMBOL, REF. SHEET A210
- FURRED DOWN CEILING
- COMBINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELECT. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- 6" CAN LIGHT FIXTURE, REF. ELECT. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- VINYL PLANK TILE  
NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STD WALLS
- STD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STD WALL

## GENERAL NOTES

- REFER TO SHEET A02 & A03 FOR SHOWER HEAD, PLUMBING FIXTURE GRAB BARS AND TOILET ACCESSORY HEIGHTS
- ALL CEILING HEIGHTS ARE 10'-0" UNLESS OTHERWISE NOTED
- EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A WING FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
- TILE EXTENDING UNDER ALL RANGES
- EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
- COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
- REFER TO BLDG PLANS FOR RAISED WALLS
- TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
- FIELD VERIFY ALL CABINET SIZE DENOTATIONS & FILLERS AS REQ.
- ALL WATER CLOSETS ARE 8" OFF FINISH WALL TO CENTER OF UIC.
- ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
- CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS

## KEYNOTES

- BASE CABINETS
- UPPER CABINETS
- BASE BOARD
- MICROWAVE / VENT-A-HOOD COPELO
- GRANITE TOP w/ 4" BACKPLASH PER I.D.
- REFRIGERATOR w/ ICE MAKER
- RANGE
- DOUBLE SINK w/ DISPOSAL AND FAUCET
- DISHWASHER
- GYP. BD WALL/TEXTURE & PAINT
- GRANITE BAR TOP
- WASHER CONNECTION BOX, RECESSED
- WATER HEATER
- DRYER VENT
- WASHER
- DRYER
- FIXED WOOD OR WIRE SHELVES
- MIRROR TA-09
- LAVATORY
- WATER CLOSET
- PENDANT LIGHT FIXTURE
- LIGHT FIXTURE MOUNTED ABOVE MIRROR
- BATH TUB UNIT
- PANTRY CLOSET
- CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL NOSE AT TOP & EDGE
- SHOWER DOOR
- PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, AND BEHIND ALL TA FIXTURES IN ALL UNITS
- SHOWER ROD TA-04
- MELLOW LINEN CABINET
- MELLOW PANTRY CABINET
- TOILET PAPER HOLDER TA-01
- WALK-IN SHOWER WITH CURB
- DOOR HSE. PLAN FOR NURSERY
- SHOWER UNIT
- PAINTED END PANEL
- SINGLE SINK WITH DISPOSAL AND FAUCET
- RAISED PLATFORM WITH PAN FOR WATER HEATERS

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Issuance:  
Review Only Set: 07/01/2016

Revisions:

St. John's  
Apartments  
San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG. C  
UNIT TYPE C1  
FLOOR PLANS

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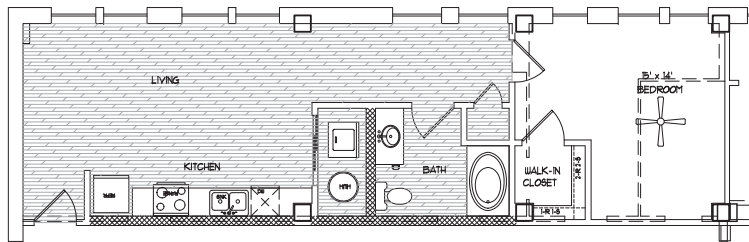
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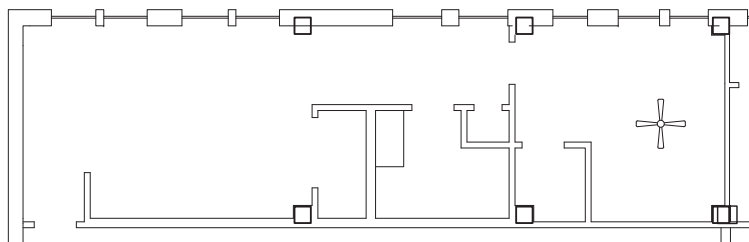
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A5.7



01 UNIT TYPE - C2  
FLOOR PLAN  
10' 1/4" x 11' 0"



02 UNIT TYPE - C2  
REFLECTED CEILING PLAN  
10' 1/4" x 11' 0"

## LEGEND

- ⊙ WINDOW TYPE ID 011100L, REF. 04-BEST A2.10
- DOOR TYPE ID 011100L, REF. 04-BEST A2.10
- ▨ FURRED DOWN CEILING
- ✕ COORDINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- ⊕ SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 6" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- ▭ SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- ▨ VINYL PLANK TILE  
NOTHING SHOWN INDICATES CARPET
- ▭ INDICATES CEILING HEIGHT
- ▭ 3 1/2" STUD WALLS
- ▭ 6" STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- ▭ 2x6 STUD WALL

## GENERAL NOTES

1. REFER TO SHEET A02.1 FOR SHOWER HEAD.
2. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED.
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE (1) 100% TIME EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTENDS UNDER ALL RANGES.
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS.
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER.
7. REFER TO BLDG. PLANS FOR RAISED WALLS.
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DENOMINATIONS & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 6" OFF FINISH WALL TO CENTER OF UIC.
11. ALL DOORS NOT OVERSIZED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM.
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANGS DRIVING REQUIREMENTS.

## KEYNOTES

1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOARD
4. MICROWAVE / VENT-A-HOOD COMBO
5. GRANITE TOP w/ 4" BACKSPLASH PER I.D.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD. WALL/TEXTURE & PAINT
11. GRANITE BAR TOP
12. WASHER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WASHER
16. DRYER
17. FIXED WOOD OR WIRE SHelves
18. MIRROR TA-09
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PANTRY CLOSET
25. CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, AND REINFORCING ALL TA FIXTURES IN ALL UNITS.
28. SHOWER HEAD TA-01
29. MILLWORK LINEN CABINET
30. MILLWORK PANTRY CABINET
31. TOILET PAPER HOLDER TA-01
32. WALK-IN SHOWER WITH CURB
33. DOOR REF. PLAN FOR SUPER
34. SHOWER UNIT
35. FINISHED END PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. RAISED PLATFORM WITH PAN FOR WATER HEATERS.

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Issuance:  
Review Only Set: 07/01/2016

Revisions:

St. John's  
Apartments  
San Antonio, TX  
Renovation Phase

Page Description  
EXISTING BLDG, C  
UNIT TYPE C2  
FLOOR PLANS

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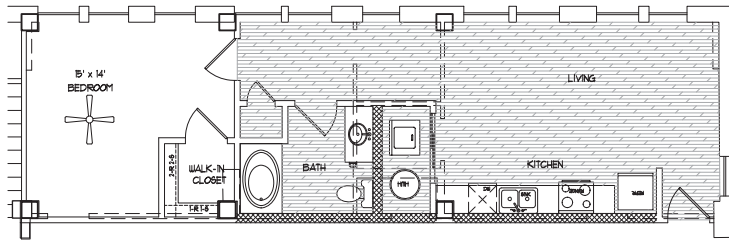
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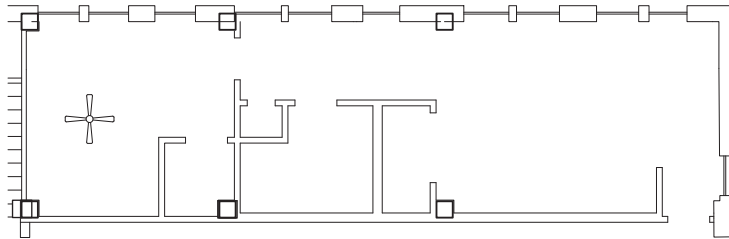
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A5.8



01 UNIT TYPE - C3  
FLOOR PLAN  
10' 1/4" x 7'-0"



02 UNIT TYPE - C3  
REFLECTED CEILING PLAN  
10' 1/4" x 7'-0"

## LEGEND

- UNDOOR TYPE D SYMBOL REF. SHEET A210  
DOOR TYPE D SYMBOL REF. SHEET A210  
TURNED DOWN CEILING  
COOPERATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS  
WALL MOUNTED VENT ONLY, REF. ELECT. DRAWINGS  
SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS  
WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS  
6" CAN LIGHT FIXTURE, REF. ELECT. DRAWINGS  
SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS  
VINYL PLANK TILE  
NOTHING SHOWN INDICATES CARPET  
INDICATES CEILING HEIGHT  
3 1/2" STUD WALLS  
STUD WALLS w/ 1000 BLOCCING FOR GRAB BARS  
2x6 STUD WALL

## GENERAL NOTES

1. REFER TO SHEET A01 & A03 FOR SHOWER HEAD, FLUORESCENT LIGHTING GRAB BARS AND TOILET ACCESSORY HEIGHTS
2. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A ABC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN
4. TILE EXTEND UNDER ALL RINKERS
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
7. REFER TO BLDG. PLANS FOR FINISH WALLS
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DENOMINATIONS & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 10" OFF FINISH WALL TO CENTER OF U.C.
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS

## KEYNOTES

1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOVING
4. HODGWAY / VENT-A-HOOD COPIED
5. GRANITE TOP w/ 4" BACKSPLASH PER I.D.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD WALL/TEXTURE & PAINT
11. GRANITE BAR TOP
12. WASHER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WASHIN
16. DRYER
17. FIBER WOOD OR WIRE SHELVES
18. HINOR 1A-05
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE HINOR
23. BATH TUB UNIT
24. PAINTY CLOSET
25. CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE 3x4 BLOCCING FOR FUTURE GRAB BARS, AND BEHIND ALL TA FIXTURES IN ALL UNITS
28. SHOWER DOOR 1A-04
29. MILLWORK LINEN CABINET
30. MILLWORK PANTRY CABINET
31. TOILET PAPER HOLDER 1A-01
32. WALK-IN SHOWER WITH GLASS
33. DOOR REF. PLAN FOR NIPPER
34. SHOWER UNIT
35. FINISHED DND PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. FINISHED PLANTHOLD WITH PAINT FOR WATER HEATERS



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Issuance:  
Revisions Only Set: 07/01/2016

Revisions:

St. John's  
Apartments  
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Page Description  
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UNIT TYPE C3  
FLOOR PLANS

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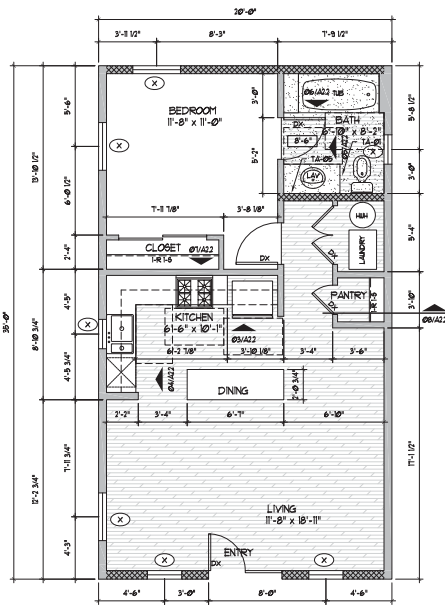
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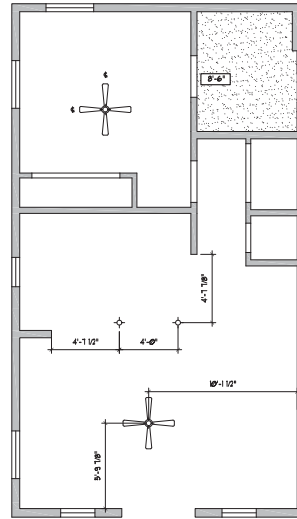
# St. John's Seminary Redevelopment

New Construction Building Plans and Elevations

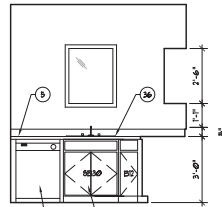


01 FLOOR PLAN  
UNIT A-4  
14' x 17'-0"

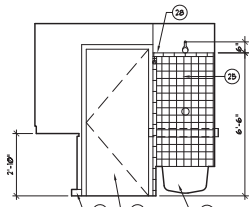
02 RCP  
UNIT A-4  
14' x 17'-0"



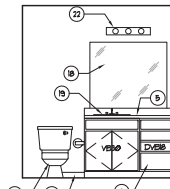
03 INTERIOR ELEVATION  
KITCHEN - OVER WALL  
14' x 17'-0"



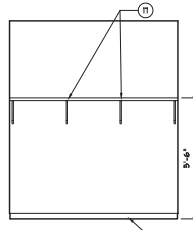
04 INTERIOR ELEVATION  
KITCHEN - SINK WALL  
14' x 17'-0"



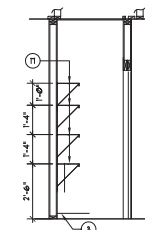
05 INTERIOR ELEVATION  
BATHROOM  
14' x 17'-0"



06 INTERIOR ELEVATION  
BATHROOM  
14' x 17'-0"



07 INTERIOR ELEVATION  
CLOSET  
14' x 17'-0"



08 SECTION  
PANTRY - FIXED WOOD SHELVES  
14' x 17'-0"

## LEGEND

- ⊙ WINDOW TYPE ID SYMBOL, REF. SHEET A230
- ⊞ DOOR TYPE ID SYMBOL, REF. SHEET A230
- ▨ TURNED DOWN CEILING
- ✕ COORDINATE CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- ⊞ WALL MOUNTED VENT ONLY, REF. ELECT. DRAWINGS
- ⊞ SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- ⊞ WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- ⊞ 4" CAN LIGHT FIXTURE, REF. ELECT. DRAWINGS
- ▨ SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELECT. DRAWINGS
- ▨ VINYL PLANK TILE NOTHING SHOWN INDICATES CARPET
- ⊞ INDICATES CEILING HEIGHT
- 3" 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING TOP & GRAB BARS
- 2x6 STUD WALL

## GENERAL NOTES

- REFER TO SHEET A232 & A233 FOR SHOWER HEAD, PLUMBING FIXTURE, GRAB BARS & TOILET ACCESSORY HEIGHTS
- ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED
- EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A ABC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
- TILE EXTENDS UNDER ALL RANGES.
- EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS
- COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER
- REFER TO BLDG PLANS FOR RATED WALLS
- TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
- FIELD VERIFY ALL CABINET SIZE DESIGNATIONS & FILLS AS REQ.
- ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF ILC.
- ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM
- CONTRACTOR TO VERIFY AND COORDINATE WITH COASTER/OP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS

## KEYNOTES

- BARE CABINETS
- UPPER CABINETS
- BARE BOARD
- MICROWAVE / VENT-A-HOOD COMBO
- GRANITE TOP w/ 4" BACKSPLASH PER ID.
- REFRIGERATOR w/ ICE MAKER
- RANGE
- DOUBLE SINK w/ DISPOSAL AND FAUCET
- DISHWASHER
- GYP. BD. WALL/TEXTURE & PAINT
- GRANITE BAR TOP
- WASHER CONNECTION BOX, RECESSED
- WATER HEATER
- DRYER VENT
- WASHER
- DRYER
- FIXED WOOD OR URNE SHELVES
- MIRROR 1A-05
- LAVATORY
- WATER CLOSET
- PENDANT LIGHT FIXTURE
- LIGHT FIXTURE MOUNTED ABOVE MIRROR
- BATH TUB UNIT
- PANTRY CLOSET
- CERAMIC TILE 4x4 OR 6x6 w/ 2x BULL NOSE AT TOP & EDGE
- SHOWER DOOR
- PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS, AND BEHIND ALL TA FIXTURES IN ALL UNITS
- SHOWER KICK 1A-04
- TELLURICK LINEN CABINET
- TELLURICK PANTRY CABINET
- TOILET PAPER HOLDER 1A-01
- BULK-IN SHOWER WITH CURB
- DOOR REF. PLAN FOR NUMBER
- SHOWER UNIT
- FINISHED END PANEL
- SINGLE SINK WITH DISPOSAL AND FAUCET
- RAISED PLATFORM WITH PAN FOR WATER HEATING



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Revisions:

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San Antonio, TX  
New Construction Phase

Page Description  
UNIT A3 FLOOR PLAN  
RCP & INTERIOR  
ELEVATIONS

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Project No. 14005

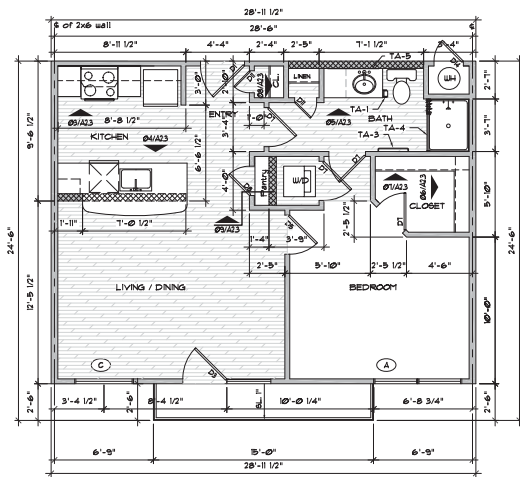
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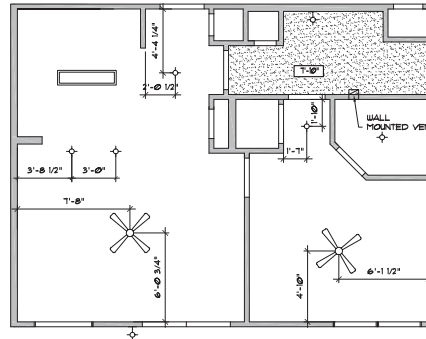
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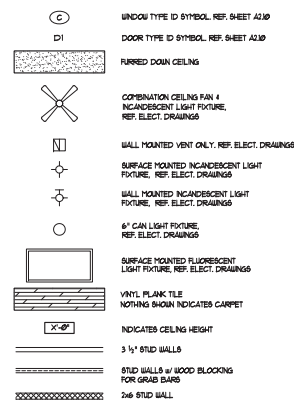


01 FLOOR PLAN  
UNIT A4  
SC 3/8" = 1'-0"



02 RCP  
UNIT A4  
SC 1/4" = 1'-0"

#### LEGEND

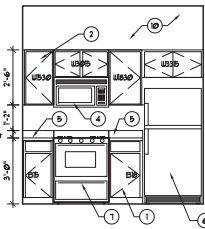


#### GENERAL NOTES

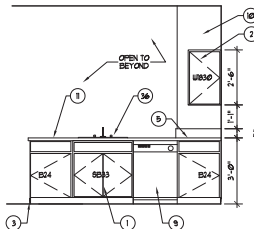
1. REFER TO SHEET A02 & A03 FOR SHOWER HEAD, PLUMBING FIXTURE, GRAB BARS AND TOILET ACCESSORY HEIGHTS.
2. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED.
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A WIRE-FREE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTENDS UNDER ALL RANGERS.
5. EXTEND FLOOR TILE (FINISH) ON ALL REMOVABLE KITCHEN BASE CABINETS.
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER.
7. REFER TO BLDG PLANS FOR RATED WALLS.
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DESIGNATIONS & FULLERS AS REQ.
10. ALL WATER CLOSETS ARE 8" OFF FINISH WALL TO CENTER OF S.C.
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM.
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS.

#### KEYNOTES

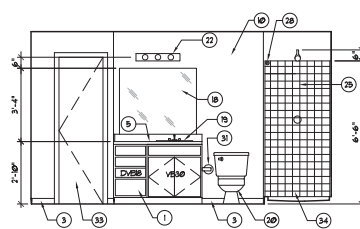
1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOARD
4. MICROWAVE / VENT-A-HOOD COMBO
5. GRANITE TOP w/ 4" BACKSPLASH PER I.D.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD WALL/TEXTURE & PAINT
11. GRANITE BAR TOP
12. WASHER CONNECTION BOX, RECESSED
13. WATER HEATER
14. DRYER VENT
15. WASHER
16. DRYER
17. FIXED WOOD OR WIRE SHELVES
18. MIRROR, TA-05
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PANTRY CLOSET
25. CERAMIC TILE 4x4 OR 6x6 w/ 2x BALL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE SOLID FLOORING FOR FUTURE GRAB BARS, AND BRIND ALL TA FIXTURES IN ALL UNITS.
28. SHOWER ROD TA-04
29. MILLWORK, LAMIN. CABINET
30. MILLWORK, PANTRY CABINET
31. TOILET PAPER HOLDER TA-01
32. WALK-IN SHOWER WITH CURB
33. DOOR REF. PLAN FOR NUMBERS
34. SHOWER UNIT
35. FINISHED END PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. RAISED PLATFORM WITH PAN FOR WATER HEATERS.



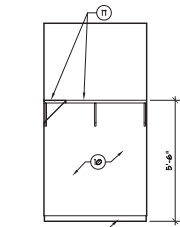
03 INTERIOR ELEVATION  
KITCHEN - OVEN WALL  
SC 3/8" = 1'-0"



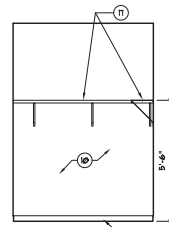
04 INTERIOR ELEVATION  
KITCHEN - SINK WALL  
SC 3/8" = 1'-0"



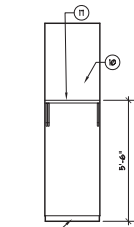
05 INTERIOR ELEVATION  
BATHROOM  
SC 3/8" = 1'-0"



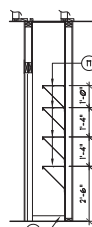
06 INTERIOR ELEV.  
CLOSET  
SC 3/8" = 1'-0"



07 INTERIOR ELEV.  
CLOSET  
SC 3/8" = 1'-0"



08 INTERIOR ELEV.  
CLOSET  
SC 3/8" = 1'-0"



09 SECTION  
PANTRY - FIXED WOOD SHELVES  
SC 3/8" = 1'-0"

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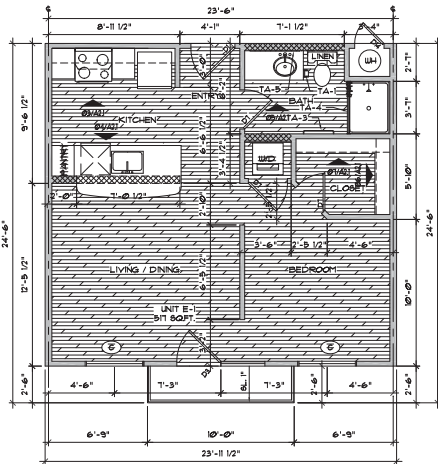
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San Antonio, TX  
New Construction Phase

Page Description  
UNIT A4 FLOOR PLAN  
RCP & INTERIOR  
ELEVATIONS

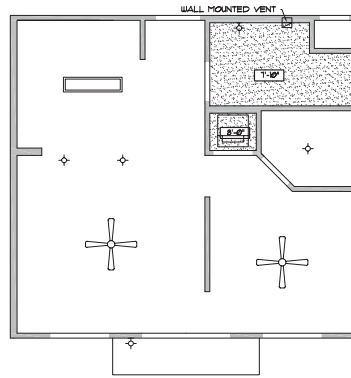
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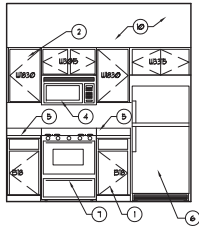
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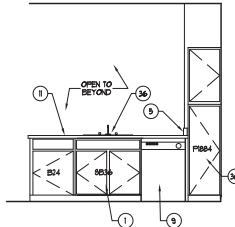
01 FLOOR PLAN  
UNIT E-1  
14' x 7'-0"



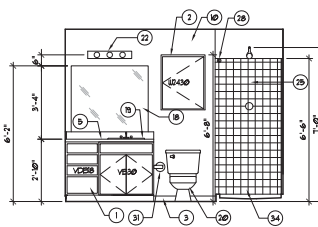
02 RCP  
UNIT E-1  
14' x 7'-0"



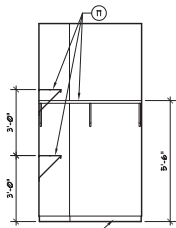
03 INTERIOR ELEVATION  
KITCHEN - OVEN WALL  
3'0" x 7'-0"



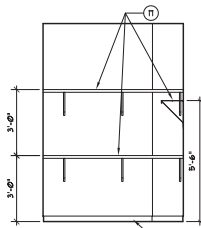
04 INTERIOR ELEVATION  
KITCHEN - SINK WALL  
3'0" x 7'-0"



05 INTERIOR ELEVATION  
BATHROOM  
3'0" x 7'-0"



06 INTERIOR ELEVATION  
CLOSET  
3'0" x 7'-0"



07 INTERIOR ELEVATION  
CLOSET  
3'0" x 7'-0"

## LEGEND

- (C) WINDOW TYPE ID SYMBOL, REF. SHEET A210
- (D) DOOR TYPE ID SYMBOL, REF. SHEET A210
- FURRED DOWN CEILING
- COMBINATION CEILING FAN & INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED VENT ONLY, REF. ELEC. DRAWINGS
- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- 6" CAN LIGHT FIXTURE, REF. ELEC. DRAWINGS
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, REF. ELEC. DRAWINGS
- VINYL PLANK TILE  
NOTHING SHOWN INDICATES CARPET
- INDICATES CEILING HEIGHT
- 3 1/2" STUD WALLS
- STUD WALLS w/ WOOD BLOCKING FOR GRAB BARS
- 2x6 STUD WALL

## GENERAL NOTES

1. REFER TO SHEET A02 & A03 FOR SHOULDER HEAD, FLUORESCENT LIGHT GRAB BARS AND TOILET ACCESSORY HEIGHTS
2. ALL CEILING HEIGHTS ARE 10'-0" UNLESS OTHERWISE NOTED
3. EACH INDIVIDUAL APARTMENT UNIT TO BE PROVIDED WITH ONE 2A ABC FIRE EXTINGUISHER. THE EXTINGUISHER IS TO BE MOUNTED INSIDE THE CABINET UNDER THE SINK IN THE KITCHEN.
4. TILE EXTEND UNDER ALL WAINES.
5. EXTEND FLOOR TILE FINISH ON ALL REMOVABLE KITCHEN BASE CABINETS.
6. COORDINATE LIGHT FIXTURE LOCATIONS & TYPES WITH INTERIOR DESIGNER.
7. REFER TO BLDG PLANS FOR RAISED WALLS.
8. TAPE, FLOAT, TEXTURE AND PAINT ALL GYP. BD.
9. FIELD VERIFY ALL CABINET SIZE DENOMINATIONS & FILLERS AS REQ.
10. ALL WATER CLOSETS ARE 18" OFF FINISH WALL TO CENTER OF ILC.
11. ALL DOORS NOT DIMENSIONED ARE 4" OFF CORNER ON HINGE SIDE OR CENTERED IN ROOM.
12. CONTRACTOR TO VERIFY AND COORDINATE WITH COUNTERTOP MANUFACTURER FOR OVERHANG BRACING REQUIREMENTS

## KEYNOTES

1. BASE CABINETS
2. UPPER CABINETS
3. BASE BOARD
4. MICROWAVE / VENT-A-HOOD COMBO
5. GRANITE TOP w/ 4" BACKSPLASH PER I.D.
6. REFRIGERATOR w/ ICE MAKER
7. RANGE
8. DOUBLE SINK w/ DISPOSAL AND FAUCET
9. DISHWASHER
10. GYP. BD WALL/TEXTURE & PAINT
11. GRANITE SINK TOP
12. WASHER CONNECTION BOX, RECESSED
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14. DRYER VENT
15. WASHER
16. DRYER
17. FIXED WOOD OR WIRE SHELVES
18. MIRROR 14-18"
19. LAVATORY
20. WATER CLOSET
21. PENDANT LIGHT FIXTURE
22. LIGHT FIXTURE MOUNTED ABOVE MIRROR
23. BATH TUB UNIT
24. PAINTED CLOSET
25. CERAMIC TILE 4x4 OR 4x6 w/ 2x BULL NOSE AT TOP & EDGE
26. SHOWER DOOR
27. PROVIDE SLOPED BLOCKING FOR FUTURE GRAB BARS, AND SECURE ALL GLAZED FIXTURES IN ALL UNITS
28. SHOWER ROD 14-18"
29. MILLWORK LINEN CABINET
30. MILLWORK PANTRY CABINET
31. TOILET PAPER HOLDER 12-18"
32. BULK-IN SHOWER WITH CURB
33. DOOR REF. PLAN FOR NUMBER
34. SHOWER UNIT
35. FINISHED END PANEL
36. SINGLE SINK WITH DISPOSAL AND FAUCET
37. RAISED PLATFORM WITH PAN FOR WATER HEATERS

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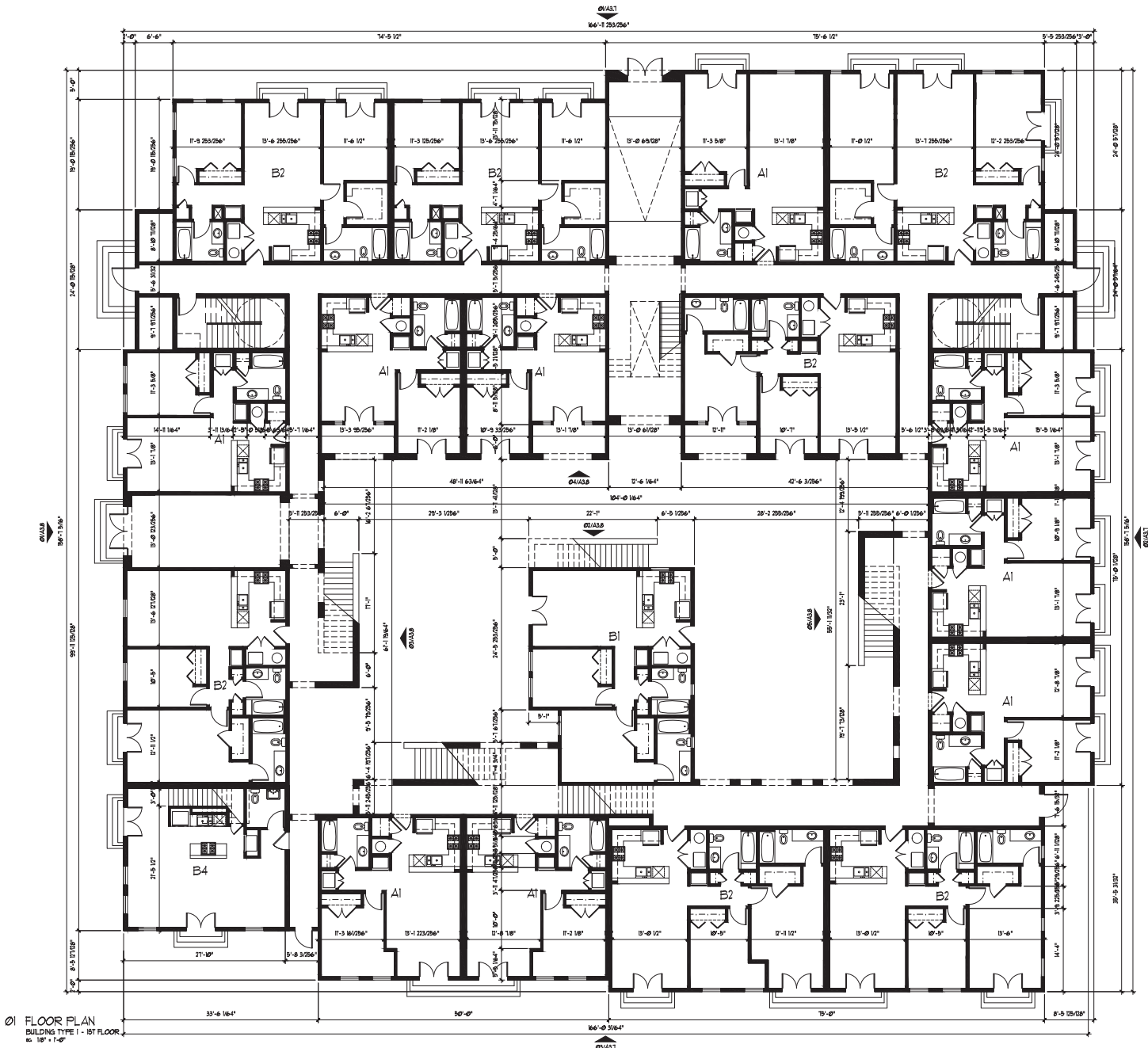
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UNIT E1 FLOOR PLAN  
RCP & INTERIOR  
ELEVATIONS

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Page Description  
BUILDING TYPE I  
FLOOR PLAN

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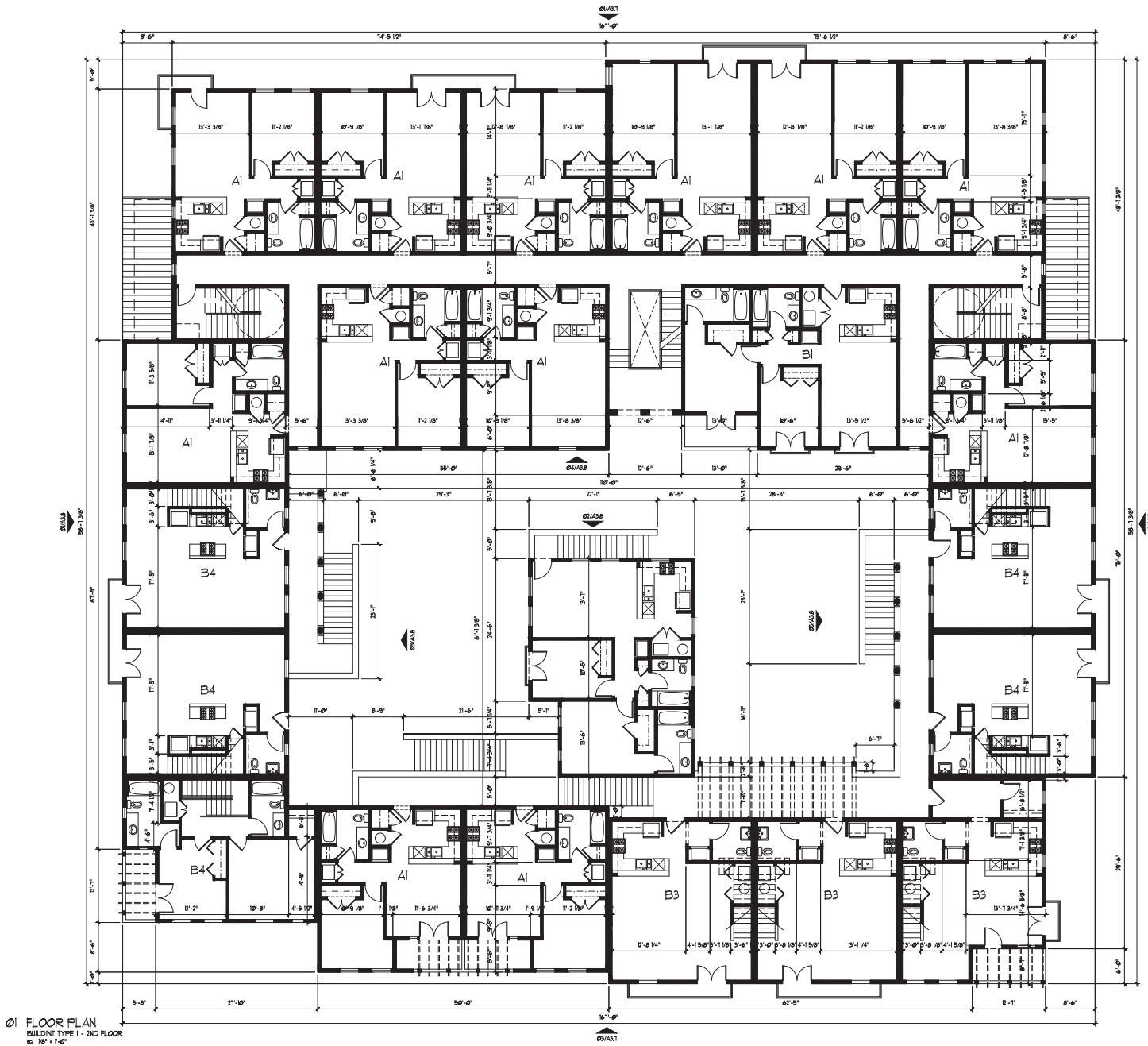
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BUILDING TYPE I  
2ND FLOOR PLAN

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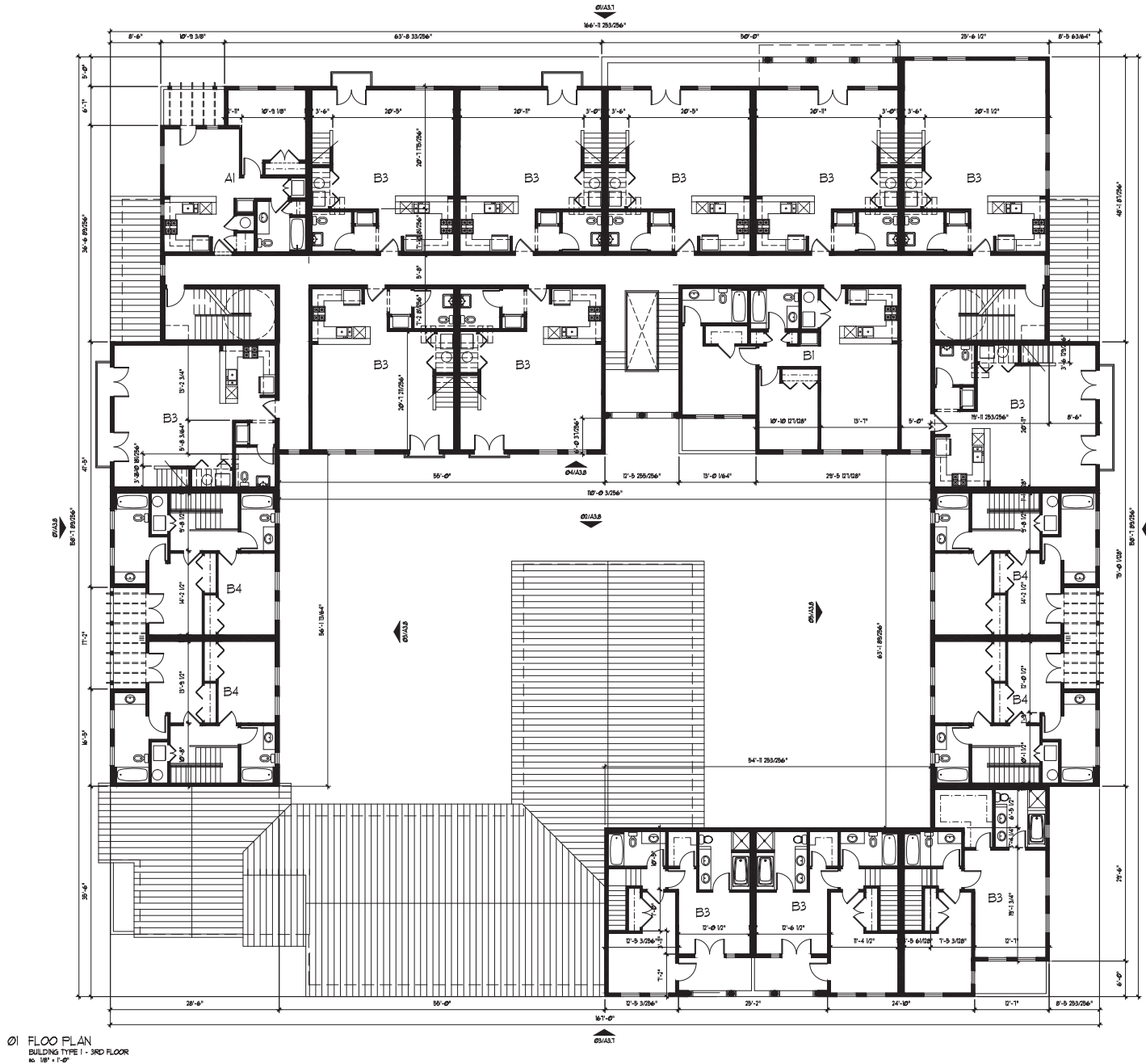
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A3.3





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Page Description  
BUILDING TYPE I  
3RD FLOOR PLAN

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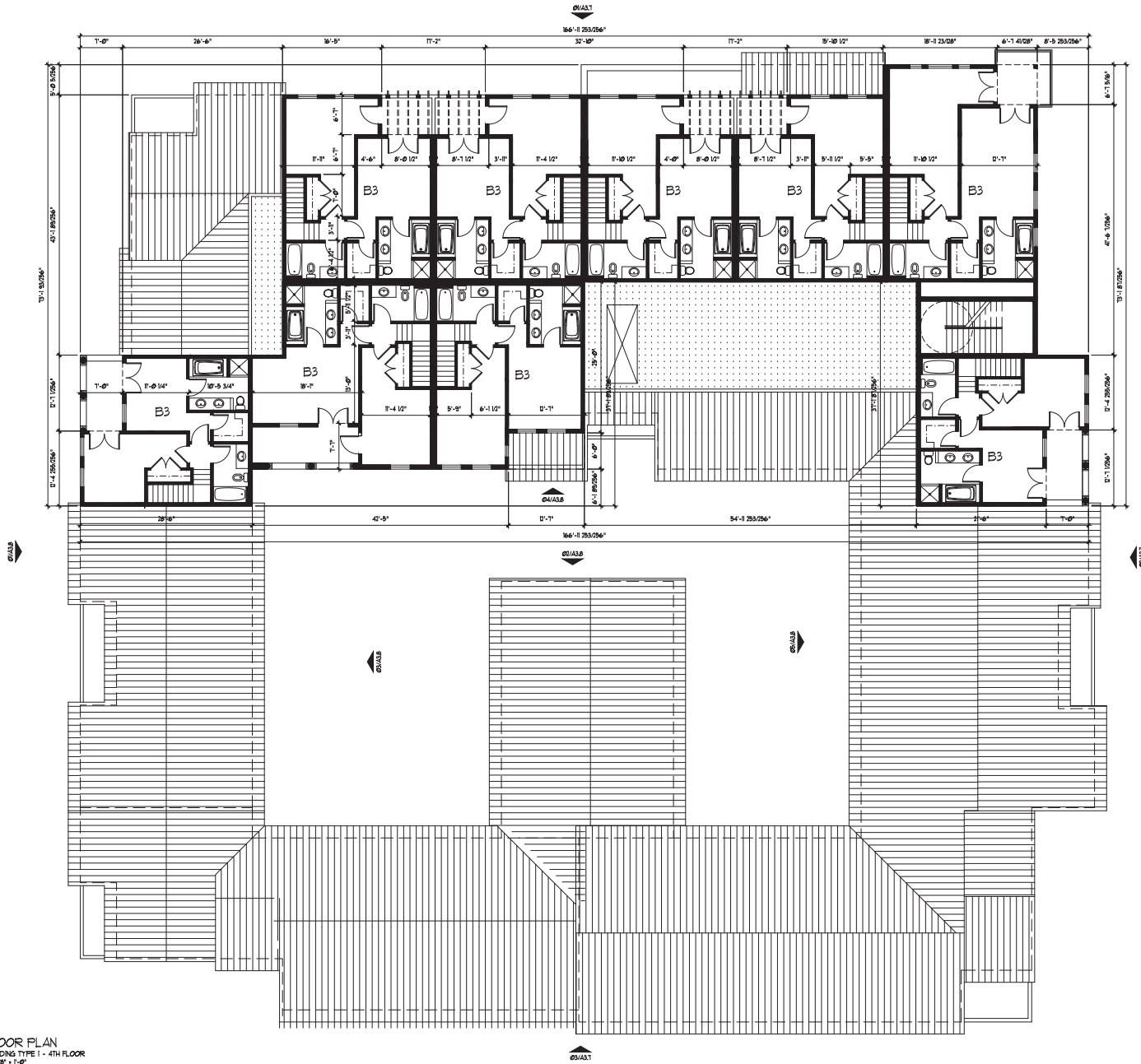
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A3.4

01 FLOOR PLAN  
BUILDING TYPE I - 4TH FLOOR  
AS 1/8" = 1'-0"



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Page Description  
BUILDING TYPE I  
4TH FLOOR PLAN

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Page Description  
BUILDING TYPE 1  
ROOF PLAN

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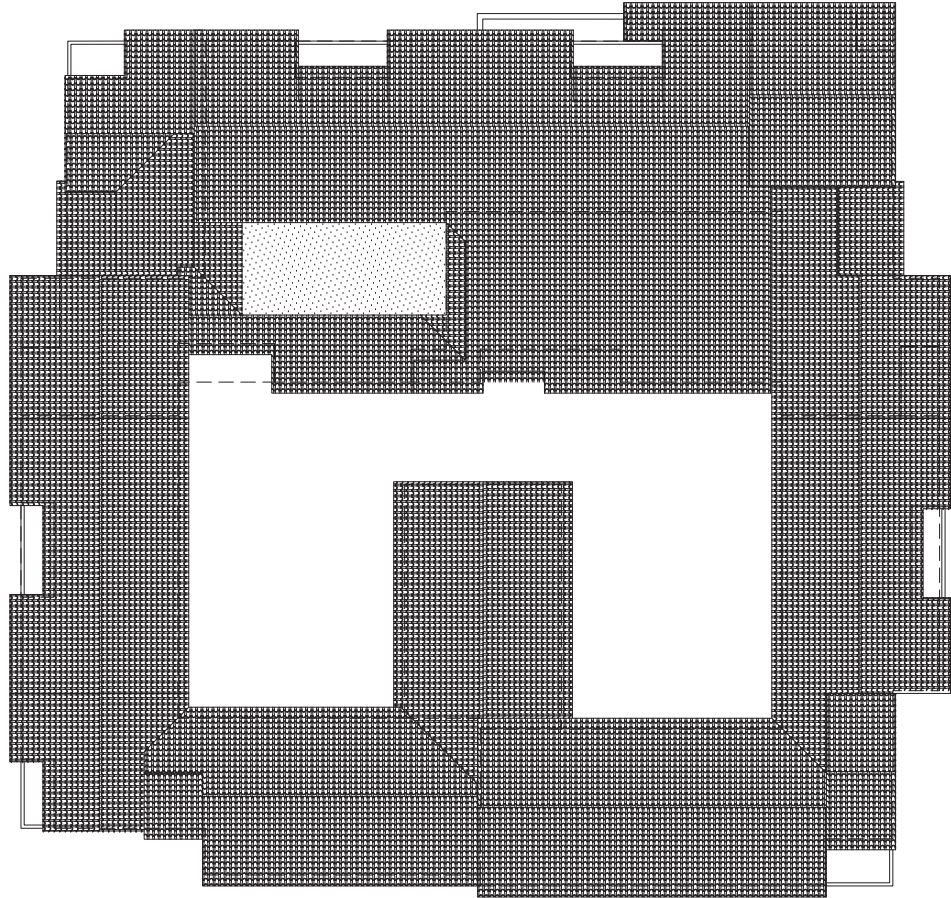
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New Construction Phase

LEGEND

- TILE ROOFING
- WALL WITH STONE VENEER
- 2-4" WALL
- 2 HR. RATED FIRE WALL
- 30/36 ATTIC ACCESS  
PANEL PROVIDE LOCK  
(1 HR. RATED) REF. 04/04/04
- DRAFTSTOP DOOR 22/36 REF. 02 4 04/04/04
- ATTIC DRAFTSTOP
- SINGLE PLY ROOFING

GENERAL NOTES

- 2-4" WALLS AT BREEDWAYS AND ADJACENT TO  
UNCOMBINED-ORIENTABLE 2-4" WALLS AT  
TERRACE PERIMETER (SEE 04/04/04) REFER TO UNIT PLANS  
AND WALL SECTIONS.
- REFER TO WALL SECTIONS FOR FIRE RATINGS OF  
WALLS.
- REFER TO BUILDING ELEVATIONS & WALL  
SECTIONS FOR HEIGHTS OF BUILDING MATERIALS.
- ALL ROOF SLOPES ARE 3/8:12 UNLESS OTHERWISE  
NOTED (ON BUILDINGS WITH PITCHED ROOFS AT  
END ELEVATIONS ONLY, REFER TO EXTERIOR  
ELEVATIONS FOR LOCATIONS).
- ALL OVERHANGS ARE 2'-0" AT PITCHED ROOFS  
UNLESS OTHERWISE NOTED.
- GUTTERS ON ALL OVERHANGS NOT OVER LOWER  
ROOFS OR AT - 1st FLOOR PATIO ROOFS -  
GUTTERS & DOWNSPOUTS SIZED BY MANUFACTURER  
PER BIC DOWS PLUMBING CODE, SECT. 106 -  
PAINTED TO MATCH BUILDING COLOR.
- ROOF VENT CONTRACTOR TO COORDINATE WITH  
CLAY TILE MANUFACTURER FOR SIZE & QUANTITY  
AND NET FREE AREA TO MEET CALCULATION FOR  
REQUIRED ROOF VENTILATION.



01 ROOF PLAN  
BUILDING TYPE 1 - ROOF PLAN  
60' x 300' x 100'

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Page Description  
BUILDING TYPE I  
EXTERIOR  
ELEVATIONS

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A3.7



01 EXTERIOR ELEVATION  
BUILDING TYPE I - NORTH • BLDG 1  
SC: 1/8" = 1'-0"



02 EXTERIOR ELEVATION  
BUILDING TYPE I - EAST • BLDG 1  
SC: 1/8" = 1'-0"



03 EXTERIOR ELEVATION  
BUILDING TYPE I - SOUTH • BLDG 1  
SC: 1/8" = 1'-0"





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San Antonio, TX  
New Construction Phase

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BUILDING TYPE 1  
EXTERIOR  
ELEVATIONS

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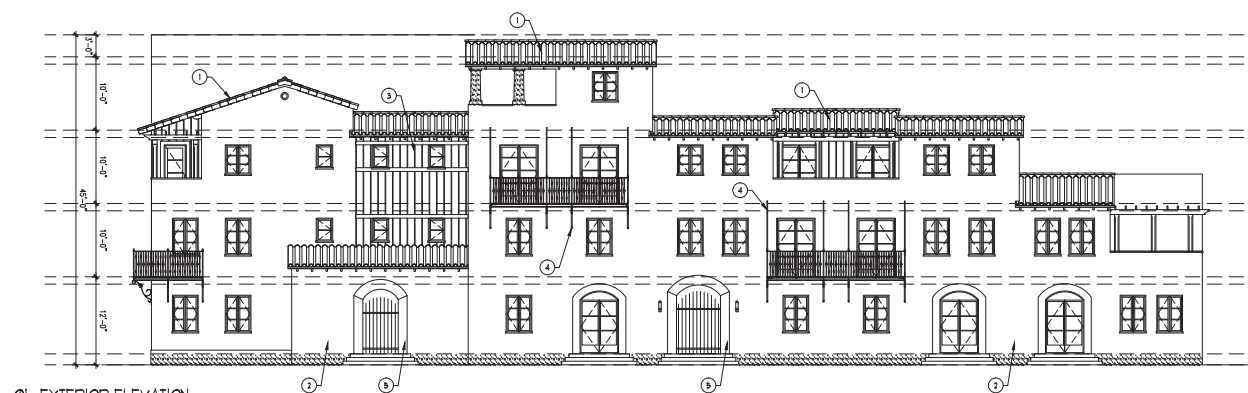
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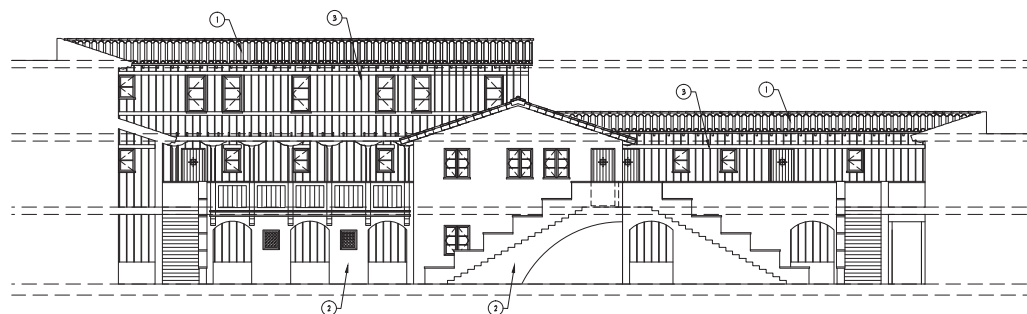
A3.8

#### KEYNOTES

1. BARREL TILE ROOF
2. STUCCO
3. BOARD AND BATTEN, CEMENT FIBER BOARD
4. DECORATIVE WROUGHT IRON BALCONY
5. CAST STONE
6. DECORATIVE WROUGHT IRON PLANTER
7. CAST STONE COLUMN
8. CAST STONE WALL CAP
9. ROUGH SAWN CEDAR BEAM
10. OVERHEAD DOOR
11. ROUGH SAWN CEDAR EXPOSED RAFTER TAIL
12. ROUGH SAWN CEDAR TRELLIS
13. ROUGH SAWN CEDAR FASCIA
14. ROUGH SAWN CEDAR COLUMN



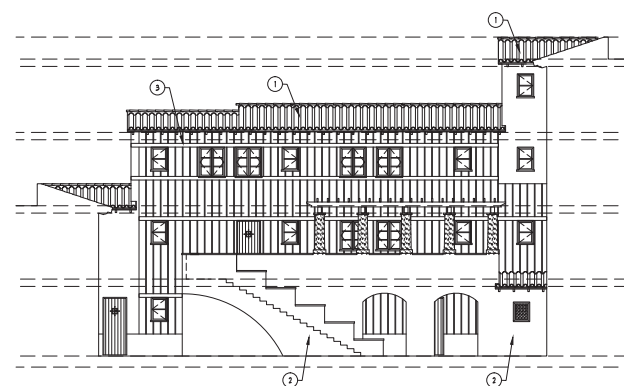
01 EXTERIOR ELEVATION  
BUILDING TYPE 1 - WEST  
SC: 1/8" = 1'-0"



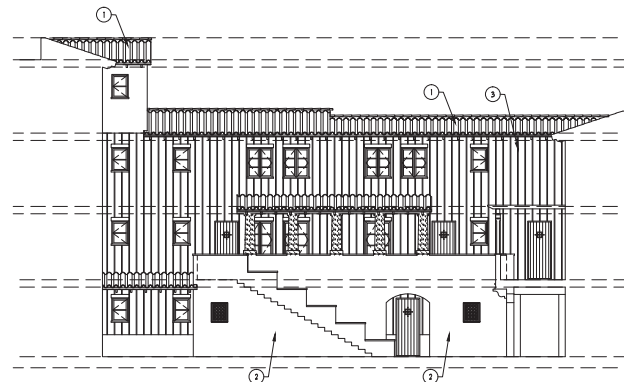
02 EXTERIOR ELEVATION  
BUILDING TYPE 1 - COURTYARD - SOUTH  
SC: 1/8" = 1'-0"



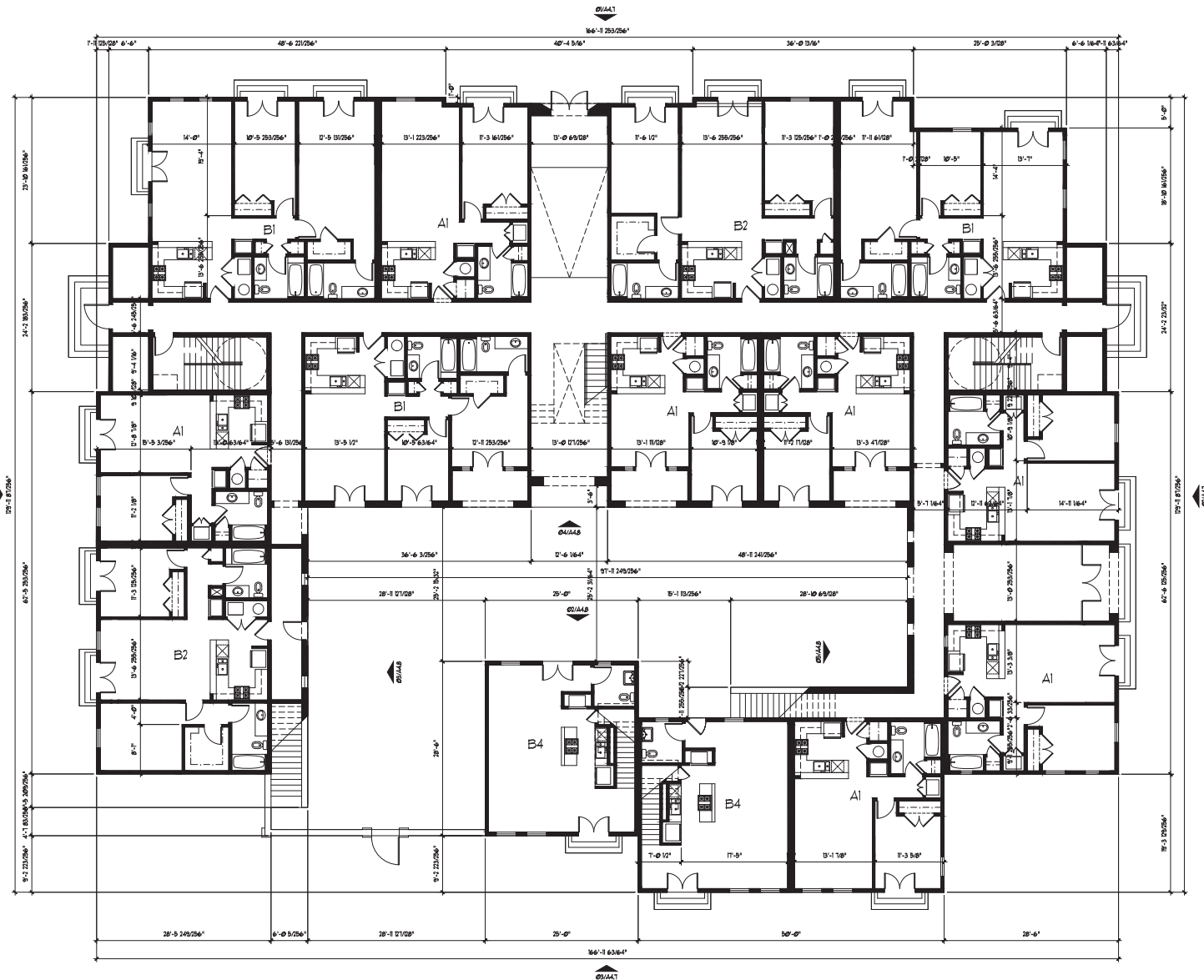
04 EXTERIOR ELEVATION  
BUILDING TYPE 1 - COURTYARD - NORTH  
SC: 1/8" = 1'-0"



03 EXTERIOR ELEVATION  
BUILDING TYPE 1 - COURTYARD - WEST  
SC: 1/8" = 1'-0"



05 EXTERIOR ELEVATION  
BUILDING TYPE 1 - COURTYARD - EAST  
SC: 1/8" = 1'-0"



01 FLOOR PLAN  
BUILDING TYPE II - 1ST FLOOR  
1/8\"/>

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Page Description

BUILDING TYPE II  
1ST FLOOR PLAN

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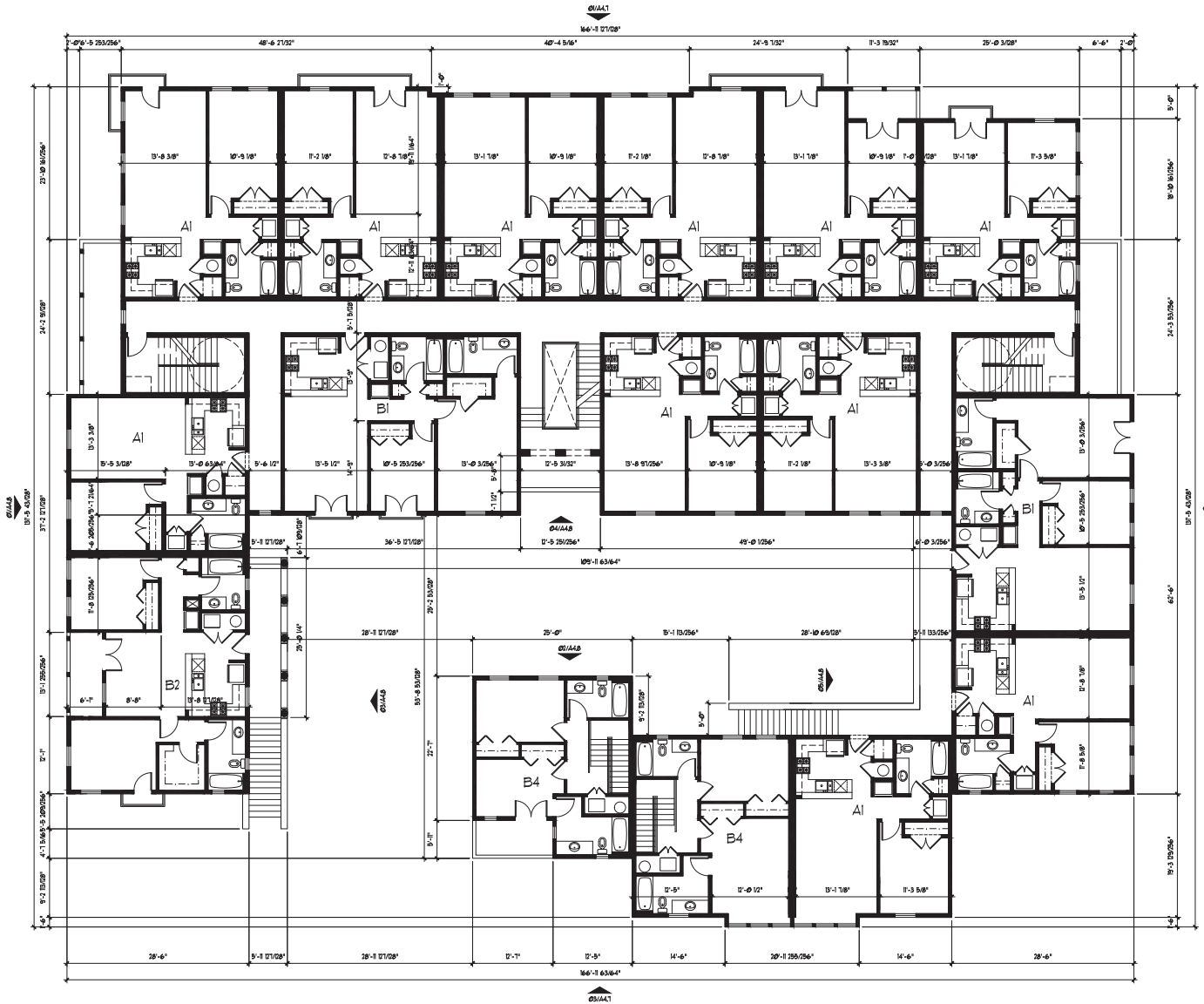
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01 FLOOR PLAN  
BUILDING TYPE II - 2ND FLOOR  
10' 0" = 1" 0"



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Page Description  
BUILDING TYPE II  
2ND FLOOR PLAN

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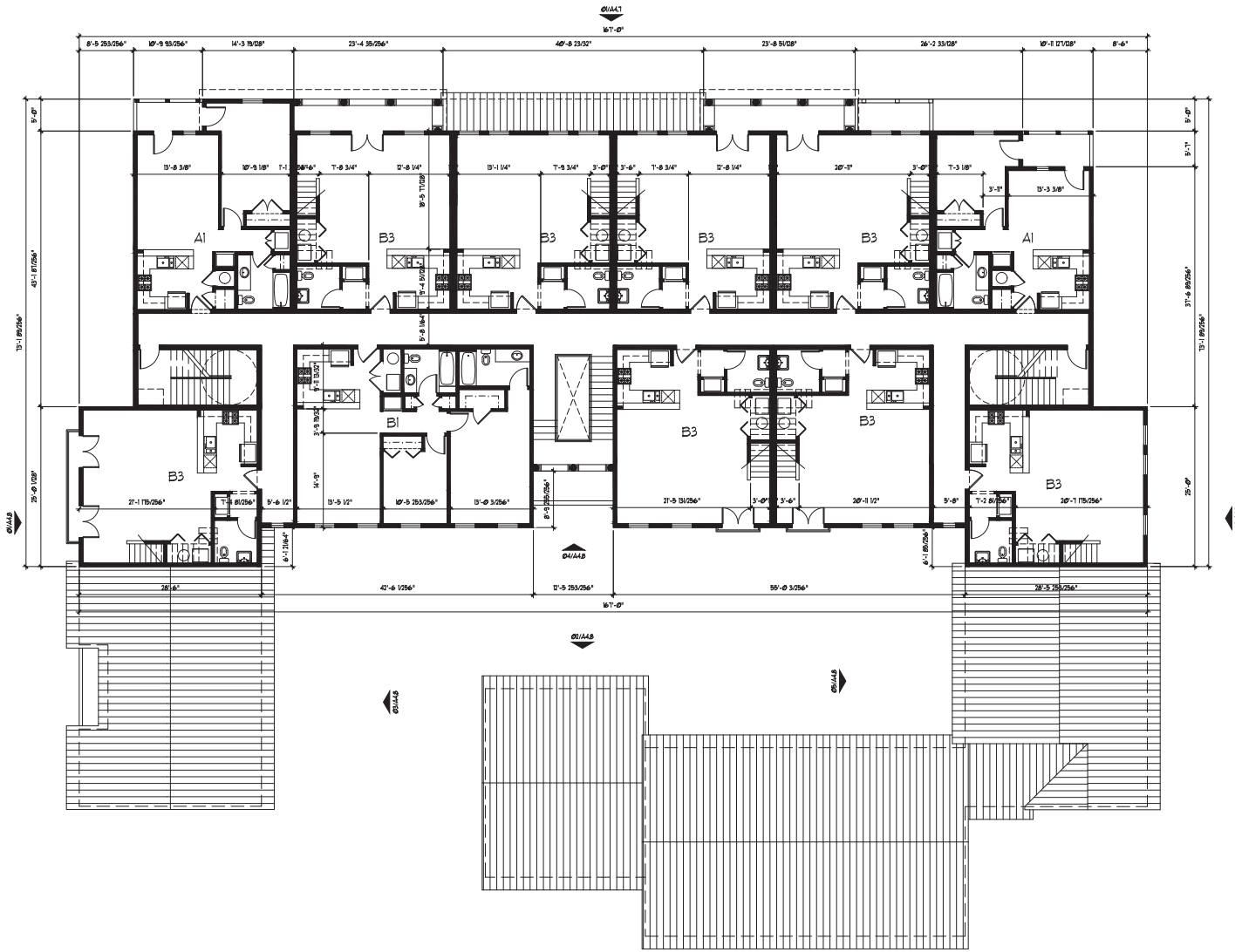
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01 FLOOR PLAN  
BUILDING TYPE II - 3RD FLOOR  
10' - 10' - 10'



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Page Description  
BUILDING TYPE II  
3RD FLOOR PLAN

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Page Description  
BUILDING TYPE II  
4TH FLOOR PLAN

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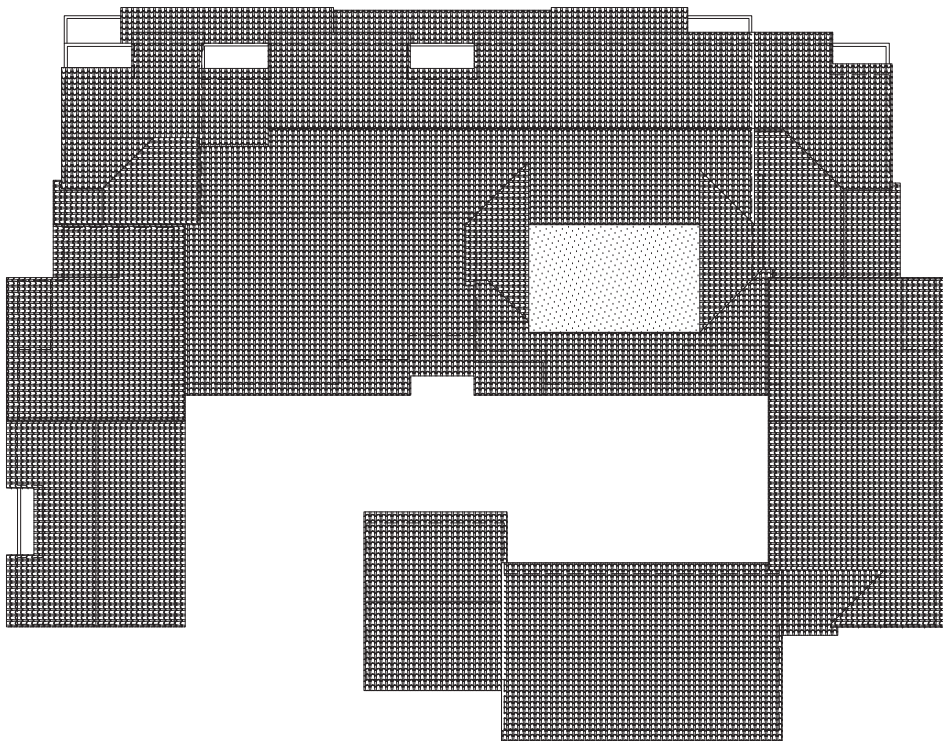
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01 ROOF PLAN  
BUILDING TYPE II - ROOF PLAN  
1/8" = 1'-0"

**LEGEND**

TILE ROOFING

SINGLE PLY ROOFING

WALL WITH STONE VENEER

2 1/2" WALL

2 HR RATED FIRE WALL

30x36 ATTIC ACCESS PANEL PROVIDE LOCK (1 HR RATED) REF. 04/1A/B4


DRAFTSTOP DOOR 22x36 REF. D 4 1A/B4

ATTIC DRAFTSTOP

**GENERAL NOTES**

1. 2 1/2" WALLS AT BREASTWATS AND ADJACENT TO UNCONFINED OVERHANGS 3/4" WALLS AT TERRACES/PORCHES/LODGE REFER TO UNIT PLANS AND WALL SECTIONS.
2. REFER TO WALL SECTIONS FOR FIRE RATINGS OF WALLS.
3. REFER TO BUILDING ELEVATIONS 4 WALL SECTIONS FOR HEIGHTS OF BUILDING MATERIALS.
4. ALL ROOF SLOPES ARE 1/8" UNLESS OTHERWISE NOTED (ON BUILDINGS WITH PITCHED ROOFS AT END ELEVATIONS ONLY, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
5. ALL OVERHANGS ARE 2'-0" AT PITCHED ROOFS UNLESS OTHERWISE NOTED.
6. GUTTERS ON ALL OVERHANGS NOT OVER LOWER ROOFS OR AT 4th FLOOR PATIO ROOFS - GUTTERS 4' COMPOSITE SIZES BY MANUFACTURER PER IRC 2006 PLUMBING CODE, SECT. 106 - PAINTED TO MATCH BUILDING COLOR.
7. ROOF VENT CONTRACTOR TO COORDINATE WITH CLAY TILE MANUFACTURER FOR SIZE & QUANTITY AND NET FREE AREA TO MEET CALCULATION FOR REQUIRED ROOF VENTILATION.

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BUILDING TYPE II  
ROOF PLAN

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Page Description  
BUILDING TYPE II  
EXTERIOR  
ELEVATIONS

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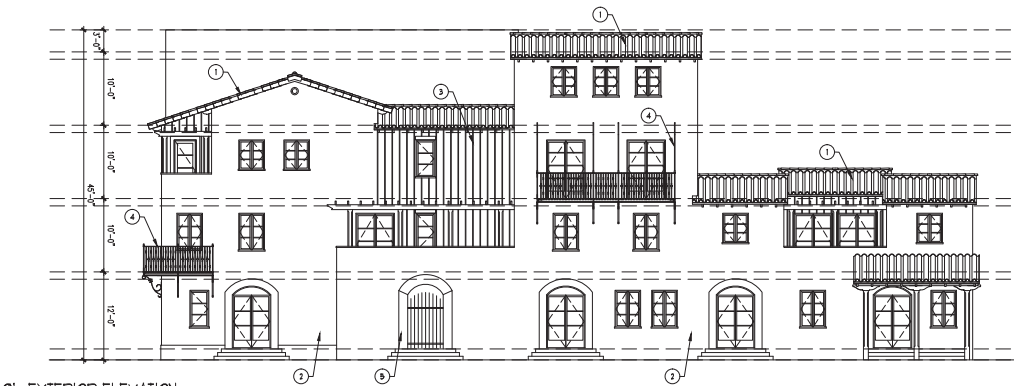
01 EXTERIOR ELEVATION  
BUILDING TYPE II - NORTH  
1/8" = 1'-0"



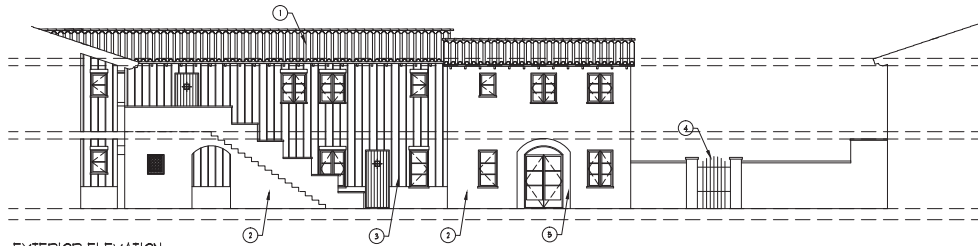
02 EXTERIOR ELEVATION  
BUILDING TYPE II - EAST  
1/8" = 1'-0"



03 EXTERIOR ELEVATION  
BUILDING TYPE II - SOUTH  
1/8" = 1'-0"



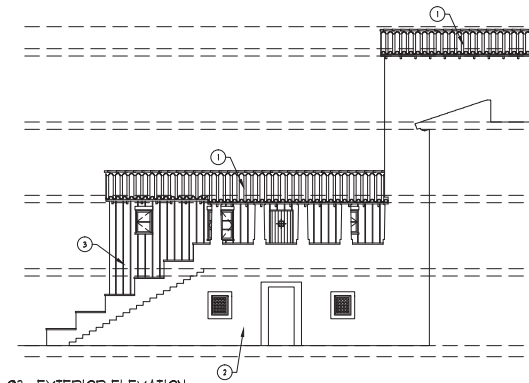
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BUILDING TYPE II - WEST  
1/8" = 1'-0"



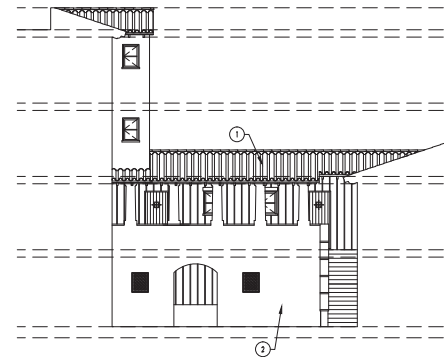
02 EXTERIOR ELEVATION  
BUILDING TYPE II - COURTYARD - SOUTH  
1/8" = 1'-0"



04 EXTERIOR ELEVATION  
BUILDING TYPE II - COURTYARD - NORTH  
1/8" = 1'-0"



03 EXTERIOR ELEVATION  
BUILDING TYPE II - COURTYARD - WEST  
1/8" = 1'-0"



05 EXTERIOR ELEVATION  
BUILDING TYPE II - COURTYARD - EAST  
1/8" = 1'-0"

- KEYNOTES
1. BARREL TILE ROOF
  2. STUCCO
  3. BOARD AND BATTEN, CEMENT FIBER BOARD
  4. DECORATIVE UNWROUGHT IRON BALCONY
  5. CAST STONE
  6. DECORATIVE UNWROUGHT IRON PLANTER
  7. CANTERA STONE COLUMN
  8. CANTERA STONE WALL CAP
  9. ROUGH SAWN CEDAR BEAM
  10. OVERHEAD DOOR
  11. ROUGH SAWN CEDAR EXPOSED RAFTER TAIL
  12. ROUGH SAWN CEDAR TRUSS
  13. ROUGH SAWN CEDAR FASCIA
  14. ROUGH SAWN CEDAR COLUMN



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Page Description  
BUILDING TYPE II  
EXTERIOR  
ELEVATIONS

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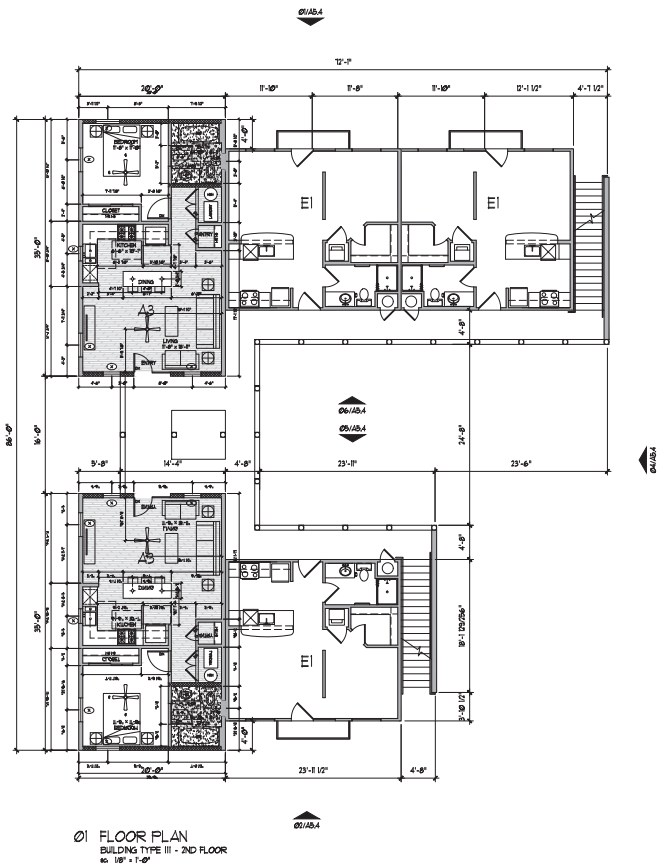
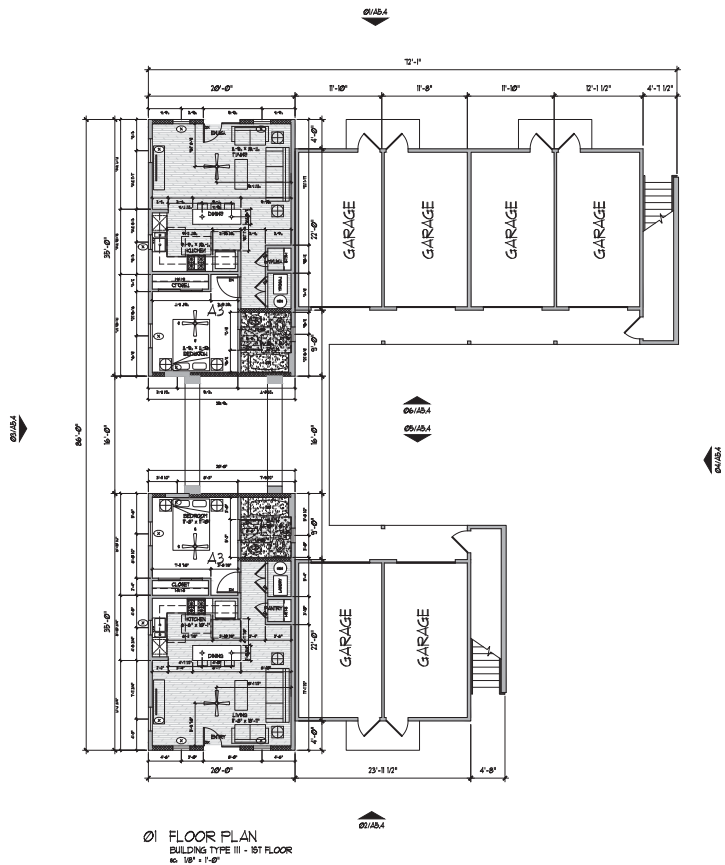
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Page Description  
BUILDING TYPE III  
FLOOR PLANS

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compliance to the architect.

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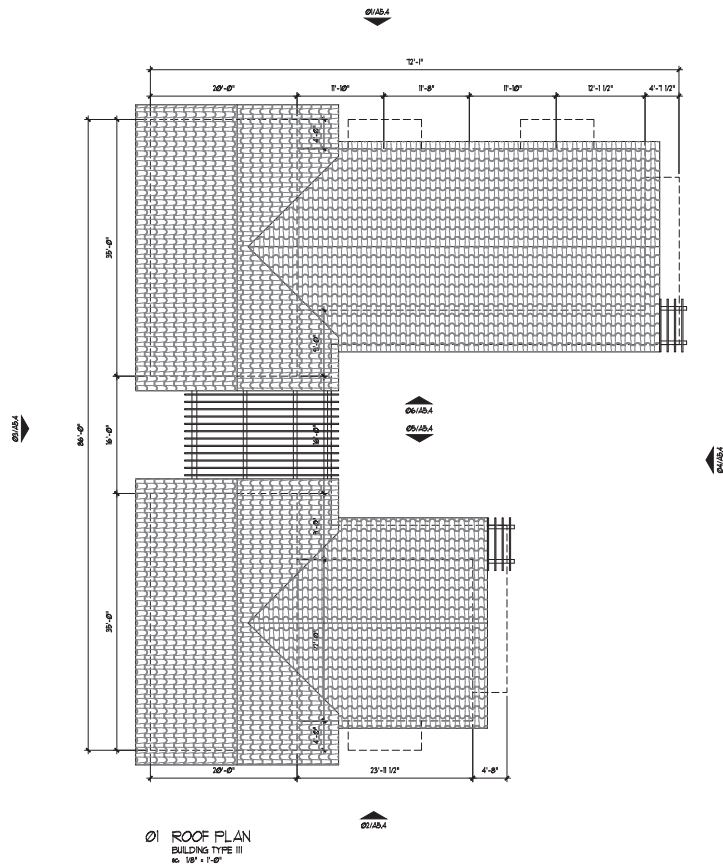
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- LEGEND**
- TILE ROOFING
- SINGLE PLY ROOFING
- WALL WITH STONE VENEER
- 2x6 WALL
- 2 HR. RATED FIRE WALL
- 30x36 ATTIC ACCESS PANEL, PROVIDE LOCKS (1 HR. RATED) REF. 04/A1004
- DRAFTSTOP DOOR 22x36 REF. 02 4 04/A004
- ATTIC DRAFTSTOP
- GENERAL NOTES**
- 2x6 WALLS AT BREASTHITS AND ADJACENT TO UNCONFINED OPENINGS DOUBLE 2x4 WALLS AT TERRACE PERIMETER. REFER TO UNIT PLANS AND WALL SECTIONS.
  - REFER TO WALL SECTIONS FOR FIRE RATINGS OF WALLS.
  - REFER TO BUILDING ELEVATIONS 4 WALL SECTIONS FOR HEIGHTS OF BUILDING MATERIALS.
  - ALL ROOF SLOPES ARE 3:12 UNLESS OTHERWISE NOTED. ON BUILDINGS WITH PITCHED ROOFS AT END ELEVATIONS ONLY, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.
  - ALL OVERHANGS ARE 2'-0" AT PITCHED ROOFS UNLESS OTHERWISE NOTED.
  - GUTTERS ON ALL OVERHANGS NOT OVER LOWER ROOFS OR AT - 4th FLOOR PATIO ROOFS - GUTTERS 4 DOWNSPOUTS SIZED BY MANUFACTURER PER S.D. 1005 PLUMBING CODE, SECT. 106 - PAINTED TO MATCH BUILDING COLOR.
  - ROOF VENT CONTRACTOR TO COORDINATE WITH CLAY TILE MANUFACTURER FOR SIZE & QUANTITY AND NET FREE AREA TO MEET CALCULATION FOR REQUIRED ROOF VENTILATION.

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BUILDING TYPE III  
ROOF PLANS

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BUILDING TYPE III  
EXTERIOR  
ELEVATIONS

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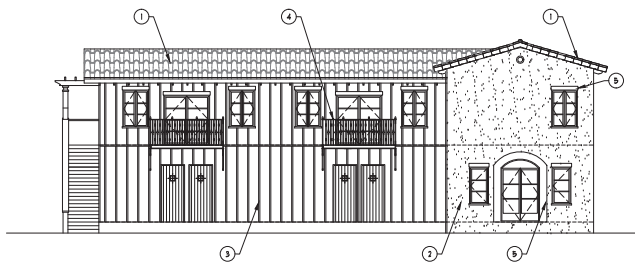
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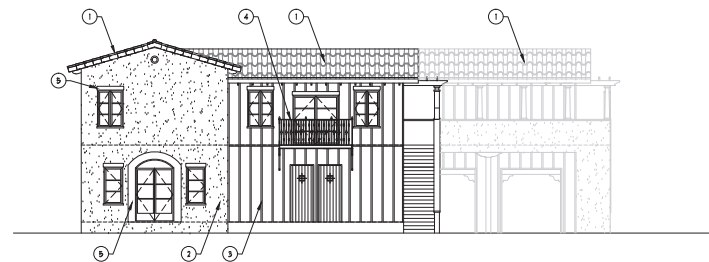
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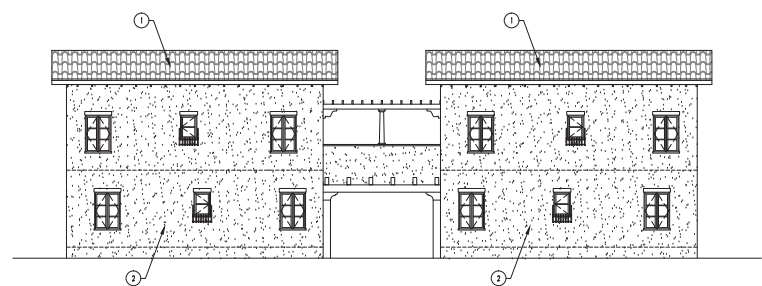
- KEYNOTES
1. BARREL TILE ROOF
  2. STUCCO
  3. BOARD AND BATTEN CEMENT FIBER BOARD
  4. DECORATIVE WROUGHT IRON BALCONY
  5. CAST STONE
  6. DECORATIVE WROUGHT IRON PLANTER
  7. CANTERA STONE COLUMN
  8. CANTERA STONE WALL CAP
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  10. OVERHEAD DOOR
  11. ROUGH SAWN CEDAR EXPONED RAFTER TAIL
  12. ROUGH SAWN CEDAR TRELLIS
  13. ROUGH SAWN CEDAR FASCIA
  14. ROUGH SAWN CEDAR COLUMN



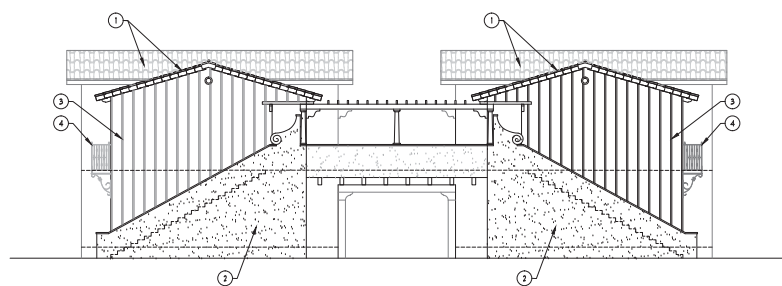
01 EXTERIOR ELEVATIONS  
BUILDING TYPE III - NORTH  
sc. 1/8" = 1'-0"



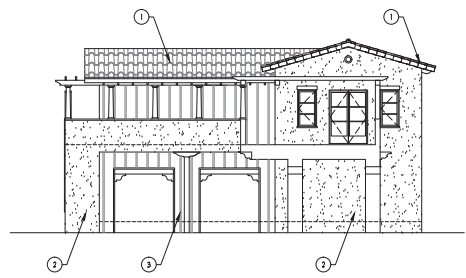
02 EXTERIOR ELEVATIONS  
BUILDING TYPE III - SOUTH  
sc. 1/8" = 1'-0"



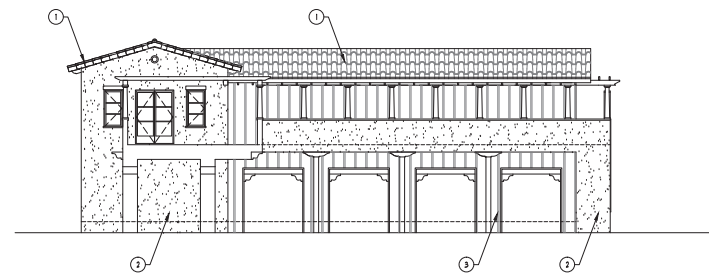
03 EXTERIOR ELEVATIONS  
BUILDING TYPE III - WEST  
sc. 1/8" = 1'-0"



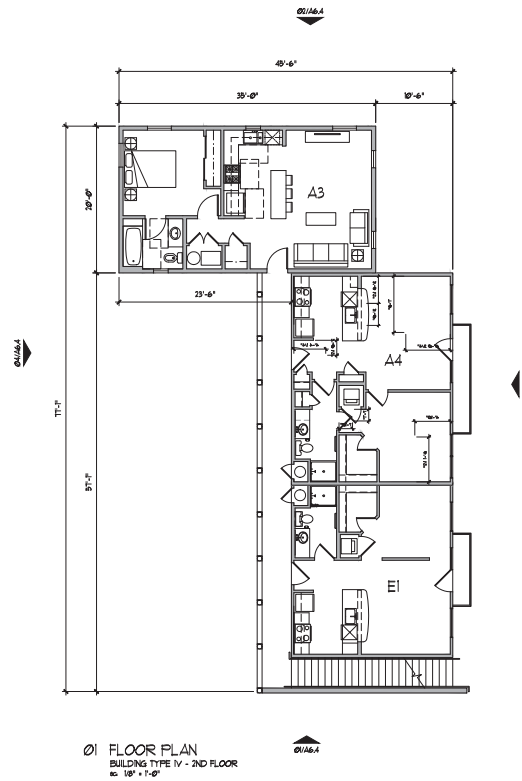
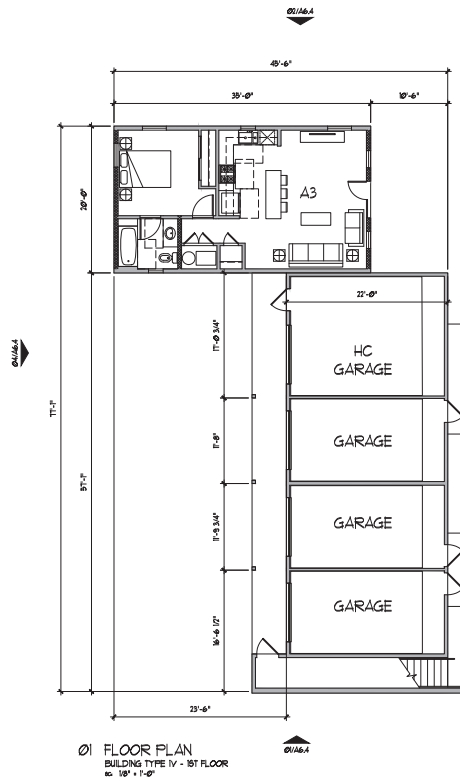
04 EXTERIOR ELEVATIONS  
BUILDING TYPE III - EAST  
sc. 1/8" = 1'-0"



05 EXTERIOR ELEVATIONS  
BUILDING TYPE III - NORTH (COURTYARD)  
sc. 1/8" = 1'-0"



06 EXTERIOR ELEVATIONS  
BUILDING TYPE III - SOUTH (COURTYARD)  
sc. 1/8" = 1'-0"



#### LEGEND

- WALL WITH NYONE VENEER
- 2x6 WALL
- 2 HR. RATED FIRE WALL
- 30x36 ATTIC ACCESS PANEL PROVIDE LOCK (1 HR. RATED) REF. 04/A10/04
- DRAFTSTOP DOOR 22x36 REF. 04 B10/04
- ATTIC DRAFTSTOP

#### GENERAL NOTES

1. 2x6 WALLS AT BREESTWAYS AND ADJACENT TO UNCONDITIONED SPACES DOUBLE 2x4 WALLS AT TENANT SEPARATION WALLS. REFER TO UNIT PLANS AND WALL SECTIONS.
2. REFER TO WALL SECTIONS FOR FIRE RATINGS OF WALLS.
3. REFER TO BUILDING ELEVATIONS 4 WALL SECTIONS FOR HEIGHTS OF BUILDING MATERIALS.
4. ALL ROOF SLOPES ARE 3/8:12 UNLESS OTHERWISE NOTED (ON BUILDINGS WITH PITCHED ROOFS AT END ELEVATIONS ONLY, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
5. ALL OVERHANGS ARE 2'-0" AT PITCHED ROOFS UNLESS OTHERWISE NOTED.
6. GUTTERS ON ALL OVERHANGS NOT OVER LOWER ROOFS OR AT - 4th FLOOR RATED ROOFS - GUTTERS 4 DOWNSPOUTS SIZED BY MANUFACTURER PER IBC 509 PLUMBING CODE, SECT. 509.1 - PAINTED TO MATCH BUILDING COLOR.
7. ROOF VENT CONTRACTOR TO COORDINATE WITH CLAY TILE MANUFACTURER FOR SIZE & QUANTITY AND NET FREE AREA TO MEET CALCULATION FOR REQUIRED ROOF VENTILATION.



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BUILDING TYPE IV  
FLOOR PLANS

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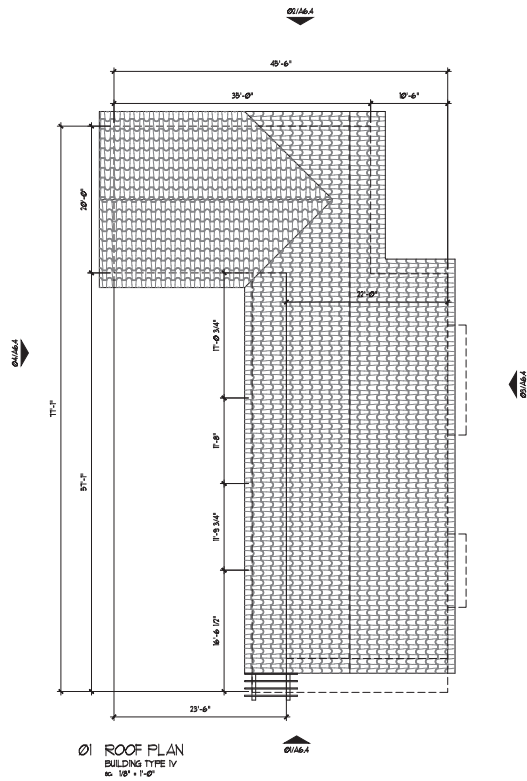
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KEYPLAN



CALCULATIONS FOR BLDG TYPE I ROOF VENTILATION:

(SQUARE FOOTAGE OF ROOF AREA SERVED  $\times$  144 sq ft / 3000  $\times$  FREE AREA OF ROOF VENTILATION REQUIRED (HALF OF THIS AREA MUST BE PROVIDED IN ROOFIT AND THE OTHER HALF NEAR THE RIDGE))

AREA - A  
(7,428  $\times$  144) / 3000  $\times$  1.066 93 IN. OF VENTING  
(866 SQ. FT.  $\times$  144) / 3000 400 VENTS AND 866 SQ. FT. OF RIDGE VENTS AND/OR TURTLE VENTS.

AREA - B  
VENTILATION NOT REQUIRED PER 2015 IBC SECTION 2003.3

**LEGEND**

TILE ROOFING

WALL WITH STONE VENEER

2nd WALL

2 HR. RATED FIRE WALL

3RD-6th ATTIC ACCESS PANEL PROVIDE LOCK (1 HR. RATED) REF. 04/AB04

DRAFTSTOP DOOR 22x36 REF. 04/AB04

ATTIC DRAFTSTOP

**GENERAL NOTES**

- 2nd WALLS AT BREEDWAYS AND ADJACENT TO UNCONDITIONED SPACES DOUBLE 2x4 WALLS AT TENANT SEPARATION WALLS REFER TO UNIT PLANS AND WALL SECTIONS.
- REFER TO WALL SECTIONS FOR FIRE RATINGS OF WALLS.
- REFER TO BUILDING ELEVATIONS & WALL SECTIONS FOR HEIGHTS OF BUILDING MATERIALS.
- ALL ROOF SLOPES ARE 3:12 UNLESS OTHERWISE NOTED (ON BUILDINGS WITH PITCHED ROOFS AT END ELEVATIONS ONLY, REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS).
- ALL OVERHANGS ARE 3'-0" AT PITCHED ROOFS UNLESS OTHERWISE NOTED.
- GUTTERS ON ALL OVERHANGS NOT OVER LOWER ROOFS OR AT 4th FLOOR PATIO ROOFS - GUTTERS & DOWNSPUTS SIZED BY MANUFACTURER PER IBC 2015 PLUMBING CODE, SECT. 106 - PAINTED TO MATCH BUILDING COLOR.
- ROOF VENT CONTRACTOR TO COORDINATE WITH CLAY TILE MANUFACTURER FOR SIZE & QUANTITY AND NET FREE AREA TO MEET CALCULATION FOR REQUIRED ROOF VENTILATION.



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BUILDING TYPE IV  
ROOF PLANS

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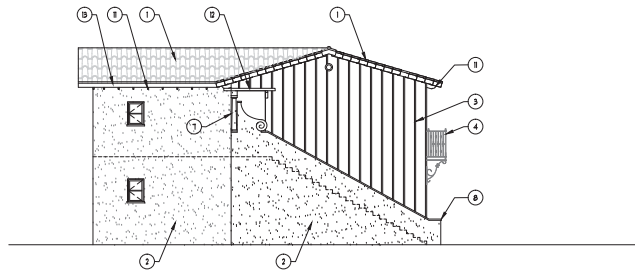
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Project No. 14005

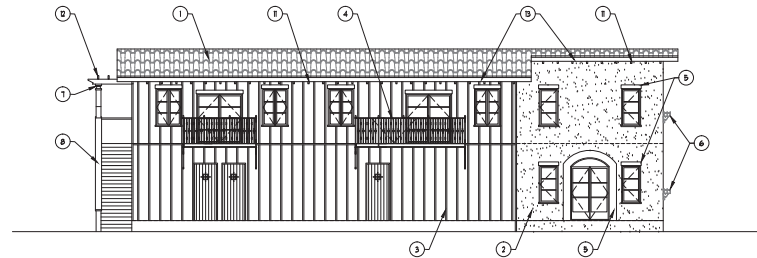
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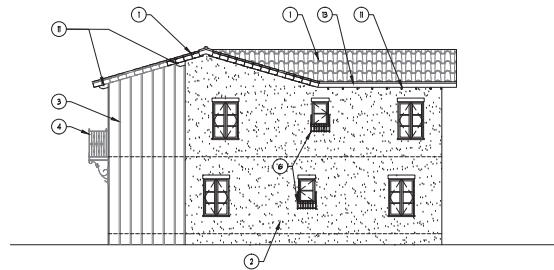
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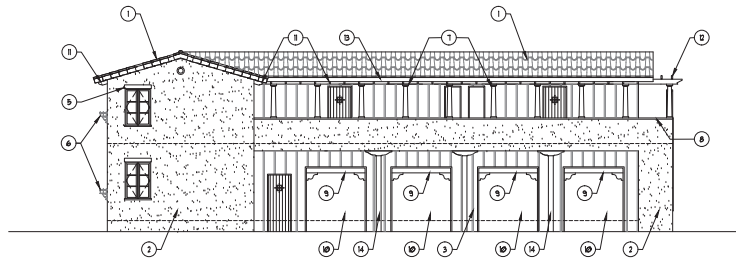
01 EXTERIOR ELEVATIONS  
BUILDING TYPE IV - SOUTH  
SC 1/8" = 1'-0"



03 EXTERIOR ELEVATIONS  
BUILDING TYPE IV - EAST  
SC 1/8" = 1'-0"



02 EXTERIOR ELEVATIONS  
BUILDING TYPE IV - NORTH  
SC 1/8" = 1'-0"



04 EXTERIOR ELEVATIONS  
BUILDING TYPE IV - WEST (COURTYARD)  
SC 1/8" = 1'-0"

- KEYNOTES
1. BARREL TILE ROOF
  2. STUCCO
  3. BOARD AND BATTEN CEMENT FIBER BOARD
  4. DECORATIVE WROUGHT IRON BALCONY
  5. CAST STONE
  6. DECORATIVE WROUGHT IRON PLANTER
  7. CANTERA STONE COLUMN
  8. CANTERA STONE WALL CAP
  9. ROUGH SAWN CEDAR BEAM
  10. OVERHEAD DOOR
  11. ROUGH SAWN CEDAR EXPOSED RAFTER TAIL
  12. ROUGH SAWN CEDAR TRELLIS
  13. ROUGH SAWN CEDAR FASCIA
  14. ROUGH SAWN CEDAR COLUMN



222 Ridgeway  
San Antonio, Texas 78209  
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www.b-a-architects.com

Architect  
ERIC A. BRENDLER JR.

DATE 07/01/2016

NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION

Issuance:  
Review Only Set: 07.01.2016

Revisions:

St. John's  
Apartments  
San Antonio, TX  
New Construction Phase

Page Description  
BUILDING TYPE IV  
EXTERIOR  
ELEVATIONS

These drawings and accompanying  
specifications are the sole instrument  
of service and shall remain the property  
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for the use of the client for information only.  
The project is not to be used for any other  
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the architect.

Drawn By: --

Checked By:

Project No. 14005

Date: 07/01/2016

Page

A6.4

NOT FOR CONSTRUCTION FOR PRELIMINARY REVIEW ONLY

**DODSON HOUSE MOVING**  
**DEMOLITION**

OFFICE (210) 628-1459

FAX (210) 628-1070

CELL (210) 393-1560

GATOR@DODSONHOUSEMOVING.COM

**PROFESSIONAL OPINION:** Is for Mark Tolley representing 203 & 215 Felisa St., San Antonio TX. The homes located at the above mentioned addresses would not qualify for transport because the structure of the homes is too weak and would deteriorate and collapse during transport. My suggestion is to demolish these structures. For any further questions feel free to contact me.

HOMES DO NOT QUALIFY FOR TRANSPORT.

<b>Dodson Demolition</b>	
<b>CONTRACTOR:</b>	<b>CONTRACTING AGENT:</b>
Signature	Signature
Print Name & Title	Print Name
<u>Gator Dodson/President</u>	
Date	Date
6/30/16	

**DODSON HOUSE MOVING**  
**DEMOLITION**

P.O. BOX 240339

SAN ANTONIO TX 78224

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FAX (210) 628-1070

[GATOR@DODSONHOUSEMOVING.COM](mailto:GATOR@DODSONHOUSEMOVING.COM)



1. Barrel Tile Roof - material options of Clay, Concrete, or Composite



2. Cement plaster with integral color - Benjamin Moore "Lemon Chiffon"



3. Cement plaster with integral color - Pratt & Lambert "Gladstone"



4. Cement plaster with integral color - Benjamin Moore "York Harbor Yellow" #2154-40



5. Woodwork and paneling painted - Benjamin Moore "Herb Bouquet"



6. Woodwork and paneling painted - Benjamin Moore "Stone Hearth"



7. Cement Plaster finish



8. Cast Stone Door Surround



9. Metal Balcony, painted (see #5 & 7)



10. Hardie Plank siding board & batten, color: Sail Cloth



11. Fiberglass or vinyl door/window assembly (tan)



12. Fiberglass or vinyl door/window assembly (clay)

## St. John's Seminary Redevelopment - Materials & Finishes

07-01-2016



# St. John's Seminary Redevelopment

## Sample Material Cut-Sheets

# Texas - Clay Roof Tile

## 1-PIECE "S" TILE & 2-PIECE MISSION

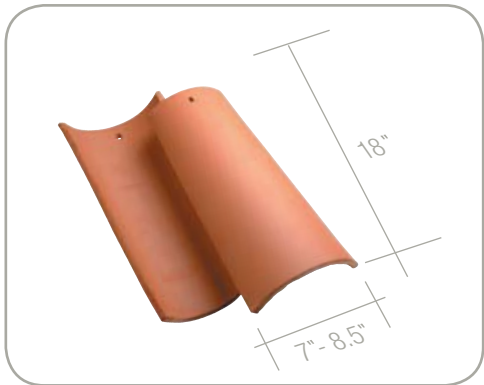


### NOW AVAILABLE LOCALLY AT THE KATY PLANT

- 1-Piece "S" Tile is **Class 3 Hail Rated**
- Cradle-to-Cradle™ Gold – Leading the industry in Sustainable Roof Tiles
- Can be used with Boral's Energy Efficient Roof Systems
- Transferable, Lifetime Limited Warranty with Fade and Labor Coverage







Coverage	Installed Weight / Square
At 3" minimum headlap, 172 field tiles will cover approx. 100 square feet of roof area.	Approx: 1,000 lbs.

## 2-Piece Mission

First appearing in the bronze-age on the temple roofs of kings, and refined through fire-baking by the ancient Greeks, 2-Piece clay tiles have been the ultimate roofing product for millennia.

Our highly refined modern manufacturing techniques have enabled Boral to improve on the ageless tradition and style of traditional 2-Piece clay tile design, and delivers a color fast, no fade\*, durable product that lasts a lifetime.

\*Please refer to the Boral Roofing/US Tile clay roof tile Transferable, Lifetime Limited Warranty with Fade and Labor Coverage; details found on our website.

### 2-Piece Mission Birdstop



### Red

tops: 1UADU7025 / pans: 1UBDU7025



Reflectance: 0.42 / Emittance: 0.85 / SRI: 46

### El Camino Blend

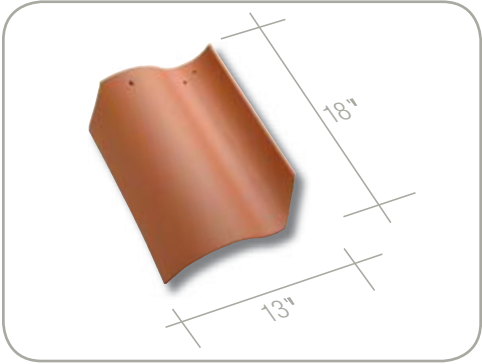
tops: 1UADU6073 / pans: 1UBDU7025



Reflectance: 0.33 / Emittance: 0.82 / SRI: 32



*Faux Mission - Custom Blend*



# 1-Piece “S” Tile

The modern design of our one-piece “S” Tile combines the cap and pan of a 2-Piece system into a single piece, delivering traditional aesthetics using fewer tiles, saving cost and installation time.

Made from the same natural clays and kiln-fired colors, our “S” Tile products are true to their roots, allowing custom roofscape options such as boosting, while providing the rich beauty and durability of clay at a substantially lower price.

## 1-Piece “S” Tile Birdstop



Coverage	Installed Weight / Square
At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx: 800 lbs.

### Red

1USDU7025



Reflectance: 0.42 / Emittance: 0.85 / SRI: 46

### El Camino Blend

1USDU6073



Reflectance: 0.33 / Emittance: 0.82 / SRI: 32

### Newport Blend

1USDU7040



Reflectance: 0.19 / Emittance: 0.84 / SRI: 15

### Madera Blend

1USDU3107



Reflectance: 0.29 / Emittance: 0.86 / SRI: 29

### Bermuda Blend

1USDU0074



Reflectance: 0.46 / Emittance: 0.78 / SRI: 49





## Faux Mission

The “Faux Mission” installation technique gives architects, builders and homeowners the superior aesthetics of a traditional 2-Piece clay tile roof at an affordable price.

We carefully designed our “S” Tile and our traditional 2-Piece Mission tile profiles to fit together, allowing a custom installation that provides the aesthetics of a traditional 2-Piece tile while capturing the cost saving benefits of an “S” Tile. 2-Piece Mission tiles are installed at the eave where the details of the roof are most visible. The “S” Tiles are then installed on the rest of the roof for a much quicker and easier installation than a traditional 2-Piece tile roof.



### Corporate Office

#### Boral Roofing

200 Mansell Court East, Suite 310  
Roswell, GA 30076

### Western Office

#### Boral Roofing

7575 Irvine Center Drive, Ste. #100  
Irvine, CA 92618

### Customer Service

800 669 TILE (8453)

### Sales Offices

#### Katy, TEXAS

30595 FM 529  
Brookshire, TX 77423

#### Phoenix, ARIZONA

#### Corona, CALIFORNIA

#### Gilroy, CALIFORNIA

#### Lathrop, CALIFORNIA

#### Stockton, CALIFORNIA

#### Rialto, CALIFORNIA

#### Denver, COLORADO

#### Pompano Beach, FLORIDA

#### Lake Wales, FLORIDA

#### Atlanta, GEORGIA

#### Kapolei, HAWAII

#### Kansas City, MISSOURI

#### Henderson, NEVADA

#### Tacoma, WASHINGTON

[www.boralna.com](http://www.boralna.com)



Download a QR Code reader app for your smartphone, then take a photo to visit our website.



The Boral Logo is a trade mark of Boral Limited or its affiliates and may be registered in many jurisdictions worldwide.



Boral **Roofing**  
Build something great™



# Texas Region

CONCRETE TILE STANDARD WEIGHT COLLECTION

Offering Class 4  
and Class 3  
Hail Rated Tile

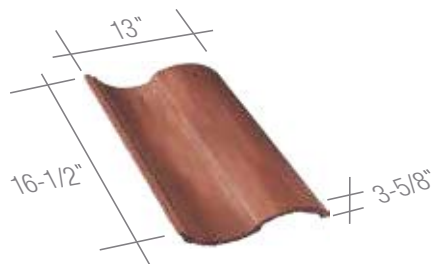


Since 1974





# Tejas España



Tejas España is designed to reflect the classic style and distinctiveness of Spanish architecture.

- Classic style with the durability and value of concrete tile
- Distinct hue combinations that create a beautiful, rustic appearance

Coverage	Installed Weight/Square	Pieces/Pallet	Squares/Pallet	Weight/Pallet
At 3" minimum headlap, 87 field tiles will cover approx. 100 square feet of roof area.	Approx: 900 lbs.	254	2.92	Approx: 2,935 lbs.



# Tejas España

**Charcoal Blend**  
1TECS1430



CRRC ID#: 0942-0072 / Ref: .17 / Emi: .91 / SRI: 16

**Terra Cotta**  
1TECS6100



CRRC ID#: 0942-0049 / Ref: .29 / Emi: .89 / SRI: 30

**Buckskin**  
1TECS0141



CRRC ID#: 0942-0009 / Ref: .22 / Emi: .90 / SRI: 22

**Marbled Canyon Red**  
1TECS7164



**Marbled Terra Cotta**  
1TECS6129



CRRC ID#: 0942-0020 / Ref: .19 / Emi: .91 / SRI: 18

**Casa Grande Blend**  
1TECS6169



CRRC ID#: 0942-0014 / Ref: .23 / Emi: .91 / SRI: 23

**Lexington Blend**  
1TECS6190



**Clay Mexican Blend**  
1TECS6050



**Salerno Clay**  
1TECS6330






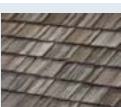
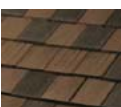
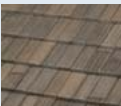


CRRC ID#: 0942-0012 / Ref: .17 / Emi: .93 / SRI: 17



# Texas Cool Roof Tiles

## STANDARD WEIGHT CONCRETE TILE LISTED BY COLOR AND SRI VALUE

Image	Description	Energy Star	Profile	Part Number	Color	CRRC ID #	Ref.	Emit.	SRI
	Continental Seville		Tejas España	1TEWS0030	Orange	0942-0102	0.43	0.90	<b>49</b>
	Continental Riviera		Tejas España	1TEWS6164	Orange, Yellow	0942-0101	0.42	0.89	<b>47</b>
	Continental Bisque		Tejas España	1TEWS6174	Orange, Tan	0942-0100	0.35	0.91	<b>39</b>
	Brazos Blend		Tejas España	1TEWS6217	Red, Brown Multicolor	0942-0093	0.34	0.89	<b>37</b>
	Newport Sun		Tejas España	1TECS6953	Orange, Tan	0942-0073	0.31	0.90	<b>33</b>
	Terra Cotta		Tejas España Boosted Barcelona	1TECS6100 1BHCS6100K	Red, Orange, Multicolor	0942-0030	0.29	0.89	<b>30</b>
	Charleston		Country Slate	1TCCS6070	Orange, Tan	0942-0073	0.29	0.87	<b>29</b>
	Desert Sage		Tejas España	1TECS0024	Tan, Brown, Black Multicolor	0942-0098	0.27	0.93	<b>29</b>
	New Clay		Tejas España Boosted Barcelona Villa	1TECS6931 1BHCS6931K 1VACS6931	Orange, Tan Multicolor	0942-0010	0.25	0.93	<b>27</b>
	Casa Grande Blend		Tejas España Boosted Barcelona	1TECS6144 1BHCS6144K	Orange, Red, Black Multicolor	0942-0014	0.23	0.91	<b>23</b>
	Buckskin		Barcelona Impact Tejas España	1BITS0141 1TECS0141	Tan, Brown Multicolor	0942-0009	0.22	0.90	<b>22</b>

Image	Description	Energy Star	Profile	Part Number	Color	CRRC ID #	Ref.	Emit.	SRI
	Marbled Terra Cotta	—	Tejas España Villa	1TECS6129 1VACS6129K	Orange, Black Multicolor	0942-0020	0.19	0.91	<b>18</b>
	Charcoal Brown Blend	—	Barcelona Impact Tejas España	1BITS1132 1TECS1132	Tan, Grey Multicolor	0942-0005	0.18	0.91	<b>17</b>
	Salerno Clay	—	Barcelona Impact Tejas España	1BITS6330 1TECS6330	Orange, Tan Multicolor	0942-0012	0.17	0.93	<b>17</b>
	Vintagewood	—	Madera 900	1MDCL5011	Tan, Grey, Brown Multicolor	0942-0089	0.12	0.94	<b>11</b>
	Wolf Grey	—	Country Slate Impact Tejas España	1TETS5969 1TECS5969	Red, Brown, Multicolor	0942-0090	0.11	0.91	<b>8</b>
	Cobblestone	—	Country Split Shake	1TSCB3957	Grey, Brown Multicolor	0942-0062	0.11	0.90	<b>8</b>
	Mountainwood	—	Madera 900	1MDCL5001	Tan, Brown Multicolor	0942-0110	0.08	0.93	<b>5</b>
	Charcoal	—	Country Slate Impact Tejas España	1TETS1130 1TECS1130	Grey, Black Multicolor	0942-0064	0.08	0.92	<b>5</b>

**Disclaimer:** The printed colors shown on this sheet may vary from actual available tile colors. Before making a final selection, be sure to review actual tile samples and roof installations. Please contact your local sales office for further assistance.

Build something great™

1.800.669.TILE (8453)























[www.BoralRoof.com](http://www.BoralRoof.com)



# Finishing Touches

Boral Roofing provides all of the necessary products for a durable and beautiful roof installation. Our trim tile is the most efficient and attractive way to complete your roof. In addition to rake and ridge pieces, Boral Roofing manufactures hip starters and apex tiles that easy installation. All are protected by our Limited Lifetime, Fully Transferable, Non-Prorated Product Warranty\* for tile.

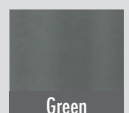
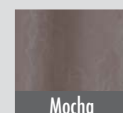
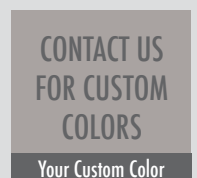
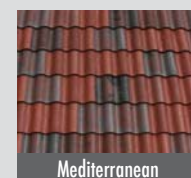
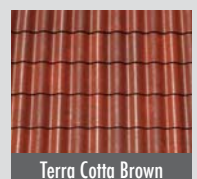
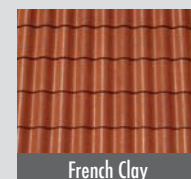
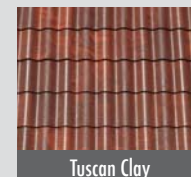
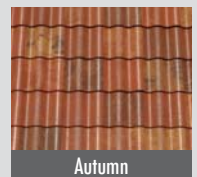
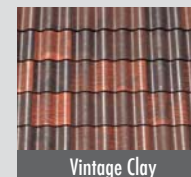
- Precision production techniques provide a consistent look throughout the project
- Colors and textures complement field tile; no need to mix color mortar
- Easier and faster to install than mortar balls; no second steps
- Reduces labor time and expense

Tejas España	Capri Trim	Capri Hip Starter	
	 1CTCS/1CTWS	 1CHCS/1CHWS	
Villa	Mansard Trim	Capri Hip Starter	
	 1MACS	 1MICS	
Saxony® Shake	90° Rake	3-Sided Ridge	3-Sided Hip Starter
	 1R9CL	 1R3CL	 1FHCL
Saxony® Country Split Shake	90° Rake	3-Sided Ridge	3-Sided Hip Starter
	 1R9CB	 1R3CB	 1FHCB
Saxony® Country Slate	90° Rake	3-Sided Ridge	3-Sided Hip Starter
	 1R9CS	 1R3CS	 1FHCS
Madera 900	90° Rake	V-Ridge	Tapered Eave Starter
	 19CCL	 1VCCL	 1CECL

# SPANISH TILE

**BRAVA'S** Spanish Tile offers the classic warmth and beauty of authentic clay or concrete tile, in a durable yet lightweight, synthetic material, making it ideal for installation on existing homes and buildings, as well as new construction. Beauty, long-lasting performance and total peace of mind highlight the benefits of BRAVA Spanish Tile.

- > **LIGHT WEIGHT** – at only 252 pounds per square, BRAVA Spanish Tile allows for easy installation without the need for costly structural modifications.
- > **LONG-LASTING PERFORMANCE** – backed by a 50-year limited warranty, BRAVA Spanish Tile boasts a Class 4 hail impact rating, a 110 mph wind rating and is available in Class A fire rating (the only one on the market) or Class C fire rating.
- > **DURABLE** – BRAVA's proprietary formulation ensures virtually no breakage. This extreme durability surpasses that of clay and concrete tile, as well as other synthetics, where breakage in shipping and installation can be a very costly concern.
- > **ENVIRONMENTALLY FRIENDLY** – Made in the USA, BRAVA uses recycled material to create a beautiful and durable roof that itself is fully recyclable.
- > **COMPLETE** – BRAVA's full line of accessories makes it the most complete and authentic Spanish Tile system on the market.







## BRAVA Spanish Tile Specifications

Description	Weight/Tile	Dimensions
Spanish Field Tile	2.8 lbs.	16½" x 13"; 13½" Exposure
Eave Starter	0.8 lbs.	11¾" x 2½"
Ridge Closure	0.5 lbs.	11¾" x 3"
Hip/Ridge	2.8 lbs.	17½" x 8¼" x 9"
Top Ridge	3.5 lbs.	17" x 10" x 10 ⅜"
Bull Nose	3.5 lbs.	17½" x 7¾" x 8¾"
Rake	2.0 lbs.	16" x 5½" x 6½"

**BRAVA Roof Tile** offers a complete line of synthetic architectural roofing products in natural profiles including: Spanish Tile, multi-width Cedar Shake, and two styles of Slate roofing. Each product line is composed of durable yet lightweight and environmentally friendly material, which combine to provide authentic beauty with long-lasting performance and total peace of mind.



## **SECTION 09220 - PORTLAND CEMENT PLASTER**

### **PART 1 - GENERAL**

#### **1.1 SUMMARY**

- A. This Section includes the following:
  - 1. One-coat exterior portland cement plasterwork (stucco): fiber-reinforced stucco.

#### **1.2 SUBMITTALS**

- A. Product Data: For each type of product indicated.

#### **1.3 QUALITY ASSURANCE**

- A. Fire-Test-Response Characteristics: For portland cement plaster assemblies with fire-resistance ratings, provide materials and construction identical to those tested in assembly indicated according to ASTM E 119 by an independent testing and inspecting agency acceptable to authorities having jurisdiction.

#### **1.4 PROJECT CONDITIONS**

- A. Comply with ASTM C 926 requirements.
- B. Exterior Plasterwork: Apply plaster when ambient temperature is greater than 40 deg F.

#### **1.5 DELIVERY, STORAGE, AND HANDLING**

- A. Deliver materials to Project site in manufacturer's original, new, unopened packages and containers bearing manufacturer's name and label.
- B. Store materials not in use in tightly covered containers in a well-ventilated area at a minimum ambient temperature of 40 deg F. Maintain containers used in storage of coatings in a clean condition, free of foreign materials and residue. Do not store longer than 6 months before final use.
  - 1. Protect cementitious coating materials from freezing. Keep materials dry and off of the ground. Keep storage area neat and orderly. Remove waste daily. Take necessary measures to ensure that workers and work areas are protected from health hazards resulting from handling, mixing, and applying the coating.

#### **1.6 COORDINATION/SCHEDULING**

- A. Provide minimum 28 day cure of concrete and concrete masonry units before the installation of stucco.

- B. For load bearing stud wall assemblies, commence the stucco installation after completion of all floor, roof construction and other construction that imposes dead loads on the walls to prevent excessive deflection (and potential cracking) of the stucco.
- C. Sequence interior work such as drywall installation prior to stucco installation to prevent stud distortion (and potential cracking) of the stucco.
- D. Provide site grading such that the stucco terminates above earth grade minimum 4 inches (100 mm) and above finished grade (pavers/sidewalk) minimum 2 inches (51 mm). Provide increased clearance in freeze/thaw climate zones.
- E. Provide protection of rough openings before installing windows, doors, and other penetrations through the wall and provide sill flashing. Coordinate installation of moisture barrier with window and door installation to provide weather proofing of the structure and to prevent moisture infiltration and excess air infiltration.
- F. Install window and door head flashing immediately after windows and doors are installed.
- G. Install diverter flashings wherever water can enter the wall assembly to direct water to the exterior.
- H. Install copings and sealant immediately after installation of the stucco and when finish coatings are dry.
- I. Attach penetrations through stucco to structural support and provide water tight seal at penetrations.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. In other Part 2 articles where titles below introduce lists, the following requirements apply to product selection:
  - 1. Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, but are not limited to, products specified.

### 2.2 METAL LATH

- A. Expanded-Metal Lath: ASTM C 847 with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating.
  - 1. Diamond-Mesh Lath: Self-furring.
    - a. Weight: 2.5 lb/sq. yd..
- B. Paper Backing: FS UU-B-790, Type I Grade D, Style 2 vapor-permeable paper.

1. Provide paper-backed lath at exterior locations.

## 2.3 ACCESSORIES

- A. General: Comply with ASTM C 1063 and coordinate depth of trim and accessories with thicknesses and number of plaster coats required.
- B. Zinc and Zinc-Coated (Galvanized) Accessories:
  1. Foundation Weep Screed: Fabricated from hot-dip galvanized steel sheet, ASTM A 653/A 653M, G60 zinc coating.
  2. Cornerite: Fabricated from metal lath with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating.
  3. External-Corner Reinforcement: Fabricated from metal lath with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating.
  4. Cornerbeads: Fabricated from zinc-coated (galvanized) steel.
    - a. Small-nose style; use unless otherwise indicated or recommended by plaster manufacturer.
  5. Casing Beads: Fabricated from zinc-coated (galvanized) steel; square-edged style; with expanded flanges.
  6. Control Joints: Fabricated from zinc-coated (galvanized) steel; one-piece-type, folded pair of unperforated screeds in M-shaped configuration; with perforated flanges and removable protective tape on plaster face of control joint.

## 2.4 MISCELLANEOUS MATERIALS

- A. Water for Mixing: Potable and free of substances capable of affecting plaster set or of damaging plaster, lath, or accessories.
- B. Fiber for Base Coat: Alkaline-resistant glass or polypropylene fibers, 1/2 inch long, free of contaminants, manufactured for use in portland cement plaster.
- C. Bonding Compound: ASTM C 932.

## 2.5 PLASTER MATERIALS

- A. One Coat Stucco System: factory proportioned, fiber reinforced cement based stucco for trowel or pump application, field mixed with graded sand (ASTM C897) and water.
  1. Available Products:
    - a. Parex Incorporated; Parex 1-Coat Stucco 210 Concentrate.
    - b. Sto Corp.; Sto Powerwall Stucco.
    - c. Stuc-O-Flex International, Inc.; Waterway Stucco Assembly
    - d. Magna Wall; Magna Wall FRS (Fiber-Reinforced Stucco).
  2. Color: gray



## 2.6 FOAM BUILD-OUTS

### A. Adhesive

1. One component, polymer modified, cement based high build adhesive.

### B. Insulation Board

1. EPS Insulation Board--nominal 1.0 lb/ft<sup>3</sup> Expanded Polystyrene (EPS) Insulation Board in compliance with ASTM C 578 Type I requirements, and EIMA Guideline Specification for Expanded Polystyrene (EPS) Insulation Board.

### C. Reinforcing Mesh:

1. Nominal 4.2 oz/yd<sup>2</sup> (143 g/m<sup>2</sup>), flexible, symmetrical, interlaced open-weave glass fiber fabric treated with alkaline resistant coating.

### D. Base Coats:

1. Fiber reinforced acrylic based waterproof base coat mixed with portland cement (for use as a waterproof base coat to waterproof foundations, parapets, splash areas, trim and other projecting architectural features).

## PART 3 - EXECUTION

### 3.1 PREPARATION

- A. Protect adjacent work from soiling, spattering, moisture deterioration, and other harmful effects caused by plastering.

### 3.2 INSTALLING ACCESSORIES

- A. Install according to ASTM C 1063 and at locations indicated on Drawings.

- B. Control Joints: Install control joints at locations indicated on Drawings.

1. As required to delineate plasterwork into areas (panels) of the following maximum sizes:
  - a. Vertical Surfaces: 144 sq. ft..
  - b. Horizontal and other Nonvertical Surfaces: 100 sq. ft..
2. At distances between control joints of not greater than 18 feet o.c.
3. As required to delineate plasterwork into areas (panels) with length-to-width ratios of not greater than 2-1/2:1.
4. Where control joints occur in surface of construction directly behind plaster.

5. Where plasterwork areas change dimensions, to delineate rectangular-shaped areas (panels) and to relieve the stress that occurs at the corner formed by the dimension change.

### 3.3 PLASTER APPLICATION

- A. General: Comply with ASTM C 926.
- B. Bonding Compound: Apply on unit masonry plaster bases.
- C. Plaster Base Coat Finish: Finish to be selected by Owner and / or Architect according to manufacturers written instructions.
- D. Elastomeric-Based Finish Coatings: Apply coating system, including primers, finish coats, and sealing topcoats, according to manufacturer's written instructions.
- E. Installation over cast-in-place concrete or concrete masonry units:
  1. Install foundation weep screed at the base of the wall.
  2. Install casing beads at stucco terminations—doors, windows and other through wall penetrations. Install two piece expansion joints (or back-to-back casing beads) at joints in the supporting construction, building expansion joints, where the stucco is to be installed over dissimilar construction or substrates, at changes in building height, at floor lines, columns, and cantilevered areas. Install one piece expansion joints at corners of windows, doors and similar through wall penetrations, and every 250 ft<sup>2</sup> (23 m<sup>2</sup>). Install corner bead at outside corners and corner lath at inside corners. Install full accessory pieces where possible and avoid small pieces. Seal adjoining pieces by embedding ends in sealant. Abut horizontal into vertical joint accessories. Attach at no more than 7 inches (178 mm) on center into concrete/masonry with appropriate fasteners.
  3. Pre-moisten concrete masonry units and absorbent concrete prior to the placement of stucco (unless bonding agent has been applied to the CMU surface).
  4. Scratch Coat: apply the stucco with sufficient pressure to ensure intimate contact with the substrate and complete coverage to an approximate thickness of 1/2 inch (6 mm).
  5. After the stucco has lost sufficient moisture so that the surface sheen has disappeared, float the surface lightly with a darby or wood float to densify the surface and to provide a smooth, even surface. Float before the stucco becomes so rigid that it cannot be moved beneath the float.
  6. Moist cure after the stucco has set by lightly fogging the surface for at least 48 hours. Fog as frequently as required during the 48 hour period to prevent loss of moisture from the stucco. Avoid eroding the stucco surface with excess moisture. If relative humidity exceeds 75% the frequency of moist-curing can be diminished.
  7. Concrete and concrete masonry units require minimum 28 day cure before the installation of stucco. The requirement for an expansion joint every 144 ft<sup>2</sup> (13 m<sup>2</sup>) may be waived on solid substrates without metal lath such as cast-in-place concrete and concrete masonry units provided joints in the supporting

construction exist at appropriate intervals and they are reflected in the stucco. In such cases joint spacing in the stucco shall not exceed 250 ft<sup>2</sup> (23 m<sup>2</sup>).

F. Installation over frame construction with sheathing:

1. Weep Screed Installation
  - a. Install foundation weep screed at the base of the wall securely to framing with the appropriate fastener. Locate foundation weep screed so that it overlaps the joint between the foundation and framing by a minimum of 1 inch (25 mm). Locate the foundation weep screed minimum 4 inches (100 mm) above earth grade, 2 inches (51 mm) above finished grade (paved surfaces, for example).
2. Weather Protection
  - a. Protect sills of rough openings with barrier membrane.
  - b. Apply moisture barrier in compliance with the applicable building code. Wrap paper into rough opening and lap over barrier membrane at jambs. Lap paper over foundation weep screed attachment flange and window/door head flashings
3. Casing Bead and Expansion Joint Installation
  - a. Install casing beads at stucco terminations—doors, windows and other through wall penetrations. Install expansion joints (or back-to-back casing beads) at building expansion joints, where the stucco is to be installed over dissimilar construction or substrates, at changes in building height, at floor lines, columns, and cantilevered areas. Install one piece expansion joints at corners of windows, doors, and similar through wall penetrations, and every 144 ft<sup>2</sup> (13 m<sup>2</sup>). Install full accessory pieces where possible and avoid small pieces. Seal adjoining pieces by embedding ends in sealant. Abut horizontal into vertical joint accessories. Attach at no more than 7 inches (178 mm) into framing with appropriate fasteners.
4. Lath Installation
  - a. Diamond Mesh Metal Lath
    - 1) General--install metal lath with the long dimension at right angles to structural framing. Terminate lath at expansion joints. Do not install continuously beneath joints.
    - 2) Seams/Overlaps--overlap side seams minimum 1/2 inch (13 mm) and end seams minimum 1 inch (25 mm). Stagger end seams. Overlap casing beads and expansion joints minimum 1 inch (25 mm) over narrow wing accessories, minimum 2 inches (51 mm) over expanded flange accessories. Do not install lath continuously beneath expansion joints.
    - 3) Attachment--fasten securely through sheathing into structural framing at 7 inches (178 mm) on center maximum vertically and 16 inches (406 mm) on center horizontally\*. Wire tie at no more than 9 inches (225 mm) on center at: side laps, accessory overlaps, and where end laps occur between supports.

- b. Paper-backed lath—follow installation as for metal lath. Lap lath over lath, not paper to lath overlap. For horizontal overlaps the paper backing must lap shingle style behind the lath to lath overlap.
    - c. The type fastener selected, its layout and pullout or withdrawal value from the supporting construction must be verified and approved by the project engineer/architect with respect to design wind load and local building code requirements).
  - 5. One Piece Expansion Joint Installation
    - a. Install one piece expansion joints over lath at through wall penetrations, for example, above and below doors or windows (unless another type of expansion joint is already provided at these locations or one piece expansion joints are already provided as in 3.04 B3a). Install one piece expansion joints over lath every 144 ft<sup>2</sup> (13 m<sup>2</sup>) (unless already provided as in 3.04 B3a.). Wire tie one piece expansion joints to lath at no more than 7 inches (178 mm) on center. Make certain lath is discontinuous beneath joints.
  - 6. Inside and Outside Corners
    - a. Install corner lath at inside corners and corner bead at outside corners over lath. Attach through lath into framing at no more than 7 inches (178 mm) on center with appropriate fasteners.
  - 7. Stucco Installation
    - a. Scratch Coat and Brown Coat: apply stucco with sufficient pressure to key into and embed the metal lath. Apply sufficient material, 3/8—1/2 inch (9—13mm), to cover the metal lath.
    - b. After the stucco has become slightly firm float the surface lightly with a darby or wood float to densify the surface and to provide a smooth, even surface.
    - c. The proper time to float is when the wood float no longer sticks to the surface of the stucco).
    - d. Moist cure after the stucco has set by lightly fogging for at least 48 hours. Fog as frequently as required during the 48 hour period to prevent loss of moisture from the stucco. Avoid eroding the stucco surface with excess moisture. If relative humidity exceeds 75% the frequency of moist curing can be diminished.
- G. Foam Build-Outs
  - 1. Where foam build-outs terminate at a dissimilar material such as a window, door or other non-stucco surface, backwrap the foam build-out by installing detail mesh onto the terminating edge of the stucco. Embed the mesh in the foam adhesive. Allow the mesh to dangle until the backwrapping procedure is completed (C4).
  - 2. Install foam build-outs directly over hardened stucco with foam adhesive. Apply adhesive with the appropriate size notched trowel to the back of the insulation board and immediately place build-out in the proper location on the wall. Press firmly into place.
  - 3. As soon as the foam build-out is firmly attached rasp the entire surface smooth.
  - 4. Complete the backwrapping procedure by applying the foam base coat to the exposed edges of the foam build-out and minimum 2-1/2 inches (64 mm) onto



- the face. Pull the backwrap mesh around the foam build-out and fully embed it into the foam base coat. Use a corner trowel for neat straight corners.
5. Apply the foam base coat to the foam build-out and approximately 3 inches (76 mm) onto the adjacent stucco surfaces to an approximate thickness of 1/8 inch (3 mm). Immediately embed the reinforcing mesh in the wet base coat. Trowel from the center to the edges of the mesh to avoid wrinkles and remove excess base coat. Overlap mesh seams minimum 2-1/2 inches (64 mm). Overlap mesh onto adjacent stucco wall surfaces minimum 2-1/2 inches (64 mm) at terminations of the foam build-out and feather onto the stucco wall surface.
  6. Do not install foam build-outs over joints in the stucco wall assembly. Terminate foam build-outs and backwrap in accordance with instructions above).

#### H. Primer Installation

- a. Apply primer evenly with brush, roller or proper spray equipment over the clean, dry stucco and foam build-outs, and allow to dry thoroughly before applying finish.

#### I. Finish Installation

1. Apply finish directly over the stucco and foam build-outs when dry. Apply finish by spraying or troweling with a stainless steel trowel, depending on the finish specified. Follow these general rules for application of finish:
  - a. Allow primed stucco wall surface to dry minimum 28 days.
  - b. Avoid application in direct sunlight.
  - c. Apply finish in a continuous application, and work a wet edge towards the unfinished wall area. Work to an architectural break in the wall before stopping to avoid cold joints.
  - d. Weather conditions affect application and drying time. Hot or dry conditions limit working time and accelerate drying. Adjustments in the scheduling of work may be required to achieve desired results; cool or damp conditions extend working time and retard drying and may require added measures of protection against wind, dust, dirt, rain and freezing. Adjust work schedule and provide protection.
  - e. Float "R" (rilled texture) finishes with a plastic float to achieve their rilled texture.
  - f. Do not install separate batches of finish side-by-side.
  - g. Do not apply finish into or over joints or accessories. Apply finish to outside face of wall only.
  - h. Do not apply finish over irregular or unprepared surfaces, or surfaces not in compliance with the requirements of the project specifications.

### 3.4 CUTTING AND PATCHING

- A. Cut, patch, replace, and repair plaster as necessary to accommodate other work and to restore cracks, dents, and imperfections. Repair or replace work to eliminate blisters, buckles, crazing (check cracking), dry outs, efflorescence, sweat outs, and similar defects and where bond to substrate has failed.

END OF SECTION 09220

# HardiePanel®

## HardiePanel® Vertical Siding Product Description

HardiePanel® vertical siding is factory-primed fiber-cement vertical siding available in a variety of sizes and textures. Examples of these are shown below. Textures include smooth, stucco, Cedarmill® and Sierra 8. HardiePanel vertical siding is  $\frac{5}{16}$ -in. thick and is available in 4x8, 4x9 and 4x10 sizes. Please see your local James Hardie dealer for texture and size availability.

HardiePanel vertical siding is available as a prefinished James Hardie® product with ColorPlus® Technology. The ColorPlus coating is a factory applied, oven baked finish available on a variety of James Hardie siding and trim products. See your local dealer for availability of products, color and accessories.



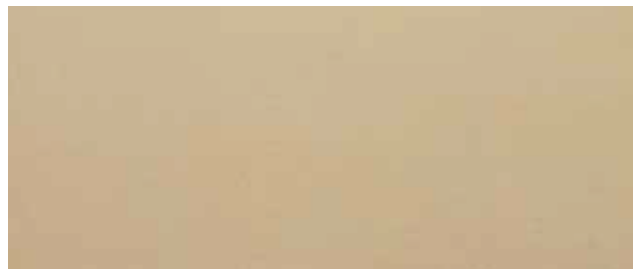
**Stucco**



**Cedarmill®**



**Sierra 8**



**Smooth**



## SECTION 074646

### FIBER CEMENT SIDING

#### **(James Hardie HZ10 Engineered for Climate Siding)**

Display hidden notes to specifier. (Don't know how? [Click Here](#))  
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#### PART 1 GENERAL

##### 1.1 SECTION INCLUDES

- A. Fiber cement lap siding, panels, shingle, trim, fascia, moulding and accessories; James Hardie HZ10 Engineered for Climate Siding.
- B. Factory-finished fiber cement lap siding, panels, shingle, trim, fascia, moulding and accessories; James Hardie HZ10 Engineered for Climate Siding.

##### 1.2 RELATED SECTIONS

- A. Section 054000 - Light Gage Metal Framing: Wall framing and bracing.
- B. Section 061000 - Rough Carpentry: Wood framing and bracing.
- C. Section 061000 - Rough Carpentry: Sheathing.
- D. Section 072400 - Insulation: Exterior wall insulation.

##### 1.3 REFERENCES

- A. ASTM D3359 - Standard Test Method for Measuring Adhesion by Tape Test, Tool and Tape.
- B. ASTM E136 - Standard Test Method for Behavior of Materials in a Vertical Tube Furnace at 750 degrees C.

##### 1.4 SUBMITTALS

- A. Submit under provisions of Section 013000.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
  - 1. Preparation instructions and recommendations.
  - 2. Storage and handling requirements and recommendations.
  - 3. Installation methods.
- C. Shop Drawings: Provide detailed drawings of atypical non-standard applications of cementitious siding materials which are outside the scope of the standard details and specifications provided by the manufacturer.
- D. Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns.

- E. Verification Samples: For each finish product specified, two samples, minimum size 4 by 6 inches (100 by 150 mm), representing actual product, color, and patterns.

## 1.5 QUALITY ASSURANCE

- A. Installer Qualifications: Minimum of 2 years experience with installation of similar products.
- B. Mock-Up: Provide a mock-up for evaluation of surface preparation techniques and application workmanship.
  - 1. Finish areas designated by Architect.
  - 2. Do not proceed with remaining work until workmanship, color, and sheen are approved by Architect.
  - 3. Refinish mock-up area as required to produce acceptable work.

## 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation.
- B. Store siding on edge or lay flat on a smooth level surface. Protect edges and corners from chipping. Store sheets under cover and keep dry prior to installing.
- C. Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction.

## 1.7 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

## 1.8 WARRANTY

- A. Product Warranty: Limited, non-pro-rated product warranty.
  - 1. HardiePlank HZ10 lap siding for 30 years.
  - 2. HardiPanel HZ10 vertical siding for 30 years.
  - 3. HardieSoffit HZ10 panels for 30 years.
  - 4. HardieShingle HZ10 siding for 30 years.
  - 5. HardieTrim HZ10 boards for 15 years.
  - 6. Artisan HZ10 lap siding for 30 years.
  - 7. Artisan HZ10 Lock Joint System siding for 30 years
- B. Finish Warranty: Limited product warranty against manufacturing finish defects.
  - 1. When used for its intended purpose, properly installed and maintained according to Hardie's published installation instructions, James Hardie's ColorPlus finish with ColorPlus Technology, for a period of 15 years from the date of purchase: will not peel; will not crack; and will not chip. Finish warranty includes the coverage for labor and material.
- C. Workmanship Warranty: Application limited warranty for 2 years.

## PART 2 PRODUCTS

### 2.1 MANUFACTURERS

- A. Acceptable Manufacturer: James Hardie Building Products, Inc., which is located at: 26300 La Alameda Suite 400 ; Mission Viejo, CA 92691; Toll Free Tel: 866-274-



3464; Tel: 949-367-4980; Fax: 949-367-4981; Email: [request info \(info@jameshardie.com\)](mailto:info@jameshardie.com); Web: [www.jameshardiecommercial.com](http://www.jameshardiecommercial.com)

- B. Substitutions: Not permitted.
- C. Requests for approval of equal substitutions will be considered in accordance with provisions of Section 016000.

## 2.2 SIDING

- A. HardiePlank HZ10 lap siding, HardiePanel HZ10 vertical siding, HardieSoffit HZ10 panels and HardieShingle HZ10 siding requirement for Materials:
  - 1. Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A.
  - 2. Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - 3. Fiber-cement Siding - have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - 4. CAL-FIRE, Fire Engineering Division Building Materials Listing - Wildland Urban Interface (WUI) Listed Product. [[Ask Ben about this one.]]
  - 5. ICC-ES Evaluation Report No. ESR-2290 (HardiePlank and HardieShingle), ESR-1844 (HardiePanel), and NER-405 (HardieSoffit)
  - 6. City of Los Angeles, Research Report No. 24862.
  - 7. Miami Dade County, Florida Notice of Acceptance-13-0311.07.
  - 8. US Department of Housing and Urban Development Materials Release 1263e.
  - 9. California DSA PA-019.
  - 10. City of New York M EA 223-93-M.
  - 11. Florida State Product Approval FL13192 (HardiePlank and HardieShingle), FL13223 (HardiePanel), and FL13265 (HardieSoffit).
  - 12. Texas Department of Insurance Product Evaluation EC-23.
- B. Artisan HZ10 lap siding requirement for Materials:
  - 1. Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A.
  - 2. Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - 3. Fiber-cement Siding- have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - 4. Warnock Hersey Product Listing.
  - 5. CAL-FIRE, Fire Engineering Division Building Materials Listing - Wildland Urban Interface (WUI) Listed Product.
  - 6. Florida State Product Approval FL10477.
  - 7. Miami Dade County, Florida Notice of Acceptance 12-0517.05.
  - 8. Texas Department of Insurance Product Evaluation EC-55.
  - 9. Manufacturer's Technical Data Sheet.
- C. Artisan HZ10 Lock Joint System requirement for Materials:
  - 1. Fiber-cement Siding - complies with ASTM C 1186 Grade II, Type A
  - 2. Fiber-cement Siding - classified as noncombustible when tested in accordance with ASTM E 136.
  - 3. Fiber-cement Siding - have a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E 84.
  - 4. Warnock Hersey Product Listing..
  - 5. Manufacturer's Technical Data Sheet.
- D. Lap Siding: Artisan HZ10 Lap Siding as manufactured by James Hardie Building Products, Inc.
  - 1. Type: Smooth 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.

2. Type: Smooth 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
  3. Type: Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  4. Type: Texture 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
  5. Type: Texture 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
  6. Type: Texture 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
- E. Lap Siding: Artisan HZ10 Joint Lock System Siding as manufactured by James Hardie Building Products, Inc.
1. Type: Texture 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
- F. Lap Siding: HardiePlank HZ10 Lap as manufactured by James Hardie Building Products, Inc.
1. Type: Smooth 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
  2. Type: Smooth 6-1/4 inches (159 mm) with 5 inches (127 mm) exposure.
  3. Type: Smooth 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
  4. Type: Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  5. Type: Smooth 9-1/4 inches (235 mm) with 8 inches (203 mm) exposure.
  6. Type: Smooth 12 inches (305 mm) with 10-3/4 inches (273 mm) exposure.
  7. Type: Select Cedarmill 5-1/4 inches (133 mm) with 4 inches (102 mm) exposure.
  8. Type: Select Cedarmill 6-1/4 inches (159 mm) with 5 inches (127 mm) exposure.
  9. Type: Select Cedarmill 7-1/4 inches (184 mm) with 6 inches (152 mm) exposure.
  10. Type: Select Cedarmill 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  11. Type: Select Cedarmill 9-1/4 inches (235 mm) with 8 inches (203 mm) exposure.
  12. Type: Select Cedarmill 12 inches (305 mm) with 10-3/4 inches (273 mm) exposure.
  13. Type: Beaded Smooth 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
  14. Type: Beaded Cedarmill 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.
- G. Vertical Siding: HardiePanel HZ10 siding as manufactured by James Hardie Building Products, Inc.
1. Type: Smooth Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
  2. Type: Smooth Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
  3. Type: Smooth Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
  4. Type: Cedarmill Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
  5. Type: Cedarmill Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
  6. Type: Cedarmill Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
  7. Type: Stucco Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
  8. Type: Stucco Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
  9. Type: Stucco Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
  10. Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 8 feet (1219 mm by 2438 mm).
  11. Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 9 feet (1219 mm by 2743 mm).
  12. Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
- H. Shingle Siding: HardieShingle HZ10 siding as manufactured by James Hardie Building Products, Inc.

1. Type: HardiShingle Individual Shingles 6 inches (152 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  2. Type: HardiShingle Individual Shingles 8 inches (203 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  3. Type: HardiShingle Individual Shingles 12 inches (305 mm) wide by 18 inches (457 mm) high with 8 inches (203 mm) exposure.
  4. Type: HardieShingle Straight-Edge Notched Panel 48 inches (1219 mm) wide by 16 inches (406mm) high with 7 inches (178 mm) exposure.
  5. Type: HardieShingle Staggered-Edge Notched Panel 48 inches (1219 mm) wide by 16 inches (406mm) high with 7 inches (178 mm) exposure.
  6. Type: HardieShingle Half Round Notched Panel 48 inches (1219 mm) wide by 19 inches (483mm) high with 7 inches (178 mm) exposure.
  7. Type: Sierra 8 inches (203 mm) Vertical siding panel 4 feet by 10 feet (1219 mm by 3048 mm).
- I. Soffit Panels: HardieSoffit HZ10 soffit panel, factory sealed on 5 sides as manufactured by James Hardie Building Products, Inc.
1. Type: Smooth non-vented, 12 inches (305 mm) by 12 feet (3658 mm).
  2. Type: Smooth non-vented, 16 inches (406 mm) by 12 feet (3658 mm).
  3. Type: Smooth non-vented, 24 inches (610 mm) by 8 feet (2438 mm).
  4. Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 12 inches (305 mm) by 12 feet (3658 mm).
  5. Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 16 inches (406 mm) by 12 feet (3658 mm),
  6. Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 24 inches (610 mm) by 8 feet (2438 mm).
  7. Type: Textured Cedarmill non-vented, 12 inches (305 mm) by 12 feet (3658 mm).
  8. Type: Textured Cedarmill non-vented, 16 inches (406 mm) by 12 feet (3658 mm).
  9. Type: Textured Cedarmill non-vented, 24 inches (610 mm) by 8 feet (2438 mm).
  10. Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 12 inches (305 mm) by 12 feet (3658 mm).
  11. Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 16 inches (406 mm) by 12 feet (3658 mm).
  12. Type: Textured Cedarmill vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 24 inches (610 mm) by 8 feet (2438 mm).
  13. Thickness: 1/4 inch (6 mm).
- J. Trim:
1. HardieTrim HZ10 boards as manufactured by James Hardie Building Products, Inc.
    - a. Product: Batten Boards, 2-1/2 inch (63 mm) width.
    - b. Product: 4/4 Boards, 3-1/2 inch (89 mm) width.
    - c. Product: 4/4 Boards, 5-1/2 inch (140 mm) width.
    - d. Product: 4/4 Boards, 7-1/4 inch (184 mm) width.
    - e. Product: 4/4 Boards, 9-1/4 inch (235 mm) width.
    - f. Product: 4/4 Boards, 11-1/4 inch (286 mm) width.
    - g. Product: 4/4 NT3 Boards, 3-1/2 inch (89 mm) width.
    - h. Product: 4/4 NT3 Boards, 5-1/2 inch (140 mm) width.
    - i. Product: 4/4 NT3 Boards, 7-1/4 inch (184 mm) width.
    - j. Product: 4/4 NT3 Boards, 9-1/4 inch (235 mm) width.
    - k. Product: 4/4 NT3 Boards, 11-1/4 inch (286 mm) width.
    - l. Product: 5/4 Boards, 3-1/2 inch (89 mm) width.
    - m. Product: 5/4 Boards, 5-1/2 inch (140 mm) width.

- n. Product: 5/4 Boards, 7-1/4 inch (184 mm) width.
  - o. Product: 5/4 Boards, 9-1/4 inch (235 mm) width.
  - p. Product: 5/4 Boards, 11-1/4 inch (286 mm) width.
  - q. Product: 5/4 NT3 Boards, 3-1/2 inch (89 mm) width.
  - r. Product: 5/4 NT3 Boards, 4-1/2 inch (114 mm) width.
  - s. Product: 5/4 NT3 Boards, 5-1/2 inch (140 mm) width.
  - t. Product: 5/4 NT3 Boards, 7-1/4 inch (184 mm) width.
  - u. Product: 5/4 NT3 Boards, 11-1/4 inch (286 mm) width.
  - v. Texture: Smooth.
  - w. Texture: Rustic.
  - x. Texture: Wood Grained.
  - y. Length: 12 feet (3658 mm).
  - z. Thickness: 3/4 inch (19 mm).
  - aa. Thickness: 1 inch (24 mm).
- 2. HardieTrim HZ10 Fascia boards as manufactured by James Hardie Building Products, Inc.
  - 3. Artisan HZ10 Accent trim as manufactured by James Hardie Building Products, Inc.
- K. Crown Mouldings:
- 1. HardieTrim HZ10 Crown moulding manufactured by James Hardie Building Products, Inc.

## 2.3 FASTENERS

- A. Wood Framing Fasteners:
- 1. Wood Framing: 4d common corrosion resistant nails.
  - 2. Wood Framing: 6d common corrosion resistant nails.
  - 3. Wood Framing: 8d common corrosion resistant nails.
  - 4. Wood Framing: 8d box ring common corrosion resistant nails.
  - 5. Wood Framing: 0.083 inch (2.1 mm) shank by 0.187 inch (4.7 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
  - 6. Wood Framing: 0.089 inch (2.2 mm) shank by 0.221 inch (5.6 mm) head by 2 inches (51 mm) corrosion resistant siding nails.
  - 7. Wood Framing: 0.090 inch (2.3 mm) shank by 0.215 inch (5.5 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
  - 8. Wood Framing: 0.093 inch (2.4 mm) shank by 0.222 inch (5.6 mm) head by 2 inches (51 mm) corrosion resistant siding nails.
  - 9. Wood Framing: 0.093 inch (2.4 mm) shank by 0.222 inch (5.6 mm) head by 2-1/2 inches (64 mm) corrosion resistant siding nails.
  - 10. Wood Framing: 0.092 inch (2.3 mm) shank by 0.222 inch (5.6 mm) head by 2 inches (51 mm) corrosion resistant galvanized nails.
  - 11. Wood Framing: 0.092 inch (2.3 mm) shank by 0.225 inch (5.7 mm) head by 2-1/4 inches (57 mm) corrosion resistant galvanized nails.
  - 12. Wood Framing: 0.092 inch (2.3 mm) shank by 0.222 inch (5.6 mm) head by 2-1/2 inches (64 mm) corrosion resistant galvanized nails.
  - 13. Wood Framing: 0.091 inch (2.3 mm) shank by 0.221 inch (5.6 mm) head by 1-1/2 inches (38 mm) corrosion resistant siding nails.
  - 14. Wood Framing: 0.091 inch (2.3 mm) shank by 0.225 inch (5.7 mm) head by 1-1/2 inches (38 mm) corrosion resistant ring shank nails.
  - 15. Wood Framing into WSP: 0.121 inch (3 mm) shank by 0.371 inch (9.4 mm) head by 1-1/4 inches (32 mm) corrosion resistant roofing nails.
  - 16. Wood Framing: No. 11 gauge 1-1/4 inches (32 mm) corrosion resistant roofing nails.
  - 17. Wood Framing: No. 11 gauge 1-3/4 inches (44 mm) corrosion resistant roofing nails.



18. Wood Framing into WSP: No. 8 1-5/8 inches (41 mm) by 0.375 inch (9.5 mm) head corrosion resistant ribbed wafer head screws.
- B. Metal Framing:
1. Metal Framing: 1-1/4 inches (32 mm) No. 8-18 by 0.375 inch (9.5 mm) head self-drilling, corrosion resistant S-12 ribbed buglehead screws.
  2. Metal Framing: 1-5/8 inches (41 mm) No. 8-18 by 0.323 inch (8.2 mm) head self-drilling, corrosion resistant S-12 ribbed buglehead screws.
  3. Metal Framing: 1 inch (25 mm) No. 8-18 by 0.323 inch (8.2 mm) head self-drilling, corrosion resistant ribbed buglehead screws.
  4. Metal Framing: 1.5 inch (38mm) [AGS-100] 0.100 inches by 0.25 inches (2.54 mm by 6.35 mm) ET&F Pin or equivalent pneumatic fastener.
  5. Metal Framing: 1.5 inch (38mm) 0.100 inches by 0.313 inches (2.54 mm by 7.95 mm) ET&F Pin or equivalent pneumatic fastener.
- C. Masonry Walls (CMU):
1. Masonry Walls: ET&F No. ASM-144-125, 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  2. Masonry Walls: ET&F No. ASM-144-150, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  3. Masonry Walls: Max System CP-C 832 W7-ICC, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1.3 inches (33 mm) long corrosion resistant nails
  4. Masonry Walls: Max System CP-C 838 W7-ICC, 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  5. Masonry Walls: Aerosmith SurePin 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  6. Masonry Walls: Aerosmith SurePin 0.144 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails
  7. Jaaco Nail Pro NP145S 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/4 inches (32 mm) long corrosion resistant nails
  8. Jaaco Nail Pro NP145S 0.145 inch (3.6 mm) shank by 0.30 inch (7.6 mm) head by 1-1/2 inches (38 mm) long corrosion resistant nails

**D.\*\* NOTE TO SPECIFIER \*\*** Certain geographic areas allow a minimum single coat of 100% acrylic or exterior grade latex, high quality alkali resistant paint on unprimed product. James Hardie recommends, minimum one coat primer plus on or two topcoats.

## 2.4 FINISHES

- A. Factory Primer: Provide factory applied universal primer.
1. Primer: Factory primed by James Hardie.
  2. Topcoat: Refer to Section 099000 and Exterior Finish Schedule.
- B. Factory Finish: Refer to Exterior Finish Schedule.
1. Product: ColorPlus Technology by James Hardie.
  2. Definition: Factory applied finish; defined as a finish applied in the same facility and company that manufactures the siding substrate.
  3. Process:
    - a. Factory applied finish by fiber cement manufacturer in a controlled environment within the fiber cement manufacturer's own facility utilizing a multi-coat, heat cured finish within one manufacturing process.
    - b. Each finish color must have documented color match to delta E of 0.5 or better between product lines, manufacturing lots or production runs

as measured by photo spectrometer and verified by third party.

4. Protection: Factory applied finish protection such as plastic laminate that is removed once siding is installed
5. Accessories: Complete finishing system includes pre-packaged touch-up kit provided by fiber cement manufacturer. Provide quantities as recommended by manufacturer.

C. Factory Finish Color for Trim, Soffit and Siding Colors:

1. Alpine Frost JH50-10.
2. Arctic White JH10-20.
3. Autumn Tan JH20-20.
4. Boothbay Blue JH70-20.
5. Chestnut Brown JH80-30.
6. Cobble Stone JH40-10.
7. Countrylane Red JH90-20.
8. Evening Blue JH70-30.
9. Frosted Green JH60-20.
10. Harris Cream JH80-10.
11. Heathered Moss JH50-20.
12. Iron Gray JH90-30.
13. Khaki Brown JH20-30.
14. Light Mist JH70-10.
15. Monterey Taupe JH40-20.
16. Mountain Sage JH50-30.
17. Navajo Beige JH30-10.
18. Parkside Pine JH60-30.
19. Sail Cloth JH20-10.
20. Sandstone Beige JH30-20.
21. Soft Green JH60-10.
22. Timber Bark JH40-30.
23. Traditional Red JH90-10.
24. Tuscan Gold JH80-20.
25. Woodland Cream JH10-30.
26. Woodstock Brown JH30-30.
27. Terra Cotta JH15-20.
28. Coral Coast JH25-20.
29. Aqua Marine JH35-20.
30. Cool Breeze JH45-20.
31. Pink Sand JH55-20.

## PART 3 EXECUTION

### 3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If framing preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.
- C. Nominal 2 inch by 4 inch (51 mm by 102 mm) wood framing selected for minimal shrinkage and complying with local building codes, including the use of water-resistive barriers or vapor barriers where required. Minimum 1-1/2 inches (38 mm) face and straight, true, of uniform dimensions and properly aligned.
  1. Install water-resistive barriers and claddings to dry surfaces.
  2. Repair any punctures or tears in the water-resistive barrier prior to the installation of the siding.
  3. Protect siding from other trades.

- D. Minimum 20 gauge 3-5/8 inch (92 mm) C-Stud 16 inches maximum on center or 16 gauge 3-5/8 inches (92 mm) C-Stud 24 inches (610 mm) maximum on center metal framing complying with local building codes, including the use of water-resistive barriers and/or vapor barriers where required. Minimum 1-1/2 inches (38 mm) face and straight, true, of uniform dimensions and properly aligned.
  - 1. Install water-resistive barriers and claddings to dry surfaces.
  - 2. Repair any punctures or tears in the water-resistive barrier prior to the installation of the siding.
  - 3. Protect siding from other trades.

### 3.2 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Install a water-resistive barrier is required in accordance with local building code requirements.
- D. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements.
- E. Install Engineered for Climate™ HardieWrap™ weather barrier in accordance with local building code requirements.
- F. Use HardieWrap™ Seam Tape and joint and laps.
- G. Install and HardieWrap™ flashing, HardieWrap™ Flex Flashing.

### 3.3 INSTALLATION - HARDIEPLANK HZ10 LAP SIDING AND ARTISAN HZ10 LAP SIDING

- A. Install materials in strict accordance with manufacturer's installation instructions.
- B. Starting: Install a minimum 1/4 inch (6 mm) thick lath starter strip at the bottom course of the wall. Apply planks horizontally with minimum 1-1/4 inches (32 mm) wide laps at the top. The bottom edge of the first plank overlaps the starter strip.
- C. Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- D. Align vertical joints of the planks over framing members.
- E. Maintain clearance between siding and adjacent finished grade.
- F. Locate splices at least one stud cavity away from window and door openings.
- G. Use off-stud metal joiner in strict accordance with manufacturer's installation instructions.
- H. Wind Resistance: Where a specified level of wind resistance is required Artisan lap siding is installed to framing members and secured with fasteners described in ICC-ES Evaluation Report No. ESR-2290
- I. Face nail to sheathing.
- J. Locate splices at least 12 inches (305 mm) away from window and door openings.

### 3.4 INSTALLATION - ARTISAN HZ10 LOCK JOINT SYSTEM SIDING

- A. Install materials in strict accordance with manufacturer's installation instructions.
- B. Starting: Install bottom course at bottom of the wall. Apply consecutive courses horizontally in a stacking affect as the Lock Joint system connecting into the course below.
- C. Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- D. Align vertical joints of the siding minimum 4 inches from framing members.
- E. Maintain clearance between siding and adjacent finished grade.
- F. Locate splices at least 12 inches (305 mm) away from window and door openings.
- G. Wind Resistance: Where a specified level of wind resistance is required Artisan HZ10 Lock Joint System siding is installed to framing members and secured with fasteners described in Artisan V Rustic code compliance sheet
- H. Face nail to sheathing.

### 3.5 INSTALLATION - HARDIEPANEL HZ10 VERTICAL SIDING

- A. Install materials in strict accordance with manufacturer's installation instructions.
- B. Block framing between studs where HardiePanel siding horizontal joints occur.
- C. Install metal Z flashing and provide a 1/4 inch (6 mm) gap at horizontal panel joints.
- D. Place fasteners no closer than 3/8 inch (9.5 mm) from panel edges and 2 inches (51 mm) from panel corners.
- E. Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- F. Maintain clearance between siding and adjacent finished grade.
- G. Specific framing and fastener requirements refer to. ICC-ES Evaluation Report No. ESR-1844
- H. Factory Finish Touch Up: Apply touch up paint to cut edges in accordance with manufacturer's printed instructions.
  - 1. Touch-up nicks, scrapes, and nail heads in pre-finished siding using the manufacturer's touch-up kit pen.
  - 2. Touch-up of nails shall be performed after application, but before plastic protection wrap is removed to prevent spotting of touch-up finish.
  - 3. Use touch-up paint sparingly. If large areas require touch-up, replace the damaged area with new pre-finished siding. Match touch up color to siding color through use of manufacturer's branded touch-up kits.

### 3.6 INSTALLATION - HARDIE HZ10 SHINGLESIDE CLADDING

- A. Install materials in strict accordance with manufacturer's installation instructions.
- B. Substrate: Install a minimum 7/16 inch (11 mm) thick OSB wall sheathing or equivalent braced walls complying with applicable building codes.



- C. Starting: Install a minimum 1/4 inch (6 mm) thick lath starter strip at the bottom course of the wall.
- D. Maintain clearance between siding and adjacent finished grade.
- E. Apply starter course of 10 inches (254 mm) shingles or 9-1/2 inches (241 mm) lap siding overlapping the starter strip.
- F. Apply subsequent courses horizontally with a minimum 10 inch overlap at the top and a minimum 2 inch (51 mm) side lap. The bottom edge of the first two courses overlaps the starter strip.
- G. Fasten between 1/2 inch (13 mm) and 1 inch (25 mm) in from the side edge and between 8-1/2 inches (216 mm) and 9 inches (229 mm) up from the shingle bottom edge.
- H. Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- I. Ensure vertical joints of overlapping shingle course do not align.
- J. Wind Resistance: Where a specified level of wind resistance is required, Hardie Shingle siding is installed to substrate and secured with a minimum two fasteners described in ICC-ES Evaluation Report No. ESR-2290.

### 3.7 INSTALLATION - HARDIETRIM HZ10 BOARDS

- A. Install materials in strict accordance with manufacturer's installation instructions. Install flashing around all wall openings.
- B. Fasten through trim into structural framing or code complying sheathing. Fasteners must penetrate minimum 3/4 inch (19 mm) or full thickness of sheathing. Additional fasteners may be required to ensure adequate security.
- C. Place fasteners no closer than 3/4 inch (19 mm) and no further than 2 inches (51 mm) from side edge of trim board and no closer than 1 inch (25 mm) from end. Fasten maximum 16 inches (406 mm) on center.
- D. Maintain clearance between trim and adjacent finished grade.
- E. Trim inside corner with a single board trim both side of corner.
- F. Outside Corner Board Attach Trim on both sides of corner with 16 gage corrosion resistant finish nail 1/2 inch (13 mm) from edge spaced 16 inches (406 mm) apart, weather cut each end spaced minimum 12 inches (305 mm) apart.
- G. Allow 1/8 inch gap between trim and siding.
- H. Seal gap with high quality, paint-able caulk.
- I. Shim frieze board as required to align with corner trim..
- J. Fasten through overlapping boards. Do not nail between lap joints.
- K. Overlay siding with single board of outside corner board then align second corner board to outside edge of first corner board. Do not fasten HardieTrim boards to HardieTrim boards.

- L. Shim frieze board as required to align with corner trim.
- M. Install HardieTrim Fascia boards to rafter tails or to sub fascia.

### 3.8 FINISHING

- A. Finish unprimed siding with a minimum one coat high quality, alkali resistant primer and one coat of either, 100 percent acrylic or latex or oil based, exterior grade topcoats or two coats high quality alkali resistant 100 percent acrylic or latex, exterior grade topcoat within 90 days of installation. Follow paint manufacturer's written product recommendation and written application instructions.
- B. Finish factory primed siding with a minimum of one coat of high quality 100 percent acrylic or latex or oil based exterior grade paint within 180 days of installation. Follow paint manufacturer's written product recommendation and written application instructions.

### 3.9 PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

END OF SECTION

## SECTION 05 51 00 - METAL STAIRS AND RAILS

### PART 1 - GENERAL

#### 1.1 AGREEMENT:

The contract and any contract change orders, the drawings and this section of the specifications with all addenda, together with Division 01 - General Requirements are all incorporated to form the contract documents and the entire basis for agreement between contractor and subcontractor. No allowance will subsequently be made on behalf of the subcontractor for errors due to his negligence in failing to acquaint himself with the contract documents and the site conditions or for his failure to determine the owner's desired meaning and intentions of these contract documents before starting work.

#### 1.2 SCOPE:

Furnish all labor, materials and equipment necessary and proper to complete the metal stairs and rail work shown on the drawings and specified herein or reasonably implied by same. In general, the stairs and rail work shall include the following:

- a. Metal Stairs
- b. Rail
- c. Miscellaneous
- d. Submittals
- e. Warranty
- f. Clean up
- g. Materials

1.3 Prior to the erection of work, carefully inspect the installed work of other trades and verify that all work is complete to the point where stairs and rail installation may commence and that the completed installation will be in strict accordance with the design as shown on the drawings and in these specifications. In the event of discrepancy, immediately notify the project superintendent and proceed as he directs.

1.4 All work must be in accordance with the latest AISC Standards.

1.5 Material and fabrication requirements in the plans must be strictly followed.

1.6 Subcontractor shall be responsible for insuring that the stairs and rails comply with all local, state and federal requirements.

1.7 Warranty: This subcontractor shall warrant the work under this section against defects in materials and workmanship for a period of one (01) year following issuance of Certificate of Occupancy for the final building of the project.

### PART 2 - PRODUCTS

2.1 Structural Steel: All structural steel and plates shall conform with ASTM A-36 in the size and shape indicated on the drawing and shall receive one shop coat of primer.

2.2 Fasteners: All bolts, nuts and screws shall be new, free from rust and conforming with ASTM A-307 and AISC standards.

- 2.3     Stairs and Rail:     Stairs and rail shall be as detailed on the drawings and receive one shop coat of primer.
- 2.4     Precast Concrete Treads:     Comply with requirements of structural cast-in-place concrete for normal-weight, ready-mix concrete with a minimum 28-day compressive strength of 5,000 psi (35 MPa) and a total air content of not less than 4 percent nor more than 6 percent.
- 2.5     Reinforcing Wire Treads:     Galvanized, welded wire fabric, 2 inches by 2 inches--W0.3 by W0.3 (16 ASW gage or 0.0625-inch diameter); comply with ASTM A 185 and ASTM A 82, except for minimum wire size.
- 2.6     Welding Rods:     All welding rods shall be appropriate for the structural member material.
- 2.7     Other Materials:     All other materials, not specifically described but required for a complete installation, shall be new, free from rust, best quality of their respective kinds, and subject to the approval of the contractor.
- 2.8     Primer Paint:     All primer shall be an industrial grade product. All materials will be thoroughly cleaned before priming.

### **PART 3 - EXECUTION**

- 3.1.     Metal Stairs:
- a.     Subcontractor will furnish and install the complete stair assemblies with columns, plates, treads and stringers.
  - b.     Furnish all anchor bolts, fasteners, washers and other parts or devices necessary for proper and stable installation of the stairs. Provide lock washers under all nuts.
  - c.     Install metal caps to seal exposed ends of columns.
  - d.     Drill or punch holes required for the attachment of work or other trades and for bolted connections. Burned holes are not acceptable.
- 3.2.     Rail:
- a.     Subcontractor will furnish and install all metal rail.
  - b.     Stair, walkway, landing and balcony rail will be installed after drywall.
  - c.     Rail pickets must be welded at all four sides to top and bottom tube (seal welded).
  - d.     Install metal caps to seal exposed ends of rail.
- 3.3     Miscellaneous: All joints and intersections of metal to fit tightly and be securely fastened. Make all work square, plumb, straight and true. This subcontractor shall grind smooth all exposed welds. All field welds will receive one touch-up coat of primer the day welds are made. After the erection and installation is complete, touch-up all priming damaged during transportation and erection.
- 3.4     Submittals: Submit shop drawings to the contractor for approval. Indicate quantities, materials, sizes, shapes and all methods of anchorage, bracing and attachment to the work of other trades.



- 3.5 Clean Up: Clean up all debris caused by work of this section keeping site and buildings neat at all times. Debris is to be placed in location designated by project superintendent.

**END OF SECTION**

**ATTENTION**

**FAX NUMBER:**

**EMAIL:**

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If there are any questions please feel free to call Gator Dodson at (210) 393-1560.