

HISTORIC AND DESIGN REVIEW COMMISSION

September 21, 2016

Agenda Item No: 11

HDRC CASE NO: 2016-365
ADDRESS: 108 N MEDINA
LEGAL DESCRIPTION: NCB 264 BLK 76 N 69.05 FT OF S 133.45 FT OF 9 ARB A9
ZONING: D H HE
CITY COUNCIL DIST.: 5
DISTRICT: Cattleman Square Historic District
LANDMARK: I&GN Depot Cluster
APPLICANT: Michael Mauldin/Mauldin Architects
OWNER: Randall Hoover/North Medina, LLC
TYPE OF WORK: Door fenestration, entry modifications
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove existing non-original wooden front door and install new single front door with single light and side lights in original opening on west façade.
2. Install new steel door to the left of proposed front entry.
3. Remove CMU block infill and plywood, and replace with fixed store front and transom windows.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.

ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.

iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the

building and the period in which it was designed.

iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

FINDINGS:

- a. The building at 108 N Medina is a two-part commercial block, with three stories, red brick facade and CMU block enclosing the first floor windows.
- b. There is an existing non-original wooden door with a wood transom. The applicant is proposing to remove the doors and install a single wood door with panels and single light and two side lights. According to the Guidelines for Exterior Maintenance and Alterations 6.B., non-historic incompatible elements should be replaced with what are typical of the architectural style of the building. Staff finds the proposal to replace the non-original appropriate and consistent with the Guidelines.
- c. There is a door way filled with CMU blocks on the left of the west facade. The applicant is proposing to install a steel door with single light. According to the Guidelines for Exterior Maintenance and Alterations 6.B. and 10.B.ii., non-historic incompatible elements and facades should be replaced with what are typical of the architectural style of the building and based on photographic evidence. Staff finds the proposal appropriate and consistent with the guidelines.
- d. The front window openings currently are filled with CMU blocks and the existing front covered entry is boarded with plywood. The applicant is proposing to remove the plywood and CMU blocks and install fixed windows painted off-white to match those of the neighboring property. According to the Guidelines for Exterior Maintenance and Alterations 6.B. and 10.B.ii., non-historic incompatible elements and facades should be replaced with what are typical of the architectural style of the building and based on photographic evidence. Staff finds that historically these areas would be window openings with glass. Staff finds the proposal consistent with the Guidelines.
- e. Staff made a site visit on September 9, 2016, and found the original door opening, original covered front entry, and CMU filled in front windows and door.
- f. **HISTORIC TAX CERTIFICATION** – At this time, the applicant has not applied for Historic Tax Certification. Staff recommends the applicant apply for the historic tax incentive which lasts a total of ten (10) years.

RECOMMENDATION:

Staff recommends approval based on finding a through f with the following stipulations:

1. That the windows be inset one to two inches into the window frame and be made of wood.
2. If the applicant is considering the rehabilitation of the primary historic structure, staff recommends the applicant apply for Historic Tax Certification.

CASE MANAGER:

Lauren Sage



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 13, 2016

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SANTA MONICA HOTEL

FOR LEASE
4000 SQ FT
OFFICE / RETAIL / RESTAURANT
JB Goodwin
REALTORS
Angel Guzman
(210) 284-3420
JBGOODWIN.COM

108

Handwritten graffiti on the left window: "Kush", "Strong", "PBB-3".

Handwritten graffiti on the right window: "VBB".

Handwritten graffiti on the central door: "EL CHULO", "PAC".

Handwritten graffiti on a white cinder block wall, including the words "twist", "Kenny", and "HCB-3".



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FIN

HERE

Red spray-painted graffiti on a white cinder block wall, possibly reading "W33".

Handwritten text on a red-painted wall, including "EL", "HOLD", and "FAC".



Large black graffiti on the white cinder block wall, including the letters 'OK' and '2'.



ESTED
ALL A CAB.
END FOR A
TE RIDE.
sober ride.

BEING ARI...
A DRIVER C...
FIN...
SAFE
can find sober

108

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twsk
Kongly
HCB3





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RE
4-3 20
DWIN.COM





JOHN...

JOHN BOELHOUWE
ARCHITECT

Handwritten graffiti in black marker on a white block wall, including stylized letters and symbols.







110





KEEP OUT













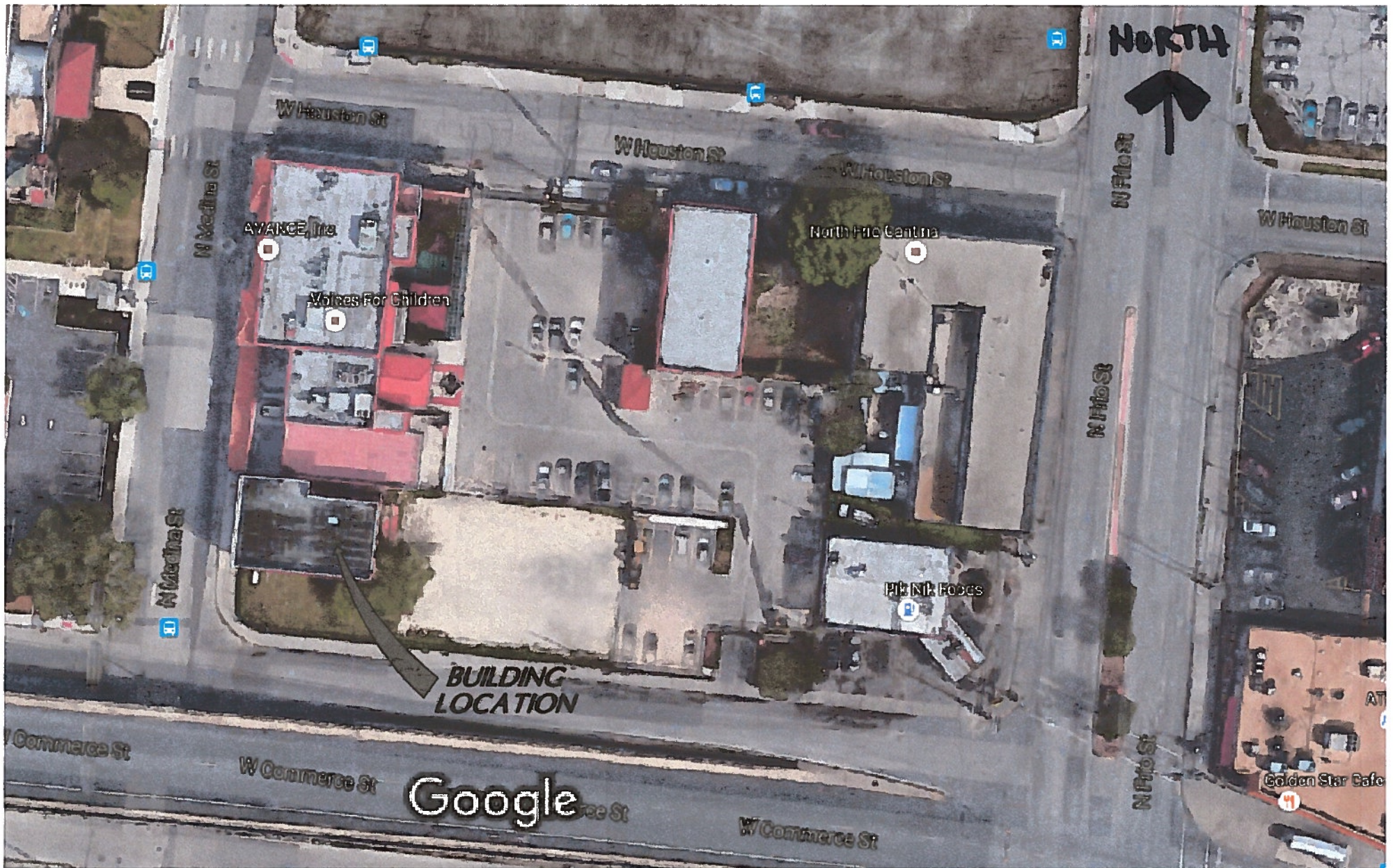
WEST ELEVATION











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SAN ANTONIO, TEXAS

PRELIMINARY
DRAWING - NOT FOR
CONSTRUCTION OR
REGULATORY
APPROVAL
MICHAEL D. MAULDIN
TEXAS #16733

Santa Monica Hotel Bldg.
West Elevation Improvements
San Antonio, Tx. 78207

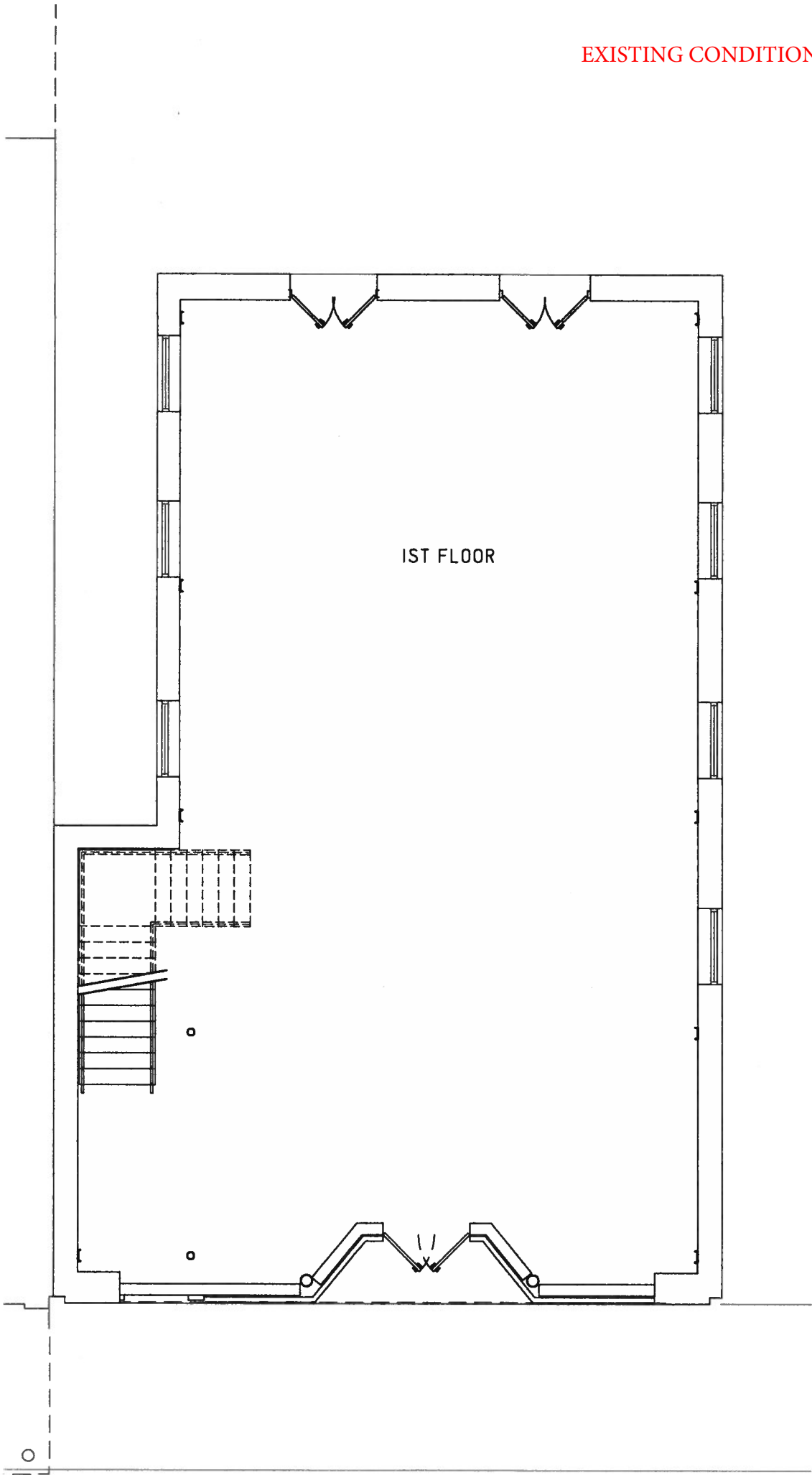
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Building Site Plan
SCALE: N.T.S.

DATE:
08-31-2016

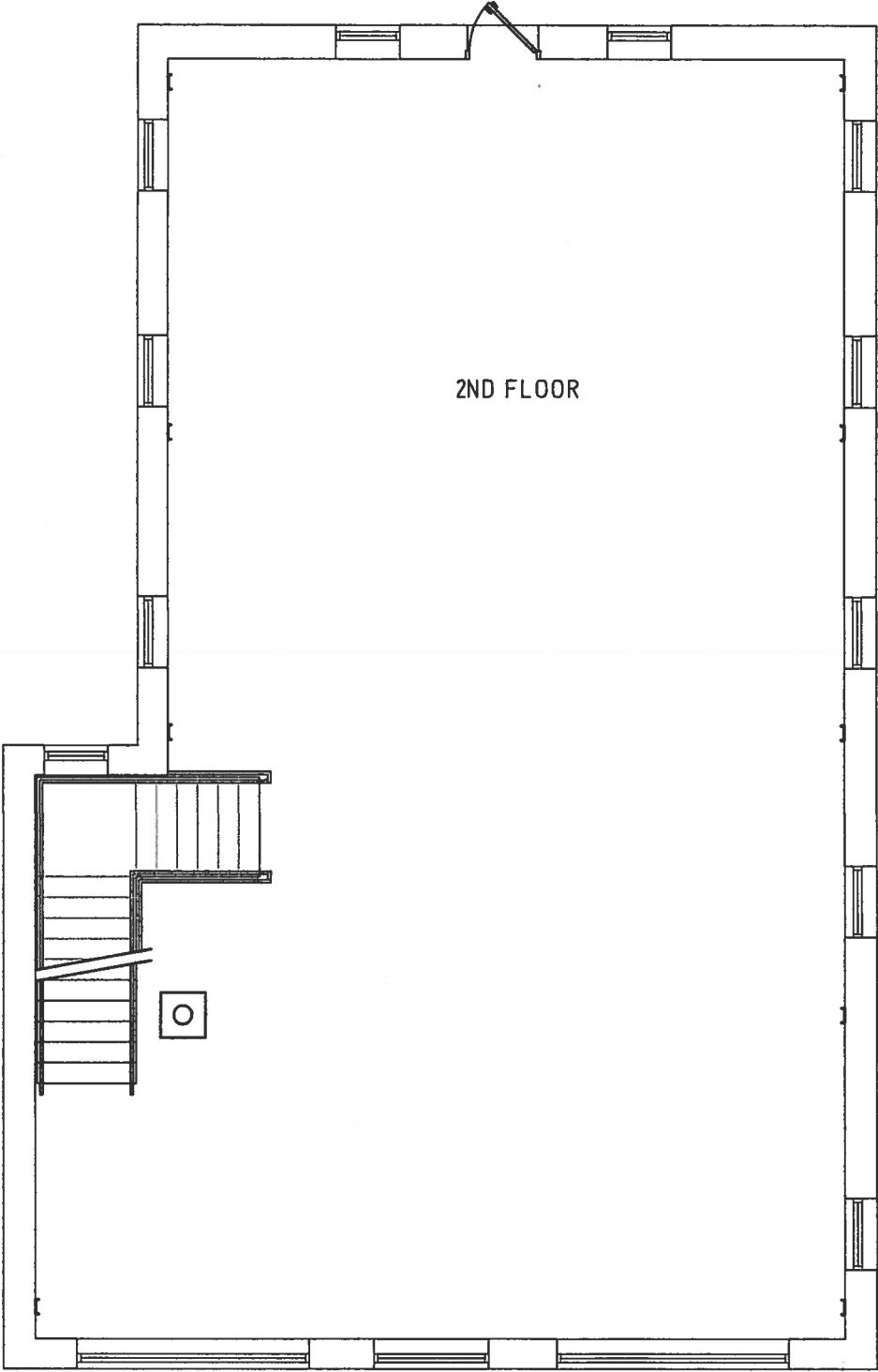
SHEET NUMBER

SP

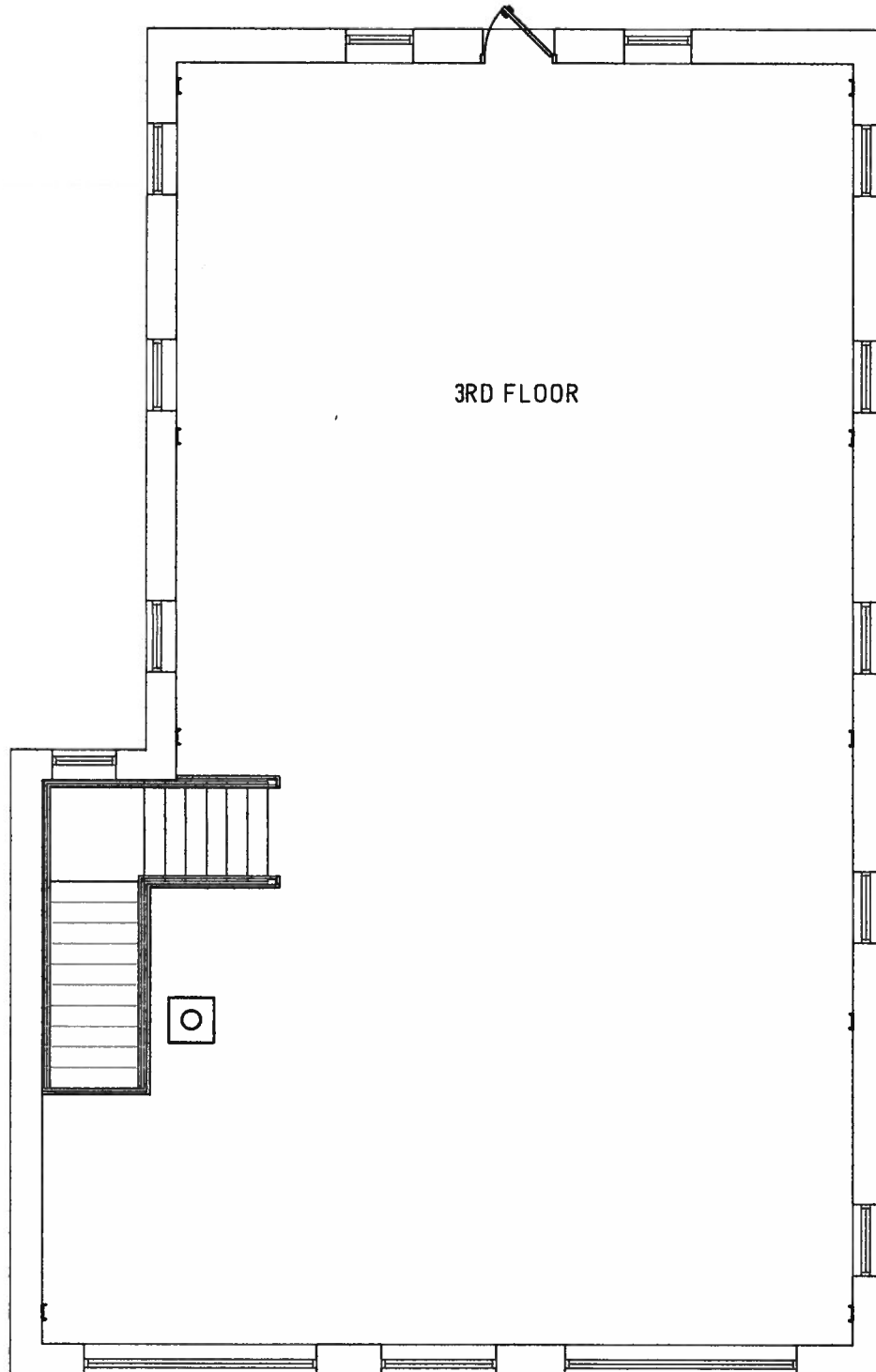
EXISTING CONDITIONS

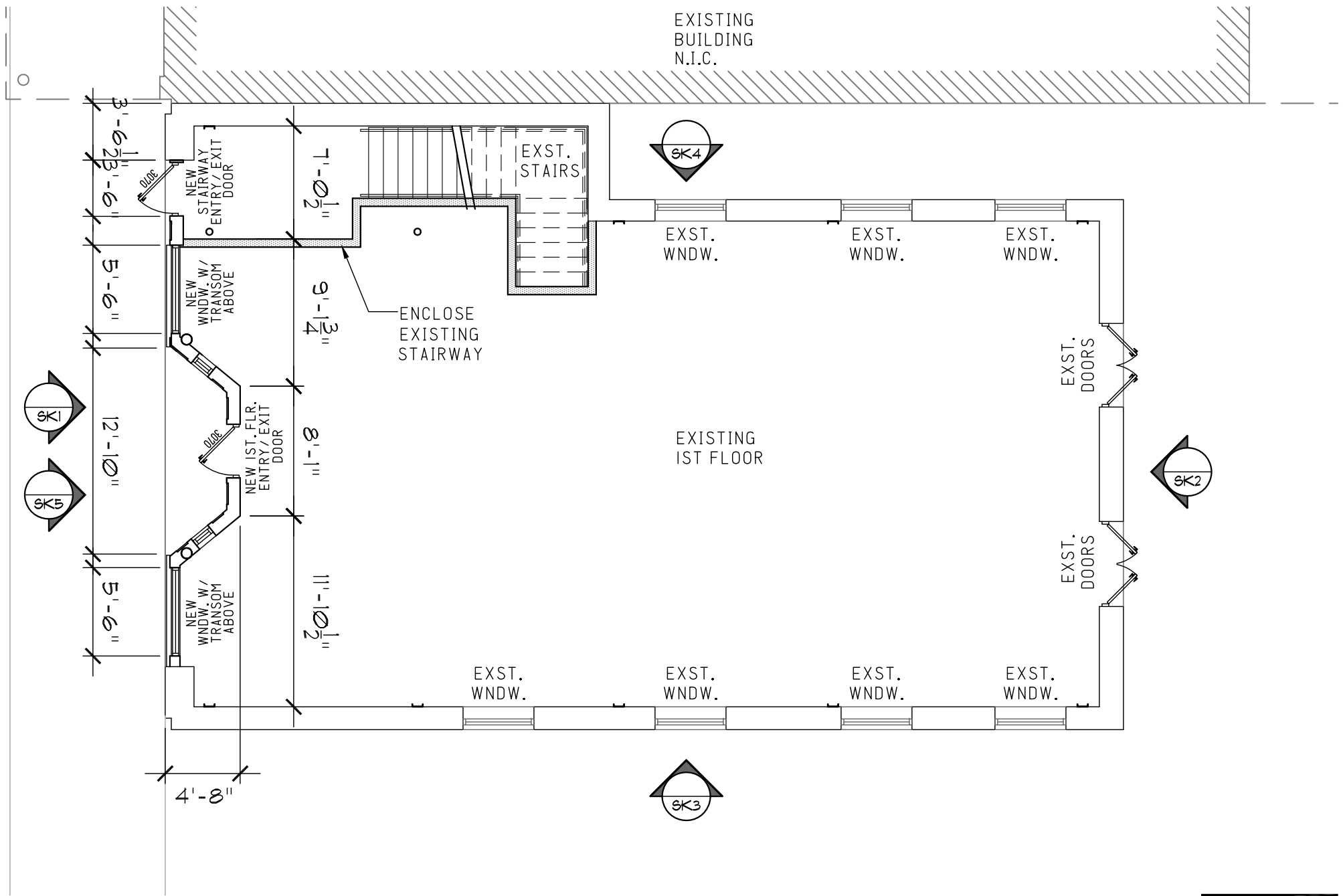


EXISTING CONDITIONS



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Santa Monica Hotel Bldg.
West Elevation Improvements
San Antonio, Tx. 78207

SHEET TITLE:
1st Floor Plan-New Entry Doors
SCALE: 1/8"=1'-0"

DATE:
09-12-2016

proposed

SHEET NUMBER

FP 1

EXISTING CONDITIONS

~~PROPOSED WORK FOR WEST ELEVATION~~



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Santa Monica Hotel Bldg.
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San Antonio, Tx. 78207

SHEET TITLE:
Existing West Elevation
SCALE: 1/8" = 1'-0"
DATE:
08-31-2016

SHEET NUMBER

SKI

Architectural elevation drawing of the Santa Monica Hotel facade. The drawing shows a two-story building with a brick pattern. The ground floor features a central entrance with double doors and a recessed covered entry. Above the entrance is a large sign that reads "SANTA MONICA HOTEL". The second floor has large arched windows. Dimensions are provided for the entrance and the overall facade width.

Dimensions:

- Entrance width: $\pm 12' - 10''$
- Overall facade width: $\pm 31' - 4''$

Annotations:

- REFINISH EXISTING RECESSED COVERED ENTRY

SK5

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NO PROPOSED WORK FOR EAST ELEVATION



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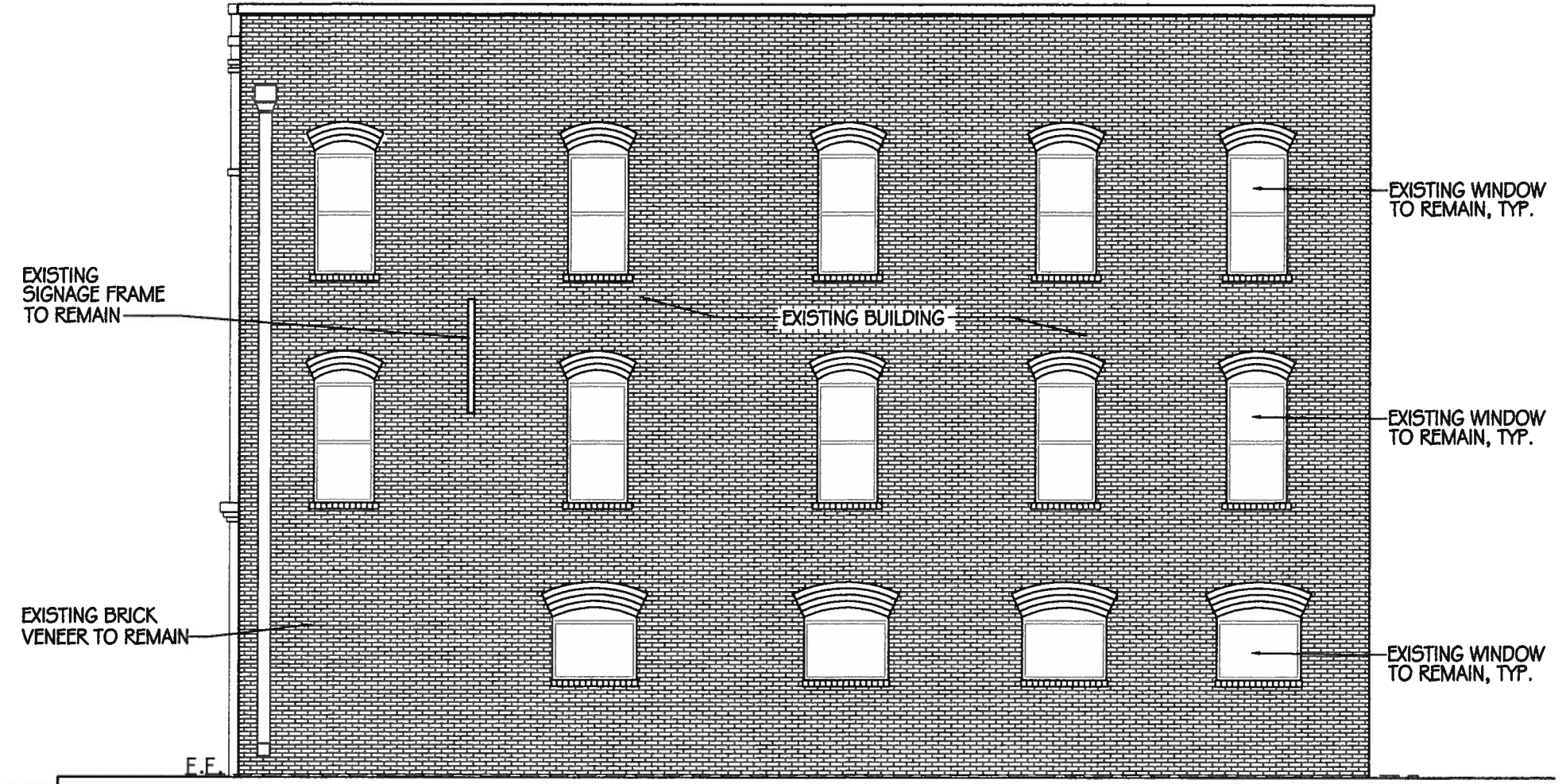
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San Antonio, Tx. 78207

SHEET TITLE:
Existing East Elevation
SCALE: 1/8"=1'-0"
DATE:
08-31-2016

SHEET NUMBER
SK2

NO PROPOSED WORK FOR SOUTH ELEVATION



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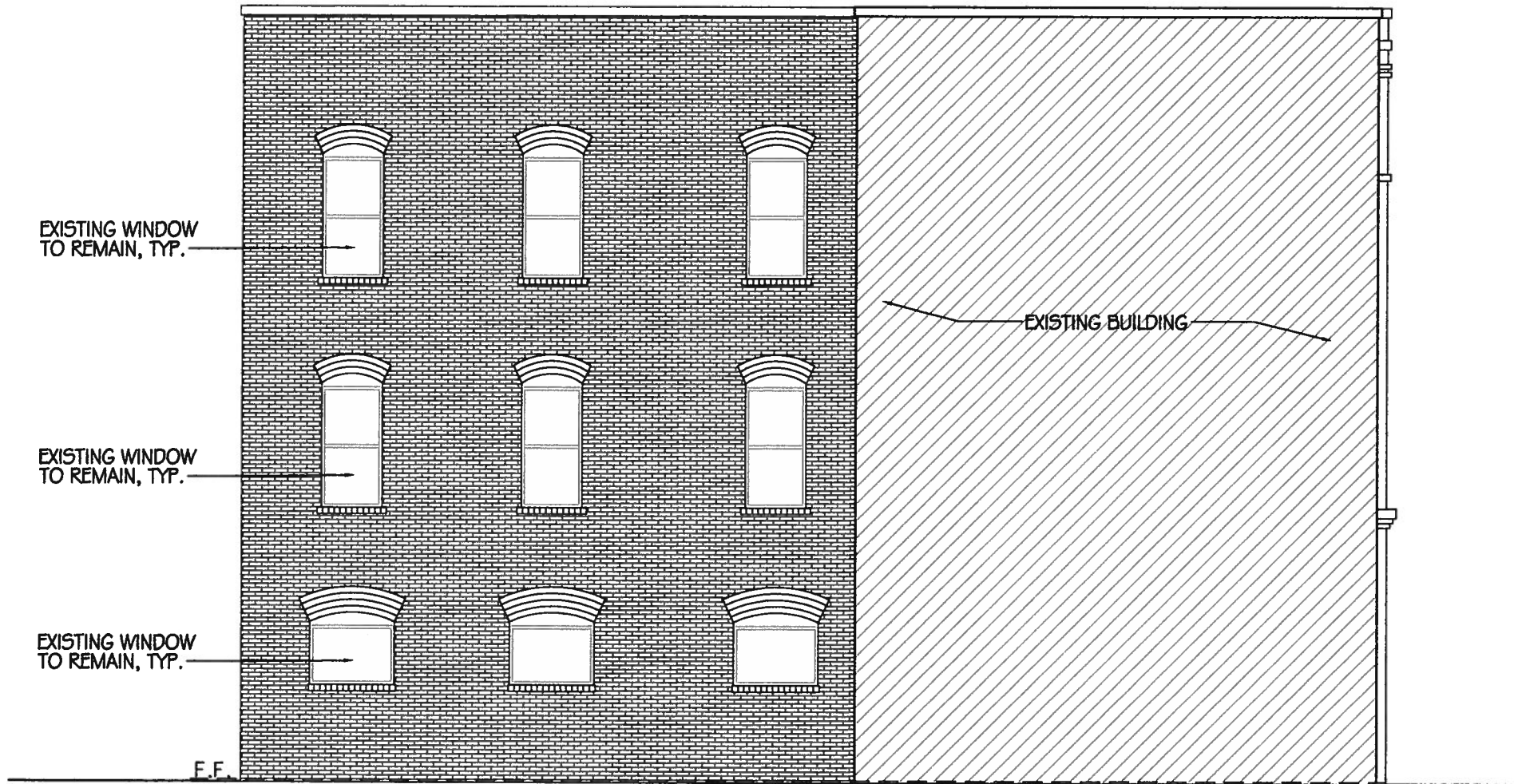
Santa Monica Hotel Bldg.
West Elevation Improvements
San Antonio, Tx. 78207

SHEET TITLE:
Existing South Elevation
SCALE: 1/8" = 1'-0"
DATE:
08-31-2016

SHEET NUMBER

SK3

NO PROPOSED WORK FOR NORTH ELEVATION



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Santa Monica Hotel Bldg.
West Elevation Improvements
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SHEET TITLE:
Existing North Elevation
SCALE: 1/8" = 1'-0"
DATE:
08-31-2016

SHEET NUMBER
SK4