

## HISTORIC AND DESIGN REVIEW COMMISSION

September 21, 2016

Agenda Item No: 13

**HDRC CASE NO:** 2016-372  
**ADDRESS:** 415 MARY LOUISE  
**LEGAL DESCRIPTION:** NCB 6703 BLK 13 LOT 3  
**ZONING:** R6 H  
**CITY COUNCIL DIST.:** 7  
**DISTRICT:** Monticello Park Historic District  
**APPLICANT:** Adan Ochoa/AO Design  
**OWNER:** David Whitworth  
**TYPE OF WORK:** New construction of an accessory structure  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to construct a rear carport that is 540 square feet and 12'-1" tall at the ridge.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

#### 5. Garages and Outbuildings

##### A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

##### B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

### FINDINGS:

- a. The applicant demolished the existing carport and began to construct a carport prior to receiving a Certificate of Appropriateness. The applicant has submitted all required documentation to staff.
- b. The home at 415 Mary Louise is located in the Monticello Park Historic District, and was designated in 1995. The home is a two-story stone, Spanish eclectic with minimal detailing and ornamentation with a green asphalt roof and a second story front balcony. There is an existing accessory structure at the rear of the lot, with white shingle siding, a front gable with a 13' ridge, and green asphalt roof shingles; only the garage portion of the accessory structure is found on the 1944 Sanborn.
- c. The applicant constructed a new carport where one previously existed. The previous carport was not original to the property per the 1944 Sanborn. According to the Guidelines for Maintenance and Alterations 9.A., existing historic outbuildings should be preserved and repaired. Because the carport is not historic, staff finds the proposal to remove the pre-existing carport and build a new one consistent with the guidelines.

- d. The previous carport had a flat roof, and was 18' x 17' x 8' and located at the end of the existing driveway, with a 5' side setback.
- e. The applicant met with the Design Review Committee on September 14, 2016, to discuss the proposal. Committee members present had concerns about matching the eave detail of the existing rear structure with those of the proposed carport. Members present supported the open face gable, square steel columns, dark stain on rafters, and centering carport on the existing garage. Members did not support gutters or widening the carport on the left side.
- f. CHARACTER – The main structure is Spanish eclectic with green asphalt shingles, a hipped roof and a stone façade. The rear garage structure has the same shingles, a hipped roof and wood siding. The applicant is proposing a carport with an open faced front gable, with green asphalt shingles, wooden posts and exposed rafters overhangs. According to the Guidelines for New Construction 5.A.iii., new outbuildings should relate to the period of construction of the principal building. Staff finds the proposal consistent with the Guidelines.
- g. MASSING/FORM - The applicant is proposing to build a new carport that is not attached to the garage. The new carport is 30' x 18' wide and 12'-1" tall at the ridge. The carport will be the same height and width as the existing garage. According to the Guidelines for New Construction 5.A., new outbuildings should be no larger in plan than 40% of the principal historic structure's foot print, and should be visibly subordinate to historic structures. Staff finds the proposed form consistent with the Guidelines.
- h. SETBACKS/ORIENTATION - The applicant is proposing to rebuild the carport in the location of the previous carport with the same access and same side setback remains of 5 feet. According to the Guidelines for New Construction 5.B, new outbuildings match predominant garage and carport orientations. Staff made a site visit on September 12, 2016, and found that rear garages and carports along the block. Staff finds the proposed setback and orientation consistent with the Guidelines.

#### **RECOMMENDATION:**

Staff recommends approval based on findings a through g with the following stipulations:

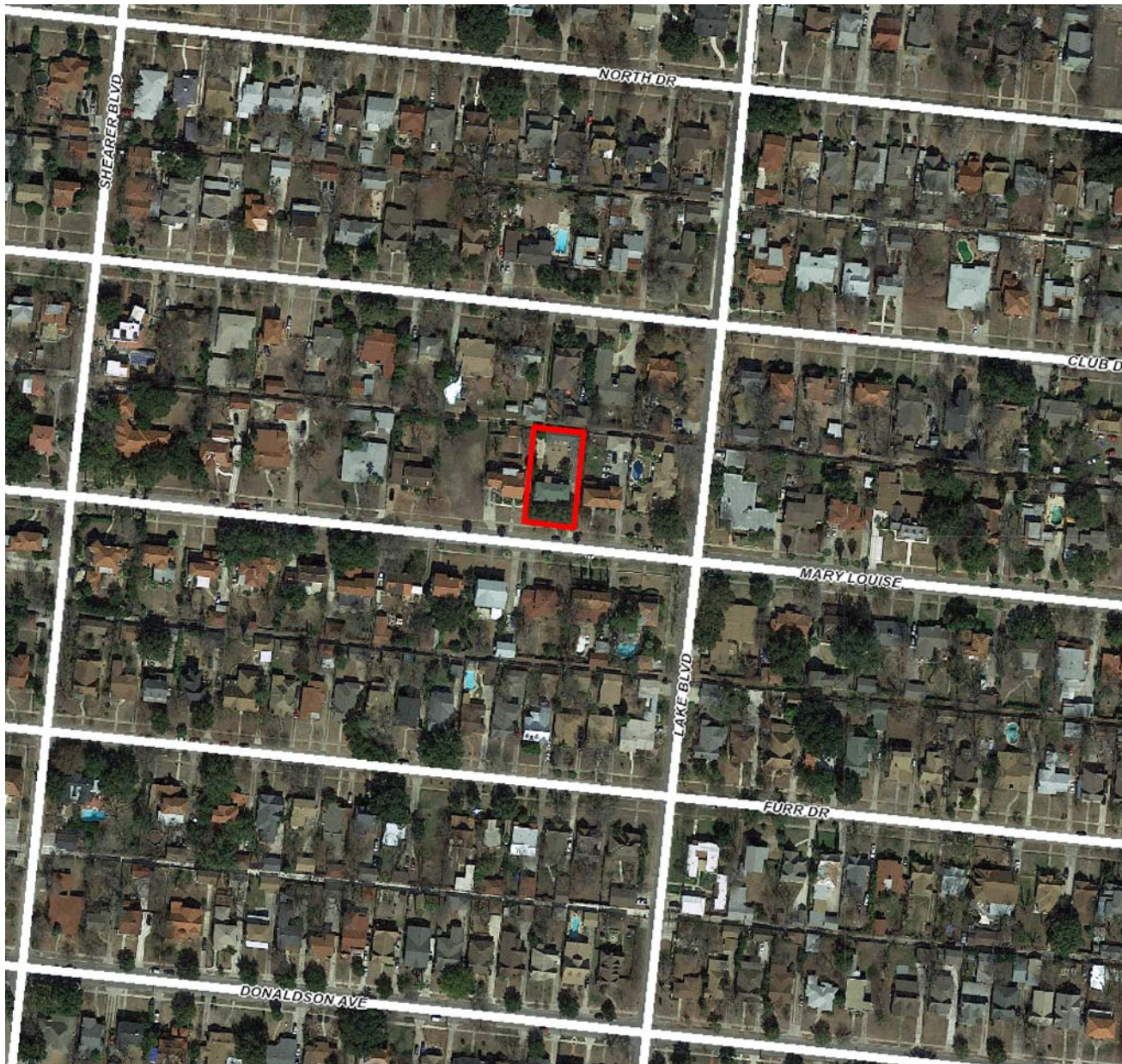
1. That the ridge height of the garage be the same as or below the height of the historic garage.
2. That the eaves of the proposed carport match those of the existing rear garage.

#### **CASE MANAGER:**

Lauren Sage

#### **CASE COMMENTS:**

The carport was constructed without prior approval. The applicant has submitted all required documentation to staff. The applicant is responsible for meeting setback requirements set by the UDC.



**415 Mary Louise**

**Carport**

Printed: Mar 01, 2016

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01W-3848

















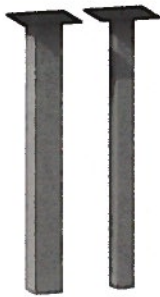
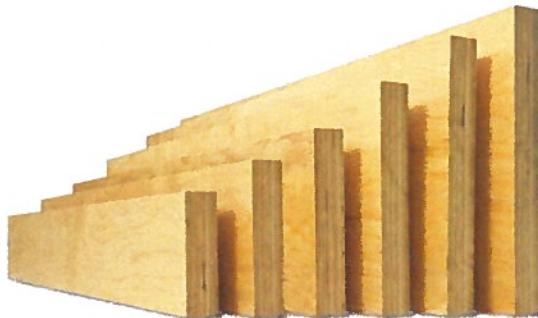


September 02, 2016

To: HDRC  
Address: 415 Mary Louise Dr.

**Narrative:**

Client hired a previous contractor that stated that he knew the process for building in a historic neighborhood. After constructed began, client was given a stop work order, due to the fact that HDRC did not approve this structure. After attempting to get the project approved and was denied, contractor stop working and never returned. Client seeked out the help of AO Design to design something appropriate to the manner of the HDRC guidelines. Client is now proposing to lower the ridge of the gable roof to match that of the existing garage. Carport will not exceed its two car capacity. To allow visibility of the back garage client proposes to have the newly constructed gable roof to be exposed rafters and open from the front. The columns will be new steel 6x6 and will hold new double LVL's and an asphalt shingles that will match the existing garage and casita roof.

**Materials:****6x6 Steel Post-****2x8 rafters and DBL. LVL-****Asphalt 3 tab shingles-**



# WITWORTH RESIDENCE

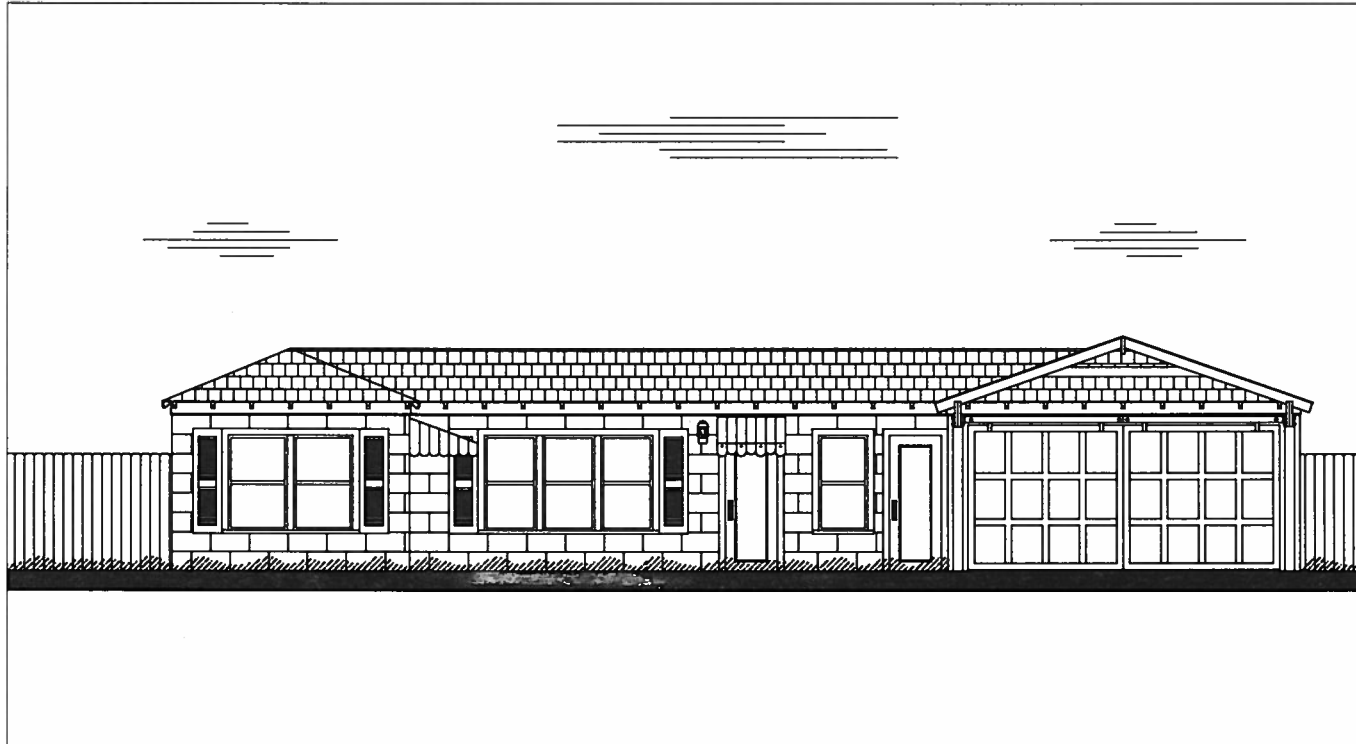
## 415 MARY LOUISE DR.

SEPTEMBER 02, 2016



AD DESIGN, LLC  
ADAM OCHOA  
234 CROSSCROOK  
SAN ANTONIO, TEXAS  
T: 210-632-2154  
E: aodesign.ochoa@gmail.com

415 MARY LOUISE DR.



ADAN OCHOA  
PROJECT DESIGNER  
SAN ANTONIO, TEXAS 78221  
T: 210.632.2154  
aodesign.ochoa@gmail.com

STEPHEN BLAKE  
CIVIL ENGINEER  
SAN ANTONIO, TEXAS  
T: 210.497.1079  
spblake@sbcglobal.net

SHEET INDEX
1 A0.0 COVER
2 A0.1 INFORMATION
3 A1.0 SITE PLAN
4 A2.0 ROOF PLAN
5 A3.0 EXTERIOR ELEVATIONS
6 B1.0 COLUMN DETAILS
7 B1.1 RAFTER PLAN/ DETAILS

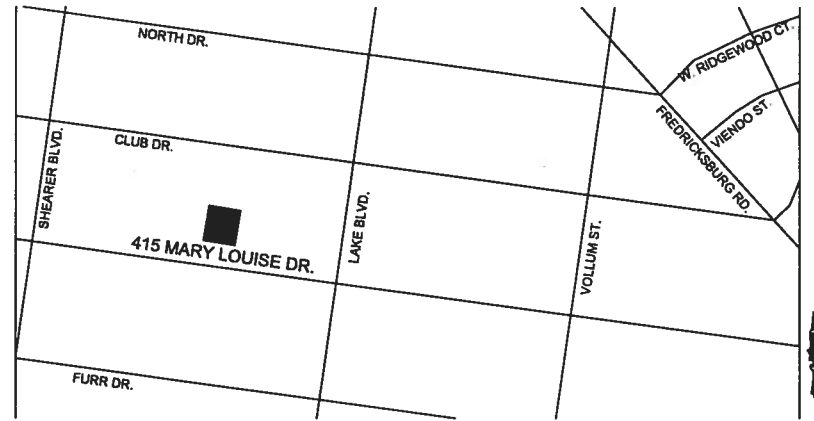
AD DESIGN, LLC  
DESIGN DRAWINGS AND SPECS  
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EXCLUSIVE PROPERTY OF THE  
DESIGNER. WHATEVER THE  
PROJECT FOR WHICH THEY  
ARE MADE IS TO BE EXECUTED  
OR NOT AND SHALL BE  
RETURNED TO HIM/ HER UPON  
THE COMPLETION OF THE  
CONSTRUCTION WORK. THEY  
ARE NOT TO BE USED BY THE  
OWNER ON OTHER PROJECTS  
OR EXTENSIONS TO THIS  
PROJECT EXCEPT BY  
AGREEMENT IN WRITING FROM  
THE DESIGNER. ANY  
CHANGES MADE OUTSIDE THE  
SCOPE OF WORK AND/ OR  
AFTER THE APPROVAL OF THE  
CITY WILL BE THE SOLE  
RESPONSIBILITY OF THE  
CLIENT.

PROJECT NO. 200-01  
DATE: SEPTEMBER 02, 2016  
DRAWN BY: ADAM OCHOA  
DESIGNER: ADAM OCHOA








COVER SHEET

sheet  
A0.0  
1 of 7



[illegible]

BUILDING	
UNIT DESCRIPTION	TOTAL
<u>EXISTING CARPORT</u>  25'-0" X 18'-0"	
FLOOR TOTAL	450 SQ FT
<u>NEW CARPORT</u>  30'-0" X 18'-0"	
FLOOR TOTAL	540 SQ FT

	DOOR & FRAME
	BUILDING SECTION
	WALL SECTION
	INTERIOR/ EXTERIOR ELEVATION
	DETAIL TAG
	WINDOW TYPE
	WALL TYPE

LEGAL DESCRIPTION: Z36 JO MARIE ST. SAN ANTONIO, TEXAS 782XX LOT 13 N.C.B. 10841	
BUILDING CODES:	2016 INTERNATIONAL BUILDING CODE
BUILDING CRITERIA	
OCCUPANCY	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE II
NUMBER OF STORIES	ONE STORY
BUILDING DESCRIPTION:	
REMOVE EXISTING ALUMINUM PLAT ROOF CANPORT AND CONSTRUCT A NEW STEEL COLUMN WITH ENGINEERED LVL BEAMS AND A WOOD GABLE CANPORT.	
GENERAL NOTES:	
ALL DIMENSIONS SHALL BE FIELD VERIFIED AND MAY SLIGHTLY VARY. IF PROBLEMS OR CONCERNS ARISE FROM PROPOSED LAYOUT, CONTACT ENGINEER OR PROJECT DESIGNER FOR CLARIFICATION.	
IT IS RECOMMENDED TO MEET WITH ENGINEER AND PROJECT DESIGNER ON SITE BEFORE CONSTRUCTION.	

	EARTH		LUMBER (FINISHED)
	COMPACTED GRANULAR FILL		STONE
	INSULATION (BATTL LOOSE OR FRICTION)		BRICK
	INSULATION (RIGID)		GYPSUM BOARD OR PLASTER
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNITS		LUMBER (ROUGH)
	BRICK		NON-CONTINUOUS WOOD BLOCKING

AD DESIGN, LLC  
DESIGN DRAWINGS AND SPECS  
FOR THE PROJECT OF RENOVATE  
ARE AND SHALL REMAIN  
EXCLUSIVE PROPERTY OF THE  
OWNER. WHATEVER THE  
PROJECT FOR WHICH THEY  
ARE MADE IS TO BE EXECUTED  
WHETHER THE SAME BE  
RETURNED TO HIM/ HER UPON  
THE COMPLETION OF THE  
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OR EXTENSIONS TO THIS  
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AGREEMENT IN WRITING FROM  
THE DESIGNER. ANY  
UNAUTHORIZED REUSE OF THE  
SCOPE OF WORK AND/OR  
AFTER THE APPROVAL OF THE  
OWNER IS THE SOLE  
RESPONSIBILITY OF THE  
CLIENT.

PROJECT NO. 2006-201  
DATE: SEPTEMBER 05, 2016  
DRAWN BY: ADAM GONDA  
DESIGNER: ADAM GONDA

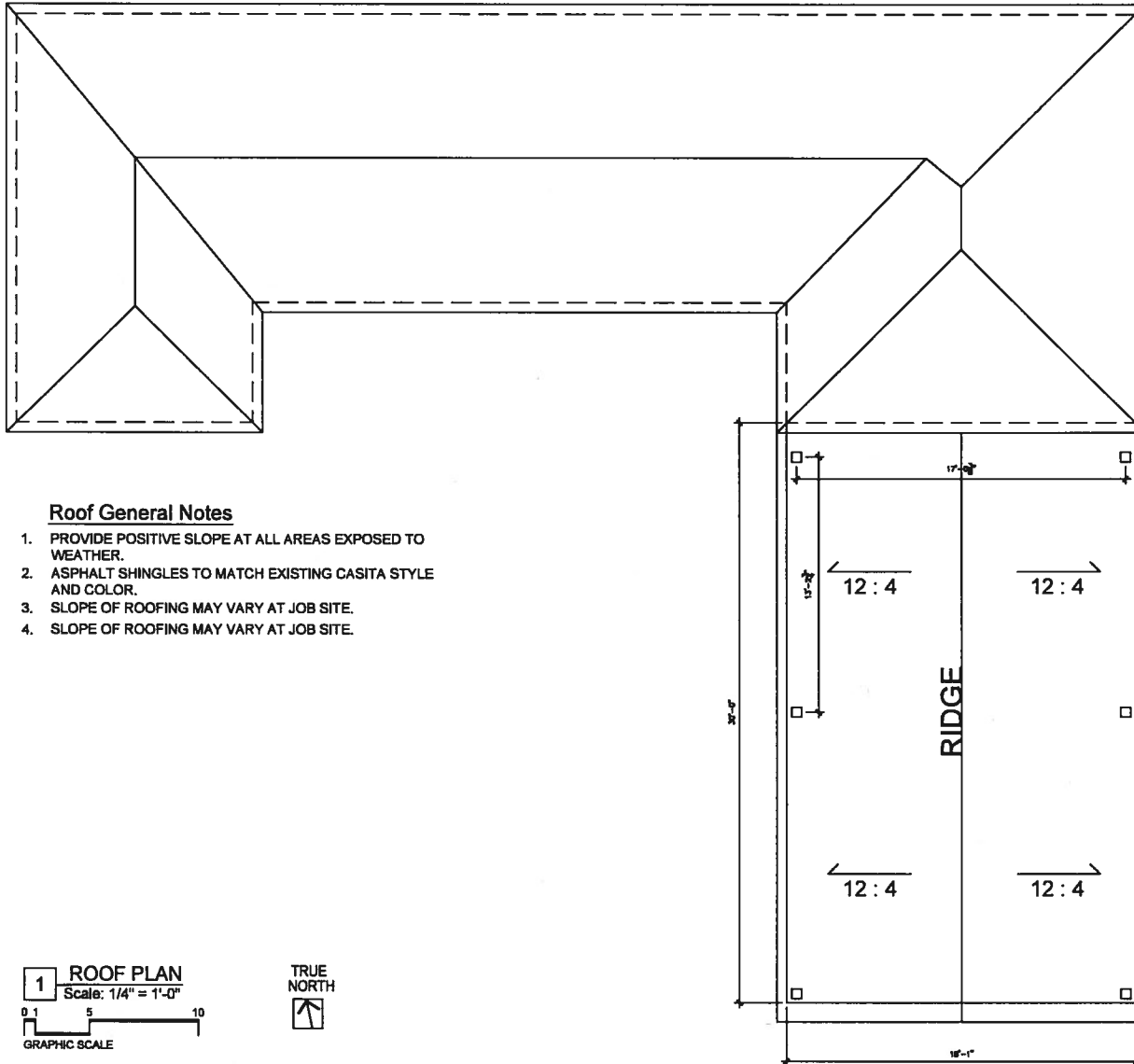
front  
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2 of 7







SHEET INDEX
1 A&D COVER
2 A&D.1 INFORMATION
3 A1&D SITE PLAN
4 A2.0 ROOF PLAN
5 A3&D EXTERIOR ELEVATIONS
6 B1&D COLUMN DETAILS
7 B1.1 RAFTER PLAN/ DETAILS



### Roof General Notes

1. PROVIDE POSITIVE SLOPE AT ALL AREAS EXPOSED TO WEATHER.
2. ASPHALT SHINGLES TO MATCH EXISTING CASITA STYLE AND COLOR.
3. SLOPE OF ROOFING MAY VARY AT JOB SITE.
4. SLOPE OF ROOFING MAY VARY AT JOB SITE.

**1 ROOF PLAN**  
Scale: 1/4" = 1'-0"  
0 1 5 10  
GRAPHIC SCALE



ROOF PLAN

AD DESIGN, LLC  
DESIGN DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE EXCLUSIVE PROPERTY OF THE DESIGNER. THE PROJECT FOR WHICH THEY ARE MADE IS TO BE EXECUTED OR NOT AND SHALL BE RETURNED TO HIM/ HER UPON THE COMPLETION OF THE CONSTRUCTION WORK. THEY ARE NOT TO BE USED BY THE OWNER OR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT EXCEPT BY AGREEMENT IN WRITING FROM THE DESIGNER. ANY CHANGES MADE OUTSIDE THE SCOPE OF WORK AND/ OR AFTER THE APPROVAL OF THE CITY WILL BE THE SOLE RESPONSIBILITY OF THE CLIENT.

PROJECT NO. 100-10  
DATE: SEPTEMBER 03, 2016  
DRAWN BY: ADAM OCHOA  
DESIGNED: ADAM OCHOA

Sheet  
**A2.0**  
4 of 7



EXTERIOR ELEVATIONS

a

DESIGN

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ADAM OCHOA  
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SAN ANTONIO, TEXAS  
T 214-632-2154  
E. adesign.ochoa@gmail.com

415 MARY LOUISE DR.

- SHEET INDEX
- 1) ADD COVER
  - 2) ADD INFORMATION
  - 3) A1.0 SITE PLAN
  - 4) A2.0 ROOF PLAN
  - 5) A3.0 EXTERIOR ELEVATIONS
  - 6) S1.0 COLUMN DETAILS
  - 7) S1.1 RAFTER PLAN/ DETAILS

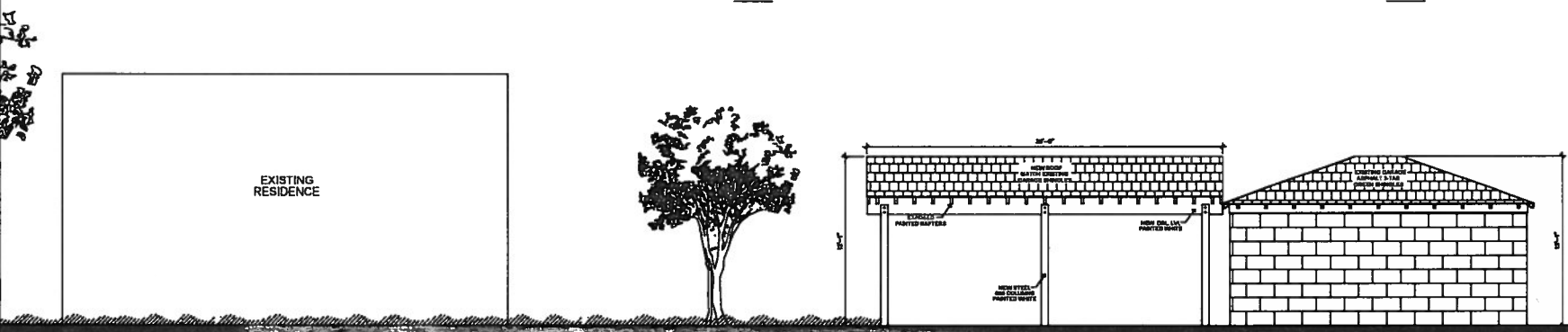
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PROJECT NO. 2024-02  
DATE: SEPTEMBER 03, 2024  
DRAWN BY: ADAM OCHOA  
DESIGNER: ADAM OCHOA



1 NORTH ELEVATION  
Scale: 3/16" = 1'-0"  
GRAPHIC SCALE



1 WEST ELEVATION  
Scale: 3/16" = 1'-0"  
GRAPHIC SCALE

EXTERIOR FINISHED SCHEDULE		
ITEM	MATERIAL	COLOR
ROOFING	ASPHALT SHINGLES	GREEN
FASCIA	WOOD	WHITE
POST	STEEL	WHITE

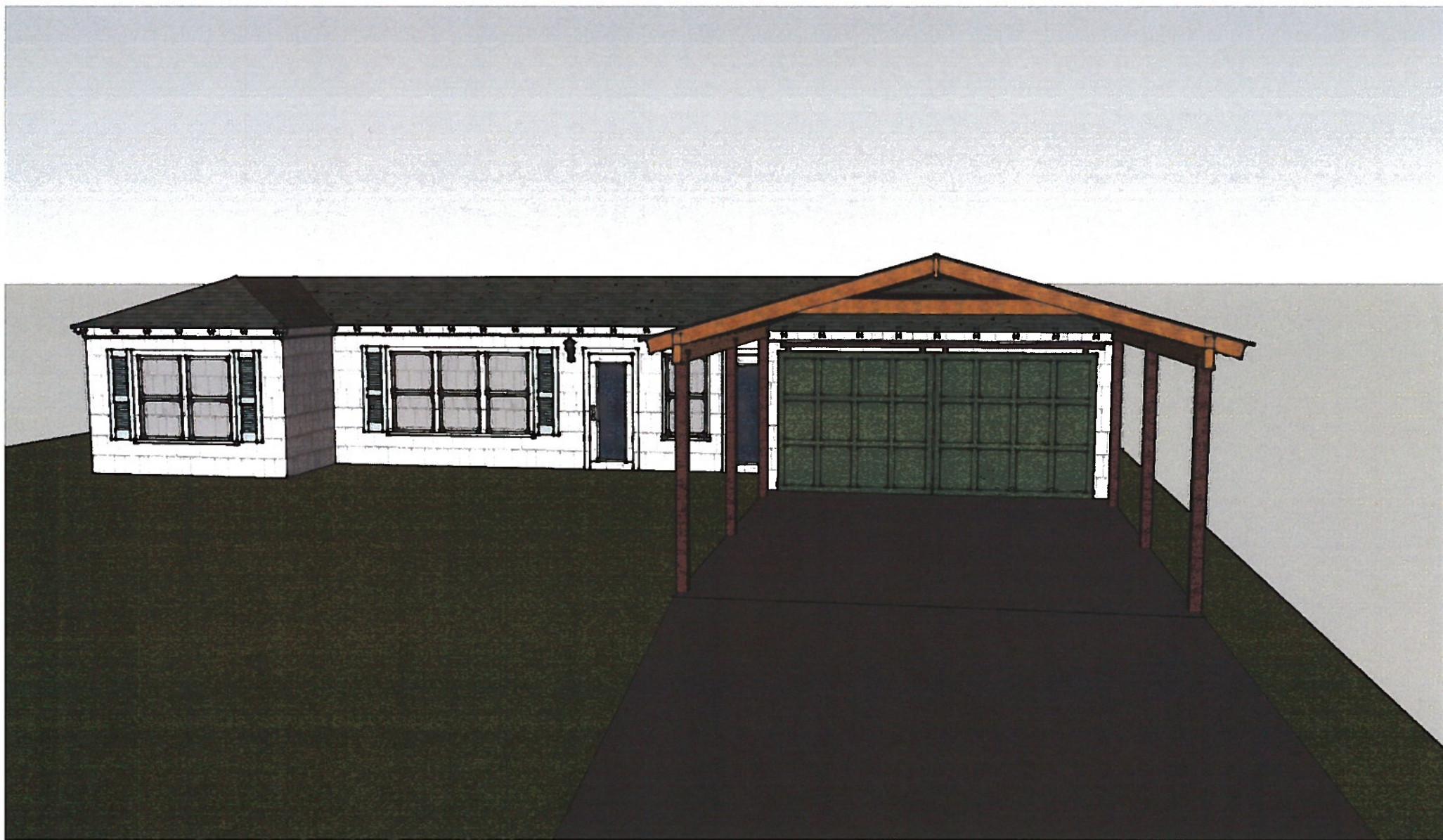








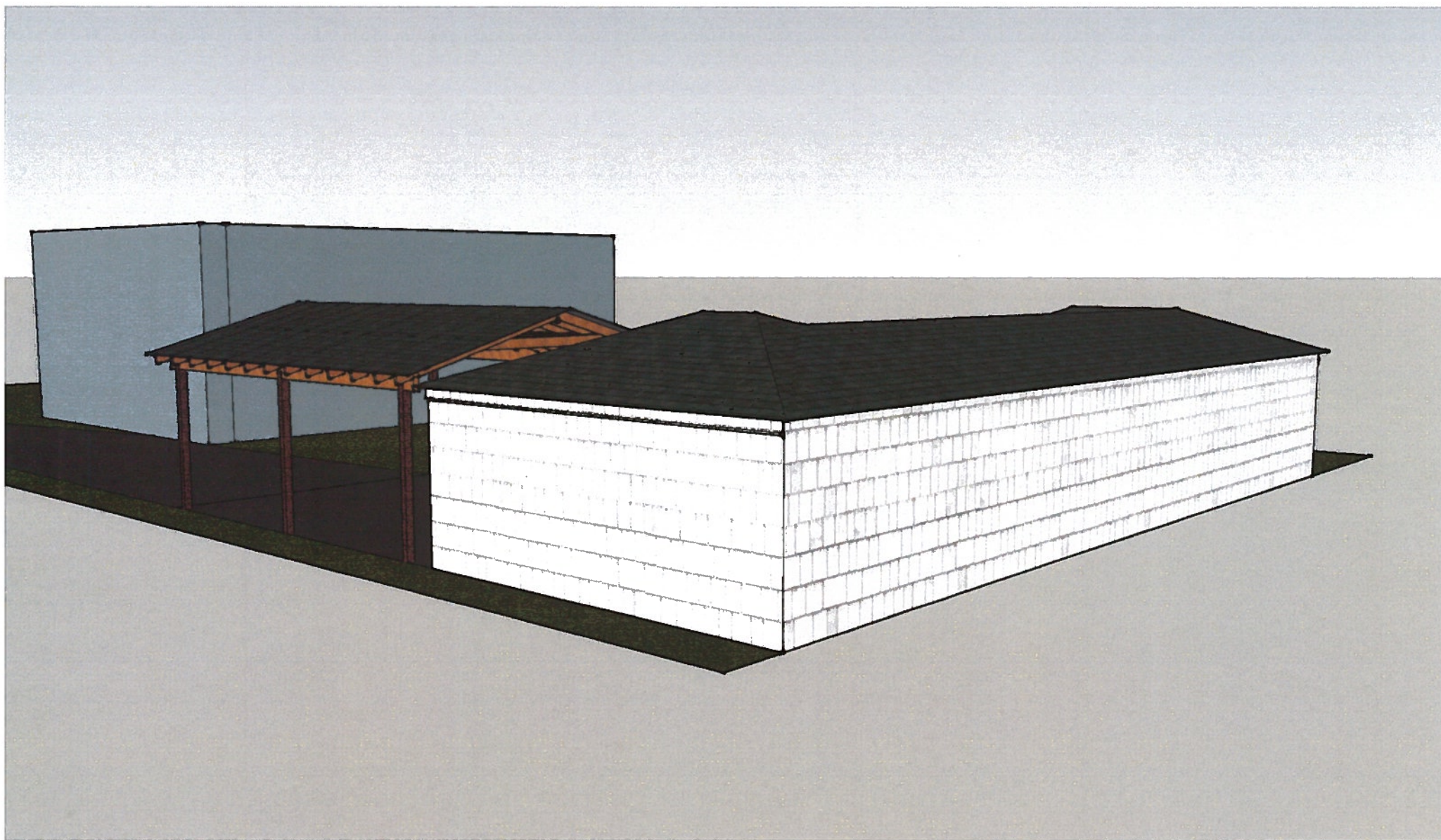




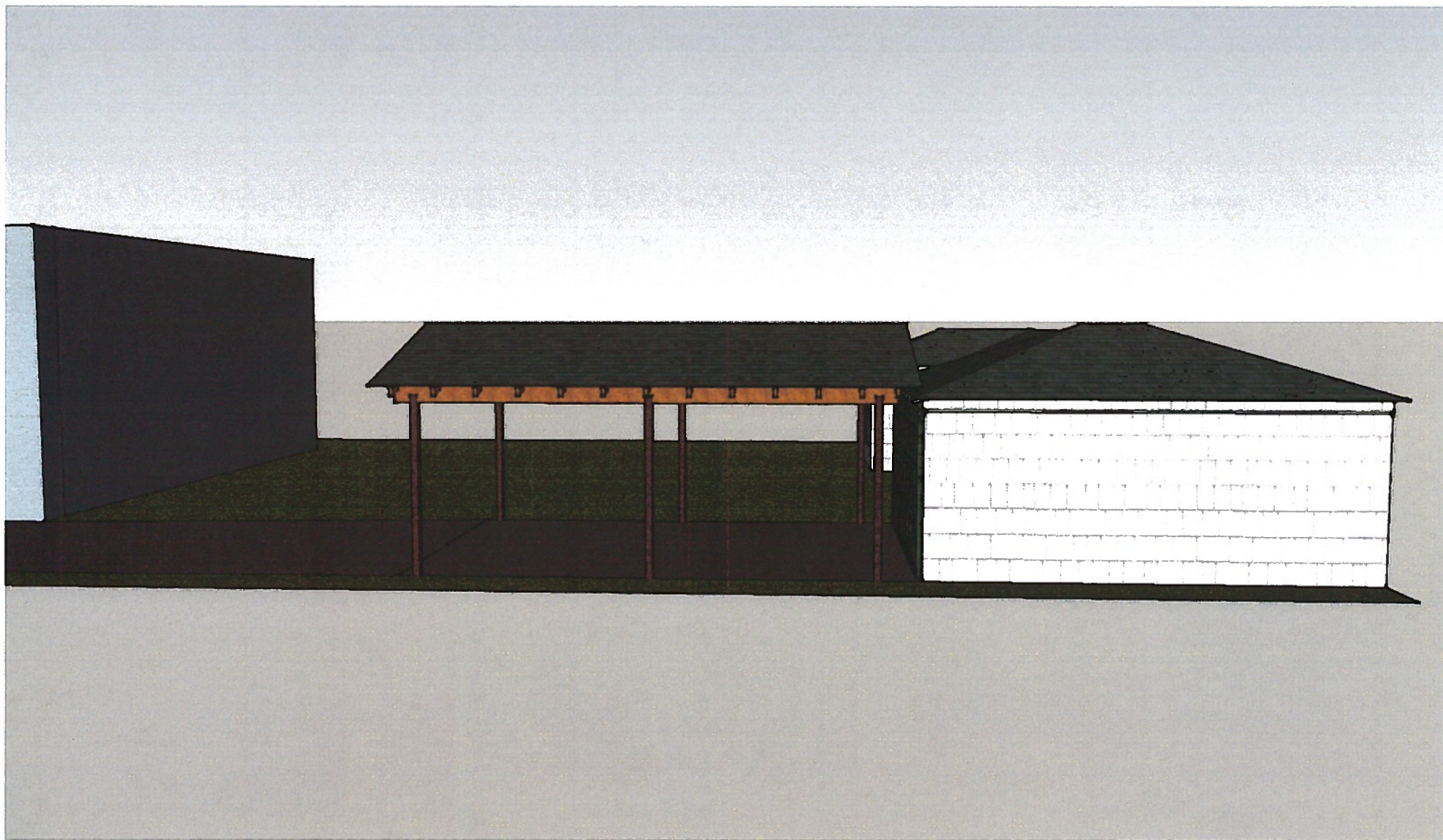








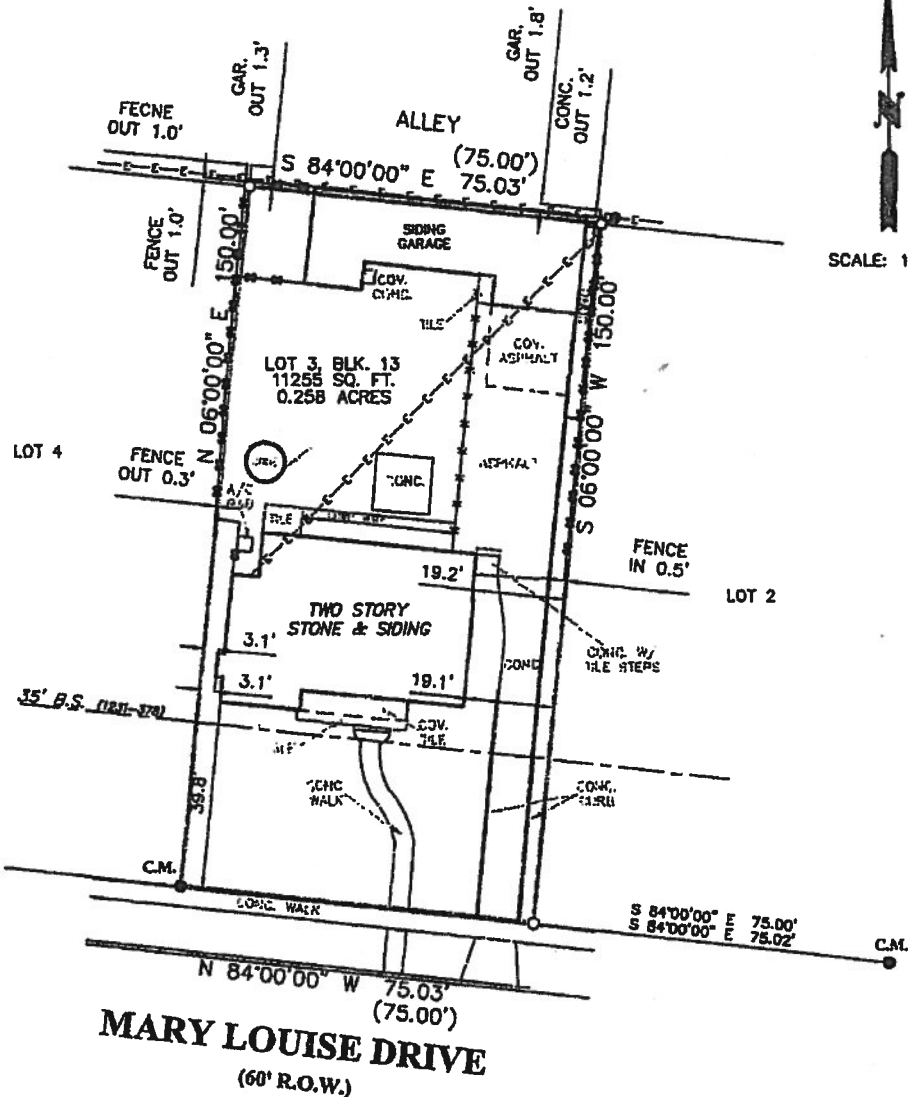












SCALE: 1"=30'

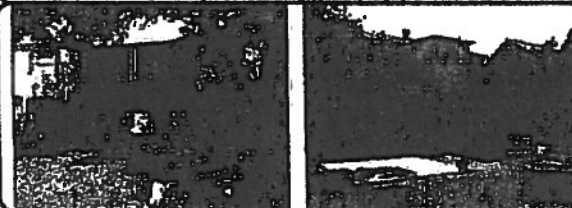
**MARY LOUISE DRIVE**  
(60' R.O.W.)

THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: VOLUME 642, PAGE 216, DEED AND PLAT RECORDS, VOLUME 1167, PAGE 510, AND VOLUME 1231, PAGE 378, DEED RECORDS OF BEXAR COUNTY, TEXAS.

NOTE:  
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS. THIS IS REPRESENTATION OF THIS SURVEYOR'S BEST INTERPRETATION OF RECORD INFORMATION. BEARINGS ARE ASSUMED.

THIS SURVEY IS  
ACKNOWLEDGED AND  
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 450226, Panel No. 12321, which is dated 09-29-2010. By noting that FEMA, it appears that all or a portion of the property may be in Flood Zone(A). Because this is a boundary survey, the survey did not take any action to determine the Flood Zone status of the surveyed property other than to interpret the information and set on FEMA's FIRM as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONE, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/flood-shr>.



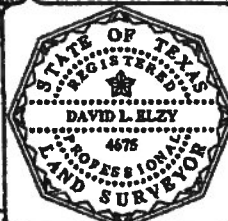
Property Address:  
415 MARY LOUISE DRIVE  
Property Description:

BEING LOT 3, BLOCK 13, OF NORTH WOODLAWN TERRACE, AN ADDITION TO BEXAR COUNTY, TEXAS, AS SHOWN ON THE PLAT THEREOF RECORDED IN VOLUME 642, PAGE 216, OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

Owner:  
SHELI D. SCHOMER

**Westar**  
**Alamo**  
LAND SURVEYORS, LLC.  
P.O. BOX 10330 HELOTHER, TEXAS 78023-10330  
PHONE (214) 372-9600 FAX (214) 372-9699

**LEGEND**  
○ 1/2" IRON ROD TO BE SET  
● 1/2" IRON ROD  
- RECORD INFORMATION  
- BUILDING SETBACK  
- CONTROLLING MONUMENT  
- OVERHEAD ELECTRIC  
- CONCRETE  
- CONCRETE  
- CHAIN LINK FENCE



I, DAVID L. ELZY, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

DAVID L. ELZY  
Registered Professional Land Surveyor  
Texas Registration No. 4675

G.F. NO. 844568

JOB NO. 53044

DRAWN BY: JW

TITLE COMPANY: PROVIDENCE TITLE

DATE: 10-05-2012





CITY OF SAN ANTONIO  
**OFFICE OF HISTORIC  
PRESERVATION**

**Historic and Design Review Commission  
Design Review Committee  
Report & Recommendation**

DATE: 9-14-16 HDRC Case# 2016-372

ADDRESS: 415 Mary Louise Meeting Location: Southtown

APPLICANT: Adan Ochoa

DRC Members present: Garza, Cone

Staff present: Lauren Sage

Others present: \_\_\_\_\_

REQUEST: Bear carport

COMMENTS/CONCERNS: Cone: concerns about mismatched,  
higher eave EG: Does the eave match in  
the 2D-elevation. what is the use of the  
garage TC: I would support a variance  
to encroach in setback. OK with scale  
and location but concerns with overhang  
detail. EG: Rafter tails on N are flush, but  
on side elevation are not. TC: Drew image on  
dry erase board showing detail of eave of what's existing.

COMMITTEE RECOMMENDATION: ☒ APPROVE [ ] ☐ DISAPPROVE [ ]  
APPROVE WITH COMMENTS/STIPULATIONS:

[Signature]  
Committee Chair Signature (or representative)

9/14/2016  
Date



EG: Agrees with open face.

TC: Tube or square steel columns?

Applicant asked about widening by 1ft.

TC: Carport needs to line up with existing garage walls, or centered on existing walls. The open side carport allows for width.

EG: Okay with steel square tubes.

TC/EG: Okay with dark stain.

EG: Are there any gutters on existing rear house? If not, details wouldn't match ~~or~~ if added to carport & not rear house.