

HISTORIC AND DESIGN REVIEW COMMISSION

September 21, 2016

Agenda Item No: 20

HDRC CASE NO: 2016-358
ADDRESS: 515 MCCULLOUGH AVE
LEGAL DESCRIPTION: NCB 431 BLK 17 LOT 25 FIRST BAPTIST CHURCH
ZONING: FBZ T6-1 HS RIO-2
CITY COUNCIL DIST.: 1
LANDMARK: First Baptist Church / Webb Hall
APPLICANT: Benjie Daniels/Latitude Architects, Inc.
OWNER: First Baptist Church of San Antonio
TYPE OF WORK: Courtyard modifications, covered walkway removal, signage and fencing
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Partially demolish a covered walkway constructed in 1956 to create a new entrance to Webb Hall.
2. Install a new storefront system on Bowels Memorial Chapel entrance.
3. Perform courtyard modifications including the landscaping, hardscaping and fencing.
4. Install new signage.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

FINDINGS:

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. Screens and shutters*—Preserve historic window screens and shutters.
- v. Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new

porches, balconies, or porte-cocheres where not historically present.

ii. Balusters—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.

iii. Floors—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

Historic Design Guidelines, Chapter 2, Guidelines for Site Elements

2. Fences and Walls

B. NEW FENCES AND WALLS

i. Design—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. Location—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. Height—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. Prohibited materials—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. Appropriate materials—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS

i. Historic Gardens—Maintain front yard gardens when appropriate within a specific historic district.

ii. Historic Lawns—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

iii. Native xeric plant materials—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. Plant palettes—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. Maintenance—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

i. Impervious surfaces—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. Pervious and semi-pervious surfaces—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. Rock mulch and gravel - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings

should be incorporated into the design.

FINDINGS:

- a. The primary structure at 515 McCullough, commonly known as First Baptist Church of San Antonio was constructed in 1925. Since that time, numerous other structures have been constructed on the campus including a covered walkway, constructed in 1956 which is located parallel to Fourth Street. This covered walkway connects to the primary entrance of the sanctuary, obscuring original architectural features including Corinthian columns and entrance detailing.
- b. **PARTIAL DEMOLITION OF WALKWAY** – The applicant has proposed to partially demolish the existing, non-original covered walkway to re-expose the sanctuary’s architectural detailing. The applicant has proposed to retain the westernmost bay of the covered walkway, which currently features a gated entrance. The applicant has proposed to create a formal entrance to Webb Hall by utilizing salvaged brick, salvaged concrete panels, repairing the existing wood doors and transom windows and installing a new copper downspout. Staff finds the removal of a non-original covered walkway which currently obscures original architectural elements appropriate. Additionally, staff finds the use of salvaged materials appropriate in the creation of a covered entrance. The massing and footprint of the current covered walkway portion that is to be retained will not increase.
- c. **STOREFRONT REPLACEMENT** – To the immediate west of the existing modified entrance canopy, the applicant has proposed to remove the dark bronze color aluminum storefront system and grille and install a new aluminum storefront system. The applicant has proposed for the new storefront system to be white in color to match the colors of the existing window frames.
- d. **COURTYARD** – In the existing courtyard, the applicant has proposed to install a number of landscaping elements including flagstone pavers, limestone pavers, sod, various shade trees, ornamental trees, shrubbery, courtyard seating and an outdoor baptistery. The courtyard is currently predominantly grass; however, historically this location did not exist as a courtyard. Staff finds the proposed modifications appropriate and consistent with the Guidelines for Site Elements, 3.A. and B.
- e. **FENCING** – The applicant has proposed to install a new fence along the public right of way at Fourth Street to enclose the courtyard. The applicant has proposed fencing to consist of limestone veneer, steel fence panels and steel gates. The proposed baptistery’s rear wall will function as a section of the proposed fence. Staff finds that the proposal to install a fence at this location is appropriate; however, staff finds the proposed limestone veneer to be inappropriate and inconsistent with the Guidelines for Site Elements 2.B.i., which states that new fences and walls should respond to the design and materials of the primary structure. Staff finds that brick veneer instead of limestone would be appropriate.
- f. **FENCING** – The applicant has proposed an overall height that varies from approximately 8’ – 0” in height to approximately 8’ – 8” in height. According to the UDC Section 35-674(h) (1), site walls are to be used to divide spaces, create a variety in landscaping and define edges. Additionally, solid walls up to six (6) feet in height are permitted. Staff recommends the applicant reduce the overall height of the proposed fence to no more than six (6) feet in height. Staff finds that the overall height of the baptistery wall is appropriate and its current height given that this structure acts as more than only a wall.
- g. **SIGNAGE** – The applicant has proposed a bronze sign with raised letters to read “First Baptist Church, Guthrie Courtyard”. The applicant has proposed overall dimensions of 11’ – 6” in length and 26” in height and has proposed for the signage to be non-lit. Staff finds the proposed signage appropriate and consistent with the Guidelines.

RECOMMENDATION:

Staff recommends approval based on findings a through g with the following stipulations:

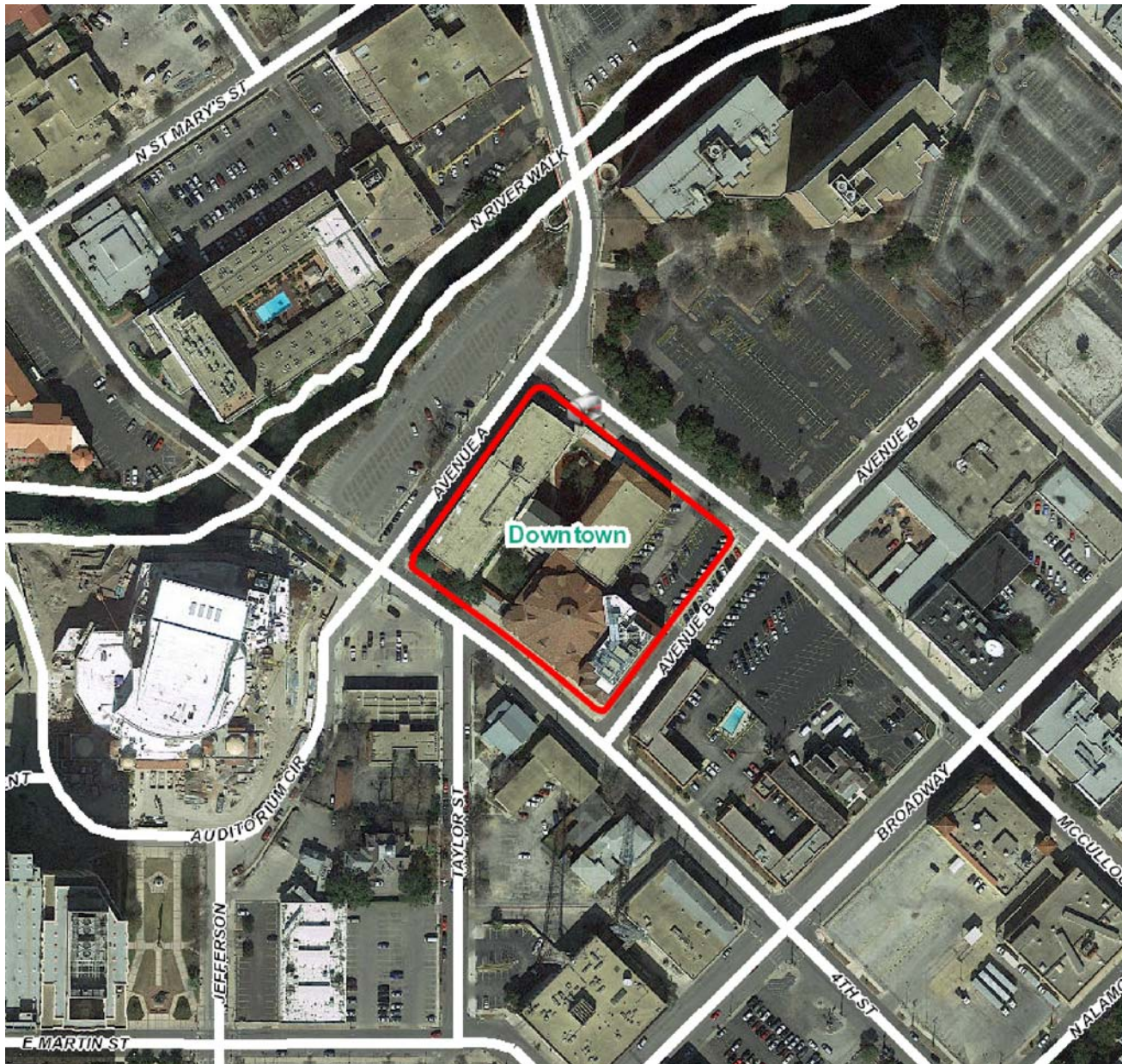
1. That the applicant incorporate brick into the proposed fence and baptistery wall.
2. That the applicant reduce the overall height of the proposed steel fence and columns to no more than six (6) feet in height.
3. That the applicant provide additional information in regards to the proposed sign.

CASE MANAGER:

Edward Hall

CASE COMMENT:

The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514



Flex Viewer

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Printed: Sep 12, 2016

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McCullough Ave

Avenue B

Avenue A

First Baptist Church
of San Antonio

515 McCullo

Avenue B

Avenue B

Lexington Ave

4th St

4th St

4th St

Metro House Apartments

Taylor St

4th St



McCullough Ave

Broadway St

Avenue B

515 McCullough Avenue

The Inn at Alamo / River Walk / ...

Avenue B

4th St

McCullough Ave

McCullough Ave

Avenue A

4th St

El Tropicano Riverwalk

Riverwalk

Auditorium Cir



NO
PARKING
ANYTIME
TOW AWAY ZONE

CHURCH OF THE
SACRAMENT
1000 N. 10TH ST.
DENVER, CO 80202
(303) 733-1234



September 1, 2016

City of San Antonio, Office of Historic Preservation
Historic & Design Review Commission
1901 S. Alamo
San Antonio, TX 78204

Re: First Baptist Church of San Antonio; Guthrie Courtyard
515 McCullough Avenue, San Antonio, TX 78215

PROJECT DESCRIPTION

First Baptist Church of San Antonio is proposing to renovate the southwest courtyard at 515 McCullough Avenue. Within the proposed renovation we propose to remove a large portion of the circa 1956 covered walkway adjacent to Fourth Street. This delineation can be seen on the design documents. This covered walkway gives little respect to the original 1925 Sanctuary structure. The covered walkway structure was built directly adjacent to the original Sanctuary main entrance; covering up many of the original architectural features. The applicant would like to re-expose these original architectural details and provide the appropriate architectural significance to the main Sanctuary entrance by removing the covered walkway and rehabilitating the Sanctuary features to match their original design.

It is proposed that a portion of the covered walkway will remain on the northwest side of the courtyard, adjacent to the Webb Hall building. The covered walkway architectural features more holistically blend with the Webb Hall architectural features and the structure also functions as an integral part of Webb Hall's chapel interior entrance. It is proposed to replace the existing dark bronze storefront and grille at the Bowels Memorial Chapel entrance with a new storefront system, white in color to match the building's window fenestration.

The proposed courtyard renovation also proposes to install a new outdoor baptistery fountain, fencing & gates, courtyard hardscape and landscape plantings as shown in the design documents. Materials will be consistent with the existing church facilities. Limestone with a similar color to the cast stone installed on the surrounding buildings will be a predominate material in the renovation; being used for the baptistery veneer, stone columns veneer and hardscape pavers. A matching blended red brick will also be used for some landscape planting low-walls.

The existing landscaping is proposed to be replaced with new regionally appropriate landscape materials as shown in the design documents.

Submitted by:

Mr. Bengie Daniels, AIA, LEED AP BD+C
Latitude Architects, Inc.



EXISTING PHOTOS



FBCSA SOUTH COURTYARD

08.2016

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FIRST BAPTIST CHURCH
SAN ANTONIO



EXISTING PHOTOS



FBCSA SOUTH COURTYARD

08.2016

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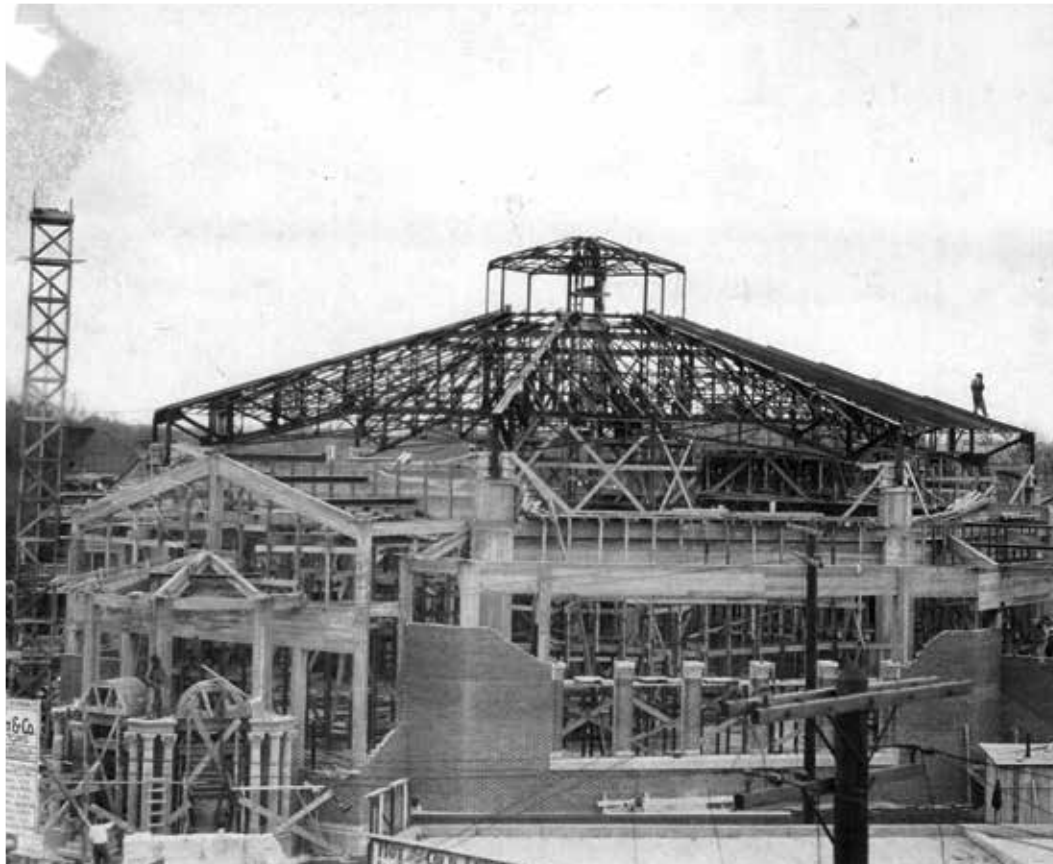


FIRST BAPTIST CHURCH
SAN ANTONIO



HISTORIC PHOTOS





HISTORIC PHOTOS



PLANTING PALETTE



ORNAMENTAL TREES:
8 FT. HEIGHT NACHEZ
WHITE CRAPE MYRTLE



COURTYARD TREES:
8 IN. CALIPER RED OAK
- (3) TREE MOUNTED MOON
VISIONS DOWNLIGHTS PER TREE



STREET TREES:
6 IN. CALIPER CEDAR ELM



ROSEMARY



LANTANA



PURPLE HEART



RED YUCCA

- LEGEND
01.

FLAGSTONE PAVERS
02.

BAPTISM FOUNTAIN
03.

MORTARED LIMESTONE PAVERS
04.

LIMESTONE PAVERS IN DG
05.

METAL FENCE PANELS
06.

LIMESTONE BLOCK WITH WOOD SEAT TOP
07.

BRICK SEAT WALLS
08.

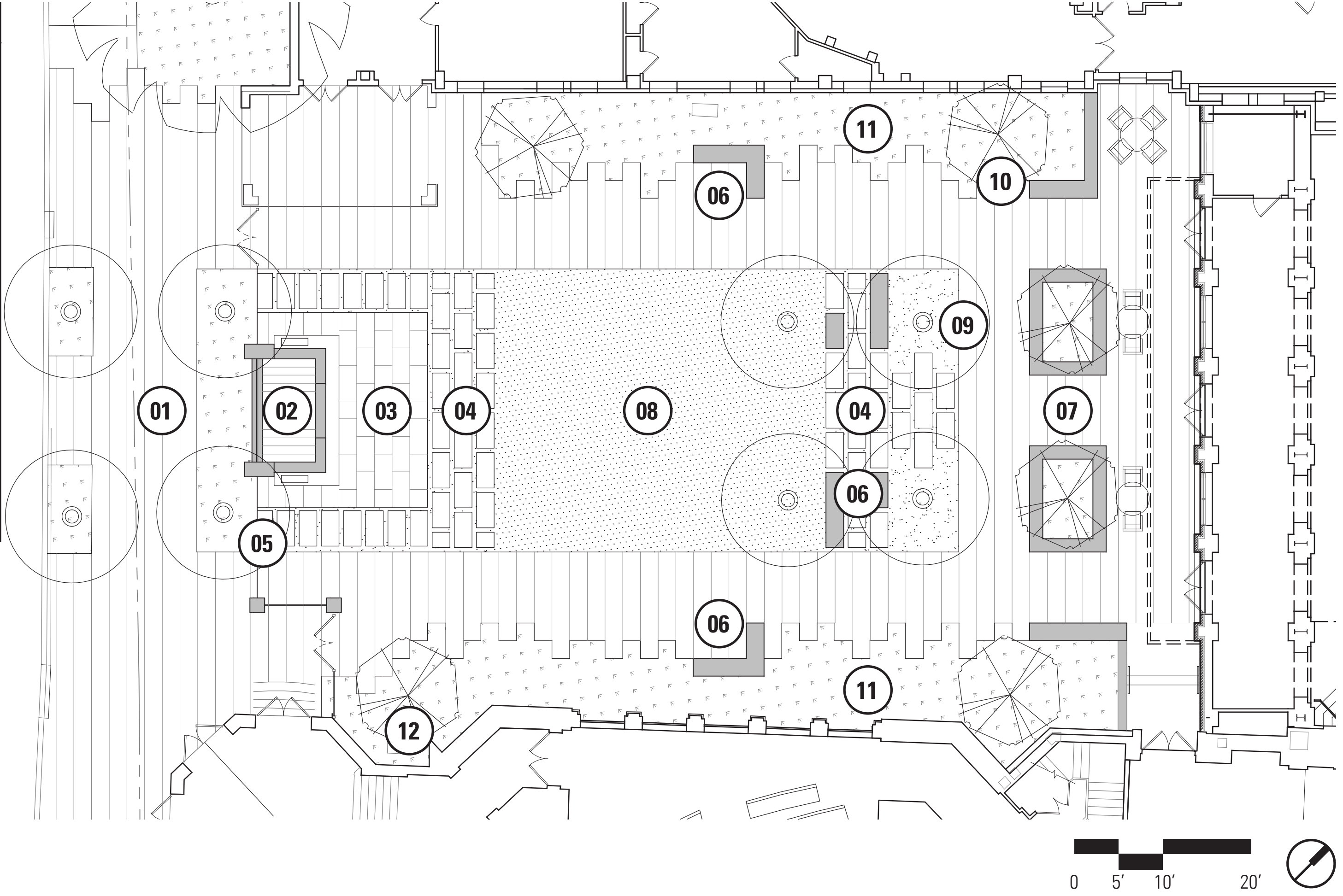
SOLID SOD
09.

SHADE TREE
10.

ORNAMENTAL TREE
11.

SHRUB PLANTING AREA
12.

PUMP EQUIPMENT VAULT



MATERIALS PALETTE



01 2 FT. X 4 FT. FLAGSTONE PAVERS
-MORTAR JOINTS ON CONCRETE



02 CUT LIMESTONE VENEER WALLS
WITH GUNNITE POOL SHELL



03 2 FT. X 4 FT. PATIO STONE
-MORTAR JOINTS ON CONCRETE



04 2 FT. X 4 FT. PATIO STONE IN DG
-MORTAR SET BASE



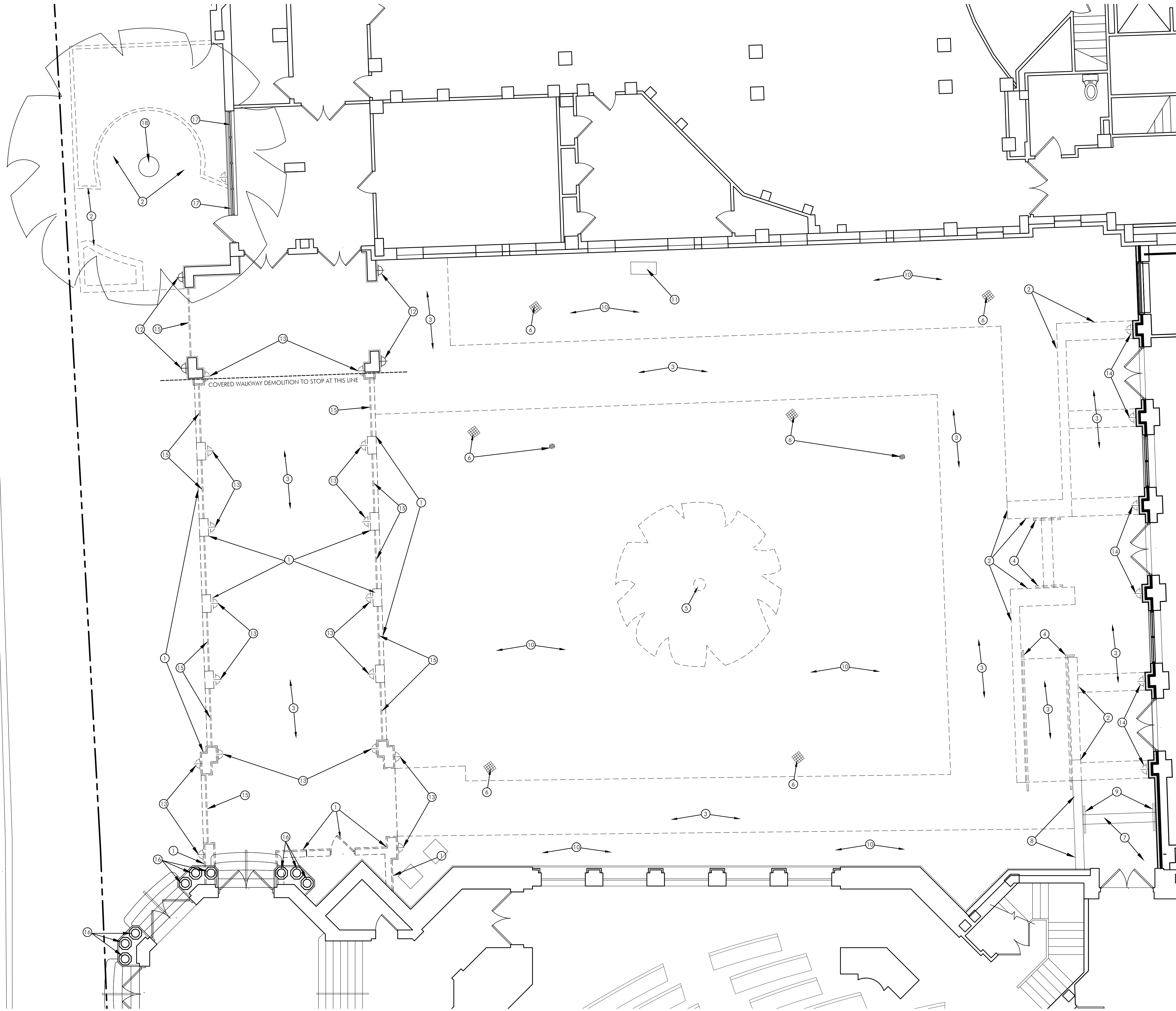
05 7 FT 6 IN DARK BRONZE
FENCE WITH 8 FT CUT
LIMESTONE COLUMNS



06 MESA GRANDE LIMESTONE BLOCKS
WITH IPE WOOD BENCH



07 20 IN. HEIGHT BRICK SEAT WALL
-CMU CONSTRUCTION WITH
CAST STONE CAP AND BRICK TO
MATCH EXISTING



25 | site demolition plan

scale: 3/16" = 1'-0"

general notes

1. General Contractor shall visit the site and verify all conditions prior to submission of the bid. Report any discrepancies between Construction Documents and existing conditions to Architect immediately for clarification and/or correction.
2. All work is to be performed in a first class workmanlike manner and comply with all governing codes and ordinances and owner regulations.
3. Any demolition deemed disruptive to the operation of this facility or adjacent occupants shall be completed during hours as set forth by the owner.
4. Remove debris from site daily. General Contractor shall be responsible for keeping the area around the job site clean and safe at all times. Coordinate location of trash container with owner's representative prior to delivery.
5. Protect existing structures, walls, etc. as required during demolition. Any damage to these areas shall be reported immediately to the Architect and repaired or replaced at the sole expense of the General Contractor.
6. Provide construction lights and temporary power to be used during construction, if required.

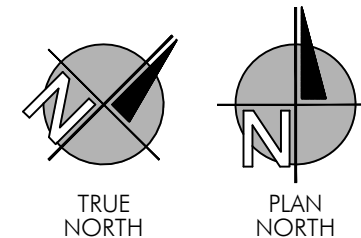
demolition general notes

1. Demolish existing walls, doors, gates and site features show as dashed lines unless otherwise noted. Patch/repair surfaces and prep to receive new finishes as scheduled.
2. Remove all existing floor finishes; patch/repair and prep floor surfaces to receive new finishes as scheduled - unless otherwise noted.
3. Salvage and return all lights, hardware, doors and windows, not scheduled for reuse to building stockpile. Confirm location of building stockpile with building management.
4. Contractor to protect all windows and doors during demolition and new construction. Repair and replace as required.
5. Repair or replace all exit signs, emergency lights, smoke detectors and horn/strobe assemblies as required by code.

keynotes

notes as indicated by:

1. Remove existing covered walkway structure (columns, walls, roof, ceiling, etc.) shown as dashed lines - typical. Salvage existing brick and cast stone panels for infill facade on south side of existing covering - refer to elevations.
2. Remove existing site hard-scape walls shown as dashed lines - typical. Salvage existing brick as required for new planters - refer to landscape.
3. Remove existing site concrete.
4. Remove existing handrails.
5. Remove existing live oak tree.
6. Existing drainage utilities to be reworked for new site plan - refer to civil, MEP and landscape.
7. Existing concrete landing and steps to remain.
8. Existing brick wall to remain.
9. Existing handrails to remain.
10. Remove existing plantings - refer to landscape.
11. Existing condensing unit to remain - protect during construction.
12. Existing light fixtures to remain
13. Existing light fixtures to be removed and salvaged for reuse.
14. Existing light fixtures to be removed and replaced.
15. Remove existing wrought iron fencing and salvage for owners use - typical.
16. Damaged precast concrete columns to be removed and replaced.
17. Remove existing storefront system and screen shown as dashed lines - typical.
18. Existing tree to remain - refer to landscape. Protect during construction.



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owner:

First Baptist Church
of San Antonio

515 McCullough Avenue
San Antonio, Texas 78215

TEL: 210-226-0363

renovation of:

FBCSA GUTHRIE COURTYARD

San Antonio, Texas 78215

515 McCullough Avenue

Bengie R. Daniels, AIA,
LEED AP BD+C
08.26.2016

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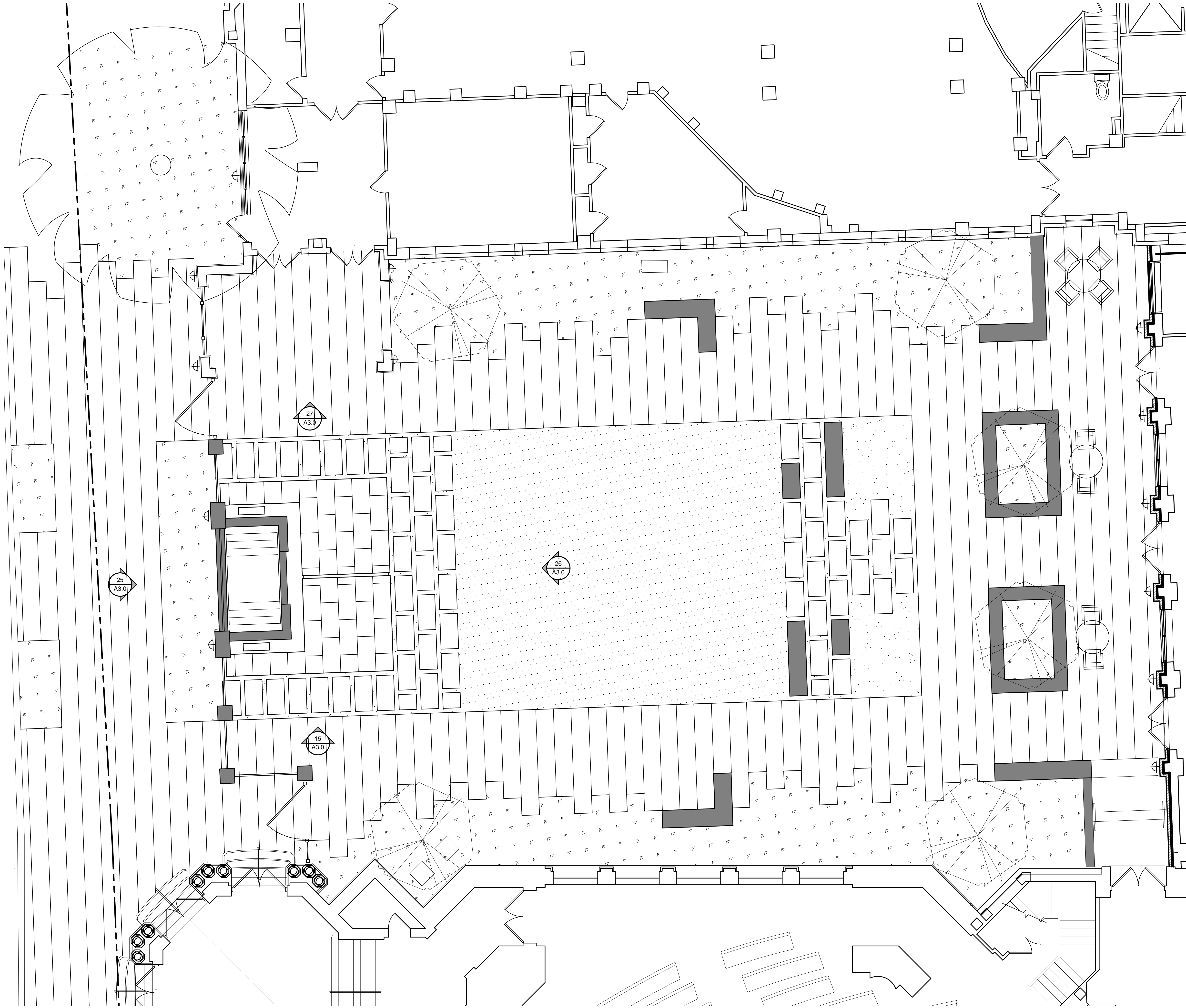
FBCSA GUTHRIE COURTYARD

date: 08.26.2016 project: 11605

revised:

site demolition plan

sheet: A1.0



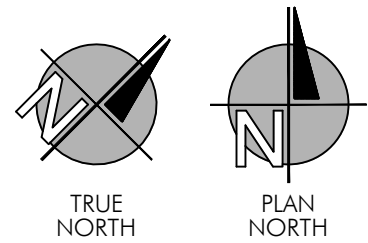
general notes

1. General Contractor shall visit the site and verify all conditions prior to submission of the bid. Report any discrepancies between Construction Documents and existing conditions to Architect immediately for clarification and/or correction.
2. All work is to be performed in a first class workmanlike manner and comply with all governing codes and ordinances and owner regulations.
3. Any demolition deemed disruptive to the operation of this facility or adjacent occupants shall be completed during hours as set forth by the owner.
4. Remove debris from site daily. General Contractor shall be responsible for keeping the area around the job site clean and safe at all times. Coordinate location of trash container with owner's representative prior to delivery.
5. Protect existing structures, walls, etc. as required during demolition. Any damage to these areas shall be reported immediately to the Architect and repaired or replaced at the sole expense of the General Contractor.
6. Provide construction lights and temporary power to be used during construction, if required.

keynotes

notes as indicated by:

1. oooooo



25 | site plan

scale: 3/16" = 1'-0"

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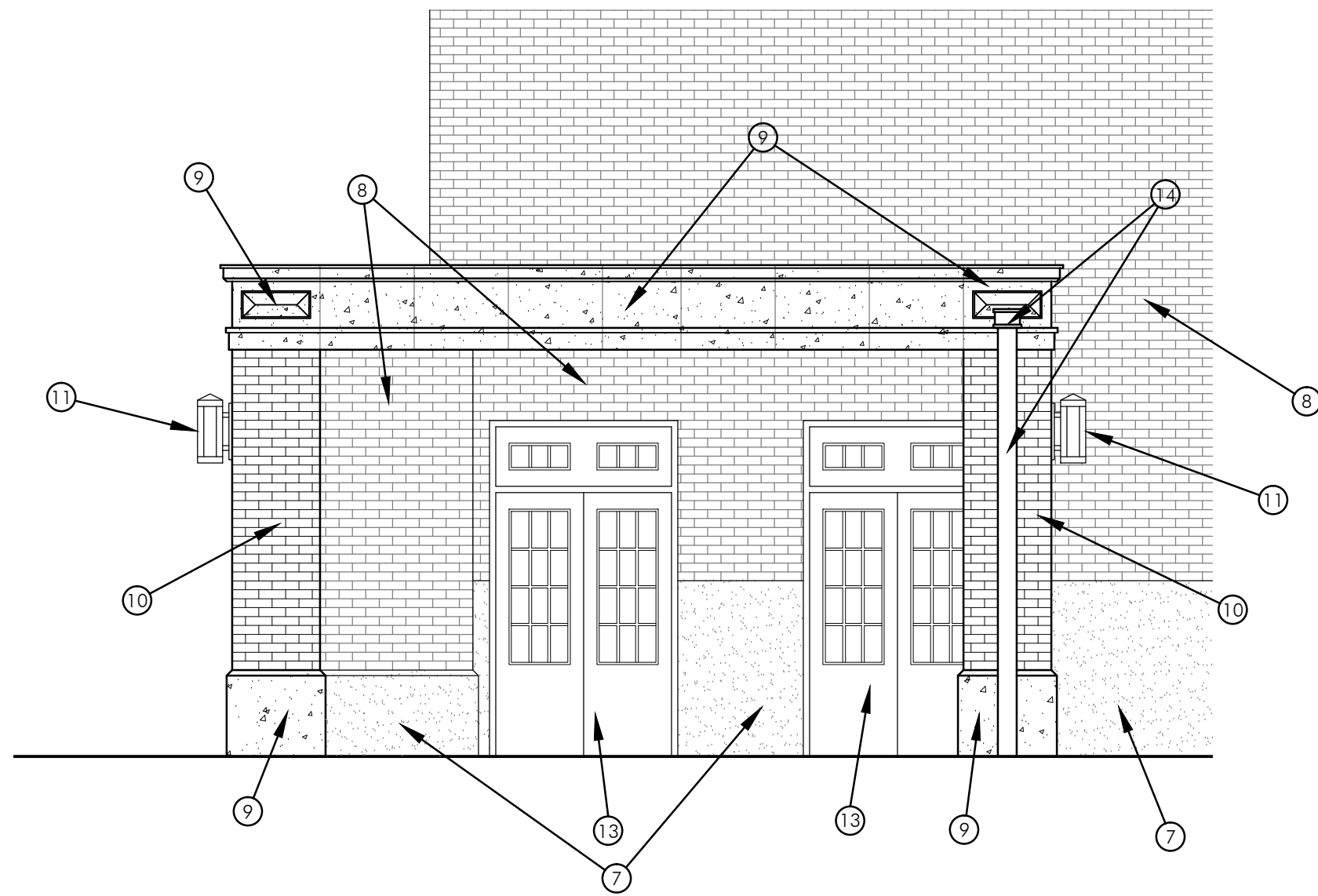
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revised:

site plan

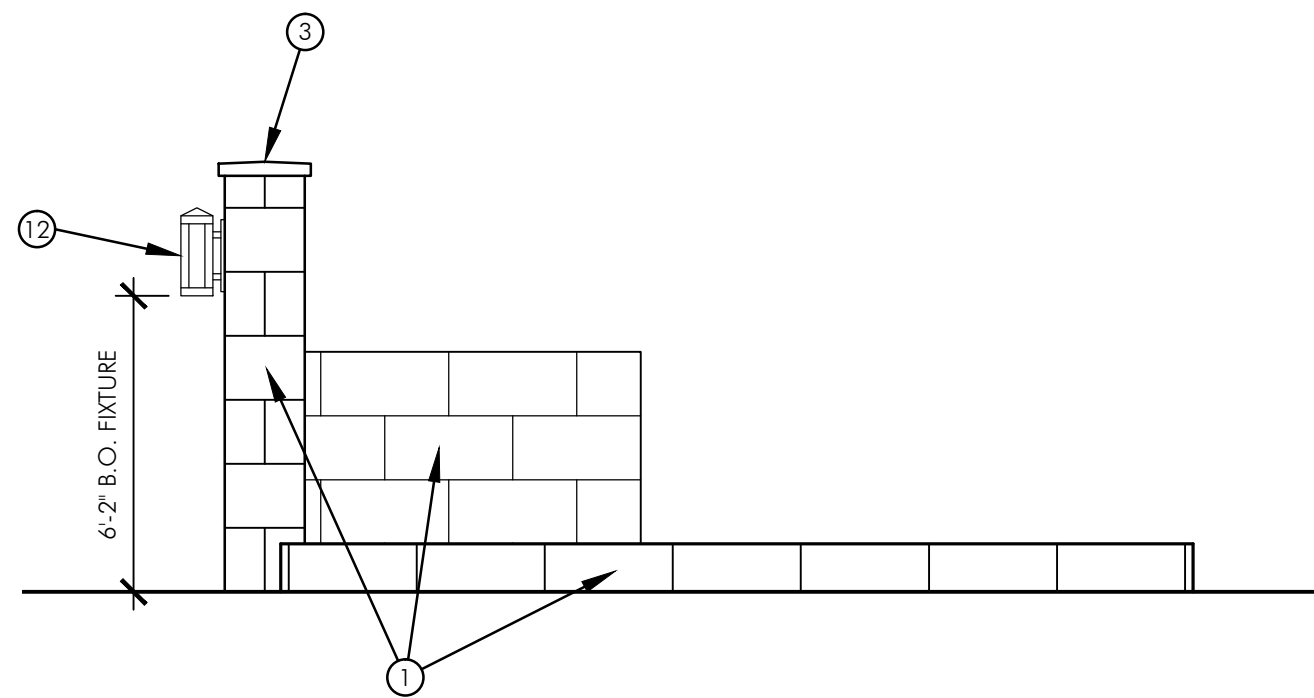
sheet:

A2.0



27 | north elevation

scale: 1/4" = 1'-0"

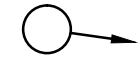


15 | baptistery side elevation

scale: 1/4" = 1'-0"

keynotes

notes as indicated by:



1. Cut limestone veneer baptistery structure.
2. Cut limestone veneer fence columns.
3. Pre-cast concrete cap - slope to drain.
4. Bronze signage panel with raised letters.
5. Steel fence panel - prime and paint. Refer to enlarged elevations for additional detail.
6. Steel gate - prime and paint. Refer to enlarged elevations for additional detail.
7. Existing pre-cast concrete veneer panel.
8. Existing brick.
9. Install salvaged pre-cast concrete veneer panels for new facade. End panels to receive decorative panels.
10. Install salvaged brick for new facade.
11. Existing light fixtures to remain - protect during construction.
12. Salvaged light fixtures to be installed in new location as shown.
13. Existing wood doors and transom to remain and receive new paint. Repair as required.
14. Steel gate - prime and paint. Assembly to connect to storm drain.
15. New storefront system to match existing building windows - color, white.

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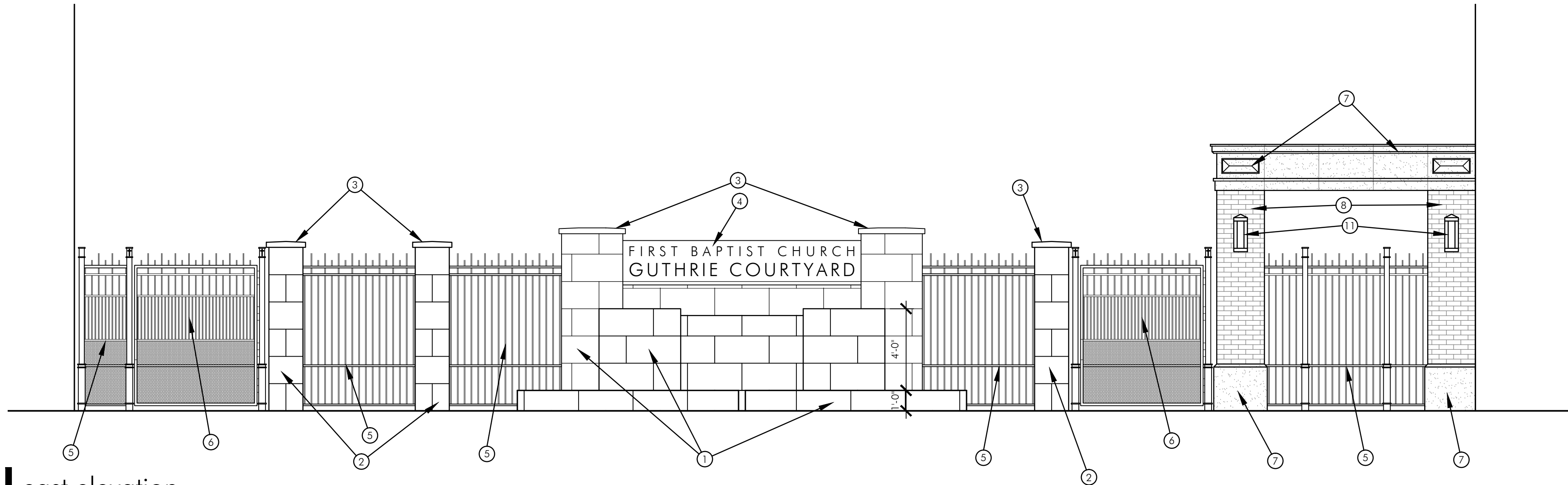
FBCSA GUTHRIE COURTYARD

date: 08.26.2016 project: 11605

revised:

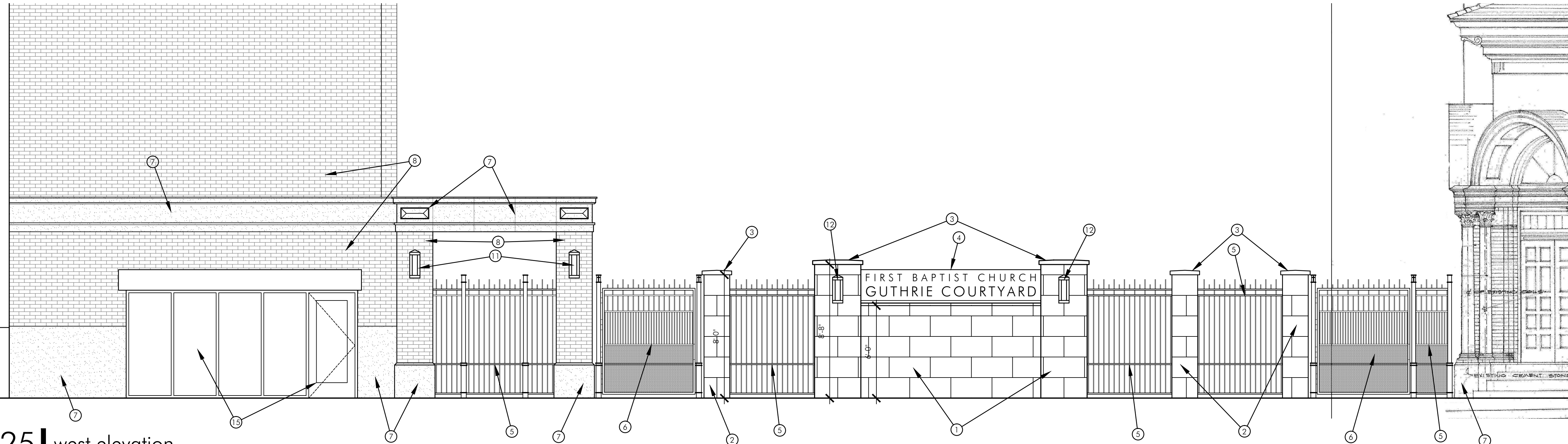
exterior elevations

sheet: A3.0



26 | east elevation

scale: 1/4" = 1'-0"

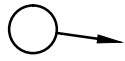


25 | west elevation

scale: 1/4" = 1'-0"

keynotes

notes as indicated by:
1. oooooooo



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renovation of:

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San Antonio, Texas 78215

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Bengie R. Daniels, AIA,
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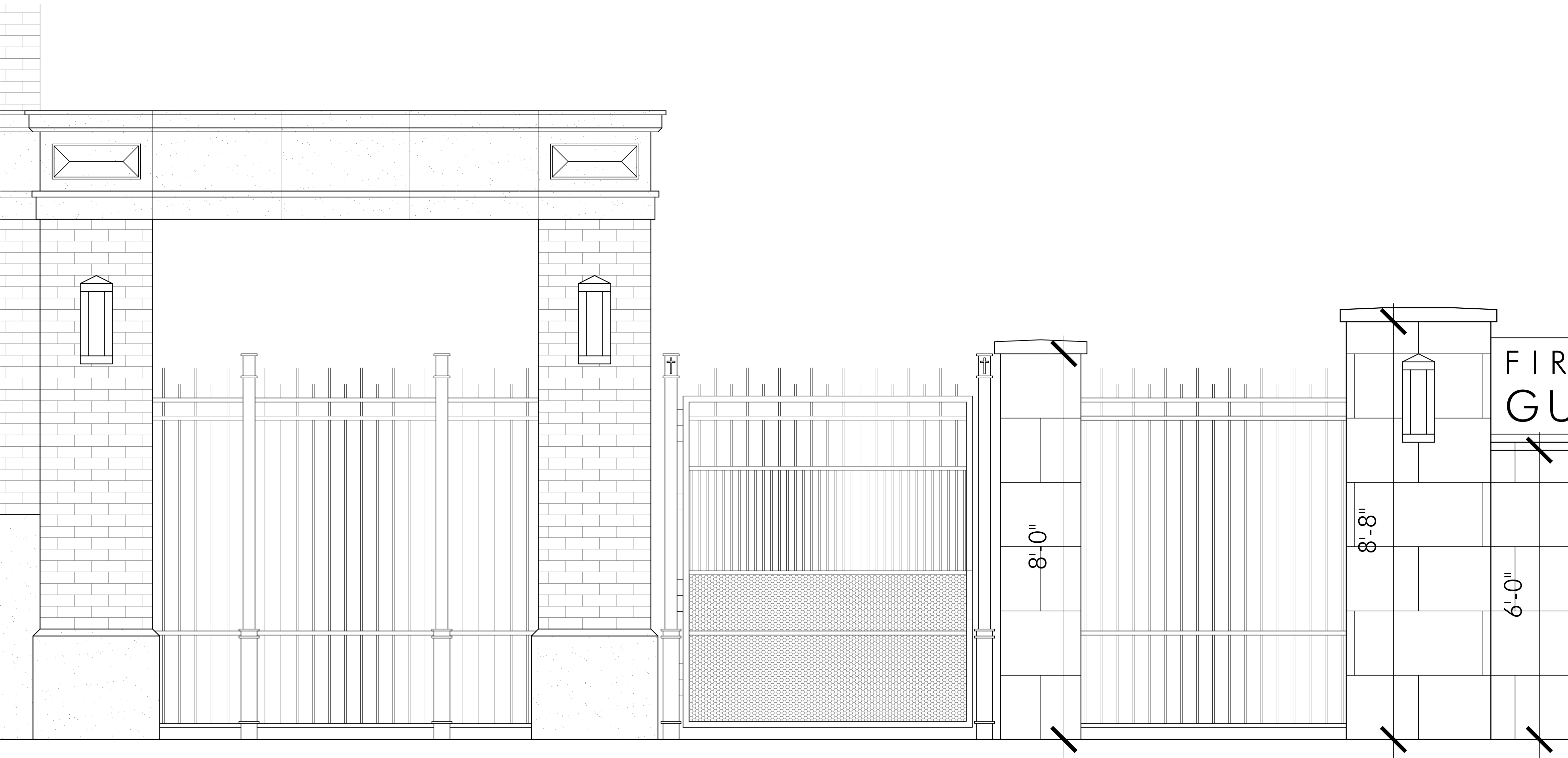
FBCSA GUTHRIE COURTYARD

date:	project:
08.26.2016	11605

revised:

exterior elevations

sheet: A3.0



25 | enlarged typical fence elevations

scale: 3/4" = 1'-0"

1 | typical fence post and section

scale: 1 1/2" = 1'-0"



















