

HISTORIC AND DESIGN REVIEW COMMISSION

September 21, 2016

Agenda Item No: 21

HDRC CASE NO: 2016-361
COMMON NAME: 1441 SE MILITARY DR
LEGAL DESCRIPTION: NCB 7657 BLK LOT W IRR 447.39 FT OF P
ZONING: C3NA H RIO-5
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Jason Fuego/MDN Architects, Inc.
OWNER: Security Service Federal Credit Union
TYPE OF WORK: Installation of an ATM and ATM canopy

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install an ATM canopy and ATM shelter at 1441 SE Military, the location of new construction, previously approved by the Historic and Design Review Commission.

APPLICABLE CITATIONS:

UDC Section 35-673 – Site Design Standards

FINDINGS:

(f) Plant Materials. A number of soil conditions converge in the San Antonio area to create unique vegetation ecosystems. Along the route of the San Antonio River, the soil conditions vary greatly from the northern boundary near Hildebrand to the city limits near Mission San Francisco de la Espada (Mission Espada) and therefore native and indigenous plants will vary accordingly. Landscaping should reflect the unique soil characteristics of the specific site.

(1) Incorporate Existing Vegetation. Extend the use of landscape materials, including plants, shrubs and trees that are used in the public areas of the river onto adjacent private areas to form a cohesive design.

(2) Use indigenous and noninvasive species characteristic of the specific site as found on the permissible plant list maintained by the parks and recreation department or the Unified Development Code Plant List found in Appendix E. In "RIO-3," plantings of tropical and semi-tropical plants with perennial background is permitted.

(3) Install Trees to Provide Shade and to Separate Pedestrians From Automobile Traffic. Install street trees along the property line or in the ROW abutting all streets according to minimum requirement standards established in subsection 35-512(b), except where this conflicts with existing downtown Tri-Party improvements in "RIO-3." In "RIO-3" the owner has the option of placing trees at the property line, or along the street edge.

(g) Paving Materials. An important San Antonio landscape tradition is the use of decorative surfaces for paving and other landscape structures. Paving materials and patterns should be carefully chosen to preserve and enhance the pedestrian experience.

(1) Vary Walkway, Patio and Courtyard Paving to Add Visual Interest on the Riverside of Properties Abutting the River. Pervious paving is encouraged where feasible and appropriate to the site.

A. A maximum of six hundred (600) square feet is allowed for a single paving material before the paving material must be divided or separated with a paving material that is different in texture, pattern, color or material. A separation using a different material must be a minimum of twenty-four (24) inches wide, the full width of the pathway.

B. A maximum of one hundred (100) lineal feet is allowed in a walkway before the pattern must change in districts "RIO-2," "RIO-3," and "RIO-4." A maximum of five hundred twenty-eight (528) lineal feet is allowed before the pattern must change in districts "RIO-1," "RIO-5" and "RIO-6." The change of material at five hundred twenty-eight (528) lineal feet will define and delineate one-tenth-mile markers.

C. In "RIO-3," the Riverwalk pathway shall be delineated by using a separate material that is clearly distinguished from the adjacent patio paving materials. If the historic Hugman drawings indicate a sidewalk width and pattern on the site, that paving pattern and material shall be replicated.

(n) Service Areas and Mechanical Equipment. Service areas and mechanical equipment should be visually unobtrusive and should be integrated with the design of the site and building. Noise generated from mechanical equipment shall not

exceed city noise regulations.

(1) Locate service entrances, waste disposal areas and other similar uses adjacent to service lanes and away from major streets and the river.

A. Position utility boxes so that they cannot be seen from the public Riverwalk path, or from major streets, by locating them on the sides of buildings and away from pedestrian and vehicular routes. Locating them within interior building corners, at building offsets or other similar locations where the building mass acts as a shield from public view is preferred.

B. Orient the door to a trash enclosure to face away from the street when feasible.

C. Air intake and exhaust systems, or other mechanical equipment that generates noise, smoke or odors, shall not be located at the pedestrian level.

(2) Screening of service entrance shall be compatible with the buildings on the block face.

A. When it would be visible from a public way, a service area shall be visually compatible with the buildings on the block face.

B. A wall will be considered compatible if it uses the same material as other buildings on the block, or is painted a neutral color such as beige, gray or dark green or if it is in keeping with the color scheme of the adjacent building.

FINDINGS:

- a. The request for a Certificate of Appropriateness for the new construction at 1441 SE Military originally included the installation of an eastern ATM shelter and was heard by the Historic and Design Review Commission on July 6, 2016. At that time, staff's recommendation was for approval including a stipulation that the applicant remove the eastern ATM from the scope of work. The applicant withdrew the request for the eastern ATM at the HDRC hearing. Two additional ATM's are to be located on the site; one under the mobile banking canopy and another on the side of the structure.
- b. This address falls within the buffer zone of the San Antonio Missions World Heritage sites. The applicant is responsible for complying with all regulations and meeting any design standards associated with the inscription.
- c. At this time, the applicant has proposed to install the eastern ATM and ATM shelter in its original location. The applicant has proposed to install the ATM on a landscaped island to be surrounded by a number of landscaping materials including agave, Mexican bush sage, spineless Texas prickly pear, new gold lantana among others.
- d. While the installation of landscaping buffers and plant materials to screen the ATM will reduce its visual impact, staff finds that the ATM's installation would reduce the overall amount of naturally landscaped area. Staff maintains the finding that the elimination of the additional ATM would facilitate the increase of naturally landscaped areas.

RECOMMENDATION:

Staff does not recommend approval based on findings a through d.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: May 10, 2016

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Mission Rd

Mission Road
Mini-Storage

Mission Pkwy

Mission Rd

13

Firstmark Credit Union
- Mission Branch

S

Mission Pkwy

Mission Pkwy

SE Military Dr

E Harding Blvd

E Harding Blvd

Mission Park Funeral
Chapels and Cemeteries

Symphony Ln



September 02, 2016

Mdn
ARCHITECTS

To: Office of Historic Preservation
1901 S. Alamo
San Antonio, Texas 78204

Cc: File

RE: **Narrative of Proposed Work**
Security Service Federal Credit Union
1441 SE Military Dr.
San Antonio, TX 78214
Mdn Project No. 2015075

To whom it may concern,

This is to further explore the option of installing our ATM in the originally designed location for the Security Service Federal Credit Union branch. The branch location and site development has recently been approved by HDRC on July 6, 2016 with the stipulation that we not install the Eastern most ATM designed on our site. We have provided additional information included within to ask for reconsideration to be able to install the ATM as designed.

Sincerely,



Jason Feuge, Project Manager
Mdn Architects, Inc.

PARKING SUMMARY

USE	SIZE	MIN. PARKING (REQUIRED)	MAX. PARKING (REQUIRED)
COMMERCIAL	5,177 SF	1/200 SF	1/100 SF
MINIMUM REQUIRED PARKING = 26			
MAXIMUM REQUIRED PARKING = 52			
STANDARD PARKING PROVIDED (9'x18') = 49			
ACCESSIBLE PARKING PROVIDED (9'x18') = 2			
TOTAL PARKING PROVIDED = 51			

ACCESSIBLE PARKING SUMMARY

ACCESSIBLE SPACES REQUIRED = 2
ACCESSIBLE SPACES PROVIDED = 2

PAVEMENT NOTES:

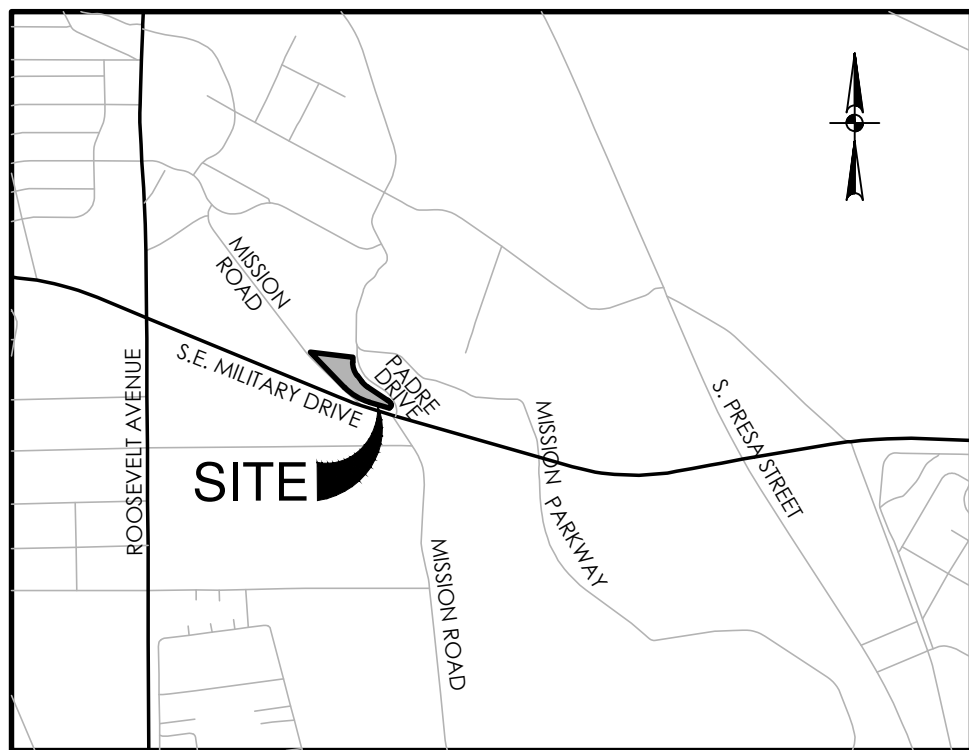
1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK WHERE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITY AND STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
4. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
7. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
8. ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.
9. THE CONTRACTOR SHALL SAW CUT EXISTING PAVING, CURB, AND SIDEWALKS TO PROVIDE A SMOOTH TRANSITION. NO JAGGED OR IRREGULAR EDGES WILL BE ALLOWED.

DIMENSIONAL CONTROL NOTES:

1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL PRESERVE ALL CONTROL POINTS, PROPERTY PINS, BENCHMARKS, HUBS OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE IN THE EVENT THEY ARE REMOVED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
6. COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83(96) DISPLAYED IN SURFACE VALUES USING A SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY. (THE SURFACE ADJUSTMENT FACTOR FOR BEXAR COUNTY IS 1.00017. OTHER COUNTIES WILL HAVE A DIFFERENT FACTOR. CHECK WITH THE SURVEYOR TO OBTAIN THE CORRECT SURFACE ADJUSTMENT FACTOR FOR PROJECTS LOCATED OUTSIDE OF BEXAR COUNTY.)
7. BENCHMARK ELEVATIONS ARE BASED ON NAVD 88, GEOID 03.
8. ALL DIMENSIONAL CONTROL POINTS OR DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
9. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
10. CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.

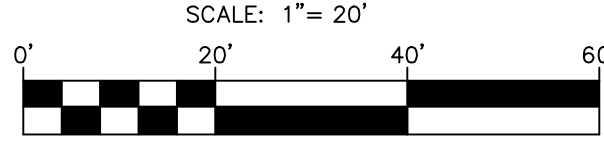
KEYED NOTES

- 1 PROPOSED STANDARD 6" CURB (TYP.) (SEE CIVIL DETAIL SHEETS)
- 2 PROPOSED STANDARD 2' CURB TRANSITION (SEE CIVIL DETAIL SHEETS)
- 3 PROPOSED CONCRETE SIDEWALK (SEE CIVIL DETAIL SHEETS)
- 4 REFER TO ARCHITECTURAL PLANS FOR SIDEWALKS ADJACENT TO BUILDING
- 5 PROPOSED WHEEL CHAIR RAMP (SEE CIVIL DETAIL SHEETS)
- 6 CONCRETE/ASPHALT PAVEMENT JUNCTURE (SEE CIVIL DETAIL SHEETS)
- 7 PROPOSED WHEEL STOP (SEE CIVIL DETAIL SHEETS)
- 8 PROPOSED BIKE RACK (SEE CIVIL DETAIL SHEETS)
- 9 PROPOSED ACCESSIBLE PARKING SYMBOL (TYP.) (PAINT BLUE)
- 10 PROPOSED ACCESSIBLE PARKING SIGN (TYP.) (SEE CIVIL DETAIL SHEETS)
- 11 PROPOSED ACCESSIBLE STRIPING ISLAND (SEE CIVIL DETAIL SHEETS)
- 12 PROPOSED 4" WIDE SOLID WHITE STRIPE (TYP.) (SEE CIVIL DETAIL SHEETS)
- 13 PROPOSED PEDESTRIAN CROSSWALK (SEE CIVIL DETAIL SHEETS)
- 14 PROPOSED "STOP" SIGN (SEE CIVIL DETAIL SHEETS)
- 15 PROPOSED 1" CONCRETE FLUME AND SIDEWALK BOX DRAIN (SEE ARCHITECT PLANS FOR DETAILS)
- 16 PROPOSED REMOVABLE BOLLARD (SEE CIVIL DETAIL SHEETS)
- 17 TRANSITION TO 18" CURB IN 18 LF
- 18 PROPOSED 18" CURB
- 19 TRANSITION TO 18" CURB IN 31 LF
- 20 PROPOSED "STOP" SIGN (SEE CIVIL DETAIL SHEETS)
- 21 PROPOSED "NO THRU TRAFFIC" SIGN (SEE CIVIL DETAIL SHEETS)
- 22 PROPOSED "DO NOT ENTER" SIGN (SEE CIVIL DETAIL SHEETS)
- 23 SIDEWALK JUNCTURE (SEE CIVIL DETAIL SHEETS)
- 24 ASPHALT/ASPHALT PAVEMENT JUNCTURE (SEE CIVIL DETAIL SHEETS)



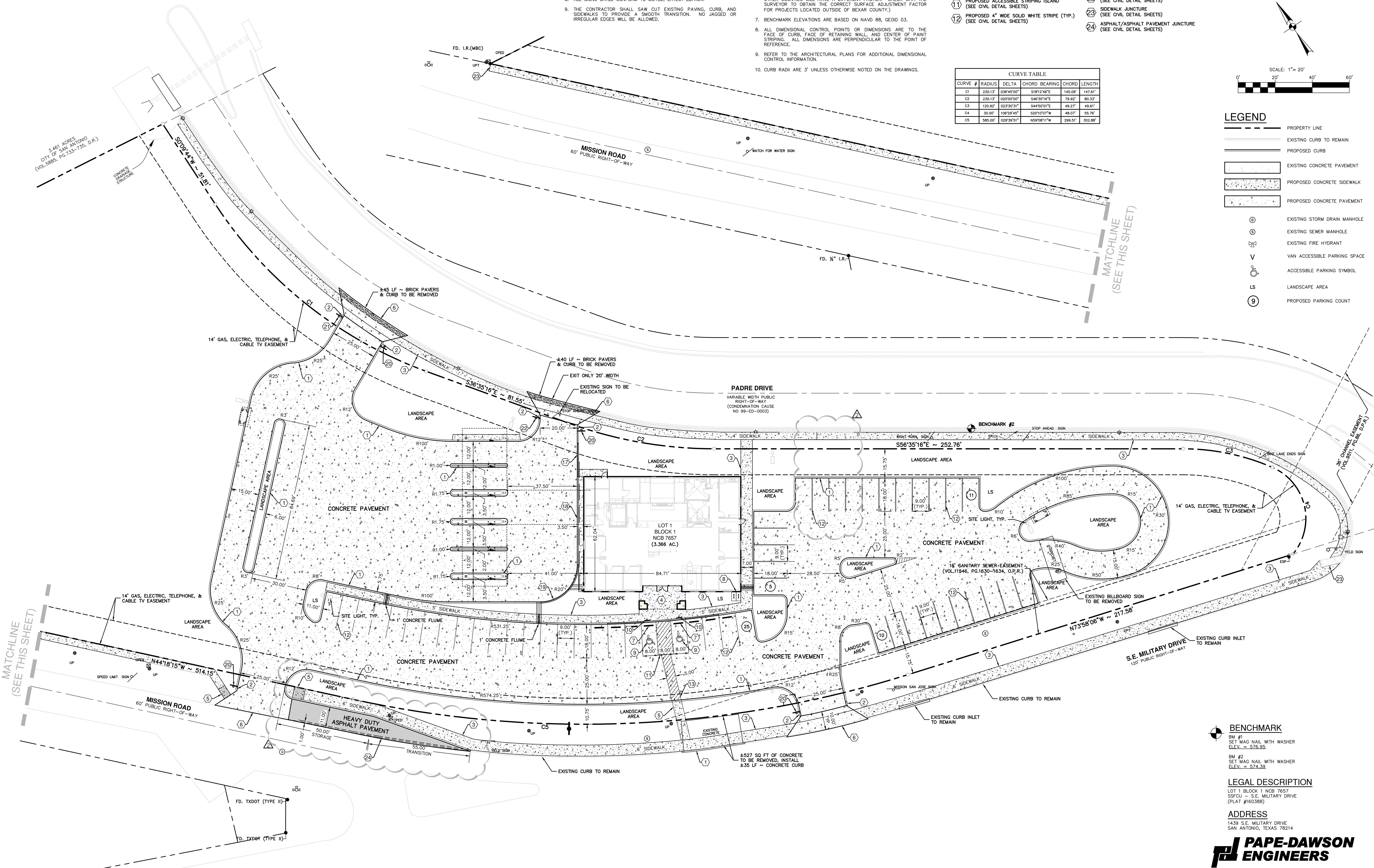
LOCATION MAP

NOT-TO-SCALE



LEGEND

- PROPERTY LINE
- EXISTING CURB TO REMAIN
- PROPOSED CURB
- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- EXISTING STORM DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- VAN ACCESSIBLE PARKING SPACE
- ACCESSIBLE PARKING SYMBOL
- LANDSCAPE AREA
- PROPOSED PARKING COUNT



BENCHMARK
BM #1
SET MAG NAIL WITH WASHER
ELEV. = 576.95
BM #2
SET MAG NAIL WITH WASHER
ELEV. = 574.32

LEGAL DESCRIPTION
LOT 1 BLOCK 1 NCB 7657
SSFCU - S.E. MILITARY DRIVE
(PLAT #160388)

ADDRESS
1439 S.E. MILITARY DRIVE
SAN ANTONIO, TEXAS 78214

PAPE-DAWSON ENGINEERS
2000 NW LOOP 410 | SAN ANTONIO, TEXAS 78213 | PHONE: 210.375.9000
FAX: 210.375.9010
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 410
TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, FIRM REGISTRATION # 10193974

Mdn ARCHITECTS
9639 McCullough Ave.
San Antonio, Texas 78216
Tel. 210.340.2400
Fax. 210.340.2449
www.mdnarchitects.com

NO.	DESCRIPTION	DATE
1	EXTEND SIDEWALKS TO PROPERTY CORNERS	06/02/16
2	ADD TURN LANE AND REMOVE DRIVEWAY	09/02/16

SECURITY SERVICE
FEDERAL CREDIT UNION

SSFCU - S.E. MILITARY DRIVE
1439 S.E. MILITARY DRIVE
SAN ANTONIO, TEXAS 78214



















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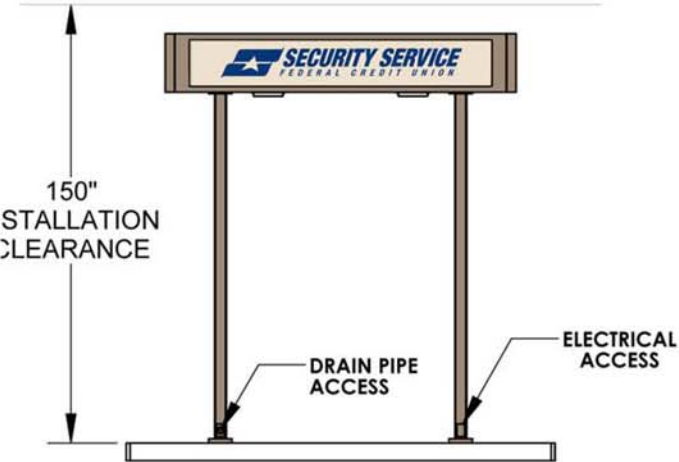
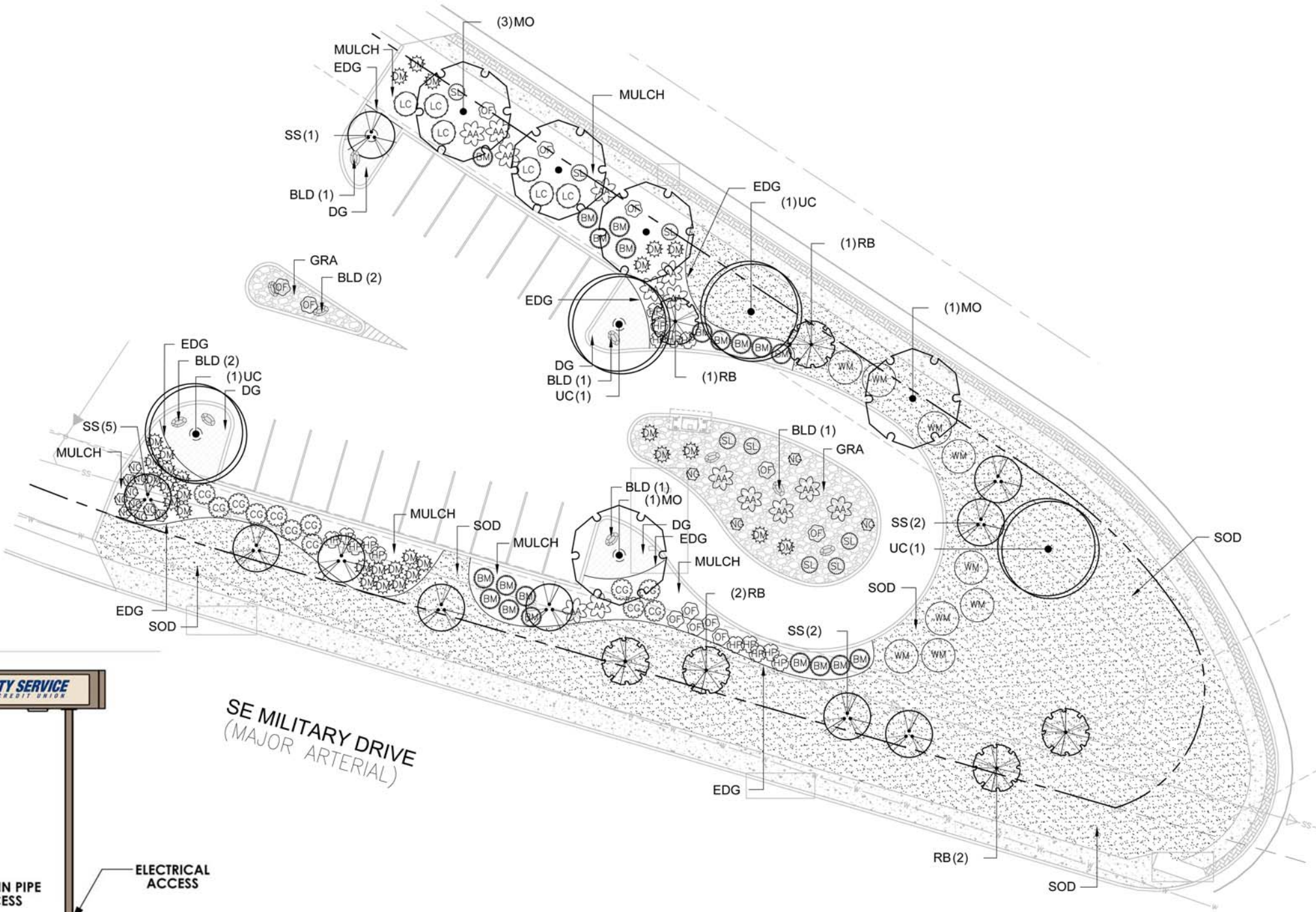
project #:	11052-00
date:	MAY 2016
reviewed by:	
drawn by:	D.D.
drawing title:	DIMENSIONAL CONTROL & PAVING PLAN
drawn number:	

C1.00

FOR PERMIT

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	RB	16	TEXAS REDBUD / CERCIS TEXANA SINGLE TRUNK	CONT.	2" CAL	6'-8" H, 3'-4" S
	MO	8	MONTEREY OAK / QUERCUS POLYMORPHA MATCHING SPECIMENS	CONT.	2" CAL	8'-10" H, 3'-4" S
	SS	17	TEXAS MOUNTAIN LAUREL / SOPHORA SECUNDIFLORA MULTI TRUNK	CONT.	2" CAL	6'-8" H, 3'-4" S
	UC	8	CEDAR ELM / ULMUS CRASSIFOLIA MATCHING SPECIMENS	CONT.	2" CAL	8'-10" H, 3'-4" S
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SIZE	
	AA	17	CENTURY PLANT / AGAVE AMERICANA FULL, WELL ROOTED	5 GAL	24" H, 12"-18" S	
	CG	53	GREY LEAF COTONEASTER / COTONEASTER GLAUCOPHYLLUS FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	DM	58	FORTNIGHT LILY / DIETES BICOLOR "MORAEA" FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	HP	50	RED YUCCA / HESPERALOE PARVIFLORA FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	NG	23	NEW GOLD LANTANA / LANTANA X "NEW GOLD" FULL, WELL ROOTED	1 GAL	6'-8" H, 6'-8" S	
	LC	7	COMPACT TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS FULL, WELL ROOTED	5 GAL	18"-24" H, 18"-24" S	
	BM	52	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI FULL, WELL ROOTED	5 GAL	18"-24" H, 18"-24" S	
	WM	15	WAX MYRTLE / MYRTICA CERIFERA FULL, WELL ROOTED	15 GAL	30"-36" H, 18"-24" S	
	OF	19	SPINELESS TEXAS PRICKLYPEAR / OPUNTIA FICUS-INDICA FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	KR	4	RED ROSE / ROSA X "KNOCKOUT" FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	RO	6	TRAILING ROSEMARY / ROSMARINUS OFFICINALIS "PROSTRATUS" FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	SG	20	AUTUMN SAGE / SALVIA GREGGII FULL, WELL ROOTED	1 GAL	8'-10" H - 8'-10" S	
	SL	18	MEXICAN BUSH SAGE / SALVIA LEUCANTHA FULL, WELL ROOTED	5 GAL	12"-18" H, 12"-18" S	
	ST	12	MEXICAN FEATHER GRASS / STIPA TENACISSIMA FULL, WELL ROOTED	1 GAL	6'-8" H, 6'-8" S	
SOD/SEED	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	SOD	20,767 SF	BERMUDA GRASS / CYNODON DACTYLON "419 HYBRID" FRESH CUT	SOD		



REMOTE ATM CANOPY
WITH SIGNAGE



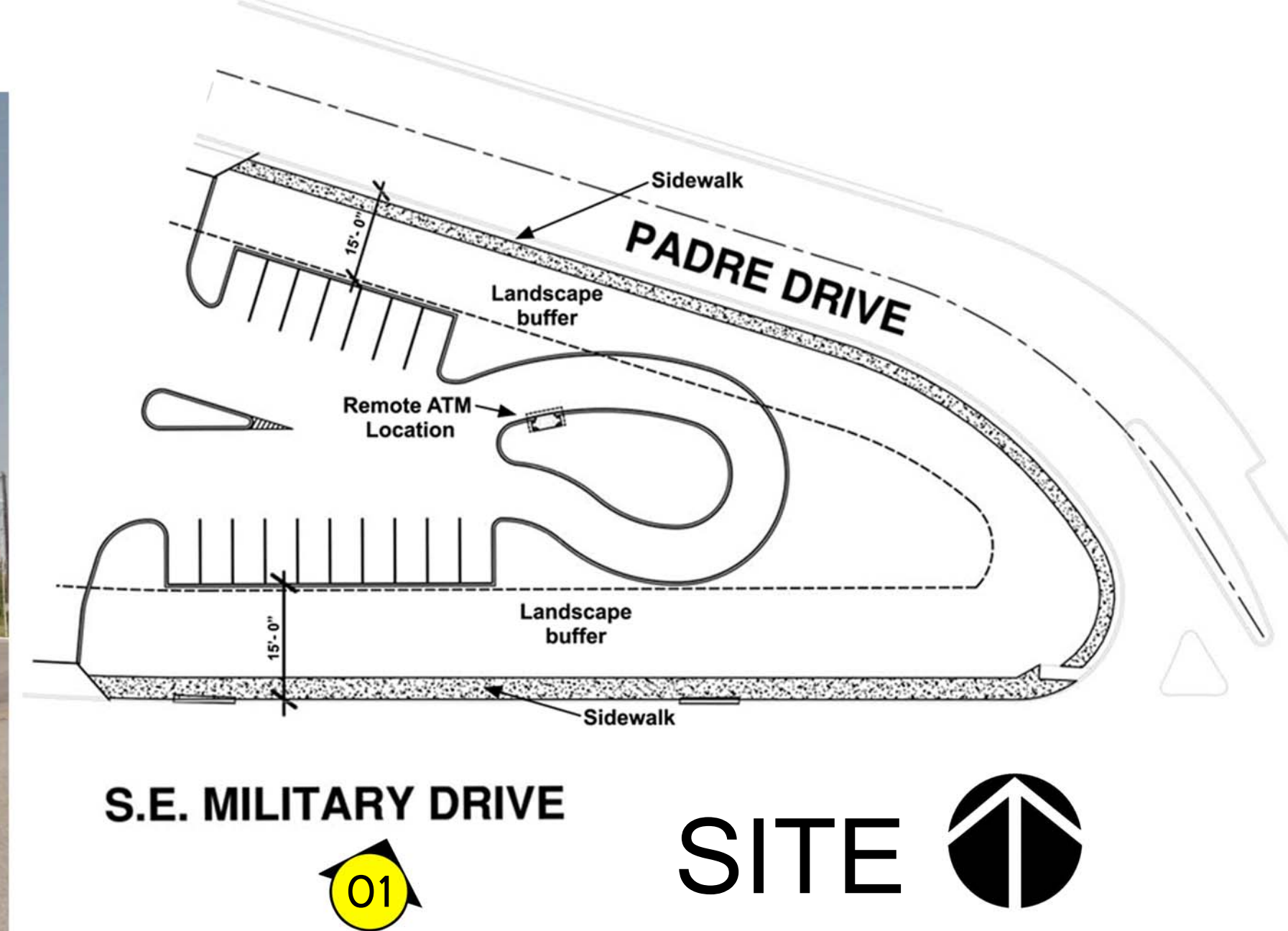
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Building, landscape, and site furnishing images are a graphic
representation of the design intent. This may not reflect all variations
in colors, materials, construction that may occur due to local
material differences, and final design detailing. Landscaping
shown is preliminary and does not reflect the final landscaping
design that conforms with local code.

SE MILITARY & MISSION RD.
SAN ANTONIO, TEXAS 78214

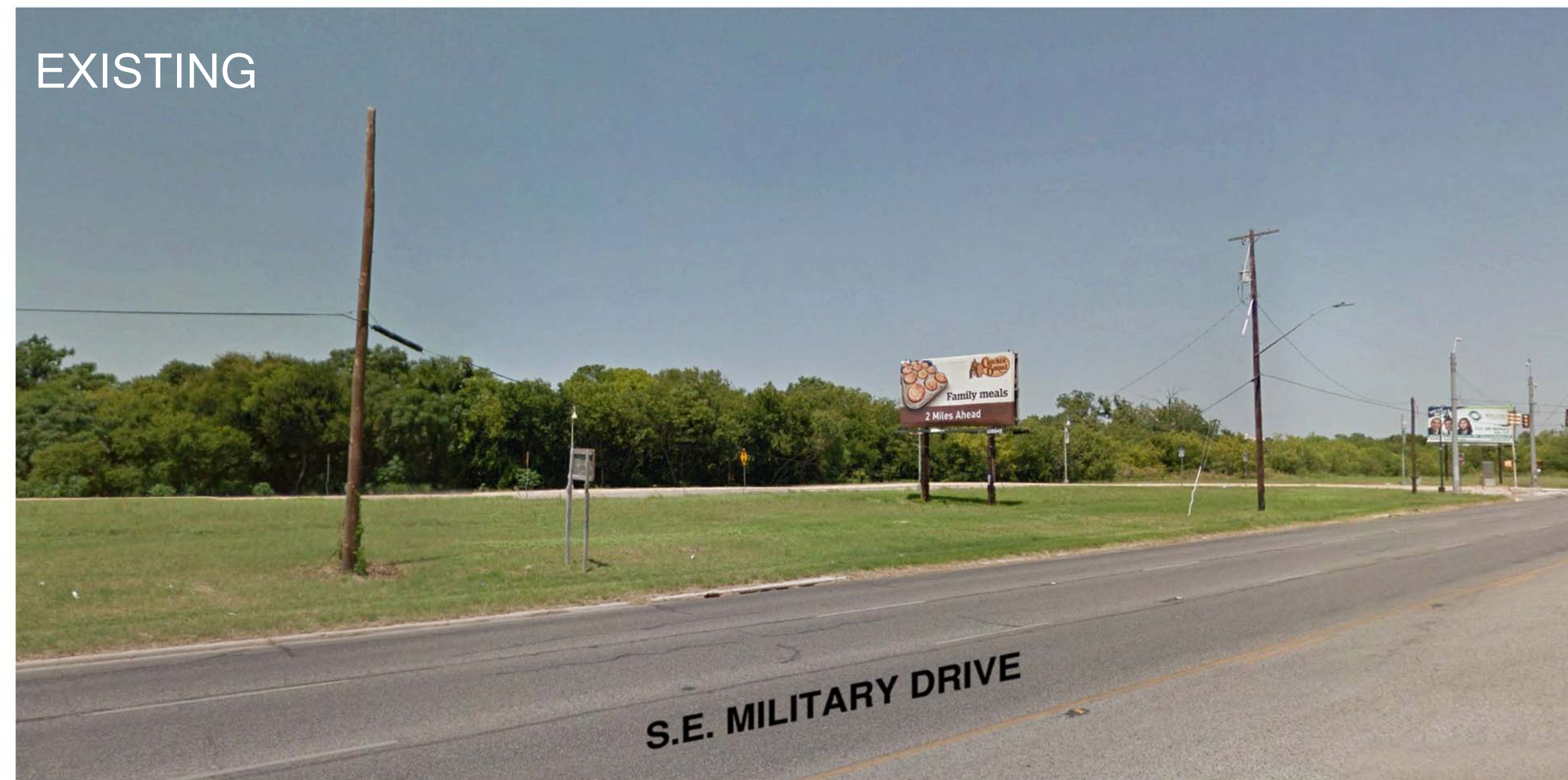
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PROJECT No. 2015075 DATE: 04/27/2016 ARCHITECTS



PROPOSED View 01



EXISTING



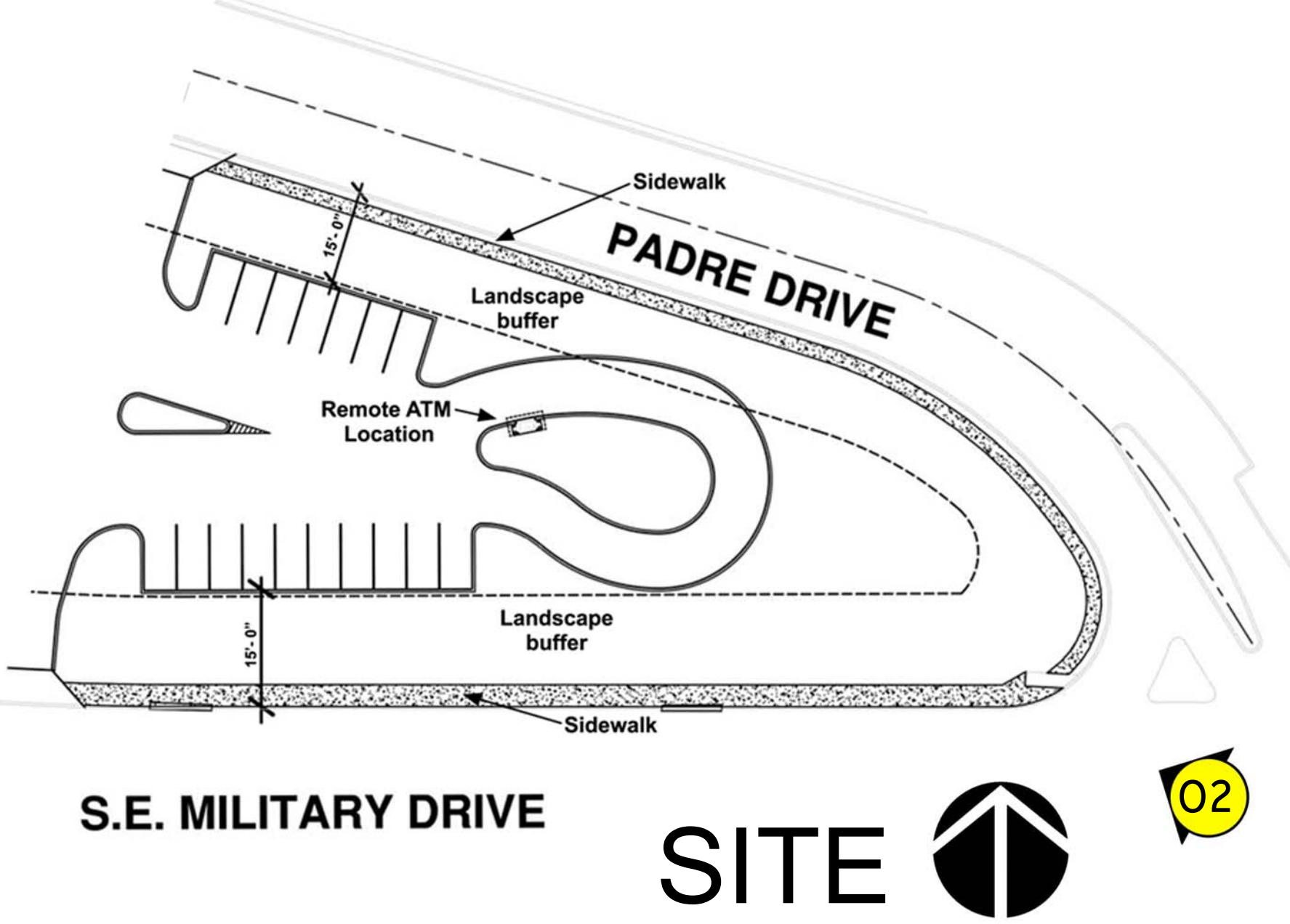
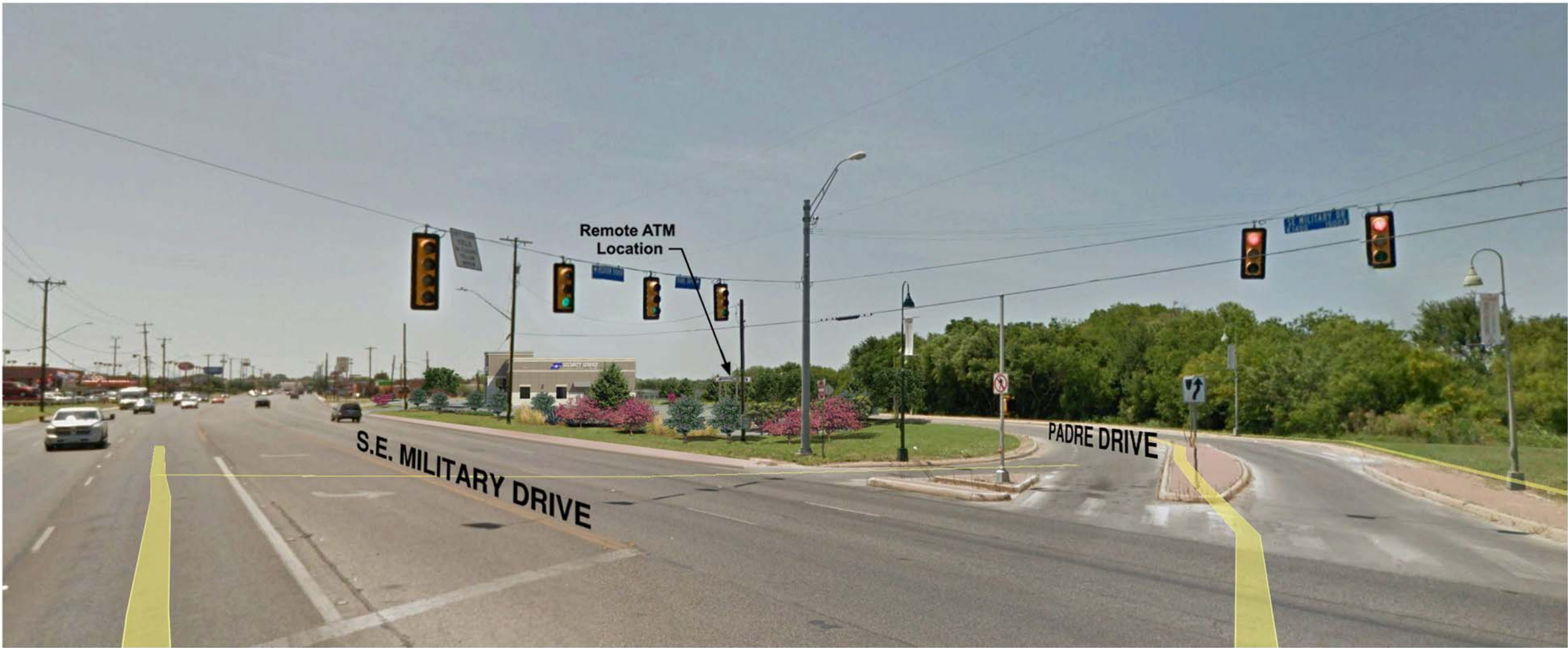
ATM LOCATION VIEWS
S.E. MILITARY @ PADRE DRIVE
SAN ANTONIO, TEXAS

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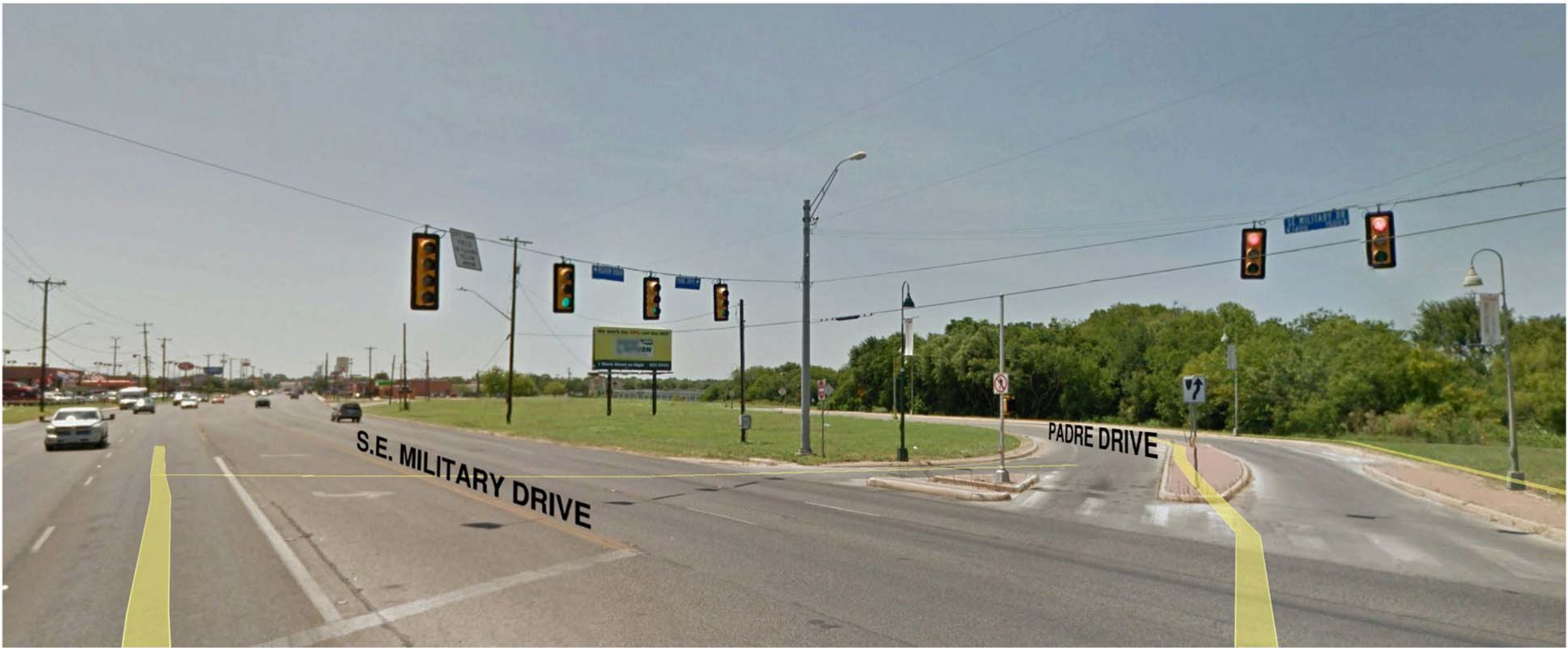
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PROJECT No. 2015075 DATE: xx09/01/16

Mdn
ARCHITECTS

PROPOSED View 02



EXISTING

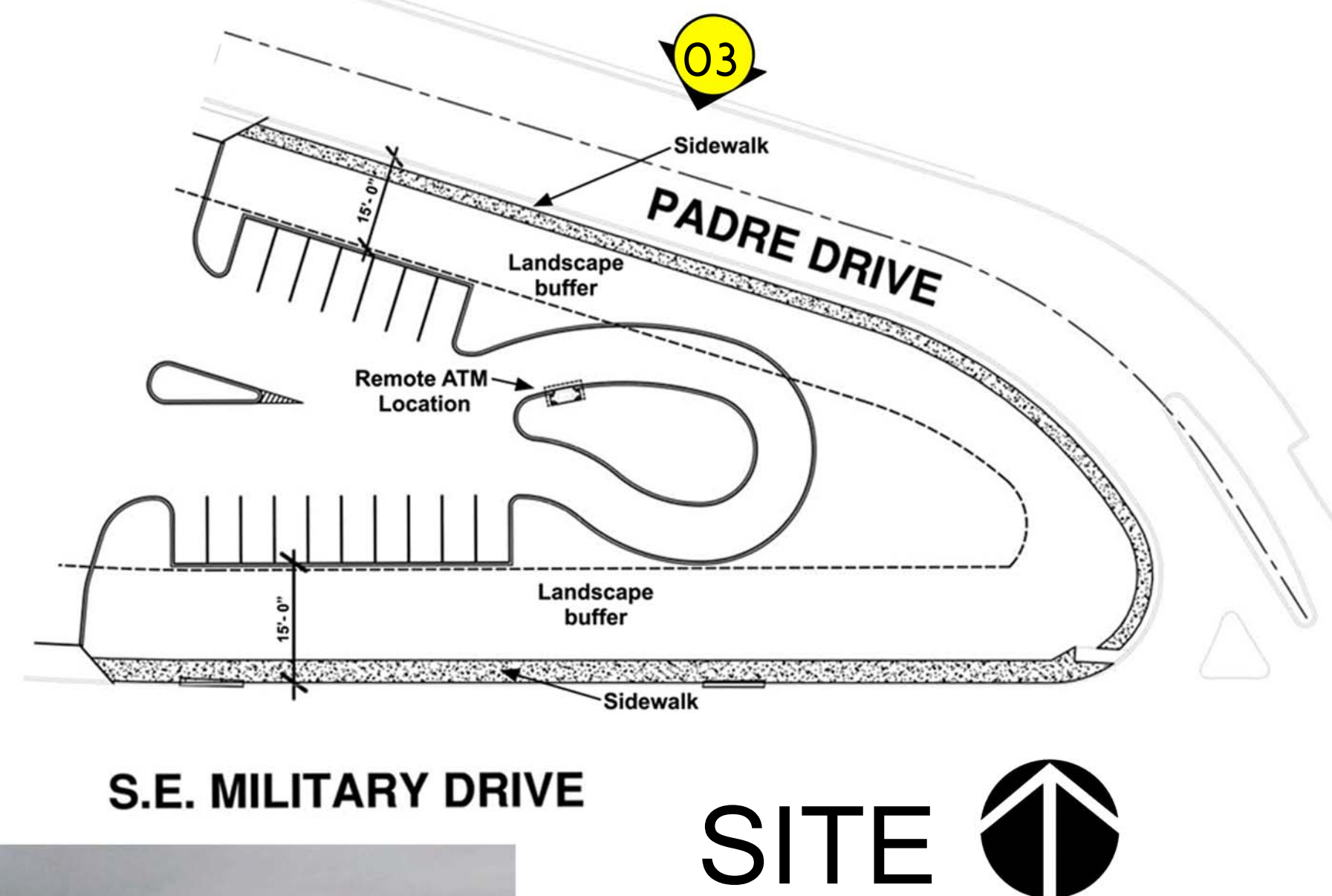


ATM LOCATION VIEWS
S.E. MILITARY @ PADRE DRIVE
SAN ANTONIO, TEXAS

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SAN ANTONIO, TEXAS 78216 FAX. 210.340.2449
PROJECT No. 2015075 DATE: 09/01/16





ATM LOCATION VIEWS
S.E. MILITARY @ PADRE DRIVE
SAN ANTONIO, TEXAS

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