

HISTORIC AND DESIGN REVIEW COMMISSION

October 05, 2016

Agenda Item No: 13

HDRC CASE NO: 2016-396
ADDRESS: 1602 N ZARZAMORA
LEGAL DESCRIPTION: NCB 2085 BLK 25 LOT 13 AND 14
ZONING: I-1 HL
CITY COUNCIL DIST.: 1
LANDMARK: Yes
APPLICANT: Alex Gonzalez/Alex Gonzalez Architect LLC
OWNER: Esperanza Peace & Justice Center
TYPE OF WORK: Window replacement, installation of a canopy, structural improvements
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove and re-install back wall and roof
2. Repair existing sidewalk and extend around left and rear of building
3. Install new canopy
4. Repair and replace existing tile and install tile wainscoting
5. Replace existing windows
6. Replace doors
7. Repair front parking lot
8. Mechanical equipment
9. Install glass in existing rectangular openings above awning
10. Install new light fixtures
11. Paint building, touch up existing “Lerma’s Nite Club” sign, and paint over existing signs

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

5. Architectural Features: Lighting

A. MAINTENANCE (PRESERVATION)

- i. *Lighting*—Preserve historic light fixtures in place and maintain through regular cleaning and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Rewiring*—Consider rewiring historic fixtures as necessary to extend their lifespan.
- ii. *Replacement lighting*—Replace missing or severely damaged historic light fixtures in-kind or with fixtures that match the original in appearance and materials when in-kind replacement is not feasible. Fit replacement fixtures to the existing mounting location.
- iii. *New light fixtures*—Avoid damage to the historic building when installing necessary new light fixtures, ensuring they may be removed in the future with little or no damage to the building. Place new light fixtures and those not historically present in locations that do not distract from the façade of the building while still directing light where needed. New light fixtures should be unobtrusive in design and should not rust or stain the building.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).
- iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
- iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
- v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.
- vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

5. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

- i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable

lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

B. SCREENING

iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

A. PLANTINGS

iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

B. DRIVEWAYS

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

6. Non-Residential and Mixed Use Streetscapes

B. STREET TREES

i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

C. PAVING

i. *Maintenance and alterations*—Repair stone, masonry, or glass block pavers using in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, color, and detail, when in-kind replacement is not possible.

D. LIGHTING

i. *General*—See UDC Section 35-392 for detailed lighting standards (height, shielding, illumination of uses, etc.).

ii. *Maintenance and alterations*—Preserve historic street lights in place and maintain through regular cleaning and repair as needed.

iii. *Pedestrian lighting*—Use appropriately scaled lighting for pedestrian walkways, such as short poles or light posts (bollards).

iv. *Shielding*—Direct light downward and shield light fixtures using cut-off shields to limit light spill onto adjacent properties.

v. *Safety lighting*—Install motion sensors that turn lights on and off automatically when safety or security is a concern. Locate these lighting fixtures as discreetly as possible on historic structures and avoid adding more fixtures than necessary.

7. Off-Street Parking

A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

Historic Design Guidelines, Chapter 6, Guidelines for Signage

1. General

B. HISTORIC SIGNS

i. *Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.

FINDINGS:

- a. The structure at 1602 N Zarzamora is a local and National Registered landmark, also known as Lerma's Nite Club Building. The local designation was issued by City Council on October 21, 2010. The entire structure is a five unit Art Moderne 1-part commercial block built circa 1948.
- b. WALL AND ROOF - The applicant is proposing to remove and re-install the rear wall and roof. According to the Guidelines for Exterior Maintenance and Alterations, repairs to masonry should be done by a professional. Staff finds this repair appropriate and consistent with the Guidelines.
- c. SIDEWALK - The applicant is proposing repairs to existing concrete walkway and to extend the walkway along the left and rear façade. According to the Guidelines for Site Elements 5.A.iii., new sidewalks should follow the historic alignment and configuration. Staff finds the proposed continuation of the sidewalk curving around the existing façade appropriate and consistent with the Guidelines.
- d. CANOPY - There is an existing mansard awning over the fourth bay and a horizontal banding; there is not an existing full length canopy. The applicant is proposing to remove the existing mansard awning and horizontal banding and install a front steel canopy in its place with cable supports along the full west, front façade,. According to the Guidelines for Exterior Maintenance and Alterations 10 and 11, new awnings should be added based on accurate evidence of the original. Staff finds based on historic photos and the statement of significance, an awning would be appropriate and consistent with the Guidelines.
- e. TILES - There are existing square tiles, painted over, along the base of the stucco building. The applicant is proposing to replace the existing tiles with new in the same location. According to the Guidelines for Exterior Maintenance and Alterations 10.A.i., character defining features should be preserved. Staff finds the proposal to re-install tiles consistent with the Guidelines.
- f. OCTAGONAL WINDOWS - The applicant is proposing to remove plywood and steel grates from existing octagonal windows and replace with aluminum windows with clear glass and 3 divided lights. According to the Guidelines for Exterior Maintenance and Alterations 10.A.ii, clear glass should be used in display windows and to replace missing features in-kind. Staff finds the proposal to retain the original openings and keep the octagonal shape appropriate.
- g. DOORS - There are 5 existing bays; 4 have double doors boarded up and one has been replaced with a metal non-historic garage door. The applicant is proposing to replace the existing double doors with new steel paneled double doors with full lights. According to the Guidelines for Exterior Maintenance and Alterations 6.B.i., door should be replaced in-kind when possible, or match the size, material, and profile of historic door. Staff finds the proposal historically accurate and consistent with the Guidelines.
- h. PARKING - There are two large curb cuts along the west façade, and asphalt in disrepair. The applicant is proposing to construct a parking lot along the west façade, with a landscaped area in between the two existing curb cuts. According to the Guidelines for Site Elements 7.A.i. the preferred location for off street parking is at the rear of the site behind primary structures. Given the unique nature of this site and the status of the existing parking lot, staff finds this placement of parking appropriate. The applicant has not provided landscaping details

and is responsible for complying with the Guidelines for Site Elements regarding landscaping.

- i. **MECHANICAL EQUIPMENT** - The applicant is proposing to have roof top units serving the leased spaces, and noted the mounting location of these units. According to the Guidelines for Additions 5.B.iii., roof mounted equipment should be screened and set back on the roof to avoid view from public right-of-way. Staff finds the proposal consistent with the Guidelines. The future tenants are responsible for complying with this section of the Guidelines.
- j. **RECTANGULAR OPENINGS** - The applicant is proposing to remove plywood and steel grates from existing rectangular openings above the existing store fronts, and install glass. According to the Guidelines for Exterior Maintenance and Alterations 10.A.ii, clear glass should be used in display windows and to replace missing features in-kind. Staff finds the proposal appropriate and consistent with the Guidelines.
- k. **LIGHTING** - The applicant is proposing to install cylinder light fixtures along the building. According to the Guidelines for Exterior Maintenance and Alterations 5.A.iii., new light fixtures should avoid damage to the historic structure, not distract from the façade of the building, and should be compatible with the architectural style of the building. Staff finds the light fixture design appropriate for the Art Moderne style of the building, but the applicant has not submitted the locations of the light fixtures.
- l. **PAINTING** - There are existing painted wall signs above bay one and two, and two projecting wall mounted signs. The applicant is proposing to touch-up the existing “Lerma’s Nite Club” wall signage, and paint over the existing wall signage over bay one and two with off-white color. The projecting wall mounted signs will remain. According to the Guidelines for Signage 1.B.i., historic signs should be preserved. Staff reviewed a historic photo from 1951. The existing painted wall signs were not present at that time. Staff finds the proposal appropriate and consistent with the Guidelines, but that the applicant provide a paint swatch of the color to be used to staff.

RECOMMENDATION:

Staff recommends approval based on findings a through h with the following stipulations:

1. That the applicant provide a photo example of the tiles to be installed.
2. That landscape details be provided to staff at a later date when available, to receive a Certificate of Appropriateness.
3. That the applicant submit locations of the proposed light fixtures to staff prior to receiving the Certificate of Appropriateness.
4. That the applicant submit a paint swatch to staff prior to receiving the Certificate of Appropriateness.

CASE MANAGER:

Lauren Sage



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 27, 2016

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Culebra Rd

Walgreens

N Zarzamora

421

Culebra Rd

7-Eleven #37218

Carter St

N Zarzamora

1602 North Zarzamora

W Laurel St

W Laurel St

W Laurel St

Henry St

N Zarzamora

Alma De Jalisco

7-Eleven #37218

W Laurel St

1602 North Zarzamora

Lerma's Nite Club

W Laurel St

N Zarzamora

N Zarzamora

Carter St



Perma NITE CLUB

1692



Perma

NITE CLUB

CITY of SAN ANTONIO
NOTICE of HEARING
HISTORIC & DESIGN
REVIEW COMMISSION



ADDRESS: 1011 N. ALAMO ST.

REQUEST: DEMO, UNUSUAL RETAIL/REUSE, CMHT

HEARING DATE: OCT 5 20 16

TIME: 3:00 P.M.

FOR MORE INFORMATION CONTACT
(210) 215-9274

ALL HDRC MEETINGS TAKE PLACE AT 1901 S. ALAMO

Perma NITE CLUB

1602









OPEN







OPEN

AVTIA TIRE SHOP
1610 N. ZARZAMORA



GET THE
BEST
TIRE
VALUE



AVITIA TIRE SHOP
1610 N. ZARZAMORA

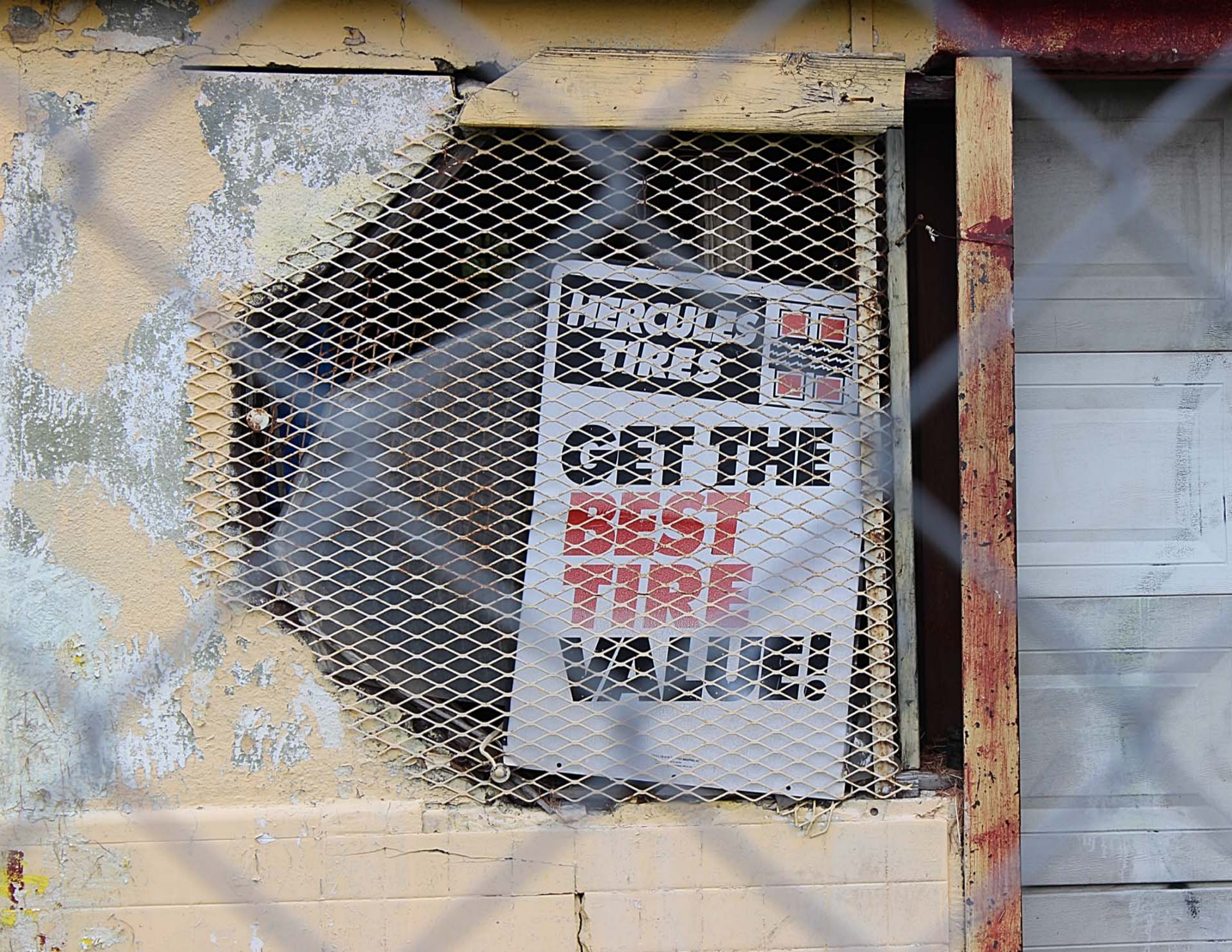


HERCULES
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GET THE
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**GET THE
BEST
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VALUE!**



LAKEVIEW CLEANERS



1612





SERVICE

216-8096

LAW
CL

1612



HOT

LAKEVIEW
CLEANERS

AVT
16

2021

LIBERTY
MANN

Lerma's



South Elevation



West (Street) Elevation

Lerma's



North Elevation



East (Rear) Elevation

Lerma's

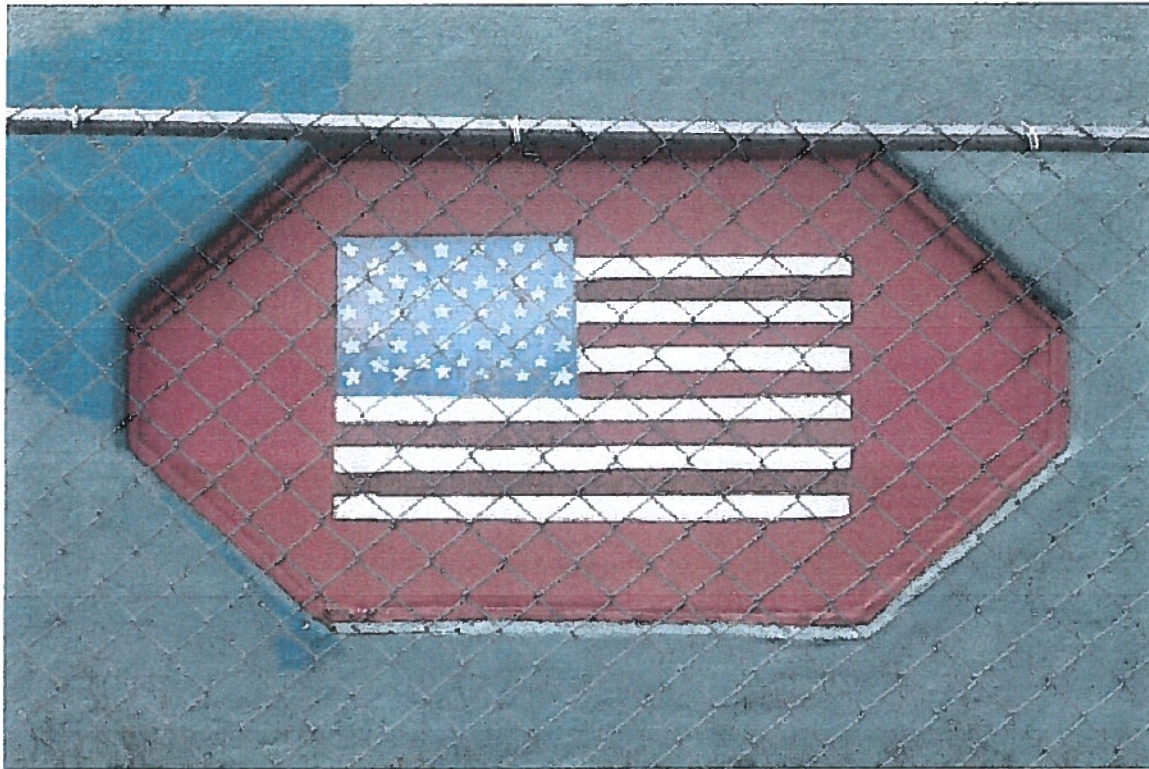


Lerma's Entry



Adjacent Space - Entry

Lerma's



Typical Window Size at the North, West and South Elevations



Typical Window Size at the North, West and South Elevations

Lerma's



Interior Condition



Interior Condition

TECHNICAL OUTLINE SPECIFICATIONS

The project will require the following specifications...

Division 2 – Site work

02224 - Foundation Earthwork for Buildings - work related to new concrete slab for the building.

02511 - Hot-Mixed Asphalt Paving – work related to the parking lot directly in front of the building. This is an existing asphalt parking lot in need of repair.

02550 - Site Utilities – Electrical and plumbing connections tied to City services.

02551 - Concrete Sidewalk – work related to the new concrete sidewalk directly in front of the building. This walk is required per City code. It will meet the City standards for sidewalk and curbs.

Division 3 - Concrete

03000 - Concrete Formwork, Concrete Reinforcement & Cast-in-Place Concrete – new slab, piers and beams.

Division 4 – Masonry

04200 - Unit Masonry – infill masonry for repairs at damaged walls. While this material will be used in limited quantities, it will be plastered over to match the existing finish of the building.

Metals

05100 - Structural Steel – Steel columns, beams and joists for the super structure that will support the rehabilitated walls of the building as well as support the new roof.

Division 6 - Wood

06100 - Carpentry and Millwork – counter tops and cabinetry within the Lerma's Space.

Division 7 - Thermal and Moisture Protection

07200 - Insulation – Thermal rigid insulation under the roof membrane. This material will be unseen or within the the roof assembly.

07600 - Flashing and Sheet Metal – sheet metal goods required to help prevent moisture migration. The roof detailing will not be seen from the street.

07900 - Sealants – typical sealant or caulking used to fill gaps or small openings between construction materials.

Division 8 - Doors and Windows

08111 - Standard Steel Doors and Frames – Thin profile metal frames at all door openings. These frames will be primed and painted.

08200 - Wood Doors – Interior doors within the Lerma's space. Solid core products with a clear sealed finish. Birch face or a maple upgrade.

08710 - Finish Hardware – ADA compliant door hardware including levers, closers, locksets, etc...Nickle finish.

08800 – Glazing – Insulated clear glass to replace broken or missing glass within the original window openings.

Division 9 – Finishes

09110 – Lath and Plaster – Plaster work at the original walls. The scope of work addresses repairs to cracks and voids at the (3) rehabilitated walls.

09250 - Gypsum Drywall – Painted drywall (sheetrock) at the interior wall surface.

09300 – Tile – This material will be used at the toilet room walls.

09900 - Painting – Elastomeric coating product for the exterior plaster surfaces.

Division 10 – Specialties

10160 - Toilet Partitions – Stainless steel partitions at the toilet rooms.

10520 - Fire Extinguishers, Cabinets & Accessories – standard steel cabinets and extinguishers within the finish outs as required by the fire code.

10800 - Toilet Accessories – Paper towel, toilet paper dispensers, soap dispensers, etc...

Division 11 - Equipment

Section not in Contract

Division 12 - Furnishings

Section not in Contract

Division 13 - Special Construction

Section not in Contract

Division 14 - Conveying Systems

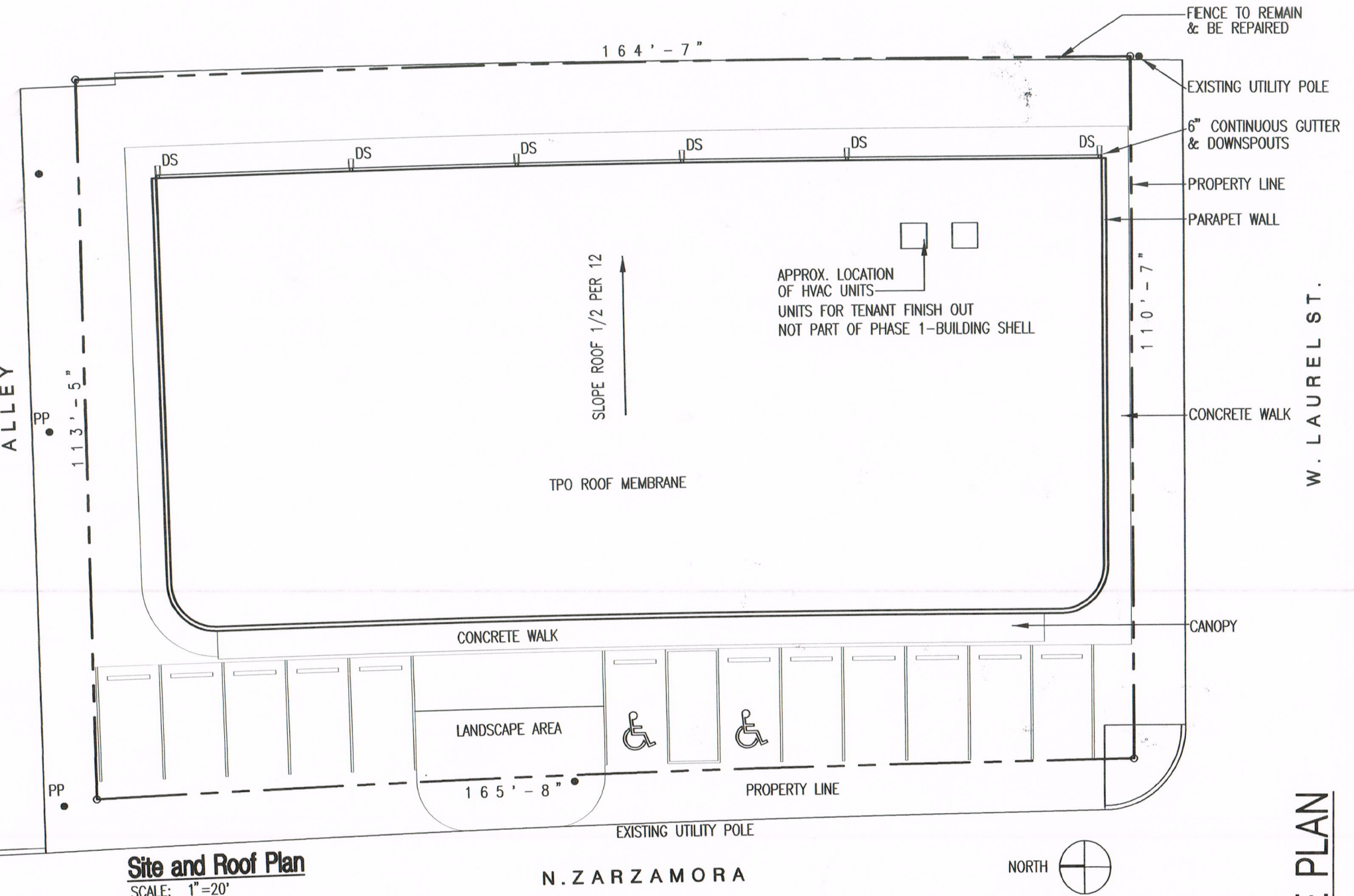
Section not in Contract

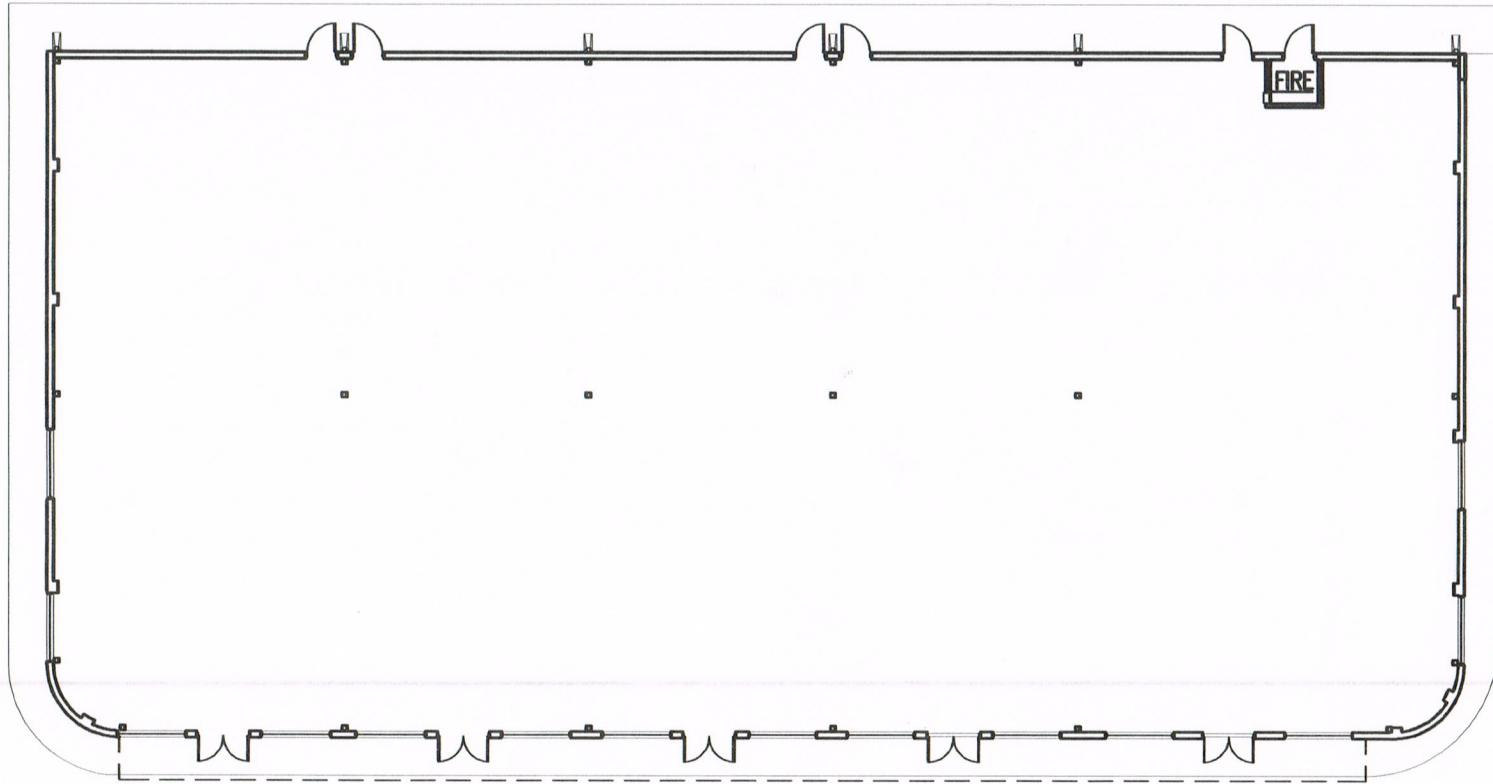
Division 15 & 16- Mechanical / Electrical

Mechanical – Roof top units serving the lease spaces. Exposed sheet metal round ductwork is planned for the Lerma's space.

Electrical – Round downlights and wall scones are planned for the Lerma's space.

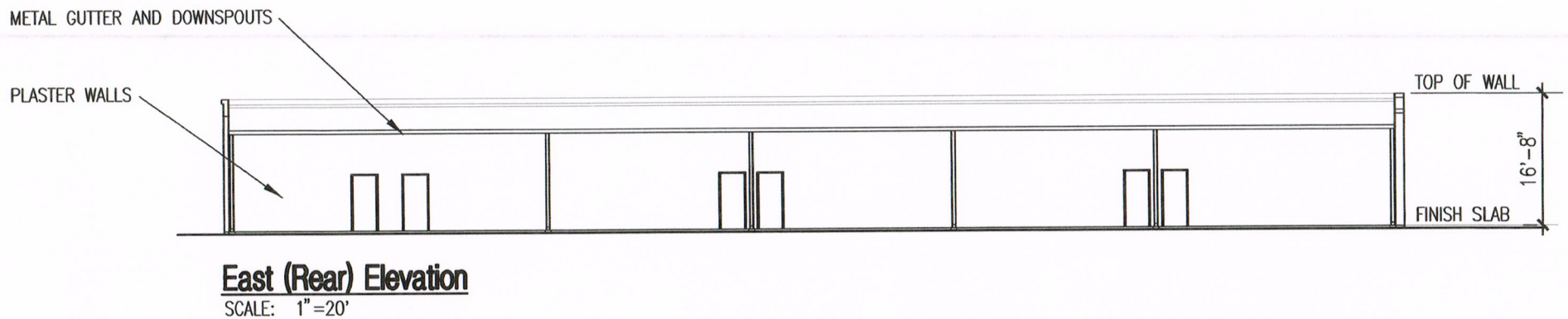
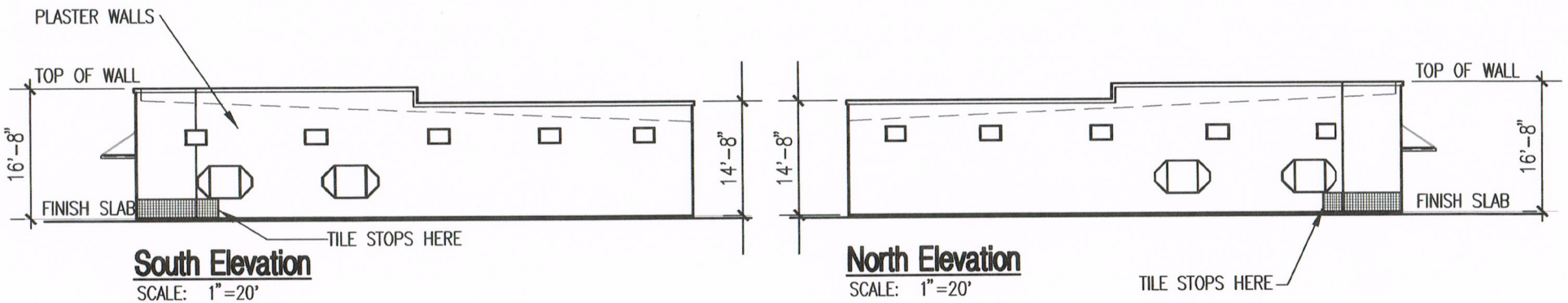
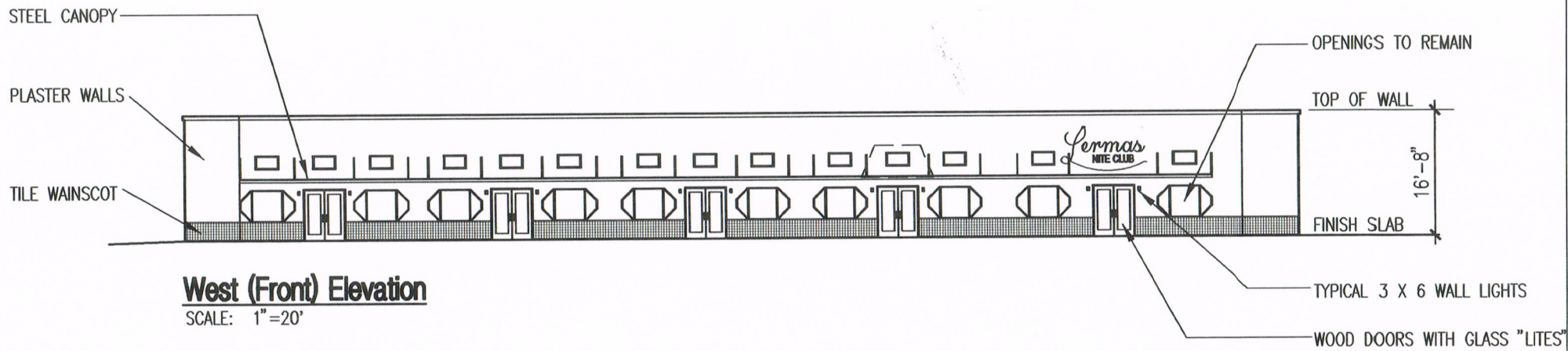
ALLEY





Floor Plan
SCALE: 1"=20'





Las Tiendas de Lerma's
1602 N. Zarzamora, San Antonio Texas

Alex Gonzalez Architect LLC
September 27, 2016

SITE PLAN

Las Tiendas De Lerma's

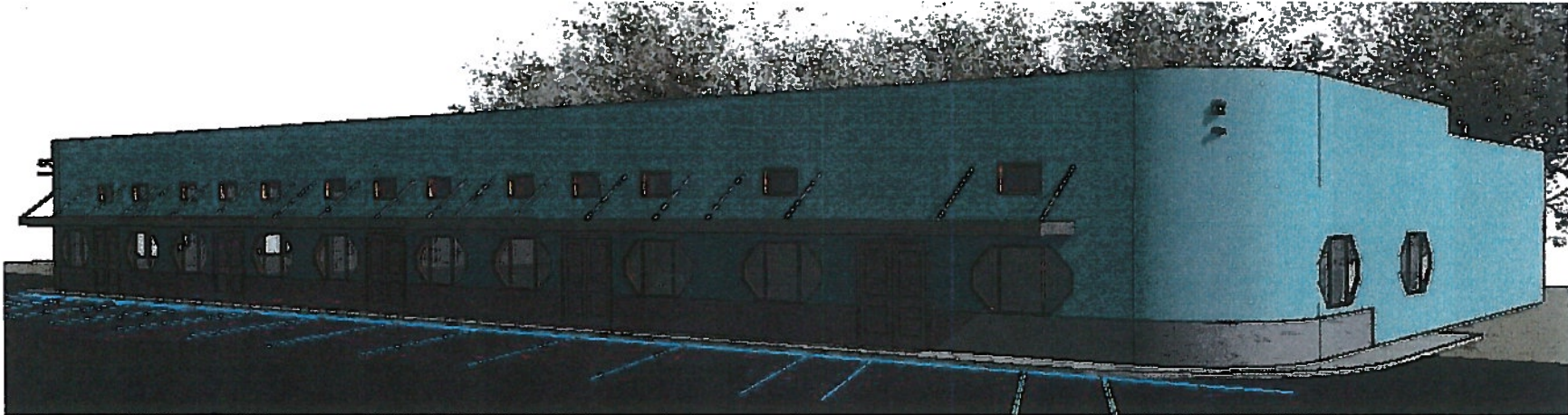
Esperanza Peace and Justice Center-Susana Segura

1602 Zarzamora San Antonio

Est. Project Cost: 700,000

Size 10,600 SF

Revitalization of a historic structure on San Antonio's West Side. This project includes the engineering to preserve the three main walls of the building and associated site work. The first finish out will be the new Lerma's Night Club (The original Lerma's Night Club was featured in the Selena Movie).

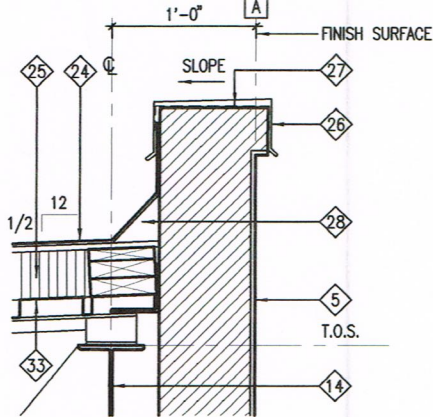


Proposed Revitalization

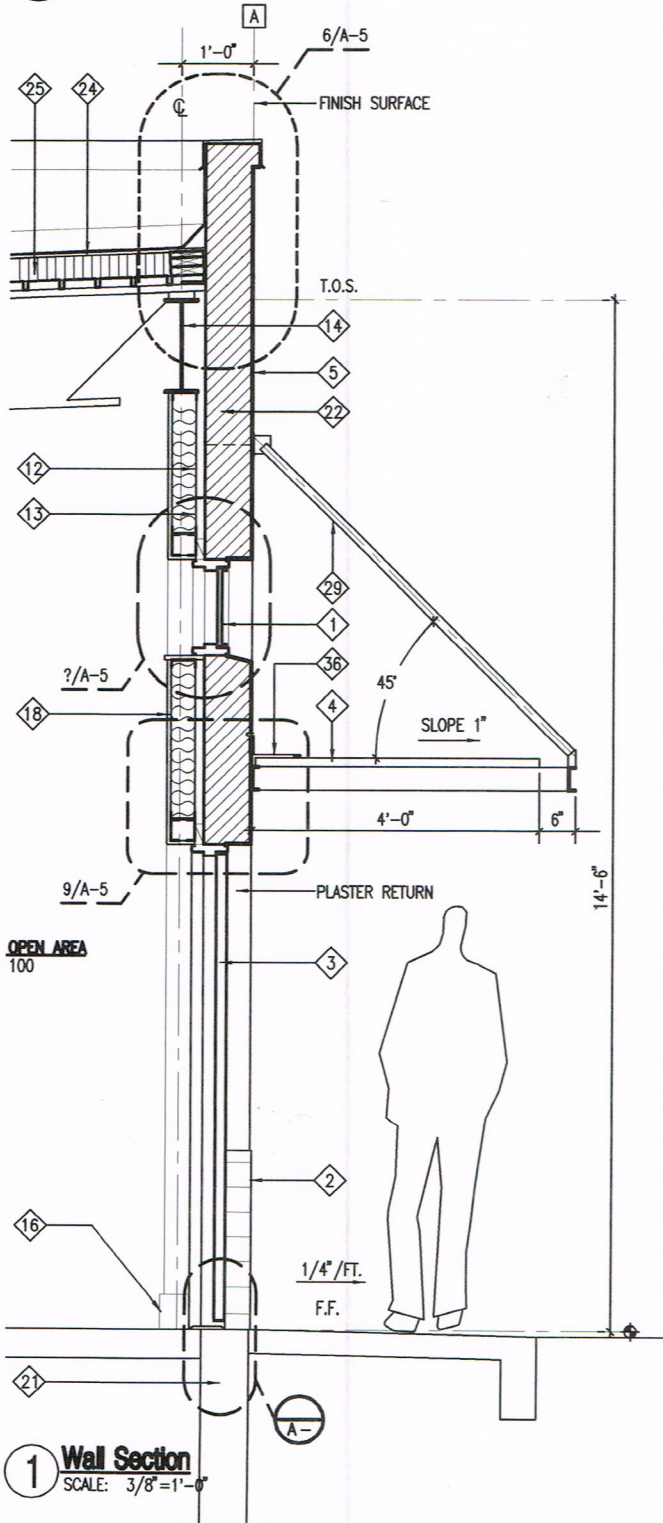


Current Southwest View

Alex Gonzalez Architect LLC



6 Detail
SCALE: $3/4" = 1'-0"$



1 Wall Section
SCALE: $3/8" = 1'-0"$

KEYED NOTES

- 1 FIXED GLASS UNIT
- 2 TILE WAINSCOT-SEE ELEVATIONS
- 3 DOOR(S) AS SCHEDULED
- 4 24 GAGE CORRUGATED METAL PANELS
- 5 PLASTER FINISH-REPAIR, PREP AND PAINT
- 6 GALV. MTL. DOWNSPOUT & CONC. SPLASH BLOCK
- 7 INFILL WALL TO MATCH EXISTING
- 8 ALUMINUM THRESHOLD SET IN MASTIC BED
- 9 6" (20 GAGE) METAL STUDS 16" O.C.
- 10 RE-BUILD CORNER OF BUILDING TO MATCH EXISTING
- 11 1 X 6 WOOD FLOORING ON 2 X 6 FRAMING 12" O.C.
- 12 3-5/8" 20 GA. METAL STUDS 16" O.C.
- 13 R-13 BATT INSULATION-FRICTION FIT
- 14 STEEL FRAMING - SEE STRUCTURAL
- 15 SOLID SURFACE APRON
- 16 1 X 6 WOOD BASE-PRIME AND PAINT
- 17 GALV. METAL GUTTER
- 18 5/8" GYPSUM BOARD-TAPE, FLOAT, TEXTURE, PAINT
- 19 POWDER COATED PAINTED METAL GRILLE
- 20 DRYWALL RETURN-PAINT
- 21 FOUNDATION-SEE STRUCTURAL
- 22 MASONRY WALL TO REMAIN-BRACE PER STRUCTURAL
- 23 CONCRETE SIDEWALK-LIGHT BROOM FINISH
- 24 TPO ROOF MEMBRANE ON 1/2" PERLITE
- 25 R-19 EXTRUDED POLYSTYRENE INSULATION BOARD
- 26 GALV. METAL CAP (10' MIN. LENGTHS)
- 27 ICE AND WATER SHEILD UNDER CAP
- 28 CANT STRIP W/ TREATED WOOD NAILERS AT PARAPET
- 29 BRACE - SEE STRUCTURAL
- 30 COLUMN - SEE STRUCTURAL
- 31 3/4" STUCCO ON METAL LATH, VAPOR BARRIER & 1/2" GLASS FACED SHEATHING
- 32 TREATED WOOD NAILERS
- 33 METAL DECK - SEE STRUCTURAL
- 34 CONT. SEALANT
- 35 GALV. ROOF EDGE
- 36 GALV. MTL. 24 GA FLAHING-W/ REGLET, HEM EDGE
- 37 2 X 6 TREATED FASCIA-WRAP WITH 24 GA. GALV. TRIM

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section FIGURE Page 15

Lerma's Nite Club
San Antonio, Bexar County, Texas

Lakeview Cleans at 1612 Zarzamora (north end of nominated building), 1951.
Source: Institute of Texan Cultures Archives, San Antonio.



CLEANERS

CLEANERS



1 DAY



SERVICE

LAKEVIEW
CLEANERS

907-0097

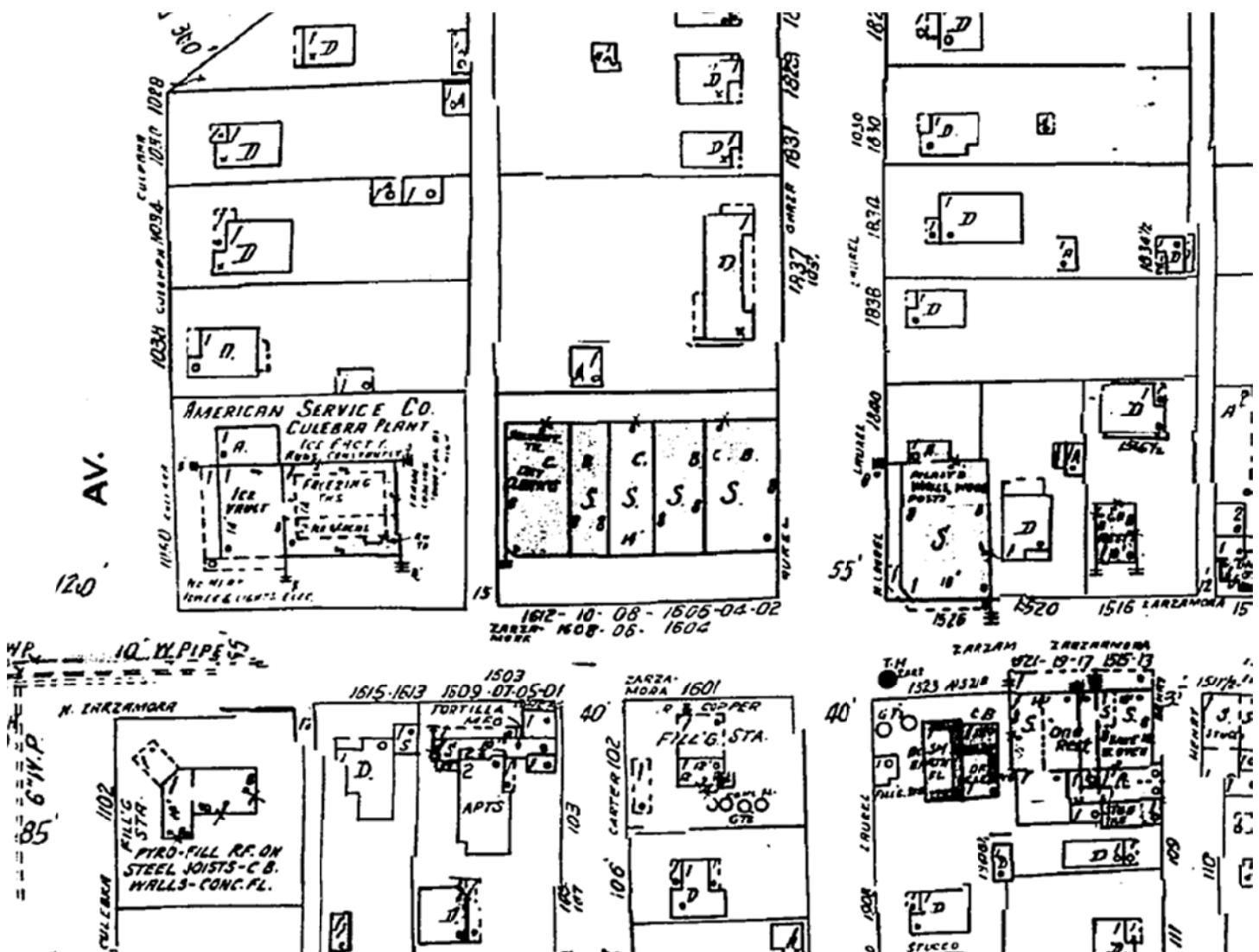
United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section FIGURE Page 17

Lerma's Nite Club
San Antonio, Bexar County, Texas

Sanborn Fire Insurance Map, 1951, Volume 1 Sheet 28
 Lerma's Nite Club Building in center



← North