

HISTORIC AND DESIGN REVIEW COMMISSION

October 05, 2016

Agenda Item No: 17

HDRC CASE NO: 2016-401
COMMON NAME: 523 N Colorado
ADDRESS: 525 N COLORADO ST
LEGAL DESCRIPTION: NCB 2230 BLK 3 LOT N 54.3 FT OF 1
ZONING: I-1 HL
CITY COUNCIL DIST.: 5
LANDMARK: Yes
APPLICANT: Johnny Estrada
OWNER: Paul Gomez
TYPE OF WORK: Install doors and windows, roof repair
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove plywood and install front door and two side doors in existing door openings
2. Replace the glass on all existing window frames
3. Paint existing standing seam metal roof white

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

FINDINGS:

- a. The property at 523 N Colorado is a commercial structure with wood siding, a gabled roof, and a parapet wall. The property was designated August 16, 2015.
- b. The applicant received administrative approval to repair siding, paint, repair the existing roof, and repair the foundation.
- c. There are no existing doors and the openings are boarded up. The applicant is proposing to install two half-light doors on the front wood door screens, a solid wood paneled door on the right, and double solid wood doors on the rear addition. According to the Guidelines for Exterior Maintenance and Alterations 6.A. and B., openings should be preserved and new doors should match the size, material and profile of the historic element. Staff finds the proposed front half-light doors are not appropriate for the architectural style of the building, thus not consistent with the Guidelines. Staff recommends that the doors have a full light in each.
- d. There is no glass in the existing windows and the windows are boarded up. The applicant is proposing to put glass in the existing window frames. According to the Guidelines for Exterior Maintenance and Alterations 6.B.vi., that replacement glass should be clear. Staff finds the proposal consistent with the Guidelines.
- e. The applicant received administrative approval to make repairs to the existing standing seam metal roof, including removing the composite remnants and patching a hole in the south pitch. The applicant is requesting to seal the existing standing seam metal roof with a rubberized acrylic roof and wall coating with a white tint. According to the Guidelines for Exterior Maintenance and Alterations 3.B.vi., metal roofs should be appropriate for the style or construction period. The applicant provided product details, but did not provide a sample of the finished product. Staff recommends approval with the stipulation that the applicant test the product on a rear test area and submit to staff to review.

RECOMMENDATION:

Staff recommends approval based on findings a through e with the following stipulations:

1. That the front doors have full window lights.
2. That the replacement glass be clear.
3. That the applicant test the roof sealant product on a rear test area and submit to staff to review.

CASE MANAGER:

Lauren Sage

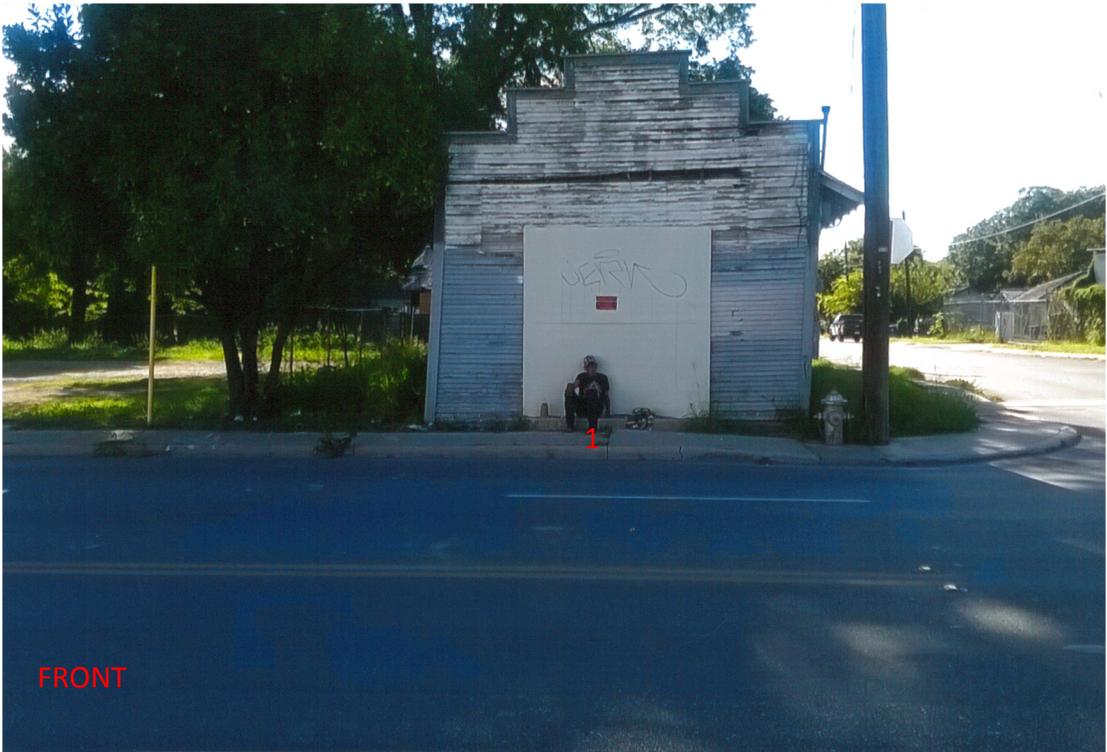


Flex Viewer

Powered by ArcGIS Server

Printed: Sep 27, 2016

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.



FRONT



REAR









PROPOSED EXTERIOR REPAIRS 523 N COLORADO AND MATERIALS

The building has two parts, the original building herein called the front part built around 1930 and the addition herein called the back part, built in 1981.

~~Siding:~~ The front part exterior shall be 117 siding also called washboard siding made of yellow pine. This matches the original siding. The back part shall be composite 4X8 sheet siding matching the additions original siding.

~~Trim:~~ The front part shall have yellow pine boards matching the original material and the back part shall have whitewood boards which is the original material used for the addition.

~~Paint:~~ The front part and back part shall be painted in white color with trim boards painted in green with lead free semi-gloss finish paint.

~~Doors:~~ The front part shall have two doors side by side made of wood with glass pains and screen doors for décor. The front part of building on the north side of building shall have a wooden door which was once original to building and was covered by siding after it was destroyed in burglary. The back part shall have two wooden doors side by side.

~~Roofing:~~ The front part shall be a seamed metal roof or the original roof may be repaired and coated with Ames roof coating in white color which was original to building. The back part shall have flat composite roofing original to building.

~~Windows:~~ The front part window shall all be glass as original to building. The back part has no windows.

~~Foundation:~~ The font part north side of building will be repaired and there will be no skirting around the front part of building. The back part foundation is concrete slab.

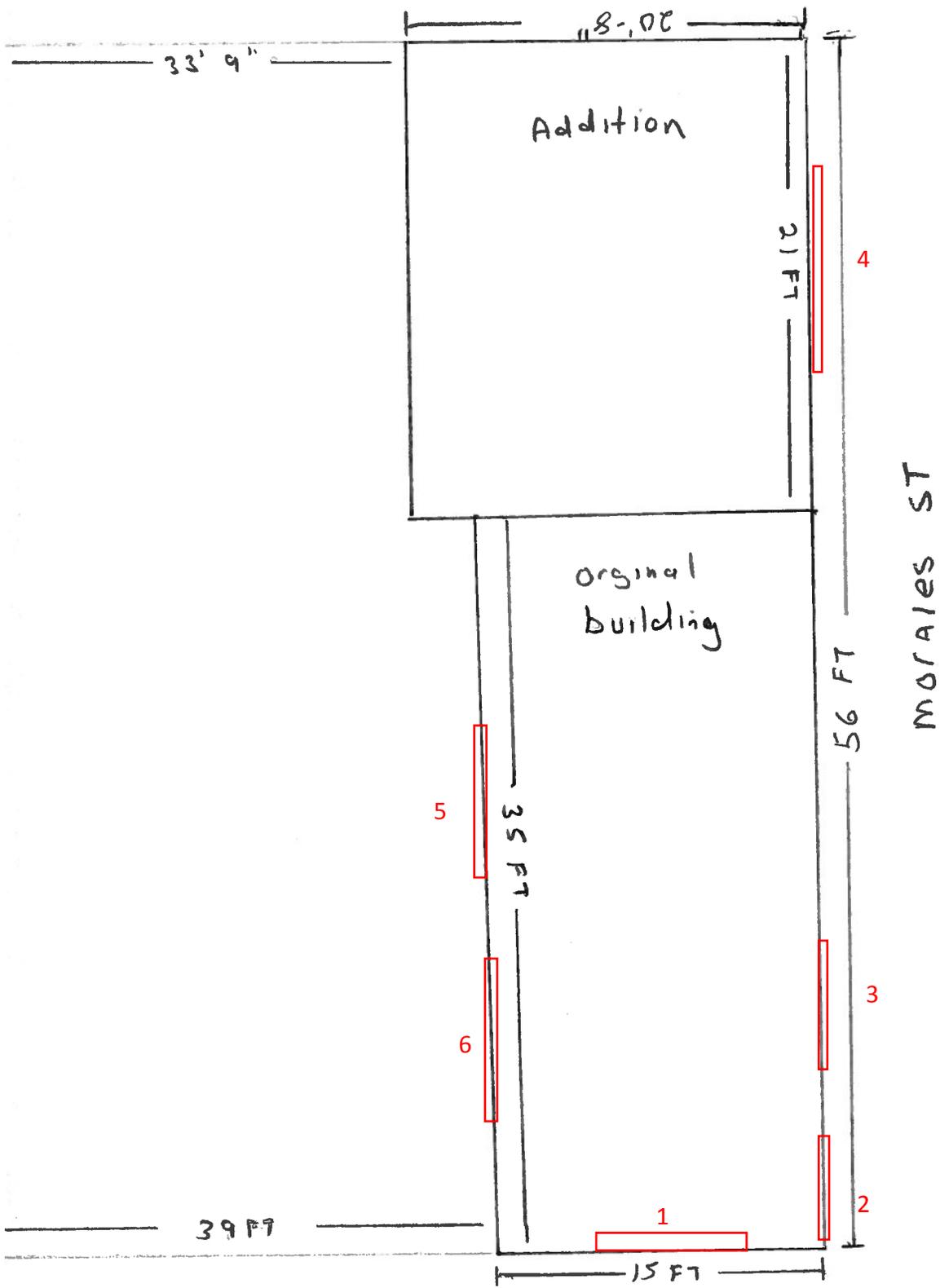
PRESENTATION 523 NORTH COLORADO

- 1 The plat of property and building. This is not to scale. The lot is 54 ft. frontage on Colorado St and 56 frontages on Morales St. The original building is 15 ft by 35 ft. The addition is 25 ft by 20 ½ feet.
- 2 Elevation of front view of property. Not to scale.
- 3 Picture of front view. All damaged siding will be replaced with #117 yellow pine siding which is original to building. The trim boards shall be yellow pine original to building. The front entrance doors will be wood doors with ½ screens. If the front doors are not used for entrance and rear doors are used for entrance, then front doors will be wooden with 9 lite windows. Screen doors will be added as original to building. The front part of building shall be painted white with green trim as original to building. The doors shall be treated with transparent stain original to building.
- 4 Picture and description of proposed material for front part of building.
- 5 North side elevation view. Not to scale.
- 6 Pictures of north side of building (2 pictures). All damaged siding will be replaced with #117 yellow pine siding as original to building. All trim boards will be yellow pine. Toward the front of north side of building is a repaired area of siding which once had a door. This area will be repaired to place a door original to building. The window shall have glass. The original roofing (for all front part of building) shall be cleaned, pressured washed and then treated with a white coating as original to building. Should original roofing not be salvageable then a new metal roof will be installed whose appearance shall be as original as possible. The addition rear part of building shall have wooden doors for entrance; siding repair shall be composite 4by8 sheets with white wood trim boards as original to building. Doors will be treated with transparent stain; siding will be painted beige and trim will be brown as original to building.
- 7 Picture and description of proposed material.
- 8 Elevation of rear building. Not to scale
- 9 Picture of rear of building. Any repairs shall be composite 4by8 siding, trim shall be white wood. The siding shall be painted beige and trim shall be painted brown.
- 10 Picture and description of proposed material.
- 11 Elevation of south side of building. Not to scale.
- 12 Pictures of south side of building (two pictures). The addition part of building shall have 4by8 composite sheet for siding repairs and trim shall be white wood original to building. Siding shall be painted beige and trim boards shall be painted brown as original to building. Any repairs to

addition roof shall be composite flat roofing as original to building. The front part of south side of building shall have glass installed in the two sash windows(2ft by 4ft) original to building. Siding needing repair shall be #117 yellow siding and all trim boards shall be yellow pine. Siding shall be painted white and trim shall be painted green as original to building.

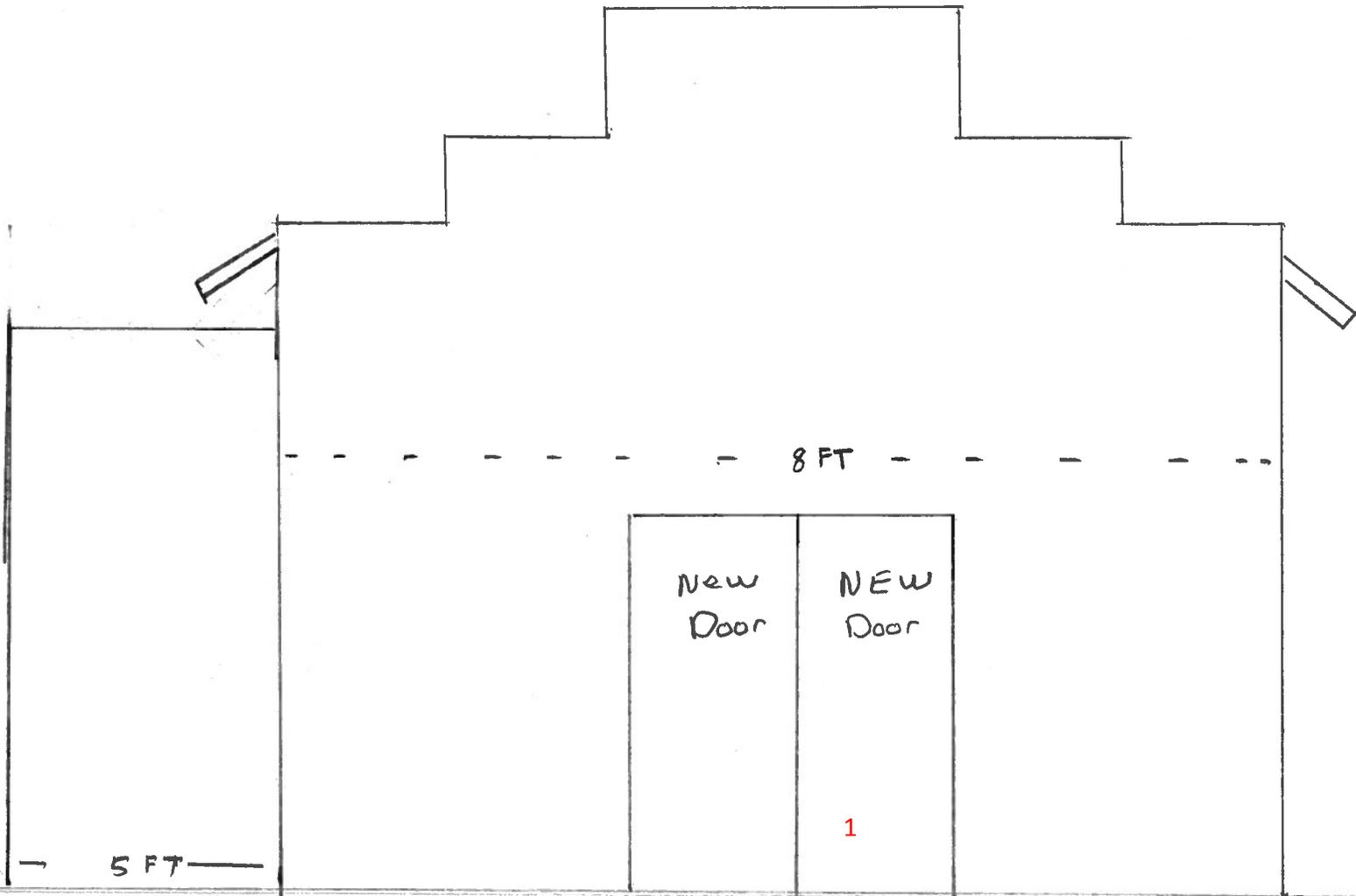
13 Picture and description of proposed material.

14 All hardware shall be in appearance as original to building.



523 COLORADO ST

NOT TO SCALE

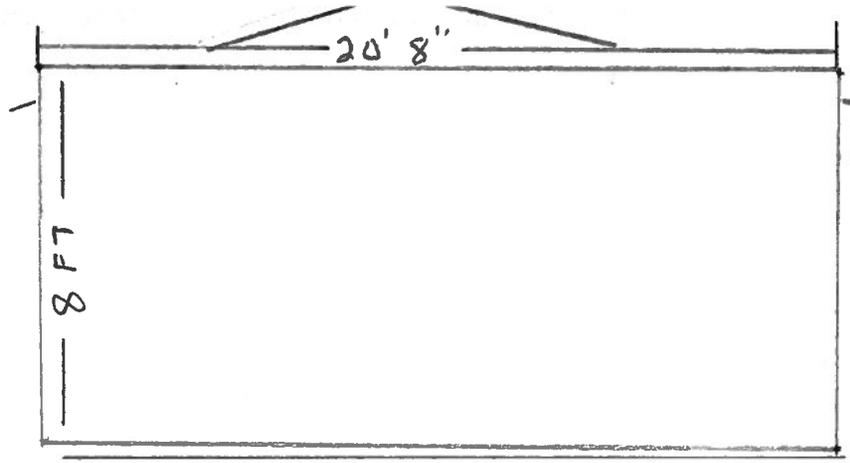


setback

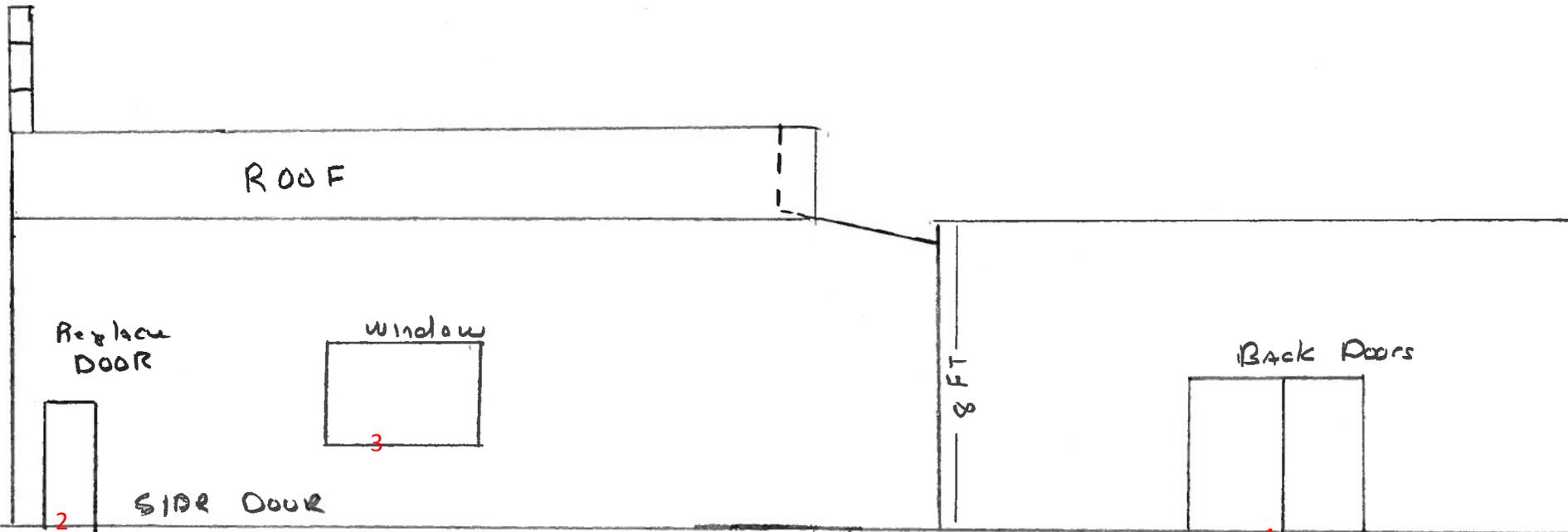
Front Elevation

NOT TO SCALE

522 COLORADO CT



Back view

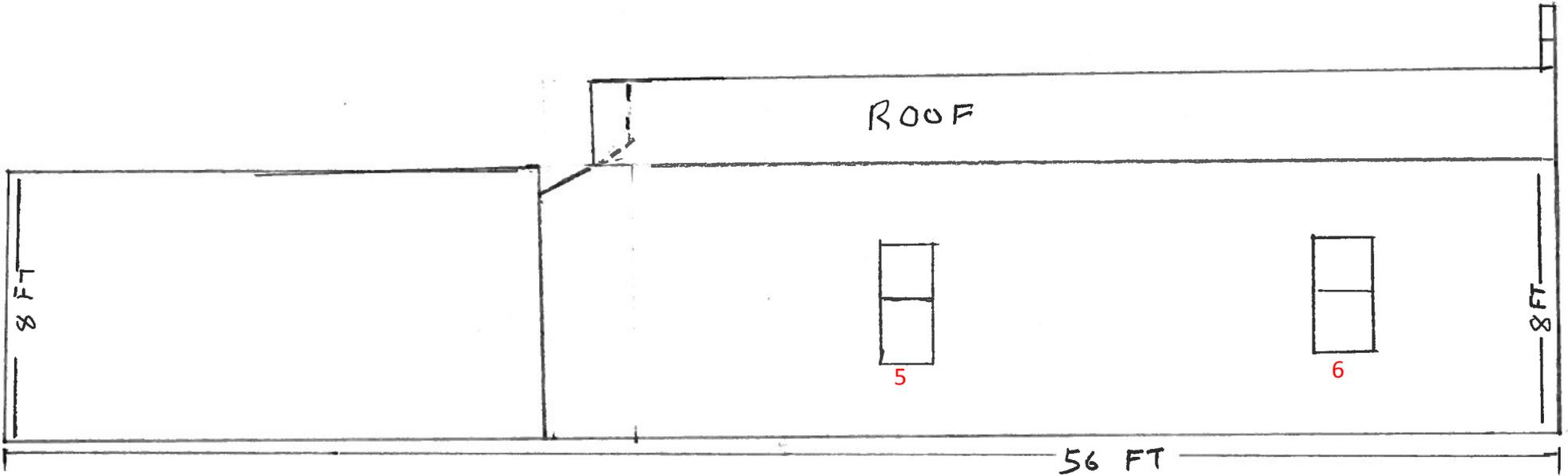


56 FT

NORTH view

MORALES ST.

NOT TO SCALE



SOUTH VIEW

NOT TO SCALE

FRONT
DOOR
(#1)



SKU: 1037

Description: SCREEN DOOR-WOOD*ECONOMY*T-BAR 3 0x6 8
2120000002

Retail Price: \$26.99/EA

Sale Price: \$25.99/EA

Quantity: [Print](#)

Quantity Available: 11

Disclaimer:

Users can request a quote for this product. Just add the item to your cart and click the Submit Quote button to get your quotation.

Screen Door Wood Economy T-Bar 3 0 X 6 8

Mortise and tenon solid wood construction add strength and durability. 1-1/8" x 2" stile creates strong framing member. Each joint sealed with a waterproof cross linking resin adhesive, Kiln dried to eliminate warping. UV resistant, fire retardant fiberglass insect screen. Beveled edges on framework. Spline applied screen allows easy repair. Reversible for left or right handed openings. Ready to paint. Easy to rescreen and comes with a 1-year warranty. Hardware not included. Fits 80" to 81" Opening.

Disclaimer:

FRONT DOOR

(#1)



SKU: 1009

Description: SCREEN DOOR-WOOD RAISED-PANEL 3 0x6 8

Retail Price: \$119.99/EA

Sale Price: \$109.00/EA

Quantity: [Print](#)

Quantity Available: 17

Disclaimer:

Users can request a quote for this product. Just add the item to your cart and click the Submit Quote button to get your quotation.

- 36" Wide x 80" Tall
- Solid wood (not fingerjointed)
- Frame joined with hardwood dowels for stronger joints
- Strong aluminum screening keeps the insects out
- Heavy duty door has wider stiles and bars
- Raised panel bottom



SIDE DOOR

RIGHT SIDE DOOR

BACK DOOR
(#4)

