

HISTORIC AND DESIGN REVIEW COMMISSION

October 05, 2016

Agenda Item No: 20

HDRC CASE NO: 2016-378
ADDRESS: 110 GLORIETTA
LEGAL DESCRIPTION: NCB 576 BLK B E 9.45 FT OF 2 & W 29.55 FT OF 3 ARB A13
ZONING: RM4 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Kyle Zochert
OWNER: Kyle Zochert
TYPE OF WORK: Porch and window fenestration modifications
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Create 3 new openings
2. Alter 5 existing window openings
3. Install 2 shutters to front of right windows
4. Encase two front porch posts with wood detail

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

FINDINGS:

- a. The home at 110 Glorietta is located in the Dignowity Hill Historic District, which was designated December 8, 1983. The home is bungalow style with a front gable, wood siding, standing seam metal roof, metal windows and

a front wrought iron fence.

- b. Work was done on the windows prior to approval. The applicant has submitted the required documentation and the fees have been paid.
- c. NEW OPENINGS - There are 4 existing openings on the left elevation: three windows and one sliding glass door. The rear elevation includes a non-historic back door opening. The right elevation includes 3 window openings. The applicant is proposing at this time to create 3 new window openings: a one over one wood window on the left elevation, a double one over one wood window on the rear elevation, and a horizontal 42" x 18" wood window on the right elevation. According to the Guidelines for Exterior Maintenance and Alterations 6.B.ii., new entrances are compatible in size, scale, shape proportion, material and massing with historic entrances. Staff finds the proposed openings on the left and rear consistent with the Guidelines, but finds the horizontal window not appropriate for the architectural style.
- d. ALTER WINDOW OPENING - There is an existing aluminum sliding glass door on the left elevation. The applicant is proposing to remove the door and install a wood single French door in its place. According to the Guidelines for Exterior Maintenance and Alterations 6.B.vii., non-historic incompatible windows should be replaced with windows that are typical of the architectural style. Staff finds the proposal consistent with the Guidelines.
- e. ALTER WINDOW OPENING - There is an existing aluminum horizontal 24" x 12" window on the left elevation to the left of the existing sliding aluminum door. The applicant is proposing to remove the window and install a wood one over one window in its place. According to the Guidelines for Exterior Maintenance and Alterations 6.B.vii., non-historic incompatible windows should be replaced with windows that are typical of the architectural style. Staff finds the proposal consistent with the Guidelines.
- f. ALTER WINDOW OPENING - There is an existing aluminum one over one window on the left elevation toward the rear. The applicant is proposing to remove the window and install a horizontal 42" x 18" wood window. According to the Guidelines for Exterior Maintenance and Alterations 6.B.vii., non-historic incompatible windows should be replaced with windows that are typical of the architectural style, and that window openings should be preserved. Staff finds the proposal to remove the aluminum window and replace with wood appropriate, but finds the proposal to alter the window opening and the proposed proportion not appropriate for the bungalow style home. Staff finds an appropriate window proportion would be vertical one over one.
- g. ALTER WINDOW OPENING - There is an existing aluminum one over one window on the right elevation toward the rear. The applicant is proposing to remove the window and fill in the opening. According to the Guidelines for Exterior Maintenance and Alterations 6.A.i., original window openings should be preserved. Staff finds the proposal to infill the window not consistent with the Guidelines. Staff recommends the window opening be retained.
- h. ALTER WINDOW OPENING - There is an existing aluminum one over one window on the right elevation. The applicant is proposing to shift the opening to the right of the existing, historic opening. According to the Guidelines for Exterior Maintenance and Alterations 6.A.i., original window openings should be preserved. Staff finds the proposal to alter the original opening not consistent with the Guidelines. Staff recommends the opening be retained.
- i. SHUTTERS - There is a front double one over one window on the right. The applicant is proposing to install shutters on either side of this window. According to the Guidelines for Exterior Maintenance and Alterations 6.B.x., shutters should be installed only where they existed historically and where appropriate to the architectural style of the house. Staff finds that shutters are not appropriate for bungalow style homes, thus the proposal is not consistent with the Guidelines.
- j. FRONT PORCH POSTS - There are two existing 4"x4" wood posts under the front porch gable. The applicant is requesting to wrap the bottom of the existing original posts with wood to create a column base painted white. According to the Guidelines for Exterior Maintenance and Alterations 6.B.iv., new elements should be compatible with the architecture or style of the structure and not distract from the character of the building. Staff finds the proposal distracts from the simplicity of the architecture, thus not compatible with the home and not consistent with the Guidelines.

RECOMMENDATION:

Staff recommends approval of items #1 and 2 based on findings a through h with the following stipulations:

1. That the new opening installed on the right elevation be a one over one window as noted in finding c.
2. That the window to be installed on the left toward the rear be a one over one window as noted in finding f.

3. That the window opening on the right toward the rear be retained as noted in finding g.
4. That the window opening be retained as noted in finding h.

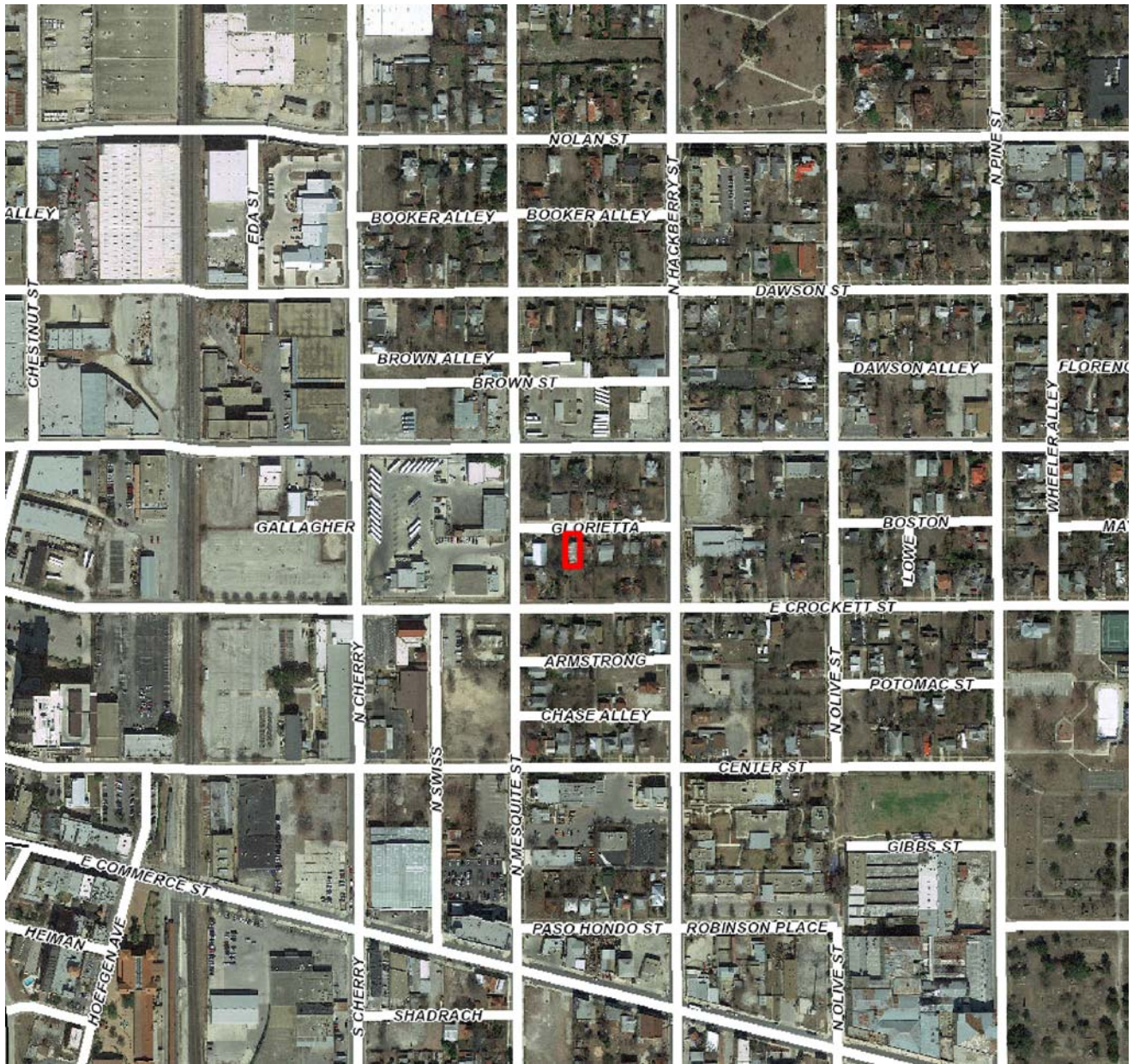
Staff recommends denial of item #3 and 4 based on finding i and j.

CASE MANAGER:

Lauren Sage

CASE COMMENTS:

Work was done prior to receiving a Certificate of Appropriateness. The applicant has submitted the required documentation and the fees have been paid.



Flex Viewer

Powered by ArcGIS Server

Printed: Jul 20, 2016

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CITY of SAN ANTONIO
NOTICE of HEARING
HISTORIC & DESIGN
REVIEW COMMISSION

ADDRESS: 110 ALBERTA
REQUEST: HISTORIC PRESERVATION NOTIFICATION PERIODIC MAINTENANCE
HEARING DATE: 10-5
TIME: 3:00 P.M.
FOR MORE INFORMATION CONTACT
(210) 215-9274
ALL HDRC MEETINGS TAKE PLACE AT 1901 S. ALAMO



AC409

JC
DISPOSAL
ROLL-OFF CONTAINERS
(214) 440-9130 / (214) 779-7651

4009

110

NOTICE OF SALE
The City of Dallas is offering for sale the property located at 1109 E. 11th St., Dallas, Texas 75203. The property is being sold "AS IS" without warranty of any kind. The City of Dallas is not responsible for any liens or encumbrances on the property. The property will be sold at a public auction on the 15th day of June, 2015, at 10:00 a.m. The property will be sold to the highest bidder. The City of Dallas is not responsible for any liens or encumbrances on the property. The property will be sold at a public auction on the 15th day of June, 2015, at 10:00 a.m. The property will be sold to the highest bidder.

Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Front Side 1



110 Glorietta
San Antonio, Texas 78202

Kyle Zochert
512.922.3865

Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Front Side 2



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Left Side 1



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Left Side 2



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Left Side 3



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Left Side 4



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Back Side 1



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Back Side 2



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Right Side 1



Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Right Side 2



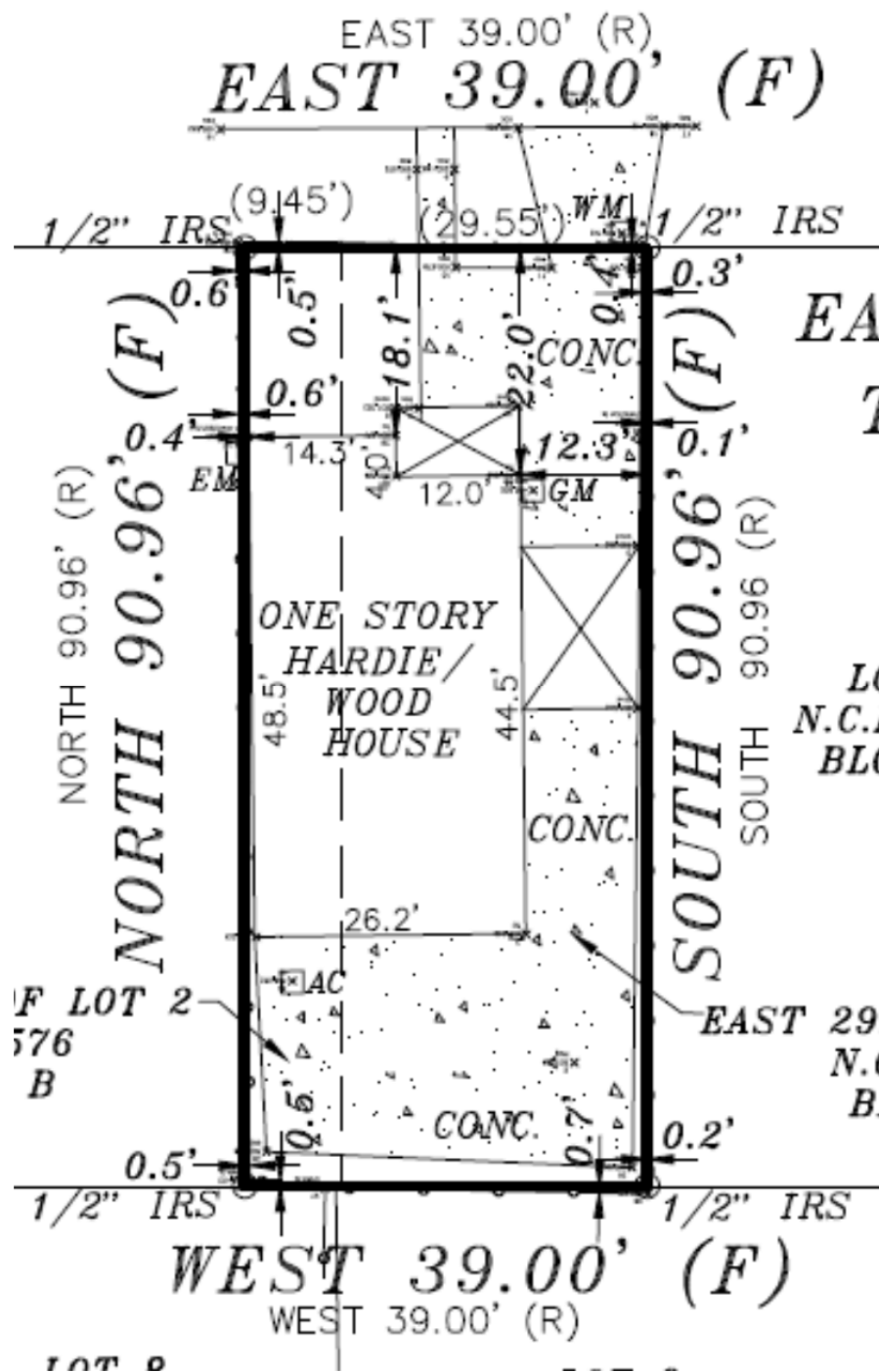
Photos of All Sides of the Structure and Site
(Color photos no smaller than 4" x 6")

Right Side 3



Site Plan

See Attached Survey





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Specifications of Materials to Be Used

Shutters

15 in. x 59 in. Alpha Raised Panel Shutters
(Below)



110 Glorietta

Porch Column Elevation Diagram



Specifications of Materials to Be Used

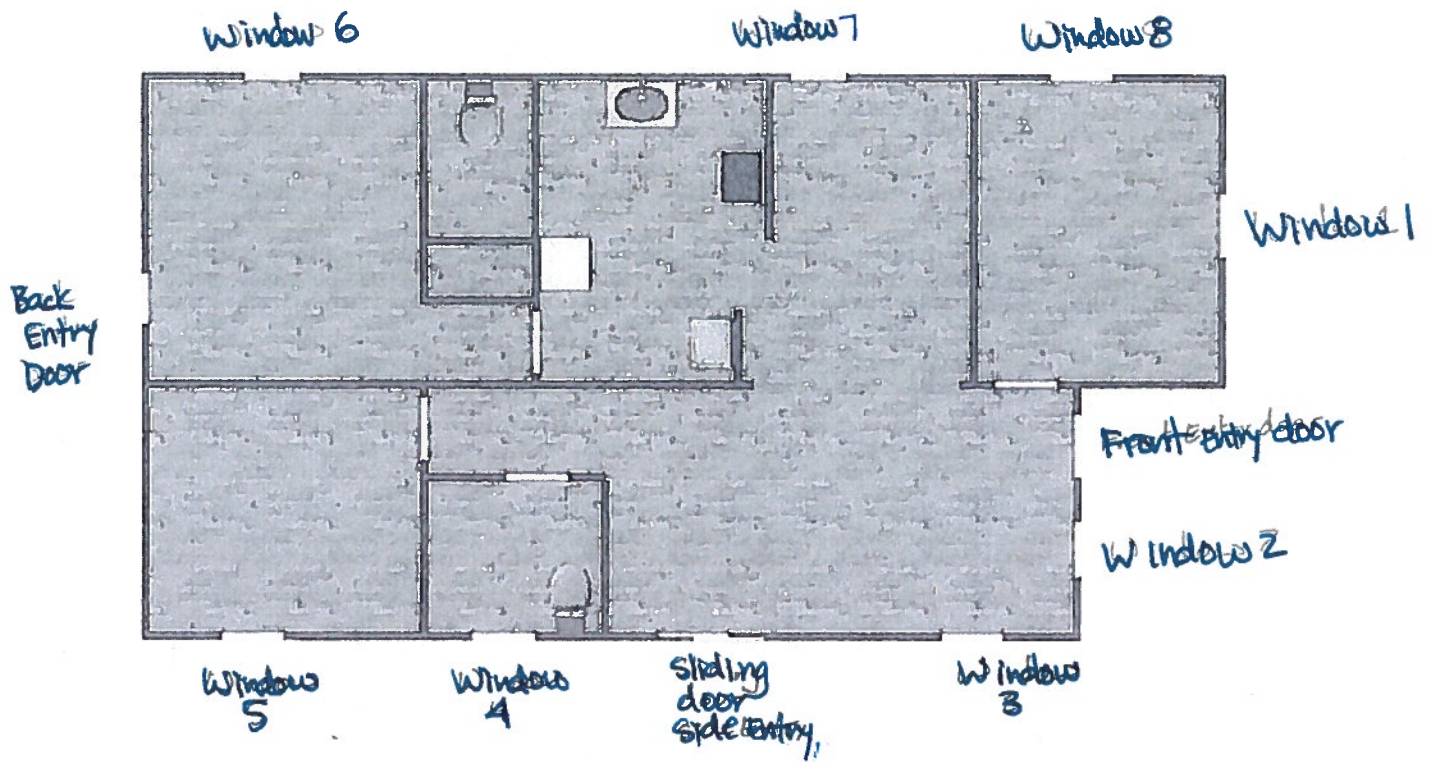
Front Porch Columns

Painted White



110 Glorietta

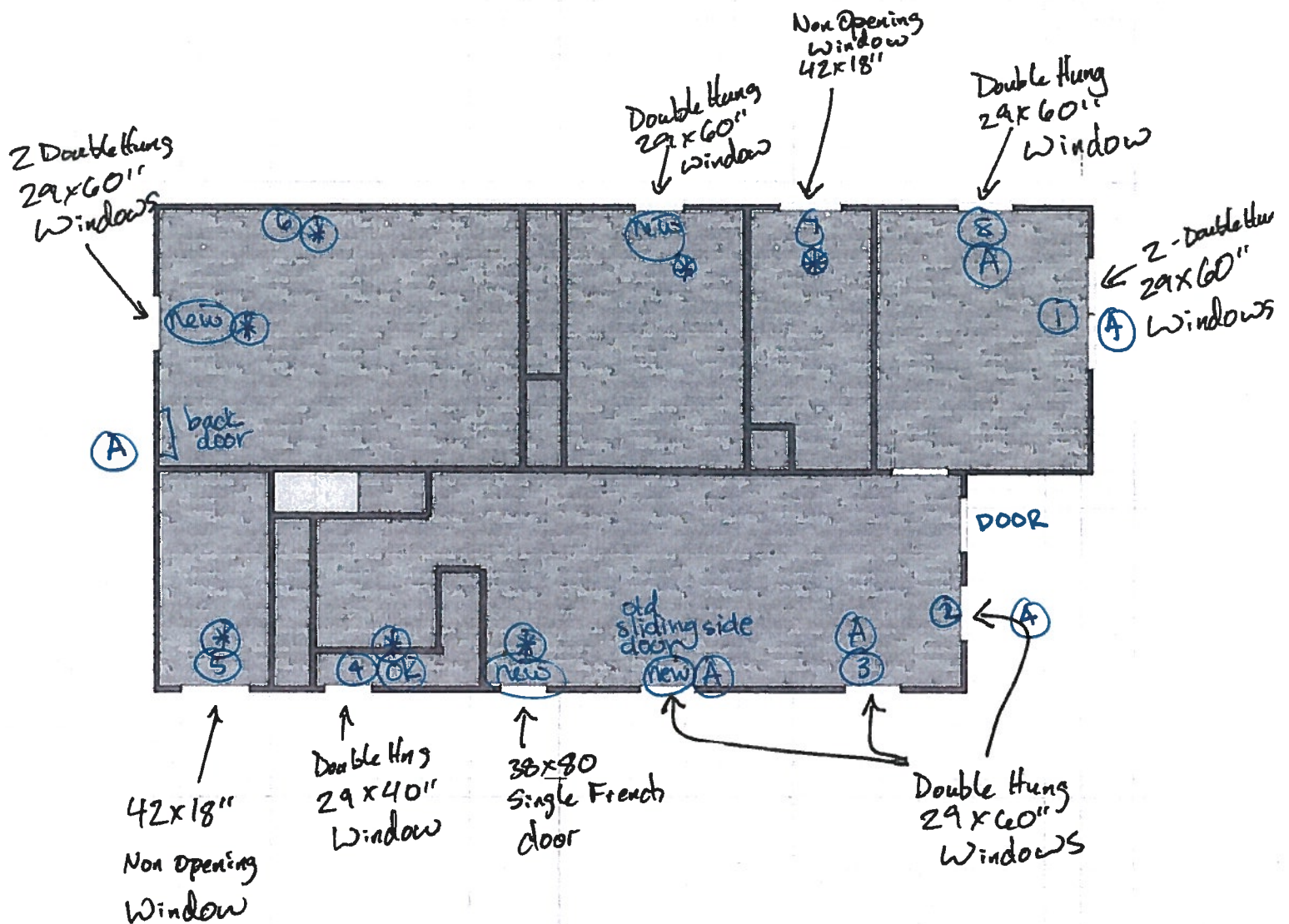
EXISTING CONDITIONS
Previous
Window/Door Layout



110 Glorietta

* requests for HDR Con
10/5/16

PROPOSED Window Layout (All wood)



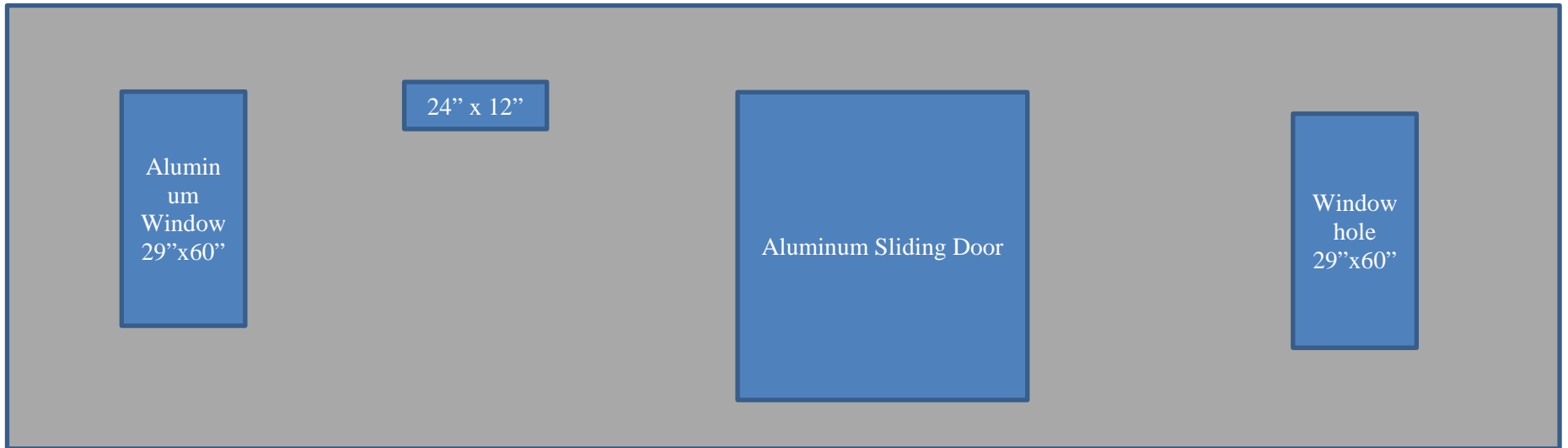
STAFF NOTES

Today's request:

Window	Existing Condition	Proposal	0
Window (new, left)	siding/wall	Single French wood door	
Window 4	horizontal small aluminum	29' X 40" one over one wood window	
Window 5	aluminum one over one	horizontal wood window	
Window (new, rear)	siding/wall	double one over one wood window	
Window 6	aluminum one over one	infill	
Window (new, right)	siding/wall	one over one wood window	
Window 7	aluminum one over one	horizontal wood window	

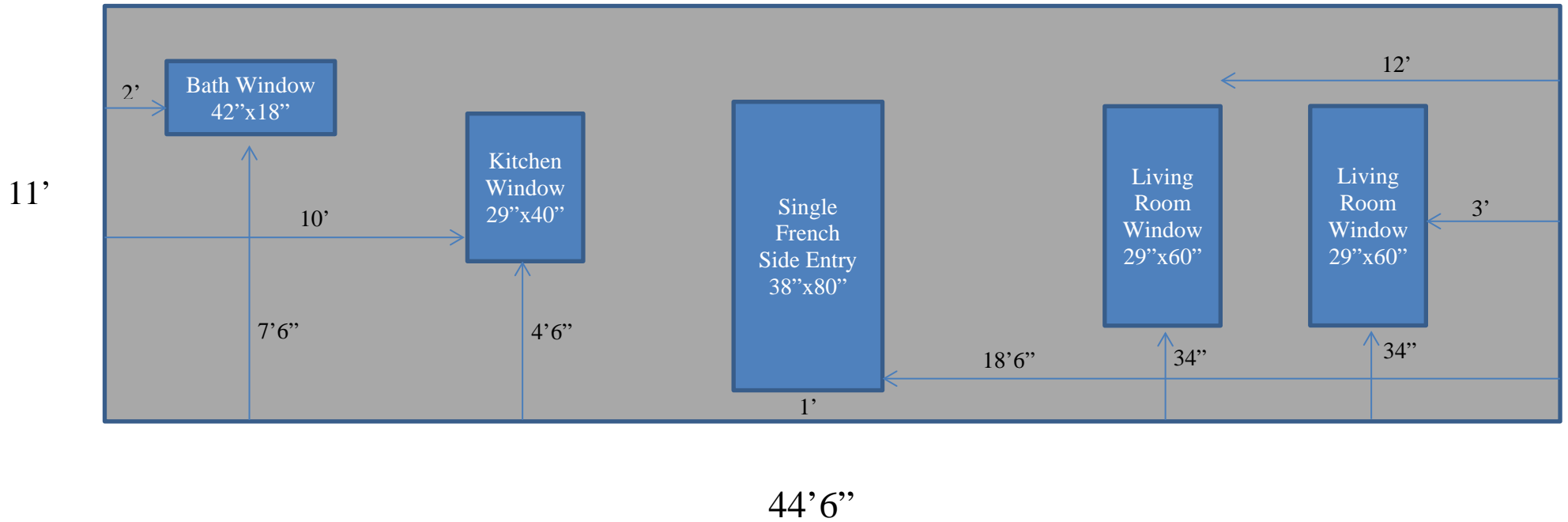
110 Glorietta
Left Side Elevation
Old Layout

11'

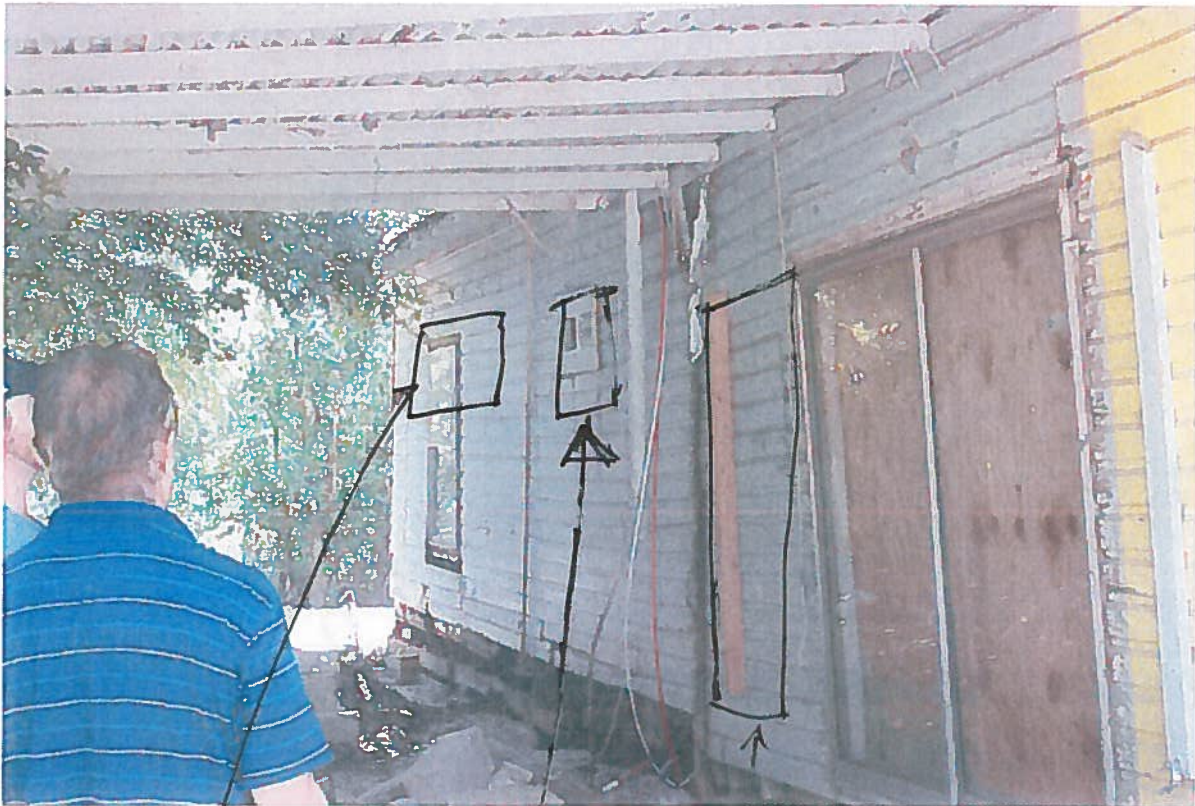


44'6"

110 Glorietta
Left Side Elevation
Proposed Layout



Left Side



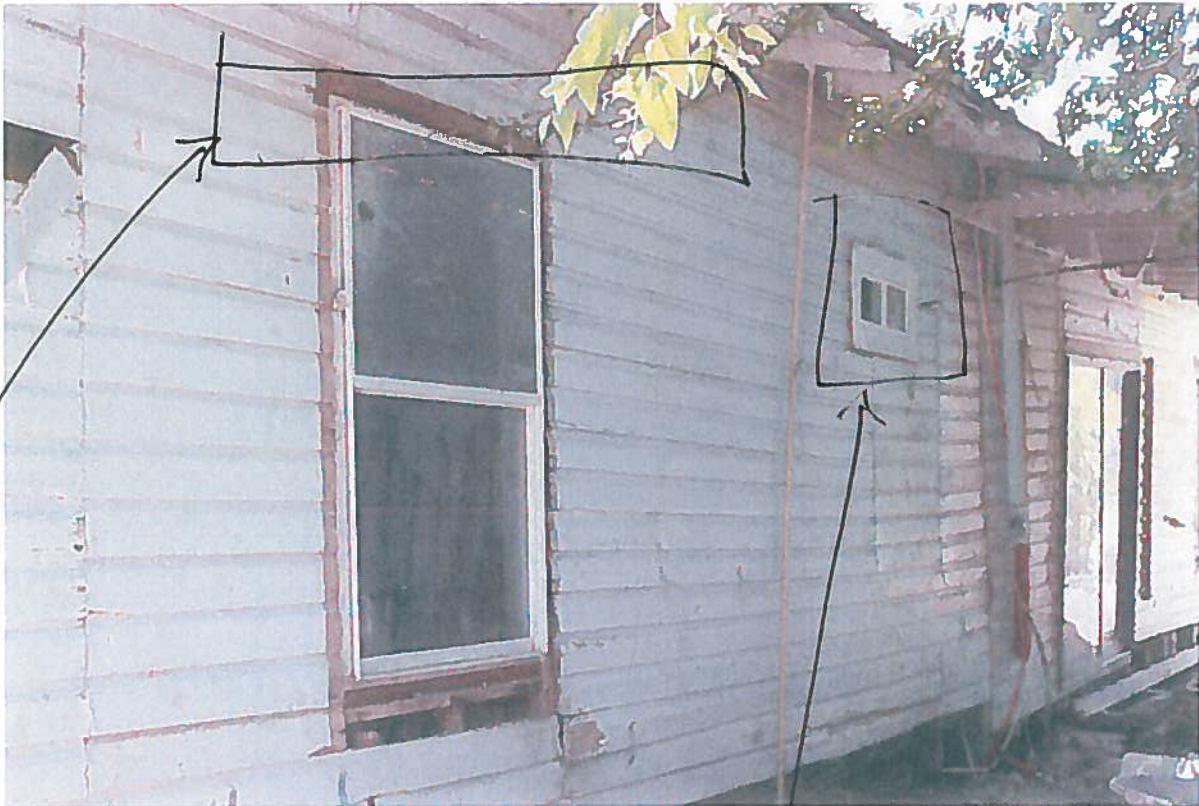
42x18"
Non-opening
Window

29x40"
Double Hung
Window

Add French
door (single)

Sliding Door
(to be replaced)
w/ Window

Left Side



42x18"
Non-opening
Window

Window 5
(to be replaced)

29x40"
Double Hung
Window

Window 4

Specifications of Materials to Be Used

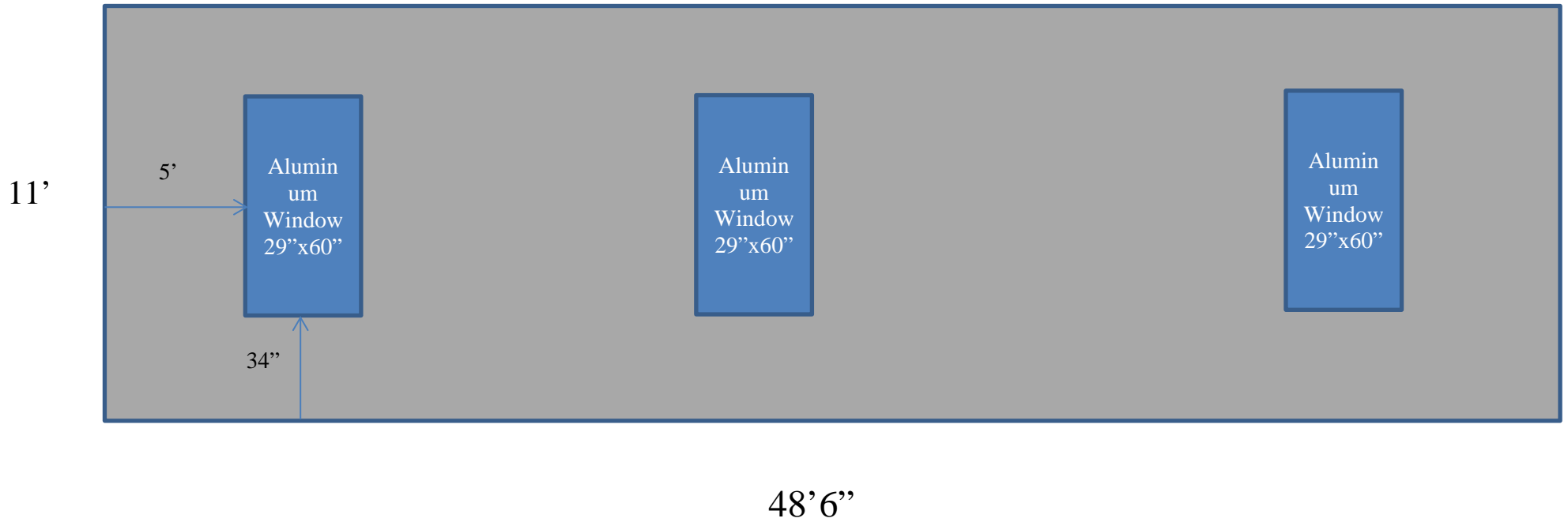
Single French Door

Door for Left Side Entry

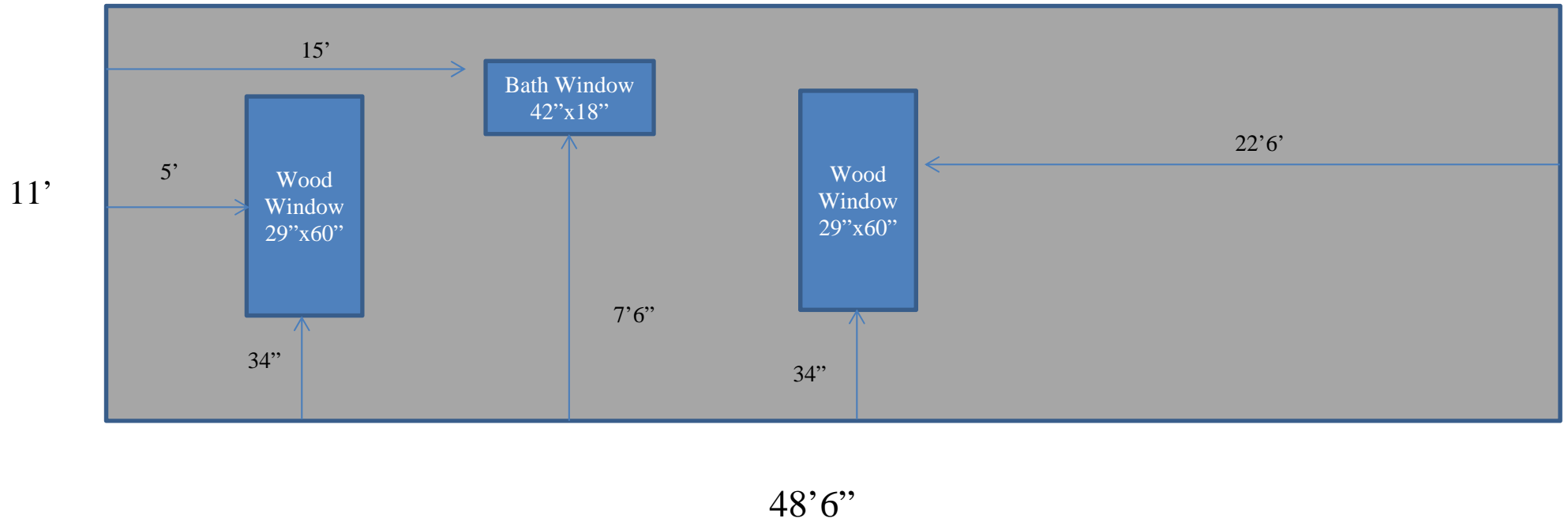
38 in. x 80 in. JELD-WEN Single French Premium 9 Lite Wood Door
(Below)



110 Glorietta
Right Side Elevation
Old Layout



110 Glorietta
Right Side Elevation
Proposed Layout



110 Glorietta
San Antonio, Texas 78202

Kyle Zochert
512.922.3865



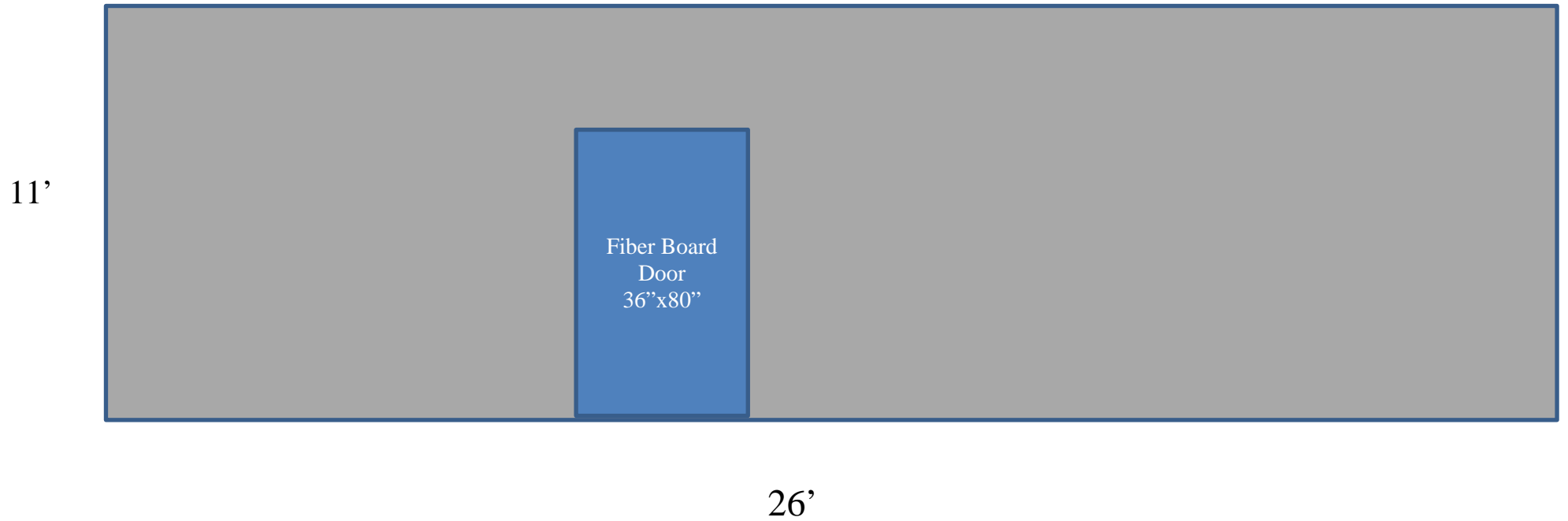
110 Glorietta
San Antonio, Texas 78202

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512.922.3865

New Window Placement



110 Glorietta
Back Side Elevation
Original Layout



110 Glorietta
Back Side Elevation
Proposed Layout

