

HISTORIC AND DESIGN REVIEW COMMISSION

November 16, 2016

Agenda Item No: 2

HDRC CASE NO: 2016-455
ADDRESS: 817 NOLAN
LEGAL DESCRIPTION: NCB 549 BLK 9 LOT 5&6
ZONING: R-6 CD H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Willie & Guadalupe Francois
OWNER: Willie & Guadalupe Francois
TYPE OF WORK: Historic Tax Certification
REQUEST:

The applicant is requesting Historic Tax Certification for the property at 817 Nolan.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualifications:

(a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:

- (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
 - (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

(d) Certification.

- (1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.
- (2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.

(g) Eligibility.

- (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

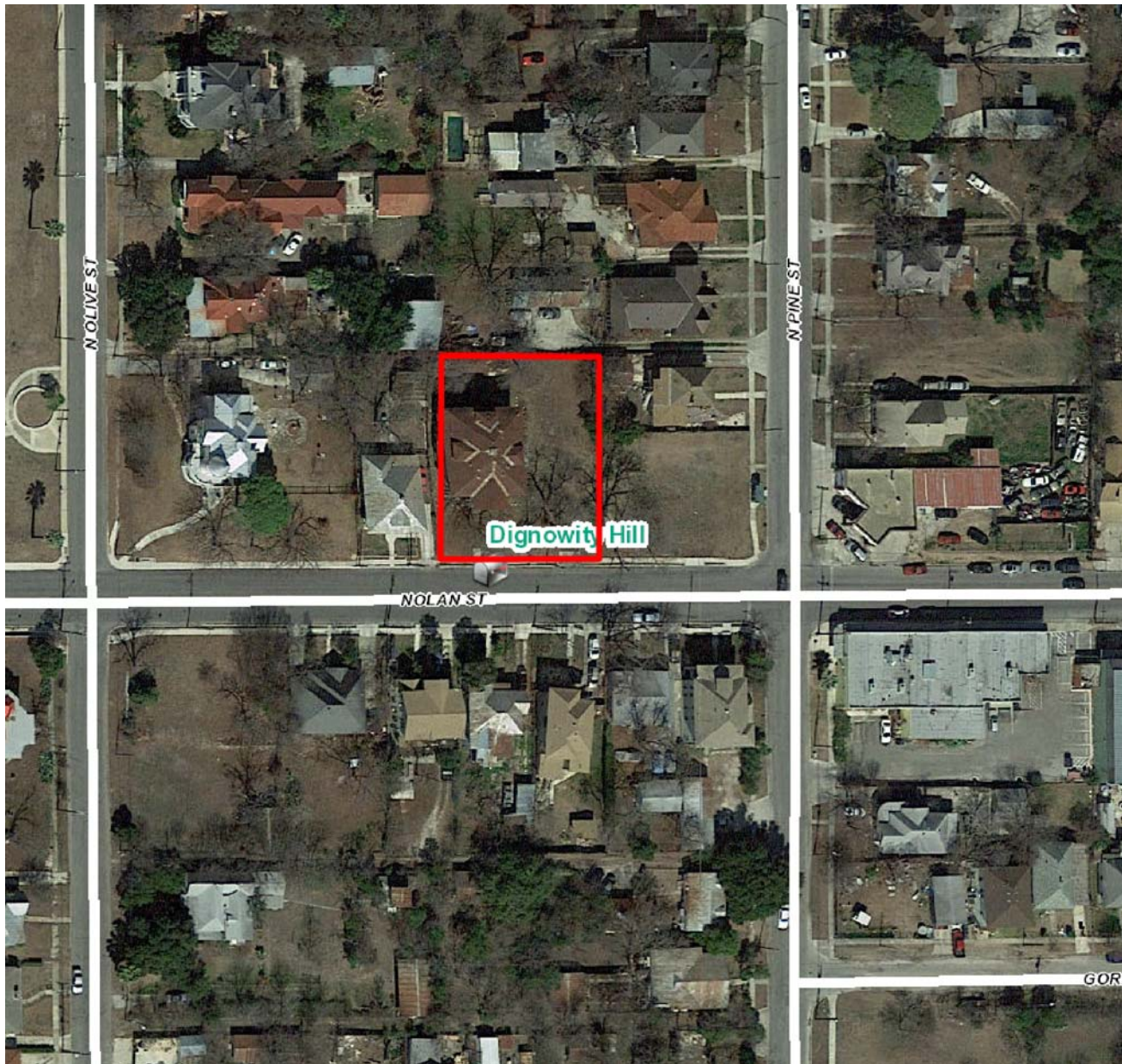
- a. The applicant is request Historic Tax Certification for the property at 817 Nolan, in the Dignowity Hill Historic District.
- b. At the December 3, 2014, HDRC hearing, the applicant received approval for the addition of a porch on the east façade, the addition of a porch to the first and second floors on the rear façade, the installation of a ramp to the east façade, to modify existing window and door openings, to enclose an existing rear porch, to replace dormer vents with windows, to add a porte-cochere to the east façade, to install a driveway with pavers and to replace windows in kind. The case file for that request indicated that the applicant had received Historic Tax Certification in 2006.
- c. The requirements for Historic Tax Certification outlined in UDC Section 25-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs and an itemized list of costs.

RECOMMENDATION:

Staff recommends approval based on findings a through c.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Nov 07, 2016

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rentanational.com

CLOSED CIRCUIT
TELEVISION
AND
AUDIO MONITORING
ON PREMISES



817 Nolan Street

Nolan St

Nolan St

Nolan St

Nolan St

N Olive St

N Olive St

N Pine St

N Pine St

N Olive St

N Olive St

N Pine St

N Pine St



Panchos & Gri



Expre











To the Office of Historic Preservation

My husband and I are submitting a Tax Certificaton Application for our property located at 817 Nolan. This house was converted into a duplex early in the 20th century we believe and we have converted it back to a single family residence.

The exterior modifications made were adding 2nd story porches on the east and north side of the house, a roof over a section of the wrap-around porch on the east side of the house and a wrap-around porch on the south, east and north side of the 1st level of the house and new stairs to the south, east and north side of the house. This request was approved on Dec. 22, 2014 by your office and the request number is #2014-310.

Additional exterior work we did was adding double-pane insulated wood windows, a new foundation, a new metal roof, a new back porch spiral staircase and a new paint job. We will also be adding new gutters.

The house was never updated so we added a new:

- HVAC System with 3 units, one for each floor
- Plumbing System all the way to the curb to include new water heaters
- Electrical system

Because the house was a duplex, we had four kitchens and four small bathrooms and multiple rooms that made up bedrooms and living rooms for tenants. We have designed the interior of the house so that we now have:

1st Floor

- One large kitchen with new cabinets and countertops - This entailed knocking down interior walls that had made up two two kitchens, a small dining room and a hallway
- New mechanical room
- New kitchen pantry
- New "sports" room - We knocked down one wall and joined two rooms
- Formal living room
- Formal dining room
- Center room
- One guest bedroom
- One full bathroom
- New half-bathroom

2nd Floor

- The East side of the house is the Master Suite which includes the bedroom, bathroom and closet
 - One wall was knocked down to make up a large master bedroom
 - Two previous rooms make up the bathroom and closet
 - Master bathroom includes a new walk-in tiled shower along with a claw-foot tub
- Three guest bedrooms
- One Jack & Jill full bathroom joining bedrooms 1 and 2
- One full bathroom in the hallway
- One laundry room
- Closets were added to all guest bedrooms since the house didn't have any previously
- The few closets we had were reconfigured so that we now have two hallway closets and two small closets in the master bedroom

3rd Floor

- The attic was finished out so that we can use it as an office complete with new windows and a skylight that replaced original vents

Additional work done to the interior of the house:

- New sheetrock
- New foam insulation
- New paint job
- New support beams added to the 1st floor ceilings to add “stiffness” to the house
 - These beams are wrapped with stained wood for decorative appeal
- New 6” crown molding in every room
- All existing floor molding, door trim and window trim was sanded down to wood and restained
- All existing doors were sanded down to wood and stained to include the pocket doors separating the formal living room and dining room
- The four original claw foot tubs were refinished and used in the four full bathrooms
- An original kitchen sink and bathroom sink were refinished and used in the kitchen and laundry room
- All new bathroom vanities and countertops with new sinks and fixtures
- All new toilets
- All new lighting fixtures
- New smoke and carbon detectors throughout the house
- All of the original hinges and door fixtures not stolen are being reused
- The stairs, handrails and spindels were all sanded down and stained
- The hardwood floors will be sanded and stained

We started working on the house in April of 2015 but the approval was provided in December, 2014. The appraised value of the house in 2013 and 2014 was \$97,330 and \$105,780 respectively. My understanding is that taxes are determined based on the assessment prior to the improvements made. If that is the case, than the correct appraised value would be for the \$97,330 when looking at the correct assessed value for taxes.

Below is the assessed value of the 817 Nolan for the past five years from the Bexar County Appraisal District website for your review.

▼ Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2017	N/A	N/A	N/A	N/A	N/A	N/A
2016	\$328,100	\$69,900	0	398,000	\$0	\$398,000
2015	\$83,540	\$26,180	0	109,720	\$0	\$109,720
2014	\$95,070	\$10,710	0	105,780	\$0	\$105,780
2013	\$86,620	\$10,710	0	97,330	\$0	\$97,330
2012	\$84,760	\$10,710	0	95,470	\$0	\$95,470

With the 30% renovation to assessed value requirement, and assuming the \$97,330 assessed value is going to be used, we far exceed the \$29,199 renovation investment requirement with the exterior renovations alone. If you want to include work done on the interior of the house, I can certainly provide pictures of the inside of the house as well.

Below are the current expenses for renovation for 817 Nolan

817 Nolan Construction Expenses	Actual
New Central AC/Heating	14,760
New Plumbing	18,000
New Electrical	26,875
New Wood Insulated Windows	32,541
New Foam Insulation	15,000
New Foundation	32,432
New Metal Roof	22,250
New Tile Work and Granite	20,000
New Kitchen Cabinets	32,000
New Skylight	1,450
New Gutters	2,650
New Drywall	14,000
Interior & Exterior Paint Job	24,000
Refinishing of Clawfoot Tubs	4,840
Texas Bath Refinishers - Kitchen Sinks (for all 3)	350
CNM Welding - Staircase	5,100
National Construction Rentals (Rental Fence)	370
Construction of New Side, Back and Wraparound Porch, & Buildout of Interior Rooms	50,000
SUBTOTAL	316,618

Your consideration and approval of our Tax Certification application would be deeply appreciated.

Thank you

Lulu Francois



RENOVATION & ADDITIONS FOR MR. & MRS. ALLEN FRANCOIS

WILLS-LIPSCOMB ARCHITECTS
ACCUTECH CONSULTANTS, LLC STRUCTURAL ENGINEERING LLC
QUADTECH ENGINEERING, INC.

CONSTRUCTION DOCUMENTS
APRIL 11, 2006

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D501	DEMOLITION ELEVATIONS
D601	DEMOLITION ELEVATIONS
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A301	SECOND FLOOR PLAN
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S401	SITEGRADING PLAN, SCHEDULES, STRUCTURAL SPECIFICATIONS
S501	STRUCTURAL SPECIFICATIONS
S601	STRUCTURAL SPECIFICATIONS
S701	STRUCTURAL SPECIFICATIONS
M101	MECHANICAL FLOOR PLANS
M201	MECHANICAL SCHEDULES

SUMMARY CODE ANALYSIS

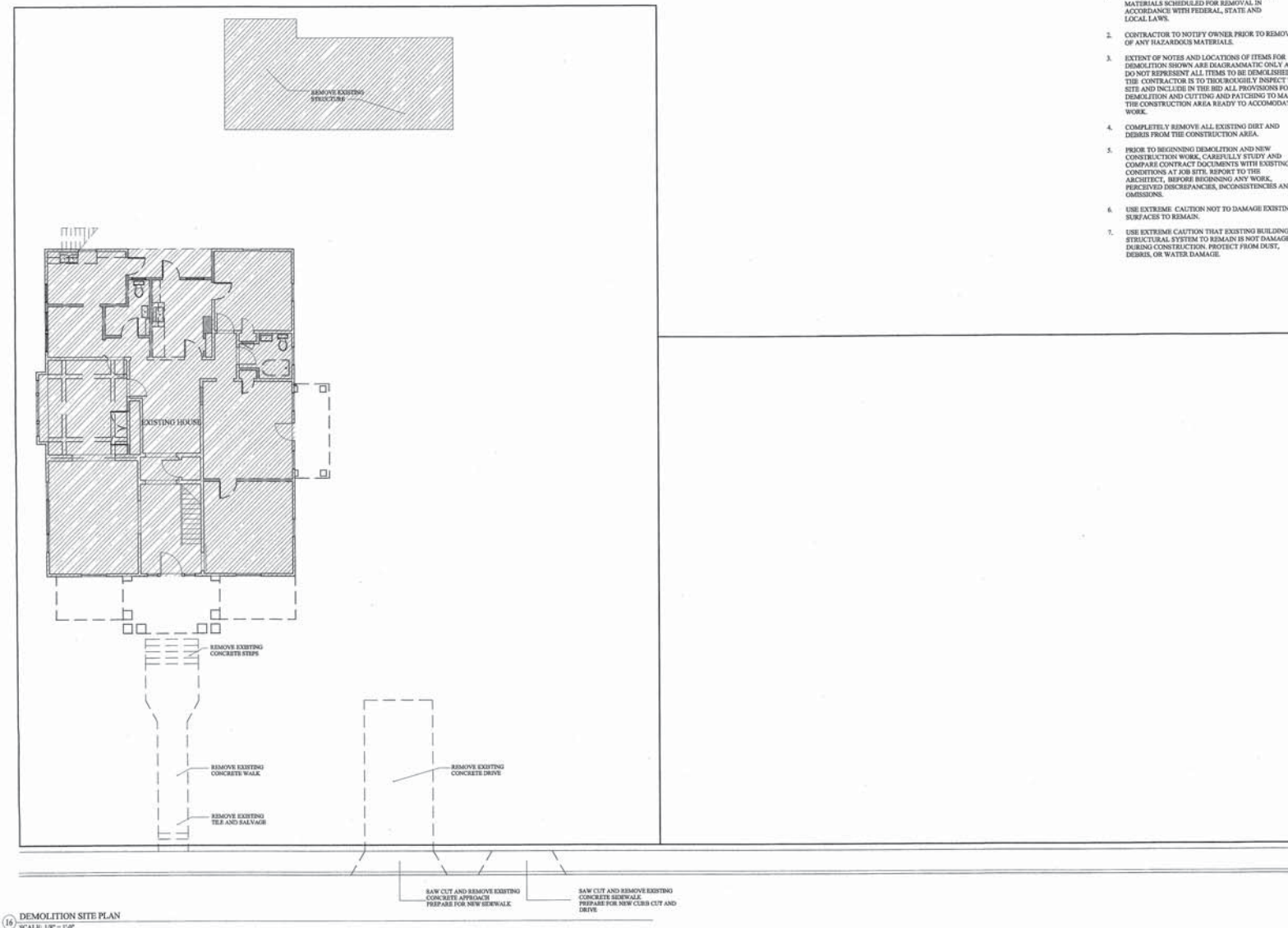
- PROJECT NAME AND DESCRIPTION
RENOVATIONS AND ADDITIONS FOR
MR. & MRS. ALLEN FRANCOIS
- PROJECT LOCATION
817 NOLAN STREET
SAN ANTONIO, TEXAS 78202
- APPLICABLE CODES:
INTERNATIONAL RESIDENTIAL CODE 2003 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE (NOT APPLICABLE)
- OCCUPANCY CLASSIFICATION
R-3 RESIDENTIAL
- CONSTRUCTION CLASSIFICATION
TYPE V-B
- HEIGHT & AREA LIMITS
3 STORIES
UL

VICINITY MAP



Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
817 NOLAN
SAN ANTONIO, TX
WILLS-LIPSCOMB ARCHITECTS
1118 N. MEADOW
SAN ANTONIO, TX 78202
714.861.8713
willslipcomb.com

1118 N. MEADOW
SAN ANTONIO, TX 78202



GENERAL NOTES:

1. CONTRACTOR TO REMOVE AND DISPOSE OF ALL MATERIALS SCHEDULED FOR REMOVAL IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS.
2. CONTRACTOR TO NOTIFY OWNER PRIOR TO REMOVAL OF ANY HAZARDOUS MATERIALS.
3. EXTENT OF NOTES AND LOCATIONS OF ITEMS FOR DEMOLITION SHOWN ARE DIAGNOSTIC ONLY AND DO NOT REPRESENT ALL ITEMS TO BE DEMOLISHED. THE CONTRACTOR IS TO THOROUGHLY INSPECT THE SITE AND INCLUDE IN THE BID ALL PROVISIONS FOR DEMOLITION AND CUTTING AND PATCHING TO MAKE THE CONSTRUCTION AREA READY TO ACCOMMODATE WORK.
4. COMPLETELY REMOVE ALL EXISTING DIRT AND DEBRIS FROM THE CONSTRUCTION AREA.
5. PRIOR TO BEGINNING DEMOLITION AND NEW CONSTRUCTION WORK, CAREFULLY STUDY AND COMPARE CONTRACT DOCUMENTS WITH EXISTING CONDITIONS AT JOB SITE. REPORT TO THE ARCHITECT, BEFORE BEGINNING ANY WORK, PERCEIVED DISCREPANCIES, INCONSISTENCIES AND OMISSIONS.
6. USE EXTREME CAUTION NOT TO DAMAGE EXISTING SURFACES TO REMAIN.
7. USE EXTREME CAUTION THAT EXISTING BUILDING STRUCTURAL SYSTEM TO REMAIN IS NOT DAMAGED DURING CONSTRUCTION. PROTECT FROM DIRT, DEBRIS, OR WATER DAMAGE.

Removals and Additions for

MR. & MRS. ALLEN FRANCOIS

WILLS LIPSCOMB ARCHITECTS

111 N. WILLOW ST. SUITE 100
SAN ANTONIO, TX 78204

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CONSTRUCTION DOCUMENTS

DATE 04/10/06

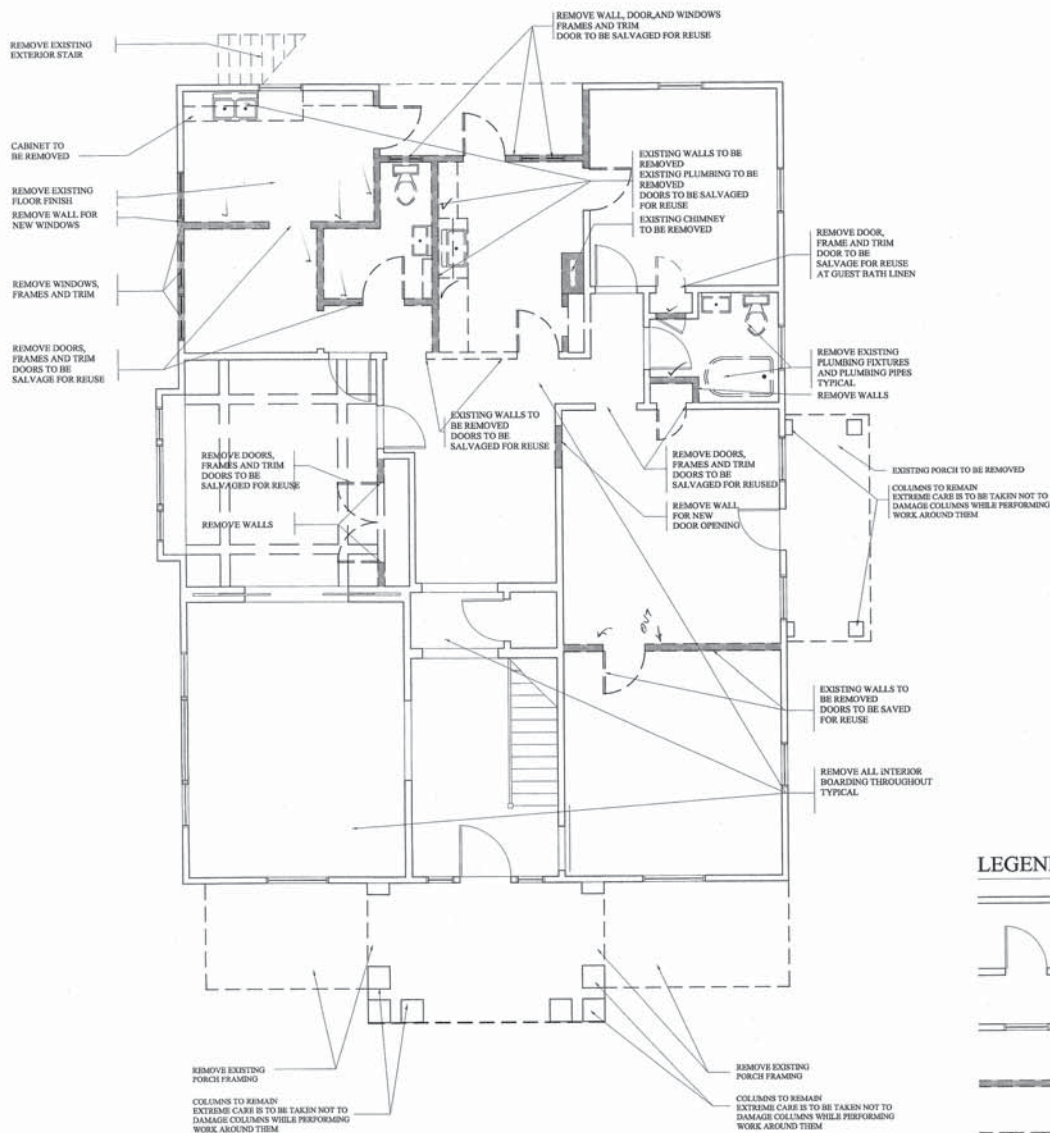
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CHKD BY JHW-L

SHEET NO

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LEGEND

	EXISTING WALL TO REMAIN		EXISTING CABINET TO BE REMOVED
	EXISTING DOOR TO REMAIN		EXISTING TOILET TO BE REMOVED
	EXISTING WINDOW TO REMAIN		EXISTING SINK TO BE REMOVED
	EXISTING WALL TO BE REMOVED		EXISTING SINK TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED		EXISTING TUB TO BE REMOVED
	EXISTING DOOR TO BE REMOVED AND SALVAGED		

16 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

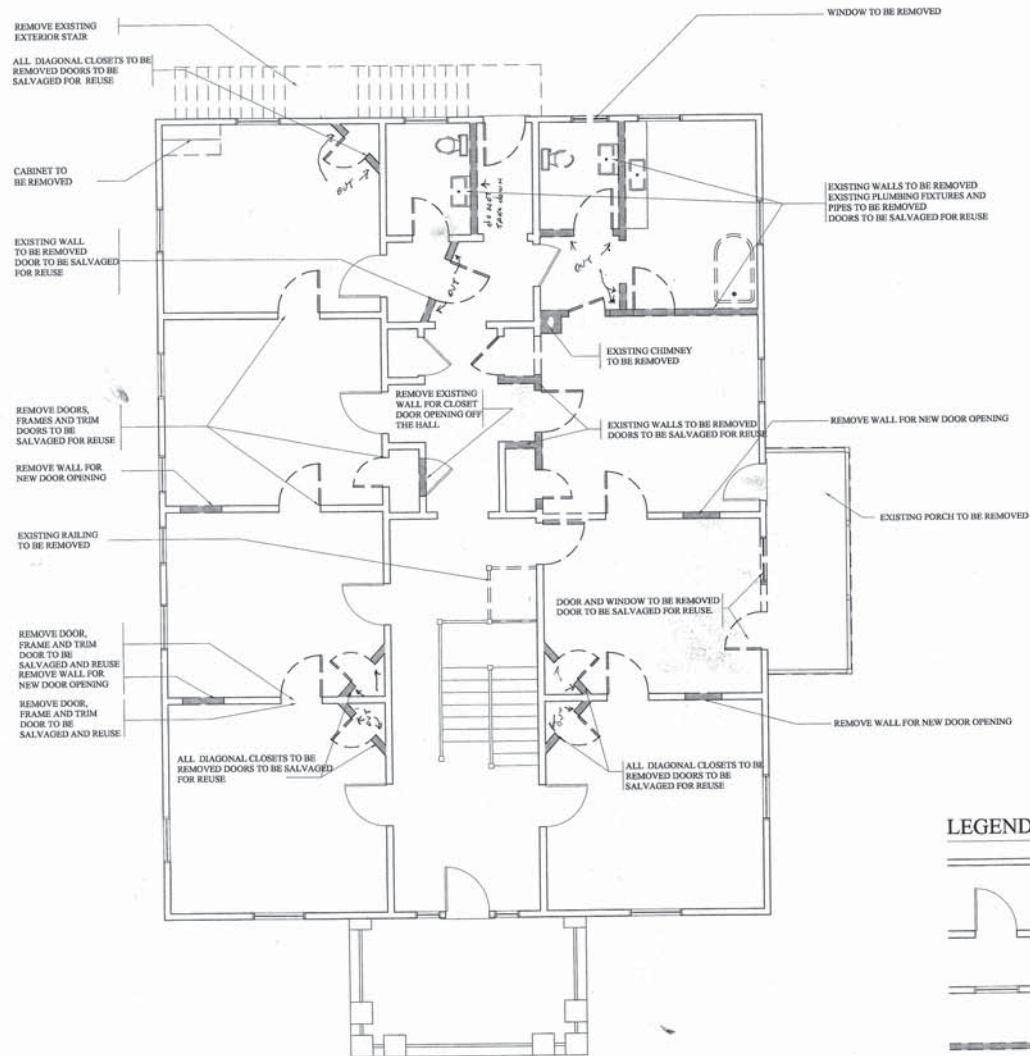
Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
HARRISBURG, PA
WILLIS LIPSCOMB ARCHITECTS
1111 N. GLENNWOOD
HARRISBURG, PA 17103
TEL: 717/633-0111
WWW.WLAD.COM
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CONSTRUCTION
DOCUMENTS

DATE: 04/06
DRWN BY: JBW-L
PROJ NO: 2004.06
CHKD BY: JBW-L
SHEET NO:

D201



GENERAL NOTES:

1. CONTRACTOR TO REMOVE AND DISPOSE OF ALL MATERIALS SCHEDULED FOR REMOVAL IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS.
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LEGEND

	EXISTING WALL TO REMAIN		EXISTING CABINET TO BE REMOVED
	EXISTING DOOR TO REMAIN		EXISTING TOILET TO BE REMOVED
	EXISTING WINDOW TO REMAIN		EXISTING SINK TO BE REMOVED
	EXISTING WALL TO BE REMOVED		EXISTING SINK TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED		EXISTING TUB TO BE REMOVED
	EXISTING DOOR TO BE REMOVED AND SALVAGED		

16 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

Renovation and Addition for
MR. & MRS. ALLEN FRANCOIS
417 WILSON
SAN ANTONIO, TX
WILLS-LIPSCOMB ARCHITECTS
211 E. WILSONWOOD
SAN ANTONIO, TX 78202
TEL: 512.345.1234
FAX: 512.345.1235
www.wills-lipscomb.com

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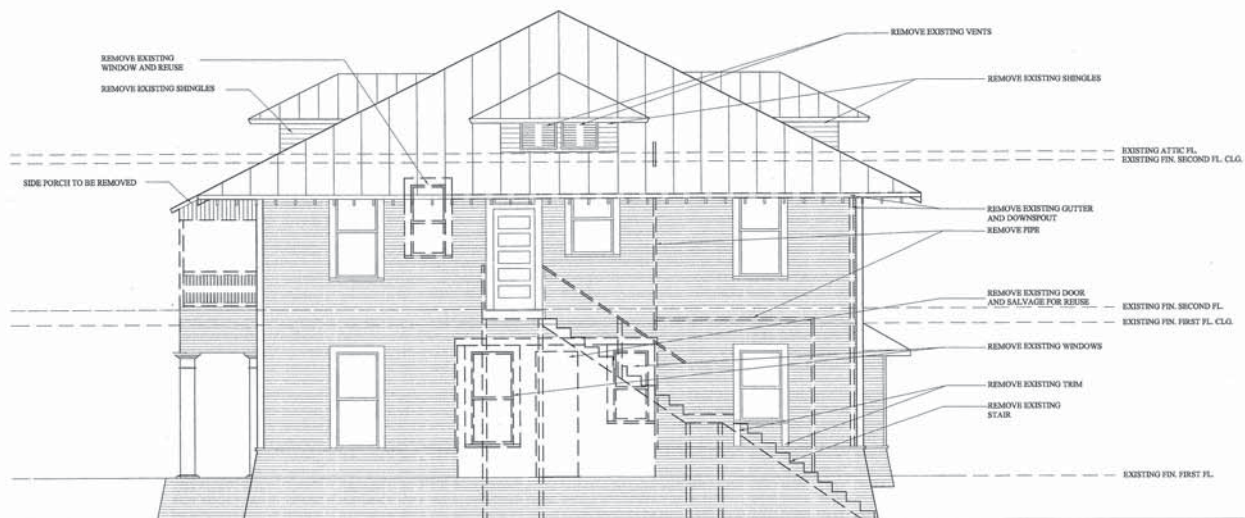
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SHEET NO:

D202



6 SOUTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"



16 NORTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
447 MCLEAN
SAN ANTONIO, TX
WILLIS LIPSCOMB ARCHITECTS
311 S. WILLOW
SAN ANTONIO, TX 78211
T 214.481.4711
www.willislipcomb.com

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DATE 04/08

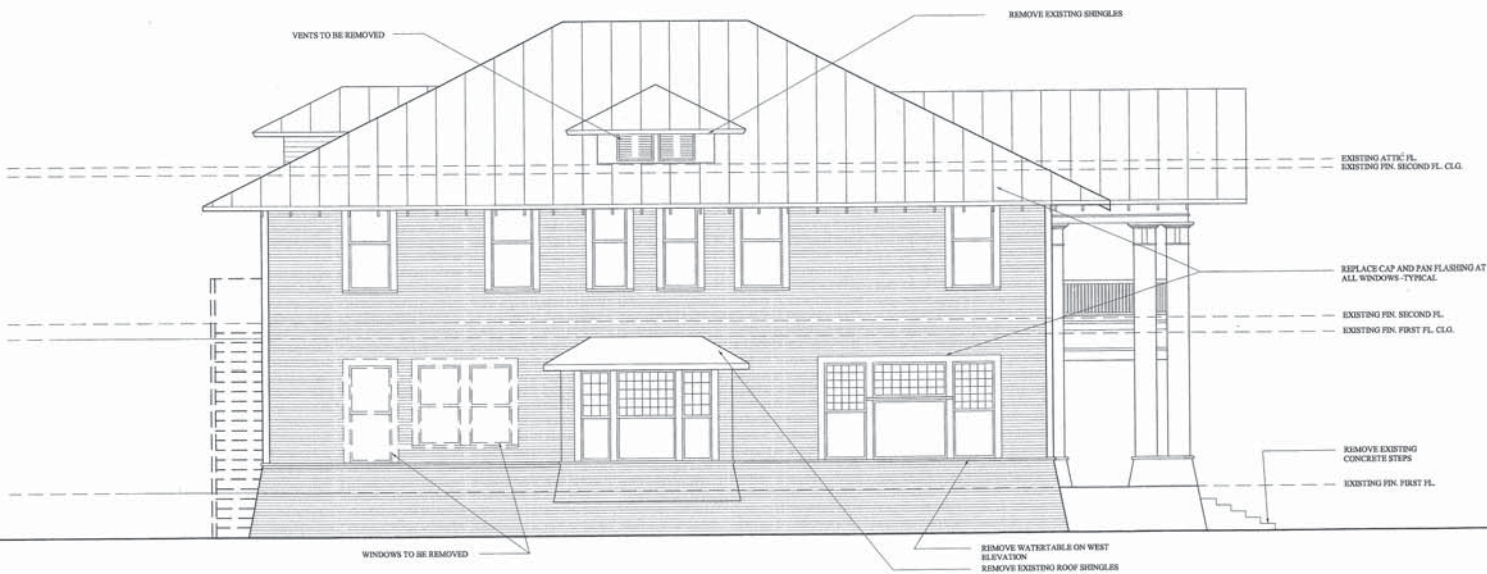
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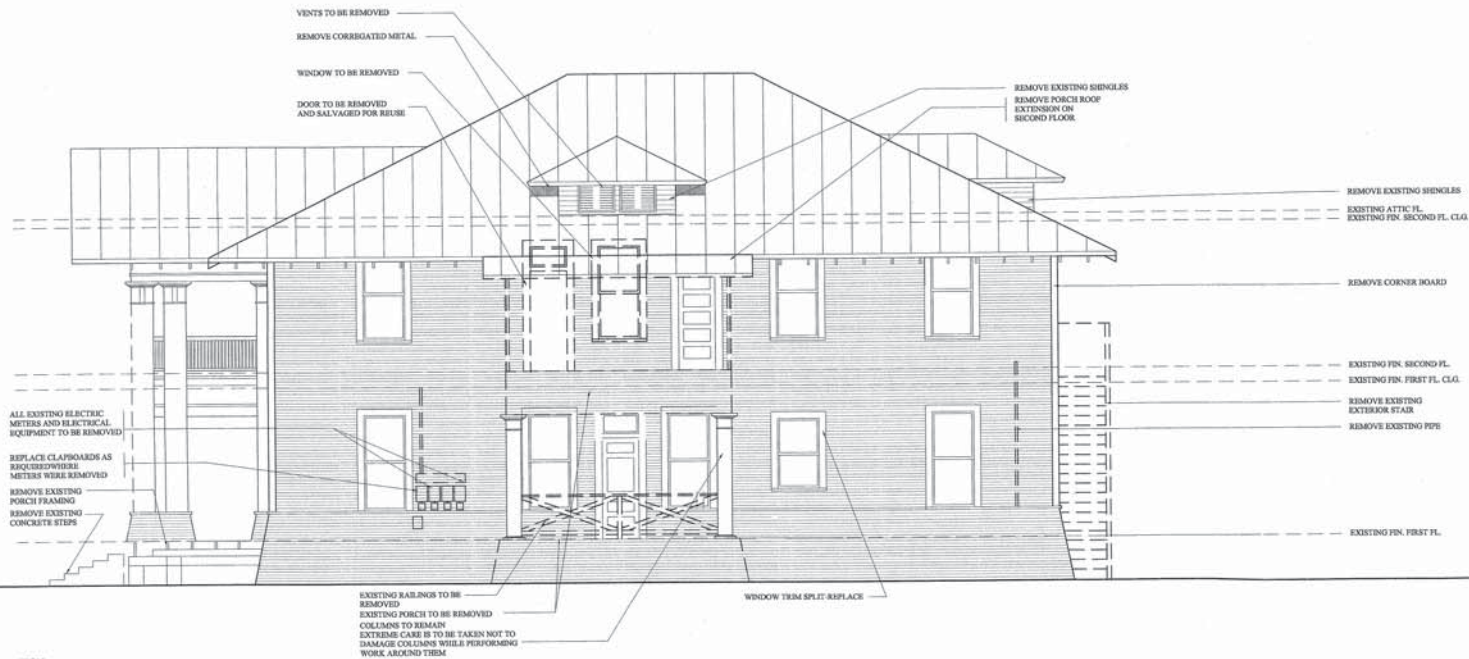
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D301



GENERAL NOTES:
 ANY ROTTEN CLAPBOARD, DOOR TRIM, WINDOW TRIM, RAFTER TAIL, OR ROOF BOARDING IS TO BE REPLACED
 FILL: ALL NAIL HOLES
 GAPS @ CLAPBOARDS AND TRIM
 REPLACE ALL WINDOW CAP AND PAN FLASHING AND SASH CORD
 REGLAZE WINDOWS AND REGULUS MUNTINS

6 WEST DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"



16 EAST DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"

Removals and Additions for
MR. & MRS. ALLEN FRANCOIS
 477 N. LAMAR
 SAN ANTONIO, TX
WILLIS LIPSCOMB ARCHITECTS
 1018 S. BURNHAM
 SAN ANTONIO, TX 78222
 TEL: 512.341.1111
 FAX: 512.341.1112
 www.willislipscomb.com

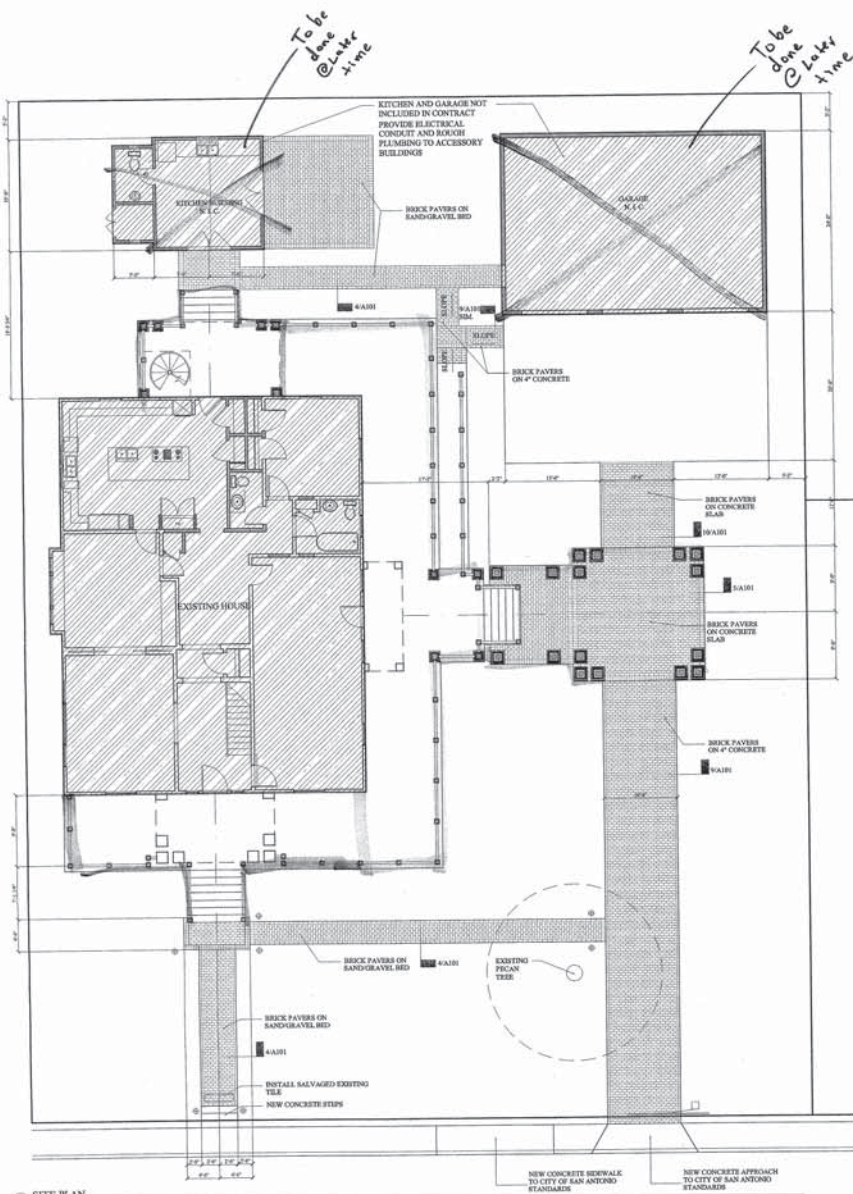
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CONSTRUCTION
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16 SITE PLAN
SCALE: 1/8" = 1'-0"

New square footage
Existing

SITE PLAN BASED ON SURVEY OF
LOTS 1 AND 4 AT 1717 HULAN STREET
SAN ANTONIO, TX. PREPARED BY
ROBIN GROUP INC., ROY BROWN,
PROFESSIONAL LAND SURVEYOR
11015 STARCHES
SAN ANTONIO, TX 78247-4117 AND
DATED JUNE 15, 2004 AND
SURVEY OF LOTS 1 AND 4 AT HULAN ST.
SAN ANTONIO, TX. PREPARED BY
STEPHEN G. COOK, PROFESSIONAL LAND
SURVEYOR, 1000 STARCHES, SUITE 107,
SAN ANTONIO, TX 78247-4117 AND DATED
JULY 3, 2004.

Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
417 HULAN
SAN ANTONIO, TX
WILLS-LIPSCOMB ARCHITECTS
311 S. WILLOW
SAN ANTONIO, TX 78222
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willslipcomb.com

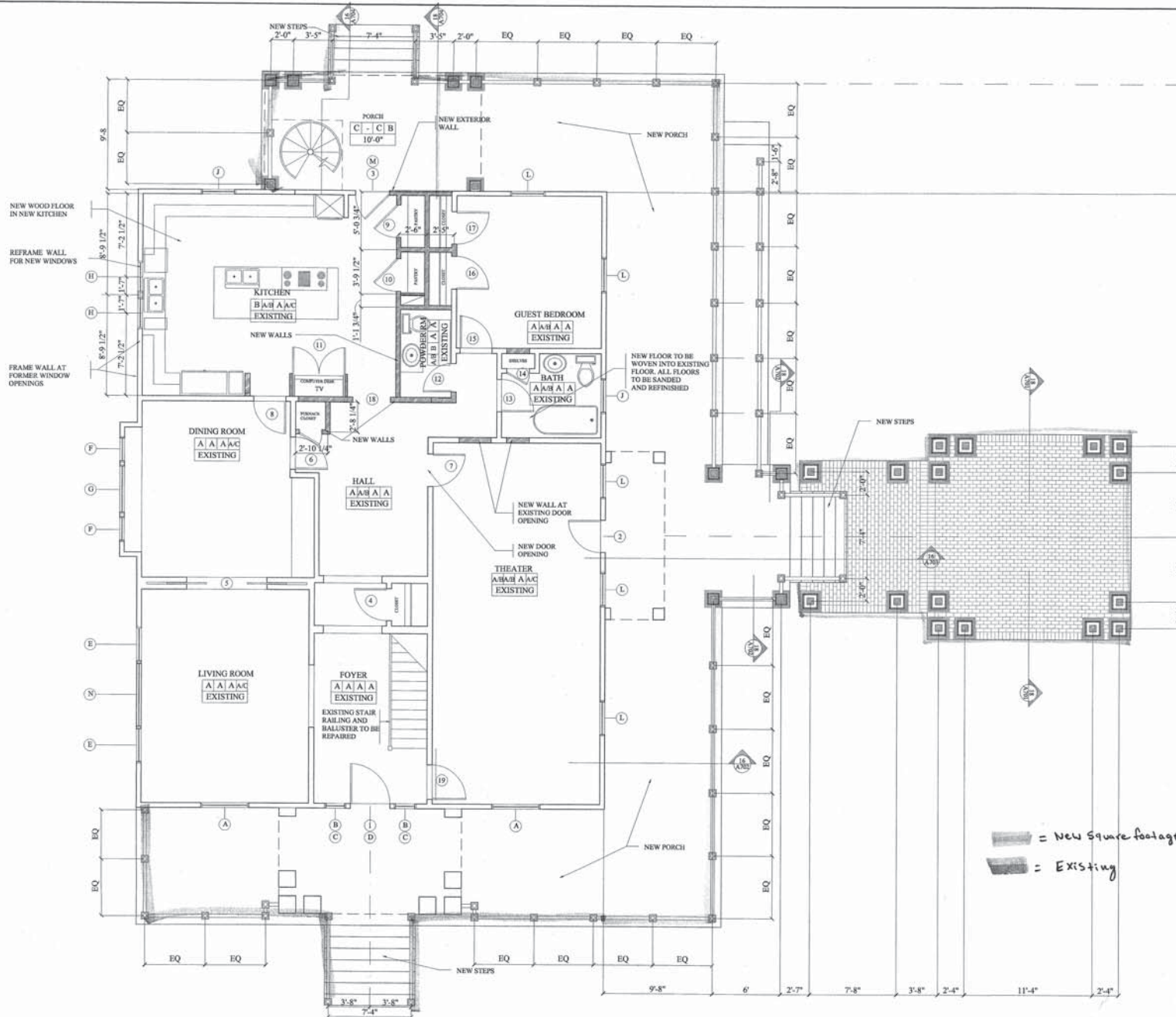
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DATE 04/08
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SHEET NO

A101



GENERAL NOTES:

WHERE FLOOR NEEDS TO BE PATCHED
NEW FLOOR BOARDS TO BE WOVEN INTO
THE EXISTING FLOOR

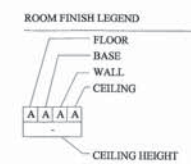
ALL FLOORS TO BE SANDED AND REFINISHED
ALL EXISTING DOORS TO BE REFINISHED AND
HARDWARE TO BE REPLACED

NEW GYPSUM BOARD ON ALL
WALLS AND CEILINGS

ALL GYPSUM BOARD TO BE
INSTALLED WITHOUT REMOVING
EXISTING BASEBOARD AND TRIM

INTERIOR CASEWORK AND
TRIM PAINTING AND STAINING/SEALING
NOT INCLUDED IN THIS CONTRACT

PAINTING WALLS AND CEILINGS NOT
INCLUDED IN THIS CONTRACT



- FLOOR**
- A EXISTING WOOD FLOOR TO BE REFINISHED
 - B NEW WOOD FLOOR TO MATCH EXISTING
 - C 5/4" x 3 1/2" DECK BOARDS
 - D CONCRETE UNFINISHED
 - E TILE
- BASE**
- A EXISTING WOOD BASE TO BE REFINISHED
 - B NEW WOOD BASEBOARD TO MATCH EXISTING
- WALL**
- A NEW GYPSUM BOARD
 - B CERAMIC TILE
 - C WOOD CLAPBOARDS
- CEILING**
- A NEW GYPSUM BOARD
 - B 3/4" x 3 1/2" WOOD BOARDS
 - C NEW CEILING BEAMS

[Hatched box] = New square footage

[Solid box] = Existing

16 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

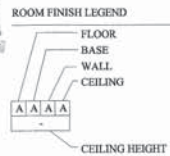
Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
117 MEAL
WILLS-LIPSCOMB ARCHITECTS
1111 S. WILLOWWOOD
SAN ANTONIO, TX 78242
713.486.8713
www.willslipscomb.com



CONSTRUCTION
DOCUMENTS

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CHKD BY JBW-L
SHEET NO

A201



BASE

- A EXISTING WOOD BASE TO BE REFINISHED
- B NEW WOOD BASEBOARD TO MATCH EXISTING
- C TILE

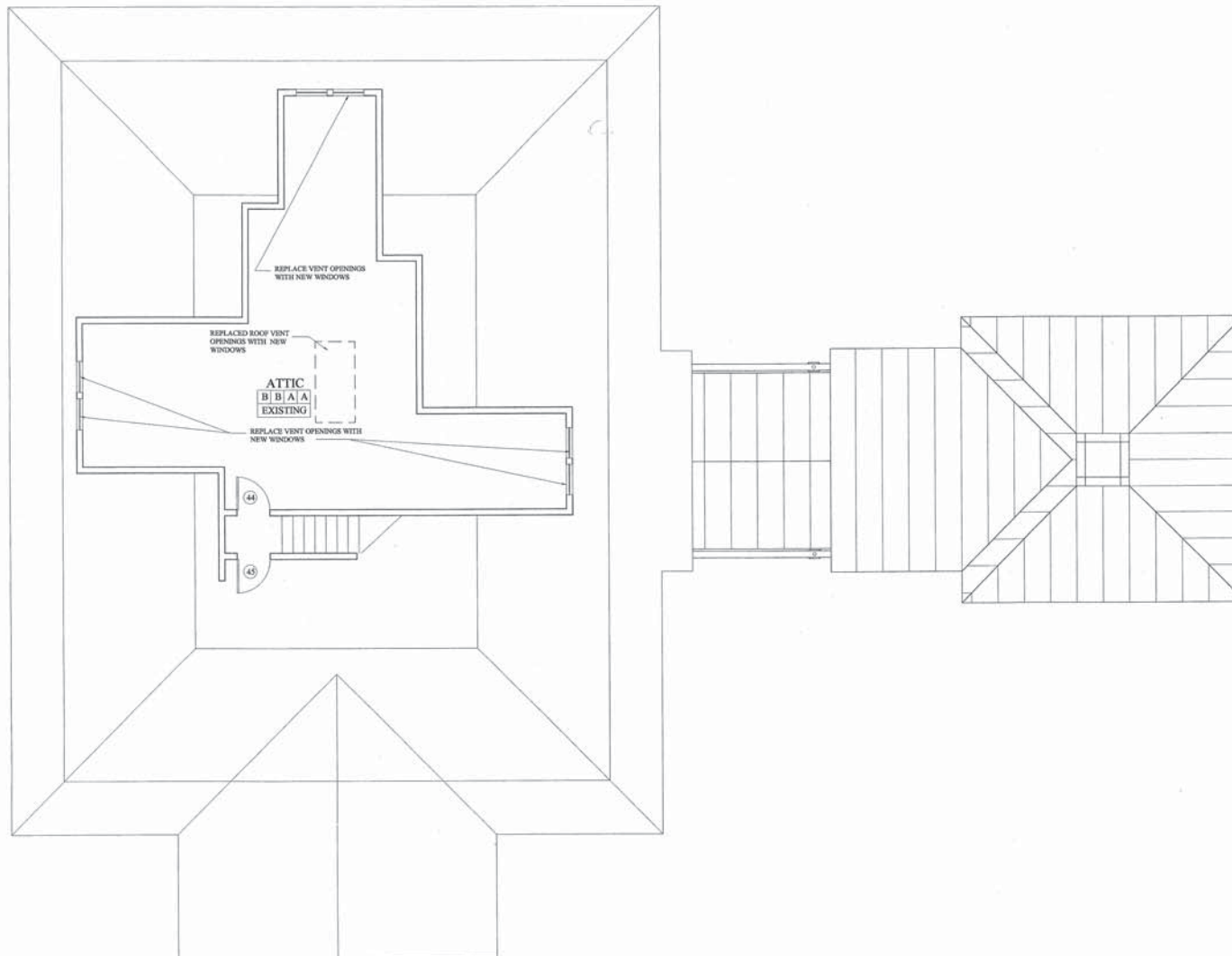
WALL

- A NEW GYPSUM BOARD
- B CERAMIC TILE
- C WOOD CLAPBOARDS

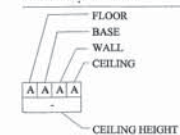
CEILING

- A NEW GYPSUM BOARD
- B 3/4"x 3 1/2" WOOD BOARDS
- C NEW CEILING BEAMS

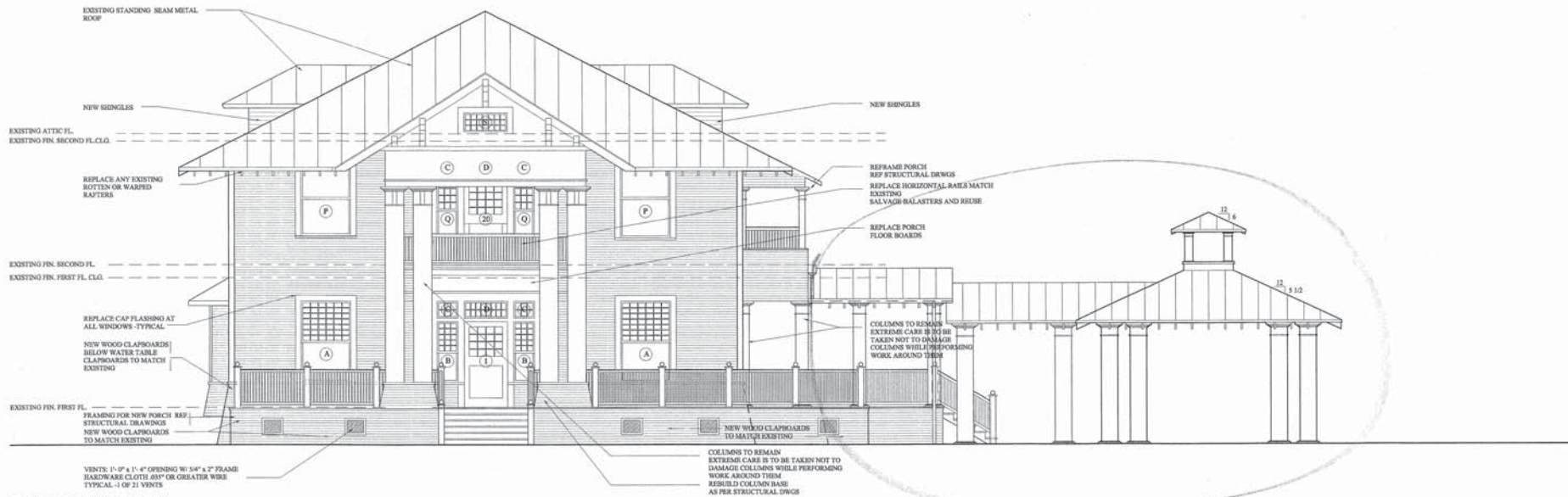
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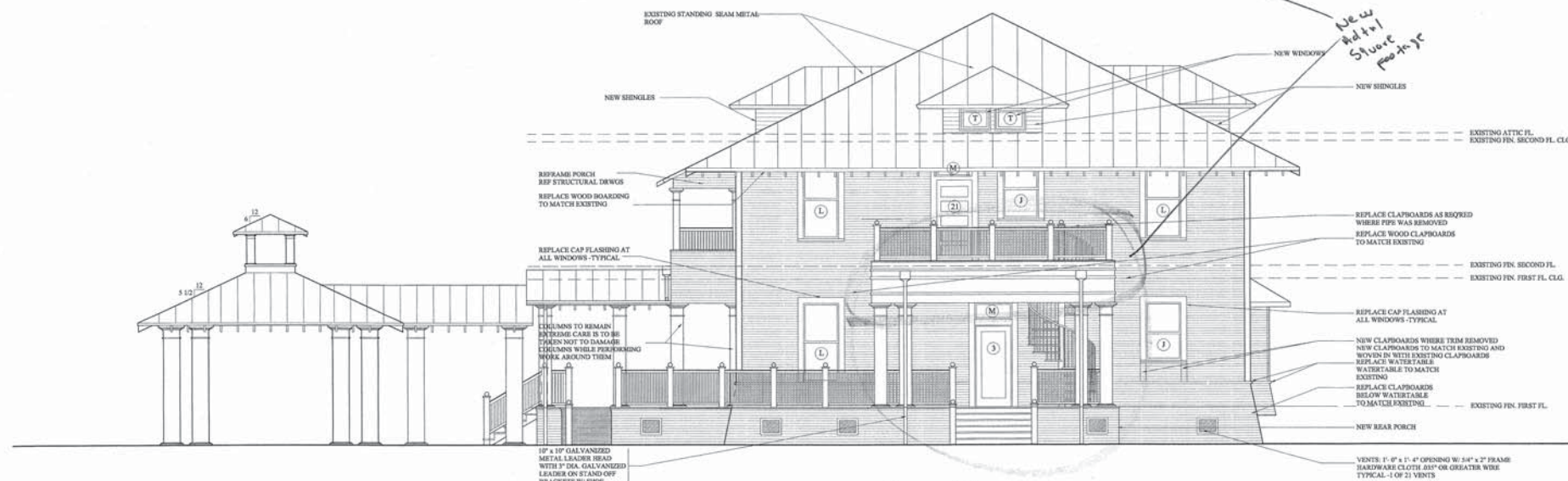
ROOM FINISH LEGEND



- FLOOR
- A EXISTING WOOD FLOOR TO BE REFINISHED
 - B NEW WOOD FLOOR TO MATCH EXISTING
 - C 5/4" x 3 1/2" DECK BOARDS
 - D CONCRETE UNFINISHED
 - E TILE
- BASE
- A EXISTING WOOD BASE TO BE REFINISHED
 - B NEW WOOD BASEBOARD TO MATCH EXISTING
 - C TILE
- WALL
- A NEW GYPSUM BOARD
 - B CERAMIC TILE
 - C WOOD CLAPBOARDS
- CEILING
- A NEW GYPSUM BOARD
 - B 3/4" x 3 1/2" WOOD BOARDS
 - C NEW CEILING BEAMS



6 SOUTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"



16 NORTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

Rear Elevation

Revisions and Additions for
MR. & MRS. ALLEN FRANCOIS
WILLS-LIPSCOMB ARCHITECTS
ALL REVISIONS
DATE: 01/10/06
BY: JAW-L

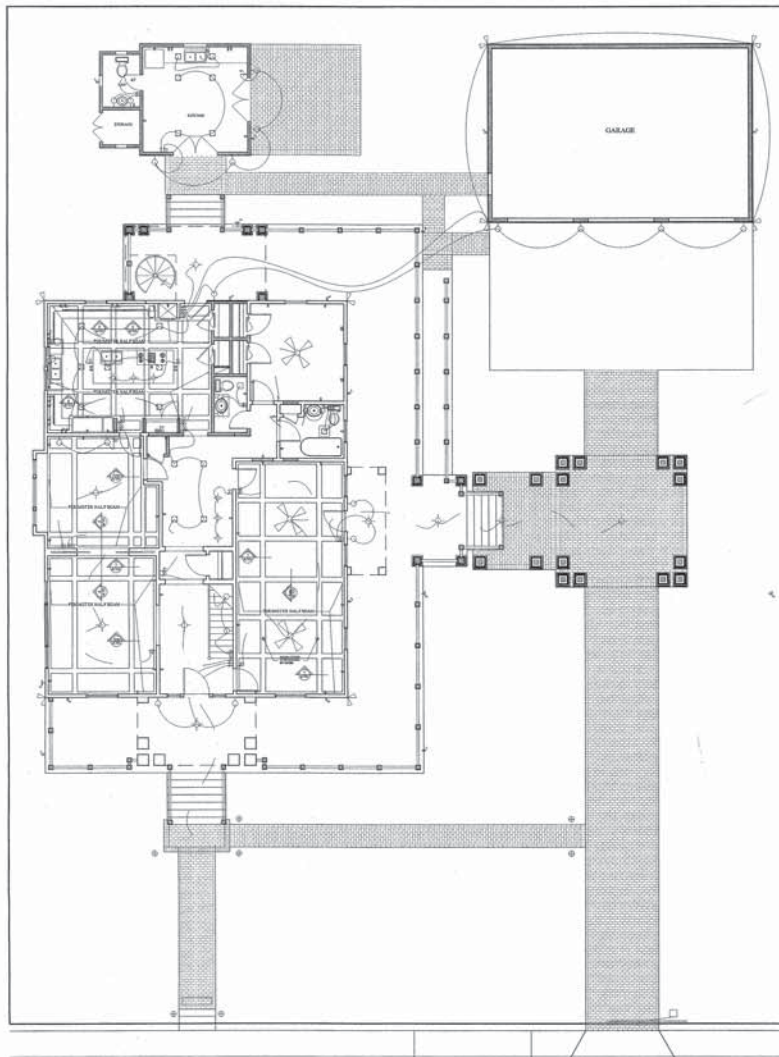
REVISIONS



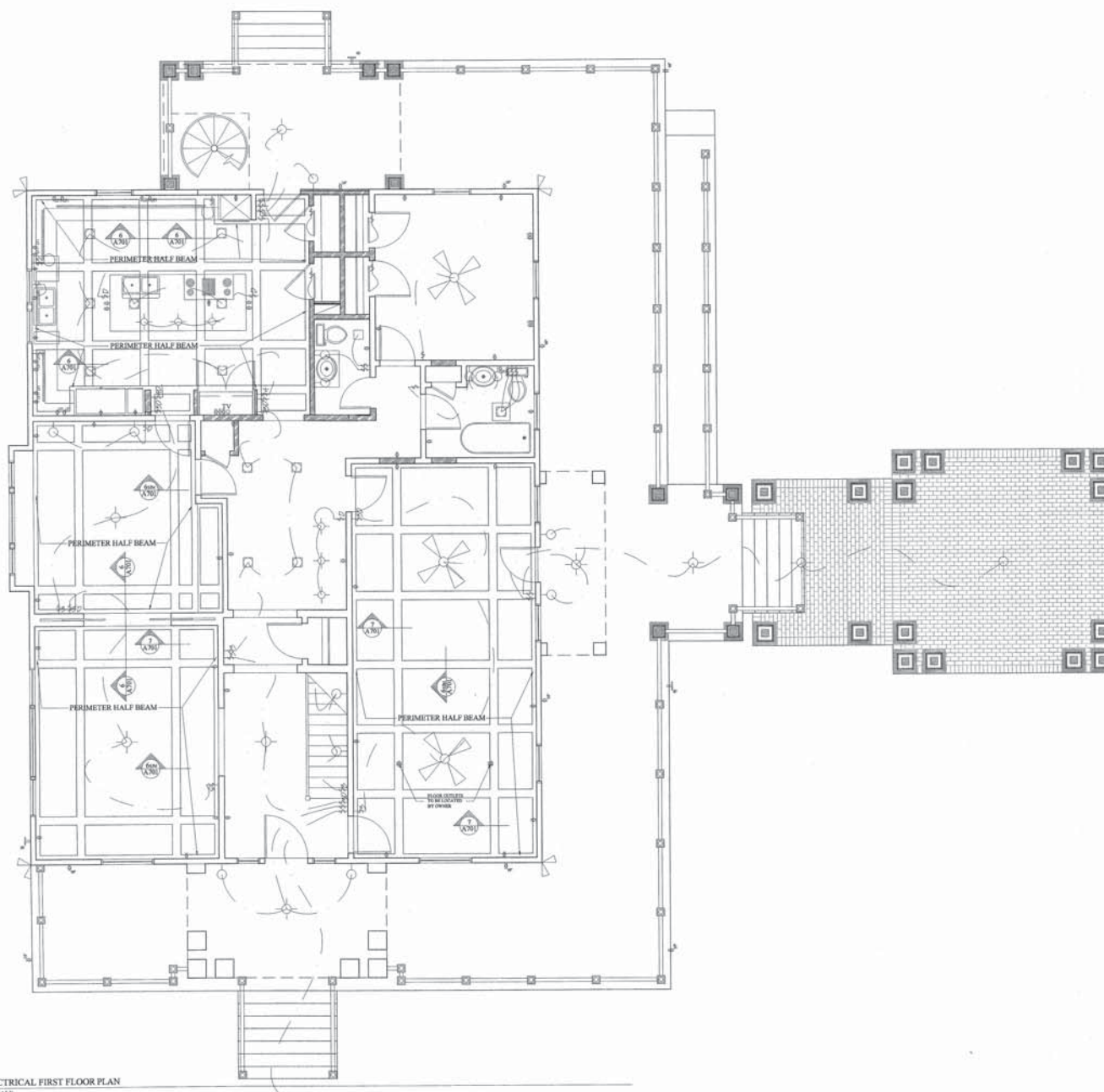
CONSTRUCTION
DOCUMENTS

DATE: 01/10/06
DRWN BY JAW-L
PROJ NO: 2004.06
CHKD BY JAW-L
SHEET NO

A301



SYMBOL LEGEND	
	RECESSED CEILING FIXTURE
	RECESSED CEILING FIXTURE FOR SLOPED CEILINGS
	WALL SCONCE
	CEILING MOUNTED FIXTURE
	HEAT, FAN, LIGHT SWITCHED SEPARATELY
	CEILING FAN
	FLUORESCENT FIXTURE
	DUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET 1/2
	HOT
	DUPLEX RECEPTACLE OUTLET W/ GFI
	WATERPROOF OUTLET
	RANGE OUTLET
	SPECIAL OUTLET- DW, REF, W/D, ETC.
	FLOOR DUPLEX RECEPTACLE
	OUTLET
	TELEPHONE JACK
	FLOOD LIGHT
	TV OUTLET
	DIMMER SWITCH
	DIMMER SWITCH
	THREE WAY SWITCH
	HOSE BIB



16 ELECTRICAL FIRST FLOOR PLAN
NO SCALE

- SYMBOL LEGEND
- RECESSED CEILING FIXTURE
 - ◻ RECESSED CEILING FIXTURE FOR SLOPED CEILINGS
 - WALL SCONCE
 - ⊙ CEILING MOUNTED FIXTURE
 - ⊞ HEAT, FAN, LIGHT SWITCHED SEPARATELY
 - ⊞ CEILING FAN
 - ⊞ FLUORESCENT FIXTURE
 - ⊞ DUPLEX RECEPTACLE OUTLET
 - ⊞ 1/2 DUPLEX RECEPTACLE OUTLET 1/2
 - ⊞ HOT
 - ⊞ 2/2 DUPLEX RECEPTACLE OUTLET W/ GFI
 - ⊞ WATERPROOF OUTLET
 - ⊞ RANGE OUTLET
 - ⊞ SPECIAL OUTLET- DW, REF, W/D, ETC.
 - ⊞ FLOOR DUPLEX RECEPTACLE OUTLET
 - ⊞ TELEPHONE JACK
 - ⊞ FLOOD LIGHT
 - ⊞ TV OUTLET
 - ⊞ DIMMER SWITCH
 - ⊞ DIMMER SWITCH
 - ⊞ THREE WAY SWITCH
 - ⊞ HOSE BIB

Renovations and Additions for
Mr. & Mrs. Allen Francois
4470 DOLAN
SAN ANTONIO, TX 78209
713.866.8713
willis@willis.com

WILLIS LIPSCOMB ARCHITECTS
1115 W. RULIFORD
SAN ANTONIO, TX 78202
713.866.8713

REVISIONS



CONSTRUCTION
DOCUMENTS

DATE: 06/06

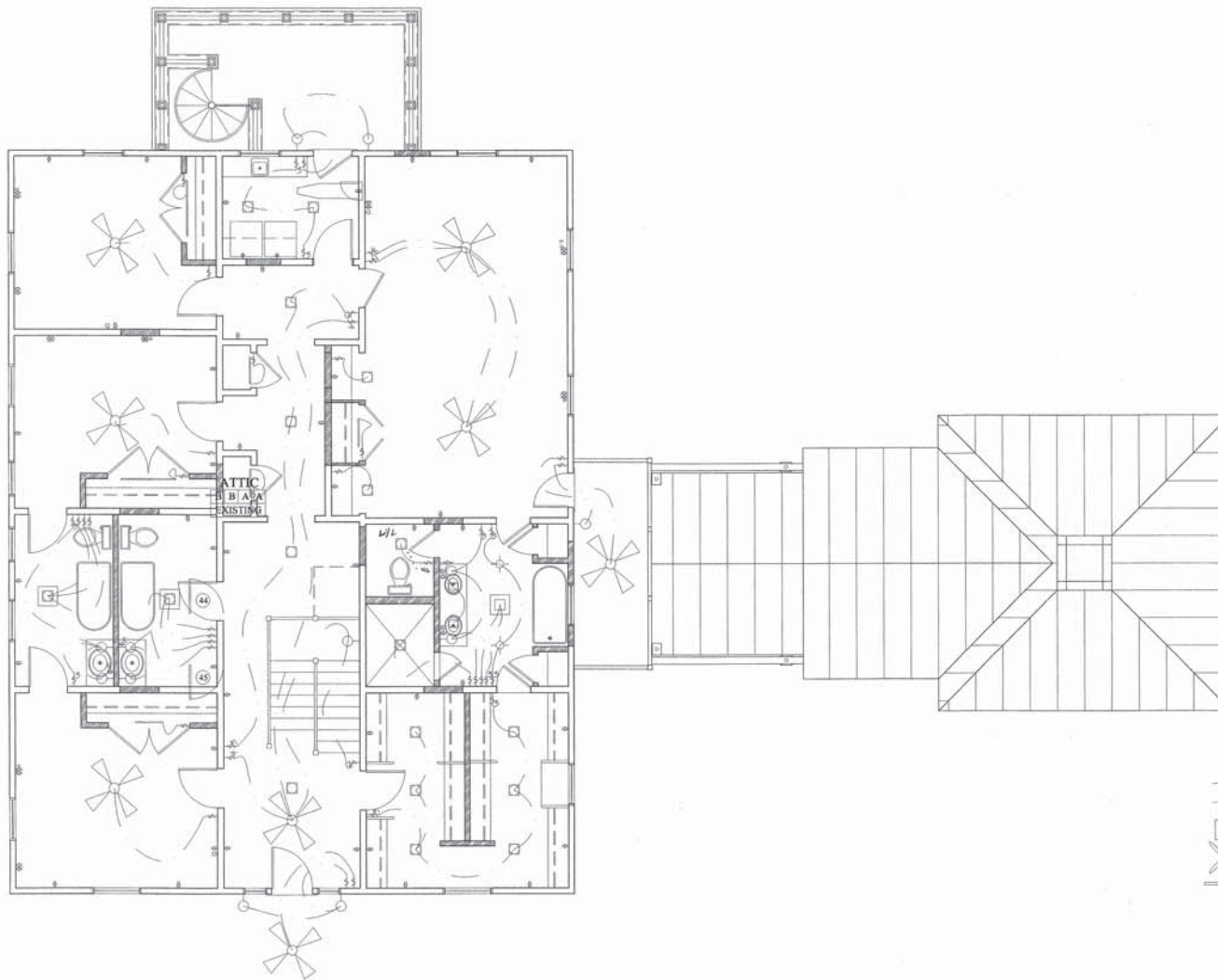
DRWN BY JBW-L

PROJ NO 2004.06






















CHKD BY JBW-L

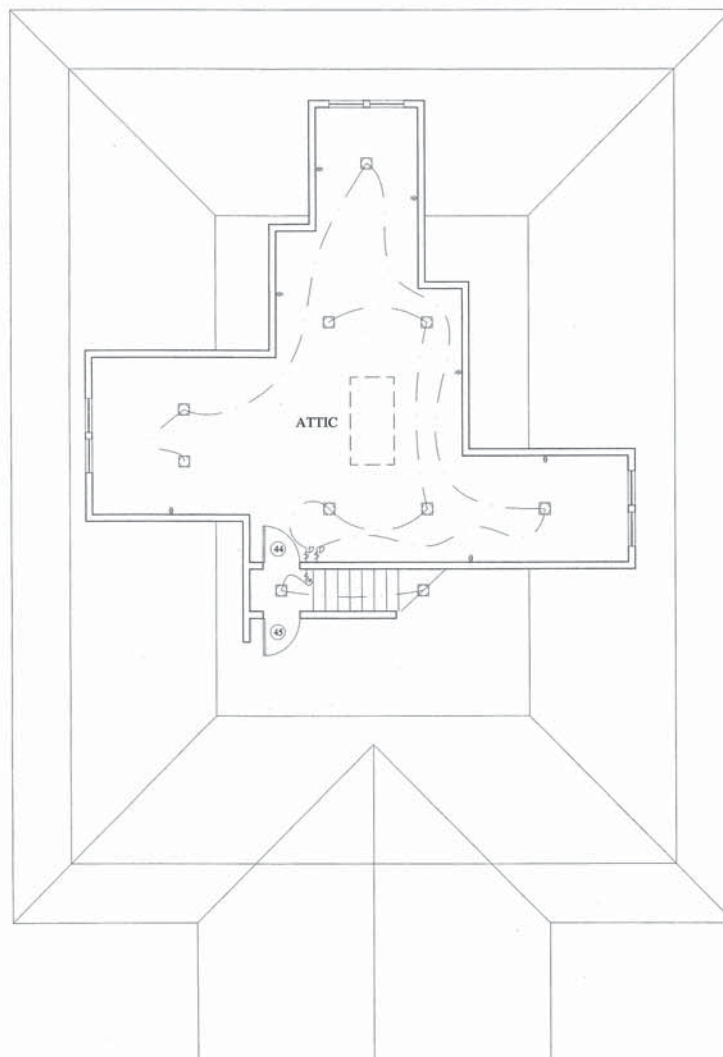
SHEET NO

A502



SYMBOL LEGEND

-  RECESSED CEILING FIXTURE
-  RECESSED CEILING FIXTURE FOR SLOPED CEILINGS
-  WALL SCONCE
-  CEILING MOUNTED FIXTURE
-  HEAT, FAN, LIGHT SWITCHED SEPARATELY
-  CEILING FAN
-  FLUORESCENT FIXTURE
-  DUPLEX RECEPTACLE OUTLET
-  DUPLEX RECEPTACLE OUTLET 1/2 HOT
-  DUPLEX RECEPTACLE OUTLET W/ GFI
-  WATERPROOF OUTLET
-  RANGE OUTLET
-  SPECIAL OUTLET- DW, REF, WD, ETC.
-  FLOOR DUPLEX RECEPTACLE OUTLET
-  TELEPHONE JACK
-  FLOOD LIGHT
-  TV OUTLET
-  DIMMER SWITCH
-  DIMMER SWITCH
-  THREE WAY SWITCH
-  HOSE BIB



BOX SCUPPERS, GUTTERS AND
DOWNSPOUTS TYPICAL

SYMBOL LEGEND

- RECESSED CEILING FIXTURE
- RECESSED CEILING FIXTURE FOR SLOPED CEILINGS
- WALL SCONCE
- CEILING MOUNTED FIXTURE
- HEAT, FAN, LIGHT SWITCHED SEPARATELY
- CEILING FAN
- FLUORESCENT FIXTURE
- DUPLEX RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET 1/2
- HOT
- DUPLEX RECEPTACLE OUTLET W/ GFI
- WATERPROOF OUTLET
- RANGE OUTLET
- SPECIAL OUTLET- DW, RIF, W/D, ETC
- FLOOR DUPLEX RECEPTACLE OUTLET
- TELEPHONE JACK
- FLOOD LIGHT
- TV OUTLET
- DIMMER SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- HOSE BIB

16 ELECTRICAL ATTIC FLOOR PLAN
NO SCALE

Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
4117 MOULAN
SAN ANTONIO, TX
WILLS-LIPSCOMB ARCHITECTS
1213 N. WILLOWDALE
SAN ANTONIO, TX 78202
www.wills-lipscomb.com
734.444.4713
T 734.444.4713

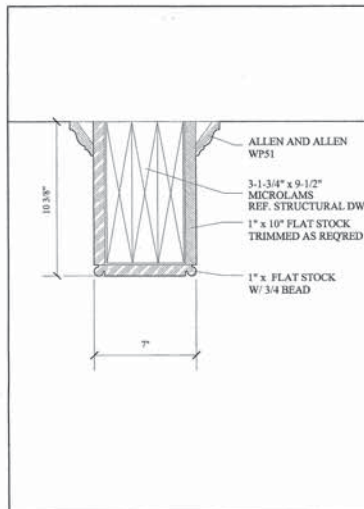
REVISIONS



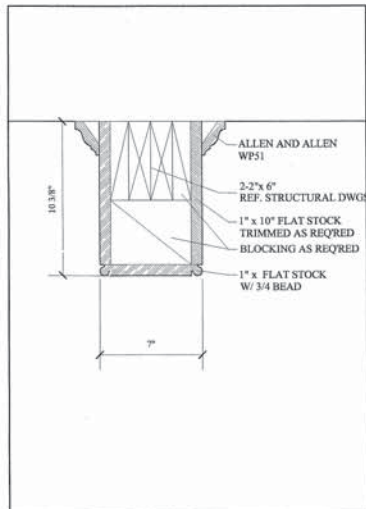
CONSTRUCTION
DOCUMENTS

DATE 04/11/06
DRWN BY JBW-L
PROJ NO 2004.06
CHKD BY JBW-L
SHEET NO

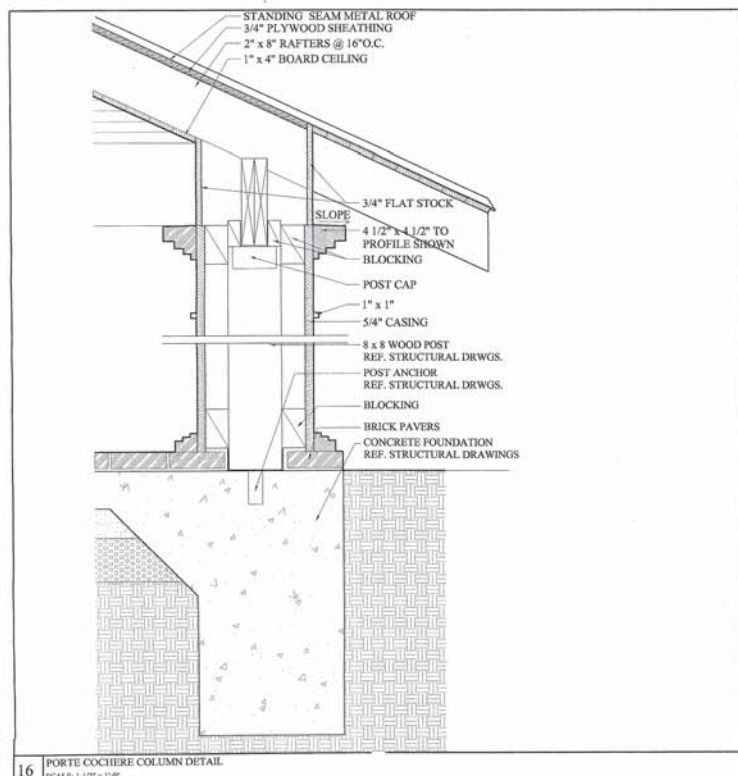
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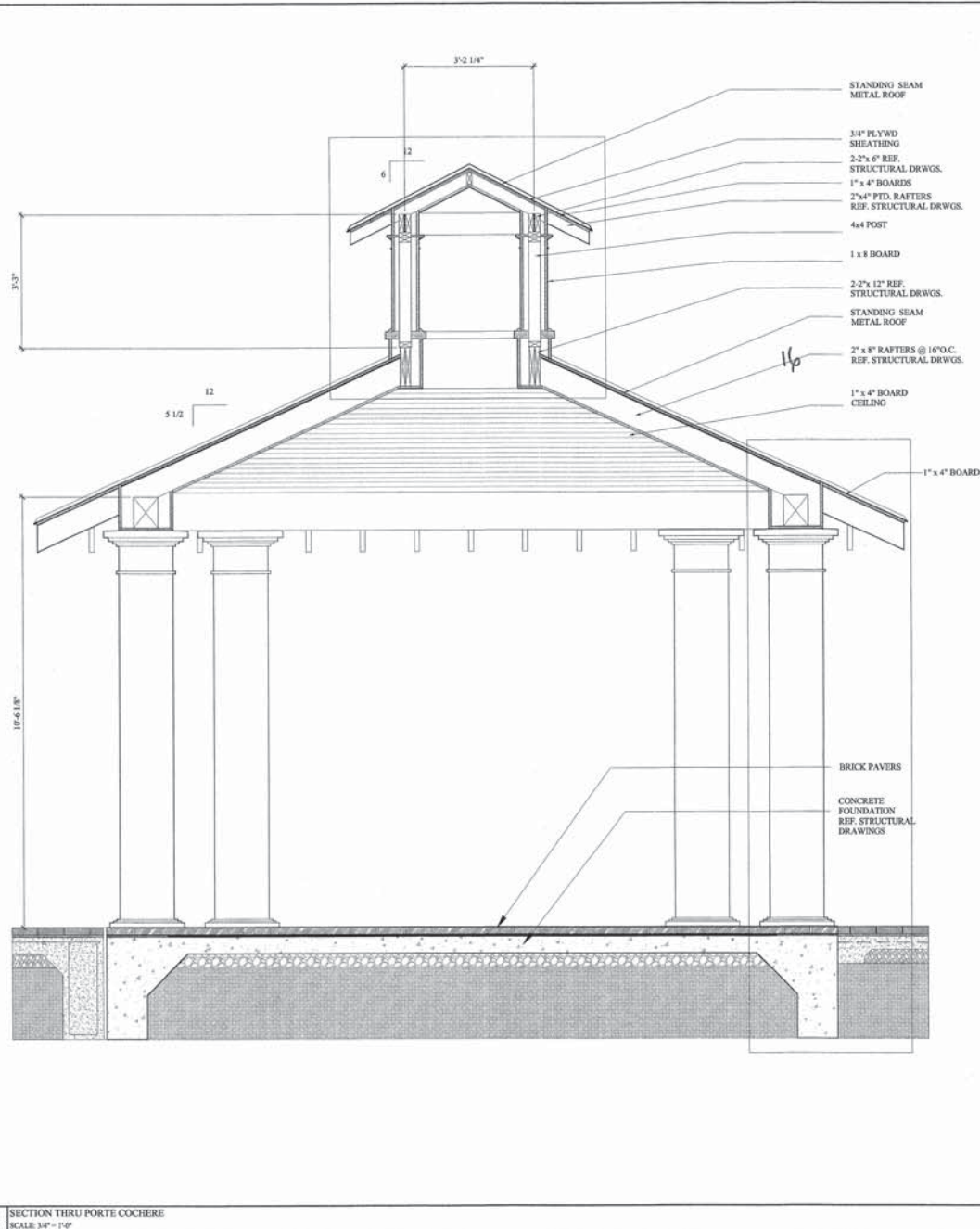
6 CEILING BEAM DETAIL
SCALE: 3/4" = 1'-0"



7 CEILING BEAM DETAIL
SCALE: 3/4" = 1'-0"



16 PORTE COCHERE COLUMN DETAIL
SCALE: 1/12" = 1'-0"



18 SECTION THRU PORTE COCHERE
SCALE: 3/4" = 1'-0"

Renovations and Additions for
Mr. & Mrs. ALLEN FRANCOIS
447 N. LAMAR
SAN ANTONIO, TX
WILLIS LIPSCOMB ARCHITECTS
P. 214.844.4113
F. 214.844.4113
1214 N. WILLOW
SAN ANTONIO, TX 78203
willis@willis.com
P. 214.844.4113

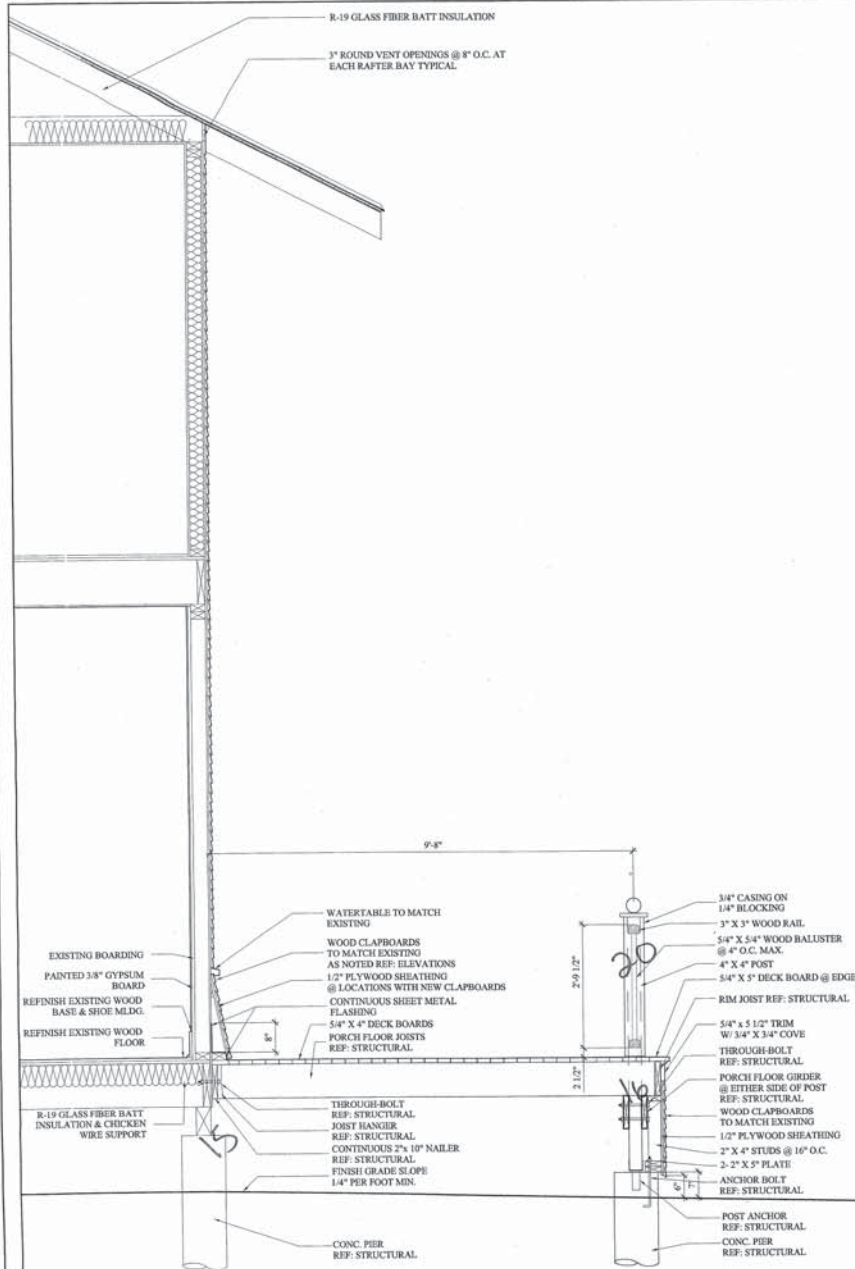
REVISIONS



CONSTRUCTION
DOCUMENTS

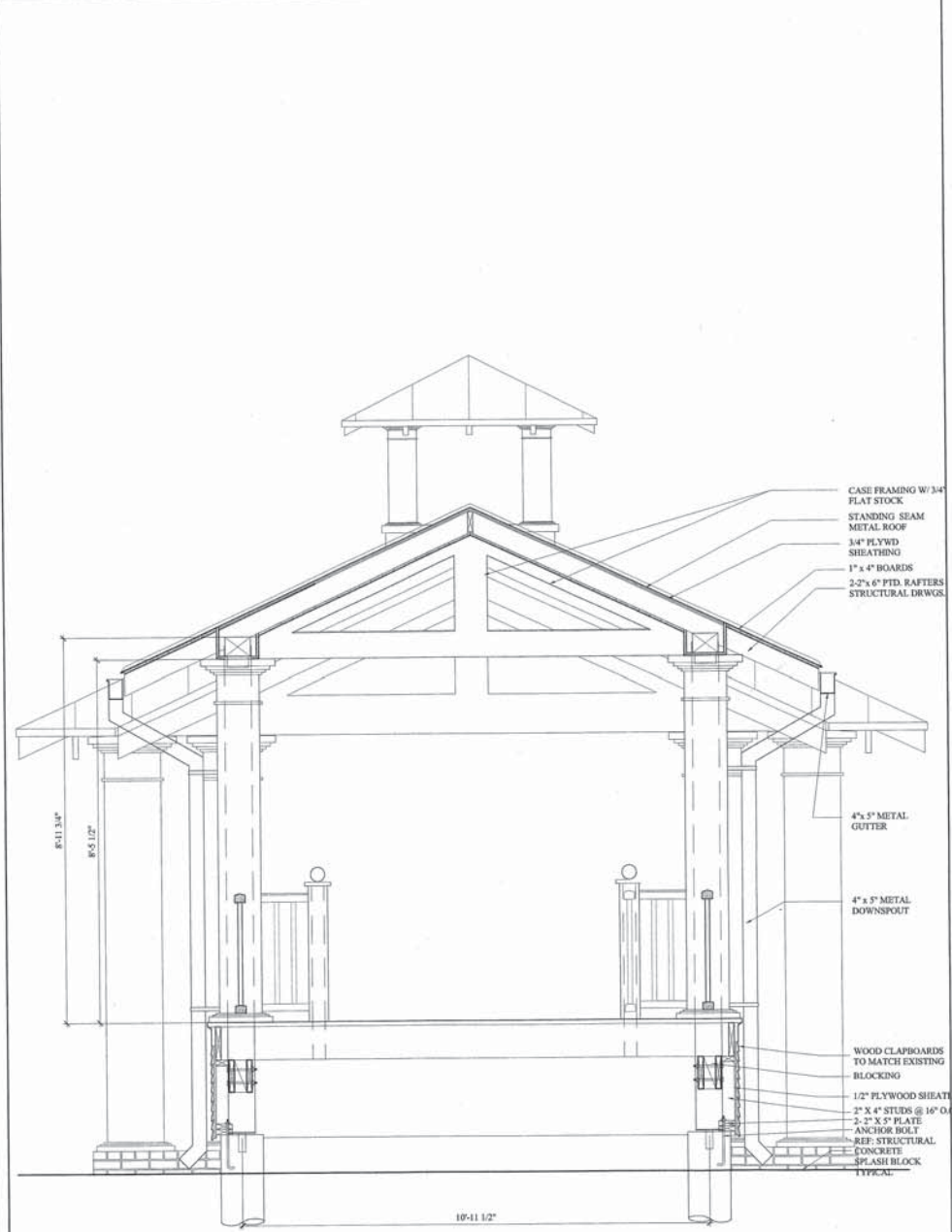
DATE: 04/04/06
DRWN BY: JBW-L
PROJ NO: 2004.06
CHKD BY: JBW-L
SHEET NO:

A701



16

DETAIL TITLE
SCALE: 3/4" = 1'-0"



18

DETAIL TITLE
SCALE: 3/4" = 1'-0"

Renovation and Addition for
MR. & MRS. ALLEN FRANCOIS
HYDRAKIAN
SAN ANTONIO, TX
WILLS LIPSCOMB ARCHITECTS
WILL LIPSCOMB
SAN ANTONIO, TX 78203
761.444.4444
www.willslipcomb.com

REVISIONS



CONSTRUCTION
DOCUMENTS

DATE 08/08

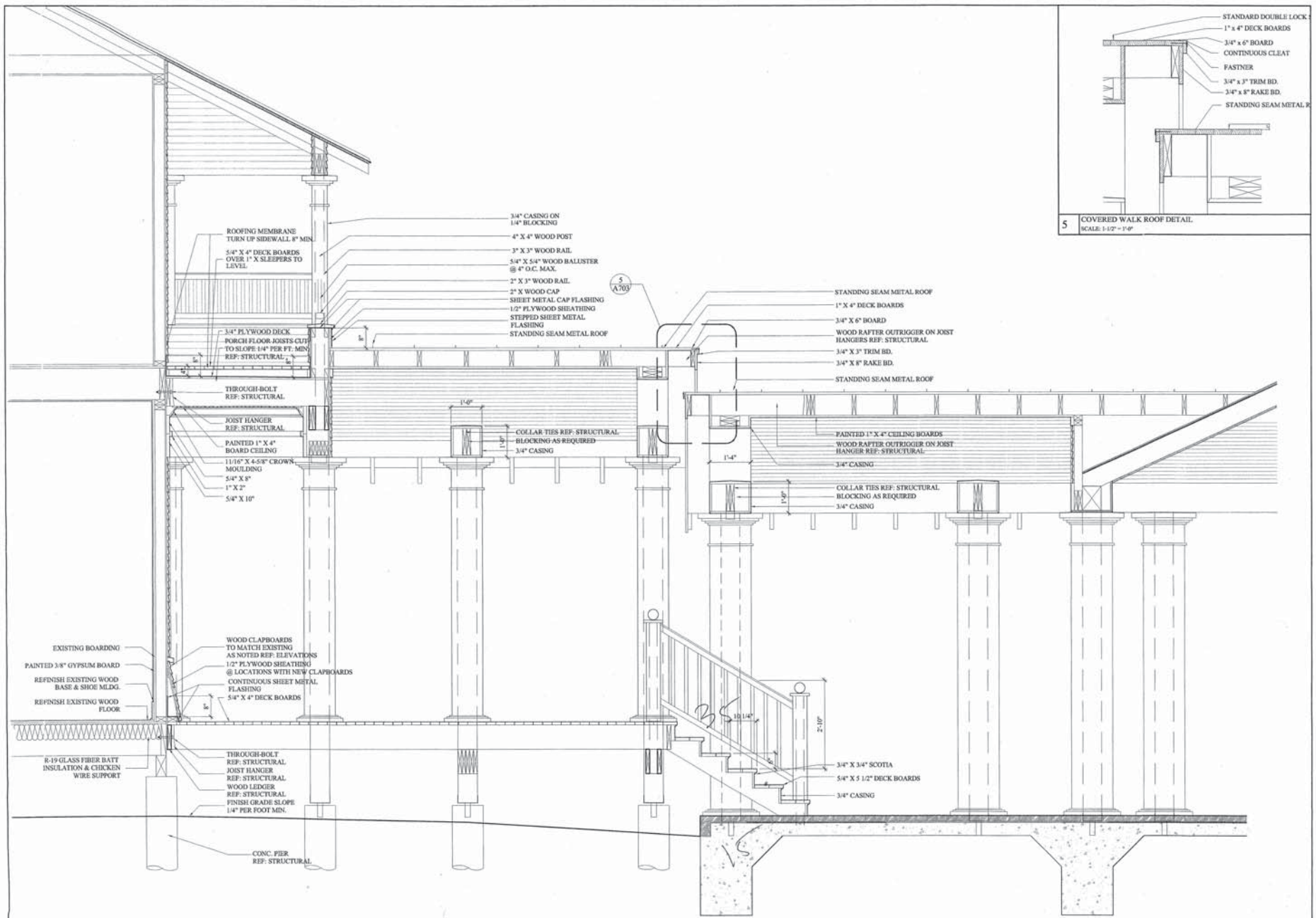
DRWN BY JBW-L

PROJ NO 2004.06

CHKD BY JBW-L

SHEET NO

A702



Revisions and Additions for
Mr. & Mrs. ALLEN FRANCOIS
14706 CAN
SAN ANTONIO, TX
WILLIS LIPSCOMB ARCHITECTS
1100 N. MEYER
SAN ANTONIO, TX 78201
210.340.0000
www.willislipscomb.com

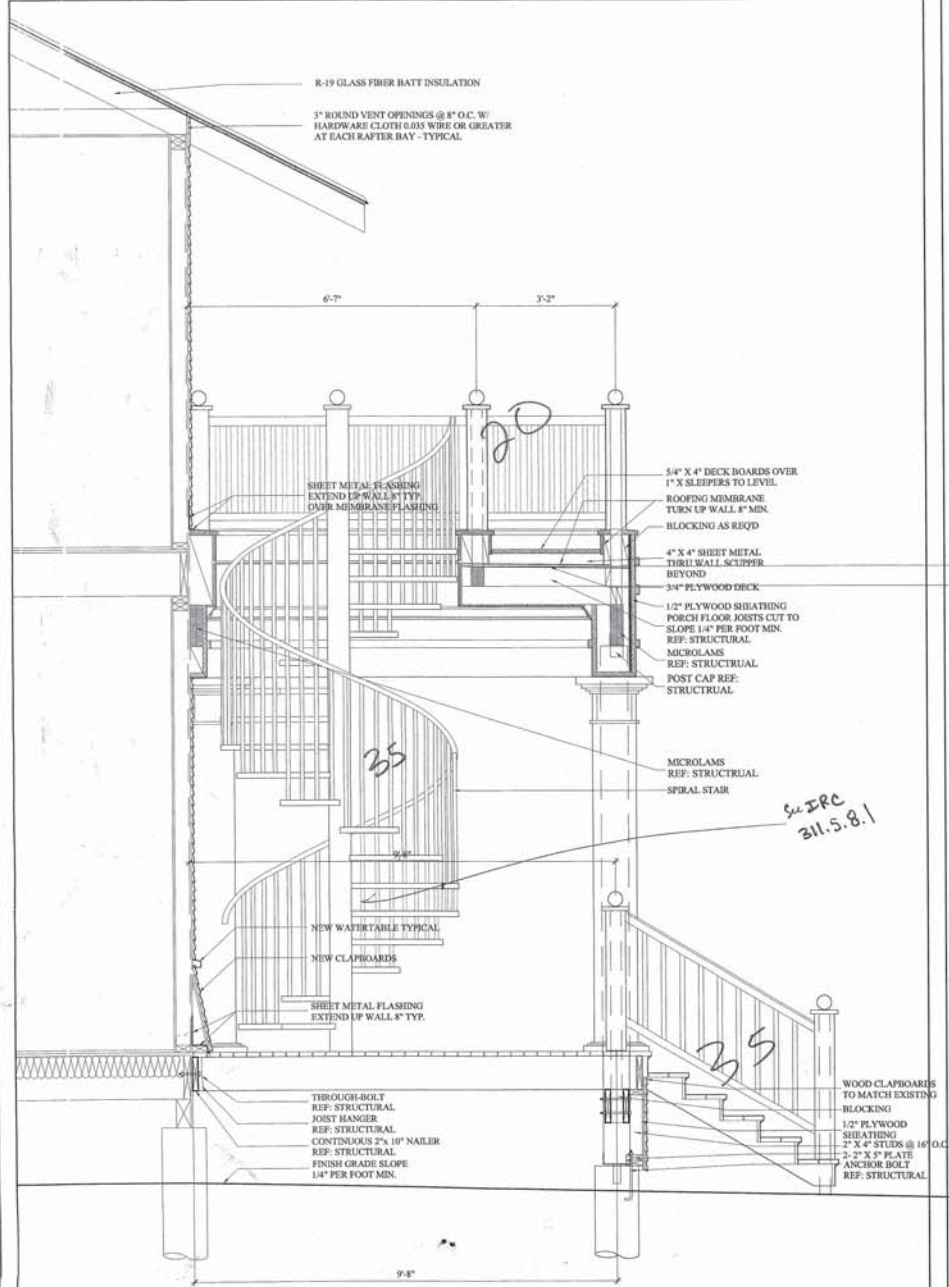
REVISIONS



CONSTRUCTION
DOCUMENTS

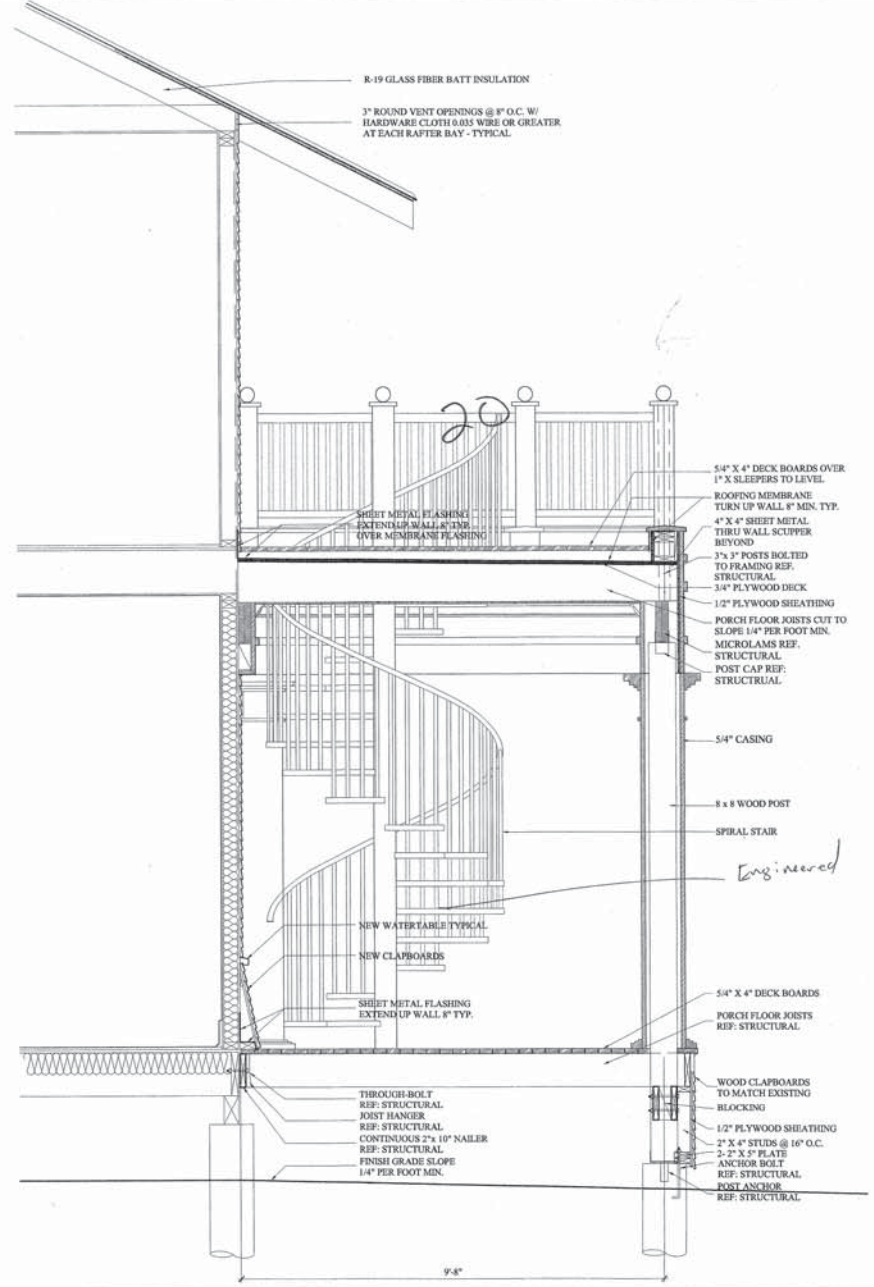
DATE 09/10
DRWN BY JBW-L
PROJ NO 2004.06
CHKD BY JBW-L
SHEET NO

A703



16

DETAIL TITLE
SCALE: 3/4" = 1'-0"



18

DETAIL TITLE
SCALE: 3/4" = 1'-0"

Revisions and Additions for
MR. & MRS. ALLEN FRANCOIS
residence in
WILLS-LIPSCOMB ARCHITECTS
11111 WILLOW
SAN ANTONIO, TX 78249

REVISIONS



CONSTRUCTION
DOCUMENTS

DATE: 06/08

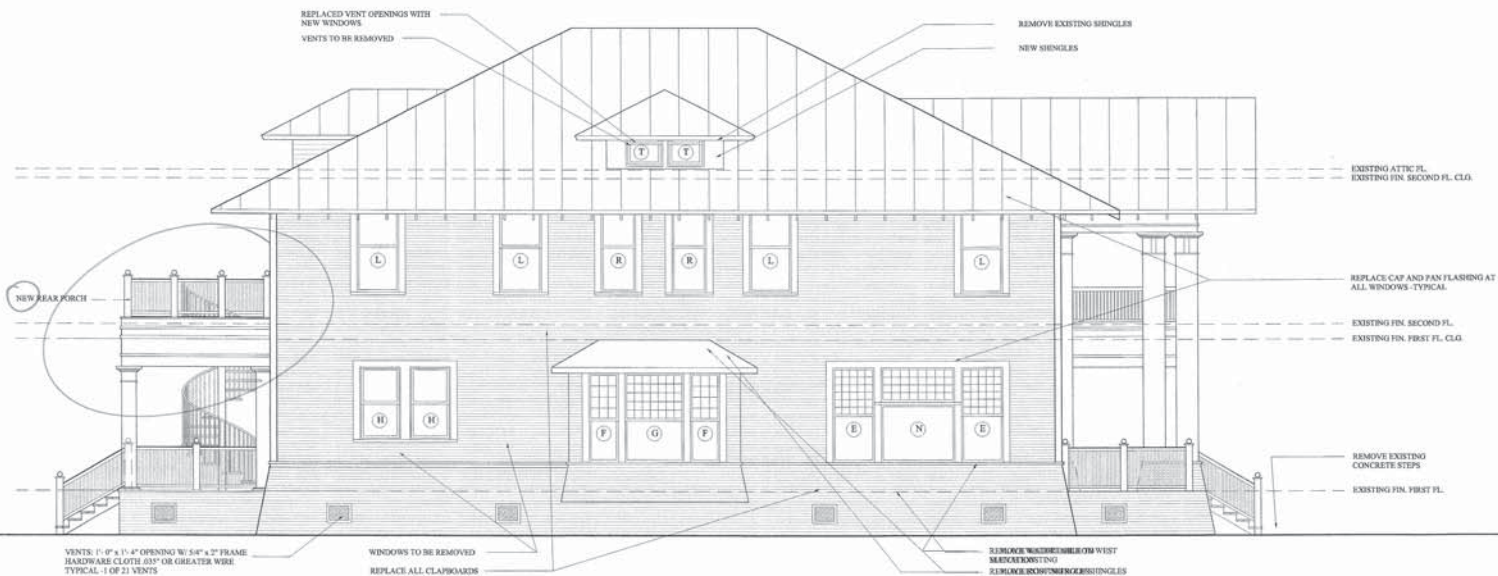
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PROJ NO: 2004.06

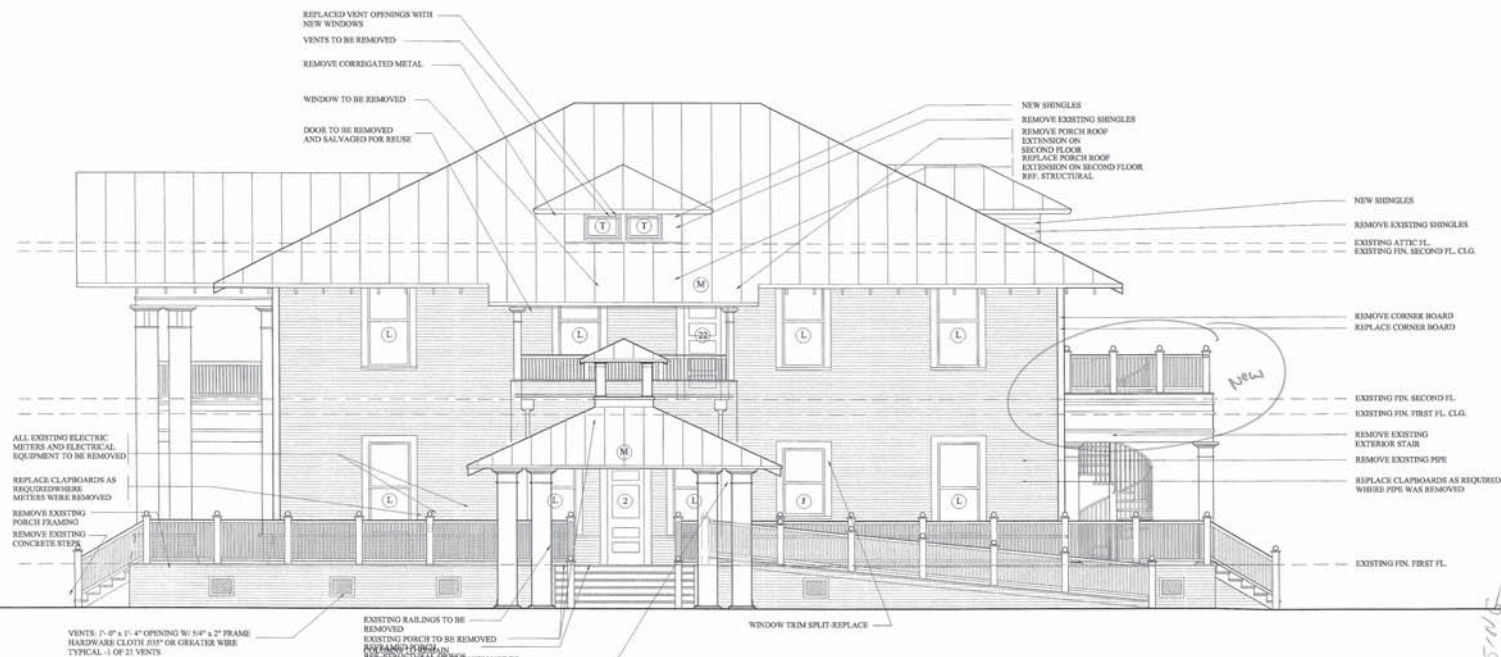
CHKD BY JBW-L

SHEET NO

A704



6 WEST ELEVATION
SCALE: 1/4" = 1'-0"



16 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
ANY ROTTEN CLAPBOARD, DOOR TRIM, WINDOW TRIM, RAFTER TAIL, OR ROOF BOARDING IS TO BE REPLACED
FILL ALL NAIL HOLES
GAPS @ CLAPBOARDS AND TRIM
REPLACE ALL WINDOW CAP AND PAN FLASHING AND SASH CORD
REGLAZE WINDOWS AND REGGLE MUNTINS

Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
1117 W. 11TH ST.
DALLAS, TEXAS 75204
WILLS LIPSCOMB ARCHITECTS
1117 W. 11TH ST.
DALLAS, TEXAS 75204
TEL: 214.444.4111
WWW.WILLSLIPSCOMB.COM

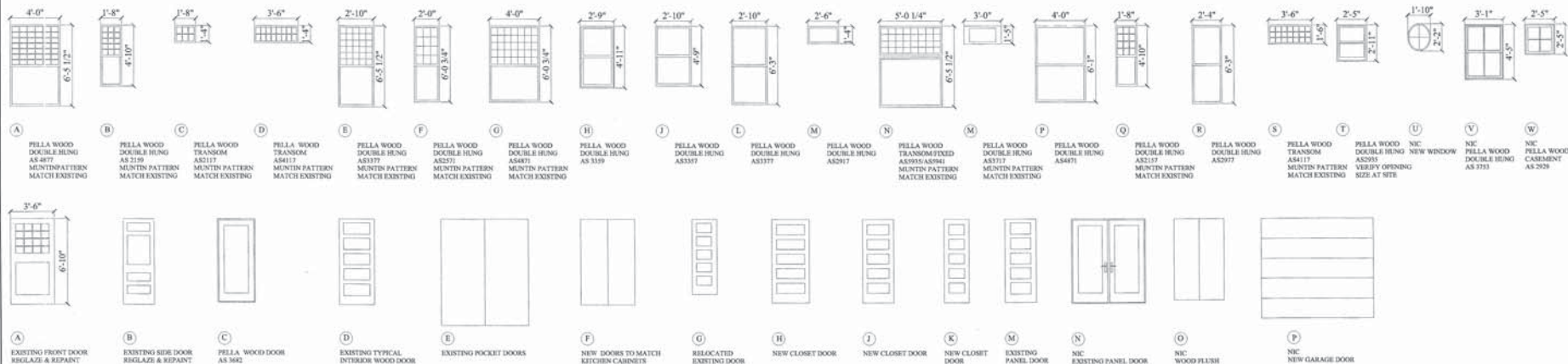
REVISIONS



CONSTRUCTION
DOCUMENTS

DATE 04/10/06
DRWN BY JHW-L
PROJ NO 2004.06
CHKD BY JHW-L
SHEET NO

A302



MAIN HOUSE DOOR SCHEDULE

#	TYPE	UNIT #	SIZE	DESCRIPTION	REMARKS	LOCATION
1	A	EXISTING	1-3/4"x3'-6" x 6'-10"	PANEL W/ GLAZING	REFINISH, REPLACE HARDWARE	FRONT DOOR
2	B	EXISTING	1-3/4"x3'-0" x 6'-10"	PANEL W/ GLAZING	REFINISH, REGLAZE, REPLACE HARDWARE	SIDE PORCH
3	C	PELLA 3682	1-7/8"x3'-0 3/4" x 6'-10"	PANEL W/ GLAZING		REAR PORCH
4	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	FRONT CLOSET
5	E	EXISTING	(2)-3'-0" x 8'-8"	PANEL	REFINISH, REPLACE HARDWARE	DINING ROOM/LIVING ROOM
6	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	DINING ROOM/HALL
7	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	HALL/THEATER
8	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	DINING ROOM/KITCHEN
9	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	KITCHEN/PANTRY
10	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	KITCHEN/PANTRY
11	F	NEW	(2)-2' x 6'-10"	PANEL	MATCH KITCHEN CABINETS	KITCHEN/COMPUTER DESK
12	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	POWDER ROOM
13	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	FIRST FLOOR BATH
14	G	EXISTING/REUSE	1-3/8"x2'-0" x 6'-0"	PANEL	REFINISH, REPLACE HARDWARE	FIRST FLOOR BATH/LINEN
15	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	FIRST FLOOR GUEST ROOM
16	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	FIRST FLOOR GUEST CLOSET
17	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	FIRST FLOOR GUEST CLOSET
18			3'-4" x 6'-10"	TRANSOM		
19	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	THEATER/ENTRY HALL
20	D	EXISTING	1-3/4"x3'-0" x 6'-10"	PANEL W/ GLAZING	REFINISH, REGLAZE, REPLACE HARDWARE	SECOND FLOOR FRONT PORCH
21	D	EXISTING	1-3/4"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	SECOND FLOOR REAR PORCH
22	D	EXISTING	1-3/4"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	SECOND FLOOR SIDE PORCH
23	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	BEDROOM 1
24	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	MASTER BEDROOM CLOSET
25	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	BATH 1
26	D	EXISTING	1-3/8"x2'-6" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	HALL 2 CLOSET
27	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	BEDROOM 2
28	D	EXISTING	1-3/8"x2'-6" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	HALL 2 CLOSET
29	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	BEDROOM 3
30	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	LAUNDRY ROOM
31	D	EXISTING	1-3/8"x2'-10" x 6'-10"	PANEL W/ TRANSOM	REFINISH, REPLACE HARDWARE	MASTER BEDROOM
32	H	JEN-WELD 1055	(2)-3/8"x3'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	BEDROOM 1 CLOSET
33	D	EXISTING/REUSE	1-3/8"x2'-6" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	BATH 2
34	D	EXISTING/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	BATH 2
35	H	JEN-WELD 1055	(2)-3/8"x3'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	BEDROOM 2 CLOSET
36	H	JEN-WELD 1055	(2)-3/8"x3'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	BEDROOM 3 CLOSET
37	K	JEN-WELD 1055	(2)-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER CLOSET
38	J	JEN-WELD 1055	1-3/8"x2'-6" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH/MASTER BEDROOM
39	K	JEN-WELD 1055	1-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH/LINEN
40	K	JEN-WELD 1055	1-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH/TOILET
41	K	JEN-WELD 1055	1-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH SHOWER
42	K	JEN-WELD 1055	1-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH/LINEN
43	J	JEN-WELD 1055	1-3/8"x2'-6" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	MASTER BATH/MASTER CLOSET
44	M	EXISTING	1-3/8"x2'-6" x 6'-8"	PANEL	REFINISH, REPLACE HARDWARE	ATTIC OFFICE
45	M	EXISTING	1-3/8"x2'-6" x 6'-8"	PANEL	REFINISH, REPLACE HARDWARE	ATTIC

DOOR SCHEDULE

NO SCALE

OUT BUILDING DOOR SCHEDULE

#	TYPE	UNIT #	SIZE	DESCRIPTION	REMARKS	LOCATION
46	N	PELLA 6782	1-7/8"x5'-7-1/16" x 6'-10"	FRENCH	WOOD, INSULATED LOW E GLASS	KITCHEN
47	N	PELLA 6782	1-7/8"x5'-7-1/16" x 6'-10"	FRENCH	WOOD, INSULATED LOW E GLASS	KITCHEN
48	O	WOOD FLUSH	2-1-3/4" x 2'-0" x 6'-8"	WOOD FLUSH		KITCHEN
49	K	JEN-WELD 1055	1-3/8"x2'-0" x 6'-8"	PANEL	PREMIUM SERIES 5 PANEL WP	KITCHEN
50	D	NEW/REUSE	1-3/8"x2'-10" x 6'-10"	PANEL	REFINISH, REPLACE HARDWARE	GARAGE
51	P		8'-0" x 9'-0"			GARAGE
52	P		8'-0" x 9'-0"			GARAGE
53	P		8'-0" x 9'-0"			GARAGE

Renovations and Additions for
MR. & MRS. ALLEN FRANCOIS
147 N. MAIN
WILLS-LIPSCOMB ARCHITECTS
1111 W. WILLOW
AUSTIN, TEXAS 78703
TEL: 512.451.1111
WWW.WILLSLIPSCOMB.COM

REVISIONS



CONSTRUCTION DOCUMENTS

DATE: 06/08

DRWN BY: JBW-L

PROJ NO: 2004.06

CHKD BY: JBW-L

SHEET NO

A401

COMPLY WITH L.A.C. 8906
AND AMENDMENTS
COMPLY WITH CHECK LIST
ATTACHED TO PLANS

CITY OF SAN ANTONIO
PLANNING SERVICES DEPARTMENT
PLAN REVIEW DIVISION
REVIEWED FOR CODE COMPLIANCE
DATE: 06-30-09
BY: JC

COSA Department of Planning
Historic Preservation Officer
Approval Date: 06/30/09
Approval By: Ann Benson McGlone
Historic Preservation Officer



THIS SET OF PLANS AND SPECIFICATIONS MUST
BE KEPT ON THE JOB AT ALL TIMES, OTHERWISE THE
JOB IS SUBJECT TO CANCELLATION. IT IS UNLAWFUL TO
MAKE ANY CHANGES TO THE PLANS OR SPECIFICATIONS
WITHOUT WRITTEN PERMISSION FROM THE BUILDING
INSPECTION OFFICE, CITY OF SAN ANTONIO.
THE EXAMINER OF THIS PLAN AND
SPECIFICATIONS HAS REVIEWED THE PLANS AND
TO BE APPROVED, OR THE VIOLATION OF ANY
PROVISIONS OF ANY CITY ORDINANCE OR STATE LAW.



HISTORIC AND DESIGN REVIEW COMMISSION
CERTIFICATE OF APPROPRIATENESS
January 12, 2005
CITY OF SAN ANTONIO

HDRC CASE NO: 2004-348
ADDRESS: 817 Nolan
LEGAL DESCRIPTION: NCB 548, Block 9, Lots 5 and 6
HISTORIC DISTRICT: Dignowity Hill Historic District
APPLICANT: Jessica Wills-Lipscomb, Wills-Lipscomb Architects
212 East Widdowood
OWNER: Willie Allen Francois and Guadalupe L. Jasso
TYPE OF WORK: Renovation, Historic Tax Certification
REQUEST:
The applicant is requesting a Certificate of Appropriateness for approval to:
(1) add a porch to the east façade;
(2) add a porch to first and second floors on the rear façade;
(3) add a ramp to the east façade for accessibility;
(4) close one door leading to the second level porch on the east façade and relocate
window;
(5) enclose existing rear porch;
(6) reconfigure the windows on the east façade;
(7) replace vents in dormers with windows;
(8) demolish detached garage;
(9) construct new detached structure;
(10) add a carport at the east façade; and
(11) historic tax certification.

RECOMMENDATION:
Staff recommends approval of the design as proposed with the exception of the covered
walkway to the carport. Staff recommends the plate line of the carport align with the lower
walkway roof. Staff recommends approval of Tax Certification.

COMMISSION ACTION:
Conceptual approval granted. Owner has agreed to lower the plate line of the carport.

Ann Benson McGlone
Historic Preservation Officer
PLANNING DEPARTMENT
TEL: (210) 207-7973
P.O. BOX 639066 • SAN ANTONIO, TEXAS 78263-3966
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HISTORIC AND DESIGN REVIEW COMMISSION
CERTIFICATE OF APPROPRIATENESS
March 15, 2006
CITY OF SAN ANTONIO

HDRC CASE NO: 2004-348B
ADDRESS: 817 Nolan
LEGAL DESCRIPTION: NCB 548 BLK 9 LOT 5
HISTORIC DISTRICT: Dignowity Hill Historic District
APPLICANT: Willie Allen Francois & Guadalupe Jasso, 5354 San Simeon
OWNER: Same
TYPE OF WORK: Demolition, Addition, Renovation

REQUEST:
The applicant is requesting a Certificate of Appropriateness for final approval for demolition,
addition and renovations.

Also, applicant is requesting final approval of:
1) concrete pavers for the driveway. Holland 1 antique red and charcoal
2) 3 options for pale green / moss green paint colors
3) Front door color: Rapture (deep red)
4) Replace dilapidated existing windows with new insulated low E glass wood windows similar
or existing windows

RECOMMENDATION:
The staff recommends approval of this request as submitted. The proposed changes are
architecturally and esthetically appropriate for their setting and will have no adverse effects on
the property or the district.

COMMISSION ACTION:

Approved as submitted
Ann Benson McGlone
Historic Preservation Officer

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817 Nolan

AP# 1546427

Staff Photos 11-20-14



Staff Photos 11-20-14



Staff Photos 11-20-14



Staff Photos 11-20-14



Staff Photos 11-20-14

