

HISTORIC AND DESIGN REVIEW COMMISSION

November 16, 2016

Agenda Item No: 9

HDRC CASE NO: 2016-444
ADDRESS: 114 PRINCESS PASS
LEGAL DESCRIPTION: NCB 3094 BLK 10 LOT 10 & P-100 (PT OF ALLEY)
ZONING: R-4 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Chris Schultz
OWNER: Chris Schultz
TYPE OF WORK: Historic Tax Verification
REQUEST:

The applicant is requesting Historic Tax Verification for the property at 114 Princess Pass.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualifications:

- (a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
- (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
- (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.
- Each application shall contain sufficient documentation confirming or supporting the information submitted therein.
- (e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the

historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

(f) Historic Preservation Tax Exemptions.

(1) Historic Preservation Tax Exemption for Residences in Need of Substantial Repair. In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:

- A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
- B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.

(g) Eligibility.

(1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

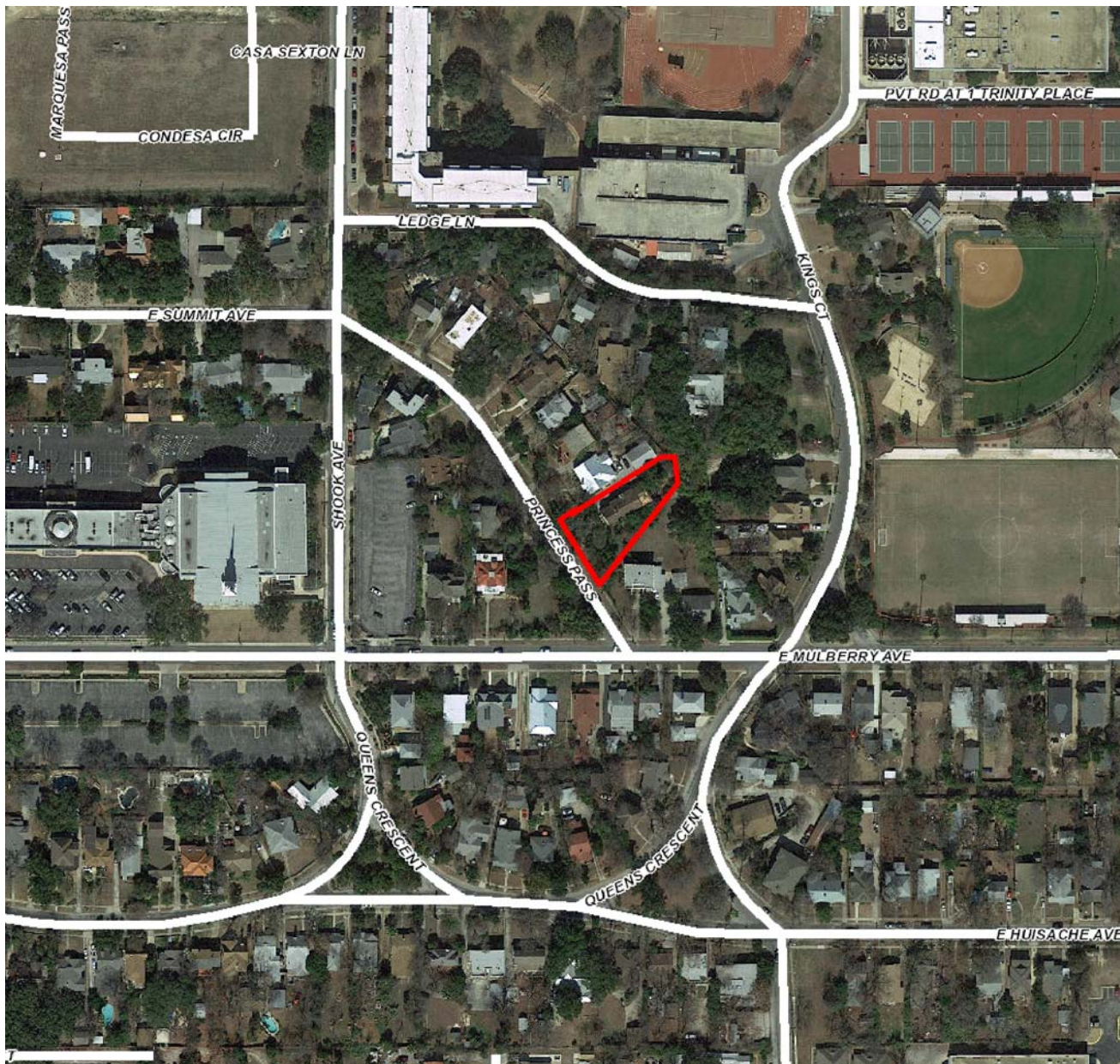
- a. The applicant is requesting Tax Verification for the property located at 114 Princess Pass. The home at this address was constructed circa 1935. It was designed by architect Claude E Hooten with Monterrey Style influences. The house has remained relatively intact, although a former terrace has been enclosed on the easternmost corner.
- b. The applicant received Tax Certification on June 5, 2013, from the HDRC.
- c. The scope of work consists of various items including repairs to the windows, porch, siding, masonry, and electrical. Also work included installing insulation, roof replacement, framing, and rebuilding of fire to the sunporch. The applicant has received administrative approval to do the aforementioned exterior repairs.
- d. The requirements for Tax Verification outlined in UDC Section 35-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs and an itemized list of costs.
- e. Staff visited the site November 9, 2016.

RECOMMENDATION:

Staff recommends approval as submitted based on findings a through e.

CASE MANAGER:

Lauren Sage



Flex Viewer

Powered by ArcGIS Server

Printed: Nov 08, 2016

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20 October 2016

Final Renovation Expenses for Repair/Rehabilitation of Schultz Residence

114 Princess Pass
San Antonio, Texas

We have separated the itemized expenses for repair/rehabilitation between those performed by our General Contractor, Bryan Mayo of Mayo Construction, and those which were self-performed. Much of the general contracting work was to repair damage caused by a fire in June 2012 at the second floor sunporch area which affected roofing, windows, column and beam framing and electrical.

Itemized Expenses by GC:

General requirements (scaffolding, dumpster, etc.)	\$ 1,366.65	
Selective demolition (removal of fire damaged material)	\$ 1,529.00	
Electrical (new circuit and lighting at sunporch only)	\$ 1,980.00	
Carpentry/framing (repairing fire damaged framing and roofing)	\$ 8,607.50	
Roof replacement (approx. 1/7 of total due to fire)*	\$28,929.00	
Window/door replacement at sunporch (all result of fire)	\$23,204.50	
Replace (4) 6x6 wood columns at porch (C.O. #1)	\$ 3,212.00	
Construct "doghouse" structure/roof for sunporch A/C Ducts (C.O. #2)	\$ 4,884.35	
Glazing installation at windows	\$ 3,649.50	
Subtotal of G.C. Work		\$ 77,362.50

Itemized Expenses – Work by Owner (material costs):

Finish carpentry at GC work areas (trim at roof edge, sunporch decking)	\$ 1,356.75	
New porch flooring, railings and screening at second floor porch	\$ 2,674.42	
Replacement porch framing lumber (perimeter fascia beams only)	\$ 164.24	
Replace board/batten siding at cantilevered second floor kitchen	\$ 1,375.56	
Reinstallation/flashings of 3 steel/glass windows at second floor kitchen	\$ 478.00	
Insulation and wood decking at cantilevered second floor kitchen	\$ 439.00	
Repointing masonry (selected areas only)	\$ 274.40	
New rain screen at first floor kitchen porch	\$ 667.83	
Painting at finish carpentry noted above**	\$ 845.78	
Attic Insulation	\$ 829.04	
Subtotal of Work by Owner		\$ 9,105.02

Total of all work \$ 86,467.52

* existing Ludowici roof tile removed, new self-adhered underlayment and copper flashing installed, and existing roof tile reinstalled

** painting at other areas included in separate line items

Note: We also replaced air conditioning and duct work in the attic for a total of \$8500 (JRS Heating & Air Conditioning, Inc.); however, there has been a delay in getting the final closeout on mechanical inspections, though we do have final approval green slips for the trade. We are not sure how quickly this delay will be resolved, and would like to achieve tax verification before the close of the year, if possible. We believe we have met requirements for "substantial rehabilitation" even without the HVAC work and have received final inspection approvals for all the work shown above.

City of San Antonio Development Services Inspection Green Slips
114 Princess Pass, San Antonio, TX

City of San Antonio		Residential Combination Inspections			
AP. #	1899881	Address	114 Princess Pass	Insp. #	5551987
Your inspection was:		Approved	Partial Pass	Conditional Approval	
The following inspections were performed:					
<u>Mechanical</u>	<u>Electrical</u>	<u>Plumbing *</u>	<u>Building</u>		
Rough-in	Rough-in (TOPS)	Rough-in Top out	Foundation	Frame	UDFrame
Final	Final Reconnect	Waterpipe in Slab	Insulation	Final	UDFinal
	(TML)	Underground Waterline	Tree Final	Flatwork	
		Gas Sewer Final			
Comments: Pending Engineer letter.					
Inspector: L. Huizar #211 Date: 10/20/16 Time: PM Phone: 210-912-7792					
Please take a moment to tell us how we're doing by taking our survey http://www.sanantonio.gov/dsd/survey.asp					
For more information call Central Records at 207- 1111 or visit our website at www.sanantonio.gov/dsd					
* This facility complies with Environmental Quality 30 Tex. Admin. Code 290.46 (j) (3). (West 1997) Revised: 5/26/2016					

Structural engineering letter submitted, per DSD records on 4.18.14 and resubmitted on 10.20.16

City of San Antonio		Residential Combination Inspections			
AP No.	1899881	Address	114 Princess Pass	Insp. #	5414346
Your inspection was:		Approved	Conditional Approval	(see comments on back)	
The following inspections were performed:					
<u>Mechanical</u>	<u>Electrical</u>	<u>Plumbing *</u>	<u>Building</u>		
Rough-in	Rough-in (TOPS)	Rough-in Top out	Foundation	Frame	UDFrame
Final	Final Reconnect	Waterpipe in Slab	Insulation	Final	UDFinal
	(TML)	Underground Waterline	Tree Final	Flatwork	
		Gas Sewer Final			
Inspector: L. Huizar #211 Date: 10/20/16 Time: PM Phone: 210-912-7792					
Please take a moment to tell us how we're doing by taking our survey http://www.sanantonio.gov/dsd/survey.asp					
Revised: 12/7/11					

City of San Antonio

Electrical Inspections

A/P No. 1933073

Your inspection was: Approved Partially Approved Conditional Approval

Your inspection type was:

Rough-in Final C of O Temporary Meter Loop (TML)

Temporary on Permanent Set (TOPS) Reconnect (comments on back)

Inspector: AC #244 Date: 11-22-13 Time: A.M. Phone: 216 9834

City of San Antonio

Electrical Inspections

A/P No. C2210656

Your inspection was: Approved Partially Approved Conditional Approval

Your inspection type was:

Rough-in Final C of O Temporary Meter Loop (TML)

Temporary on Permanent Set (TOPS) Reconnect (comments on back)

Inspector: 147 Per Date: 10-20-16 Time: PM Phone: 827 9247

City of San Antonio

Residential Combination Inspections

AP No. 2708671 Address: 114 Princess Pass Insp. # _____

Your inspection was: Approved Conditional Approval (see comments on back)

The following inspections were performed:

<u>Mechanical</u>	<u>Electrical</u>	<u>Plumbing *</u>	<u>Building</u>
Rough-in	Rough-in (TOPS)	Rough-in Top out	Foundation Frame UDEFrame
<u>Final</u>	Final Reconnect Waterpipe in Slab	Insulation	Final UDFinal
	(TML)	Underground Waterline Tree Final	
	Gas Sewer Final		Flatwork

Inspector: #128 A. Silva Date: 10/17/2016 Time: 10:30 Phone: 4168274

Please take a moment to tell us how we're doing by taking our survey <http://www.sanantonio.gov/dsd/survey.asp> Revised: 12/7/11

April 18, 2014

Mr. Chris Schultz, AIA, LEED AP
114 Princess Pass
San Antonio, Texas 78212

PROJECT NAME: Schultz Residence fire Damage
ADDRESS: 114 Princess Pass
San Antonio, Texas 78212
PERMIT #: AP# 1899881

Please be advised that the wood framed superstructure, fire damage repairs were directed by this office.

After repairs were made a field observation visit was made by a qualified individual of this office to verify that the repair program was performed in general conformance with our intent. It is our opinion, based on our experience, knowledge, information and belief, that repairs to the superstructure have been performed in general conformance with direction given by this office.

Field observations were performed in accordance with generally accepted contractual guidelines as described in AIA Document C-141.

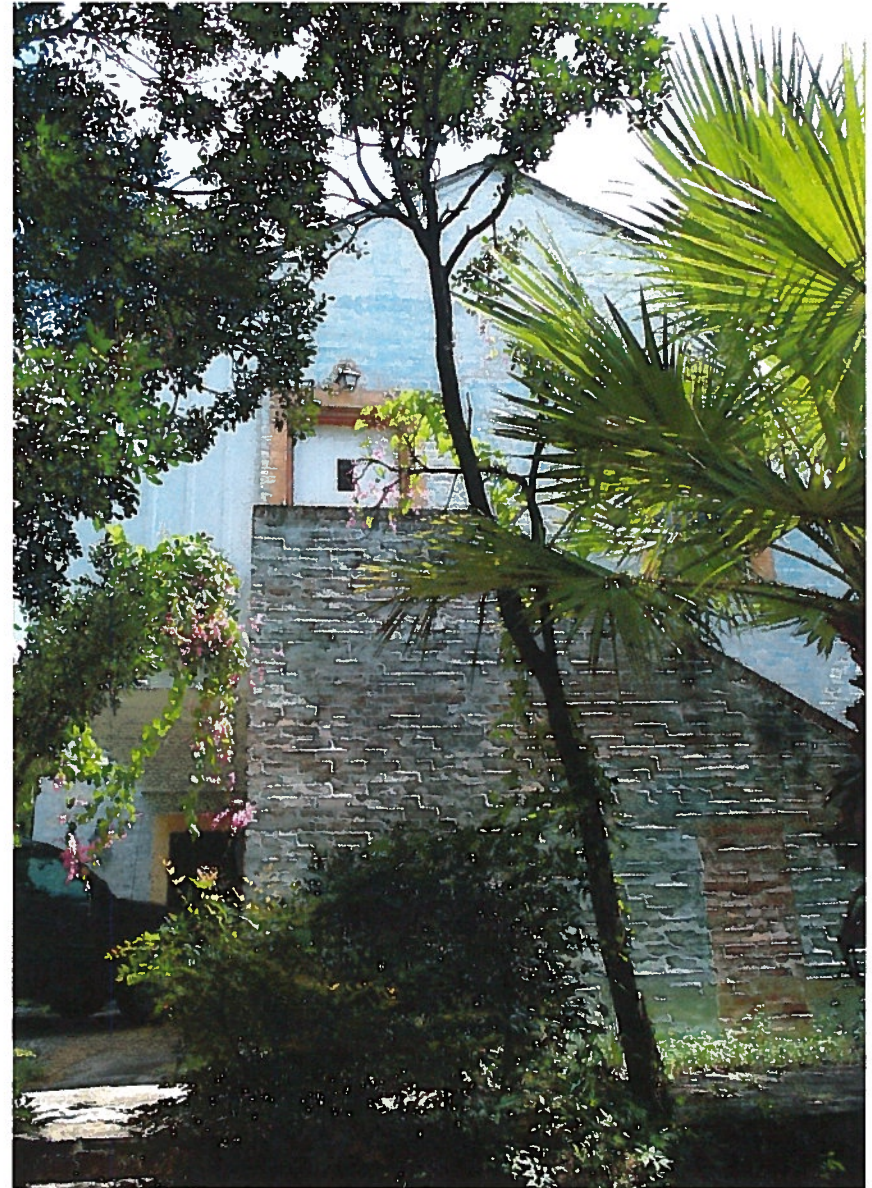
As denoted by my seal on this letter, we believe that we have fulfilled our obligations under that Texas Engineering Practice Act pursuant to its requirements to protect the public health, safety and welfare in the practice of engineering. We further believe that we have met those requirements insofar as our responsibility for design and observation of the work for conformance.

Sincerely,
AccuTech Consultants, LLC


Enrique Martinez, P.E.
Principal

EM/kis





Street Façade (Southwest Elevation) – repointed masonry in various places; infilled access door below stairs with D'Hanis solid bricks (one of a variety of bricks used in original construction); re-installed existing Ludowici roof tiles over new underlayment with copper flashing and new redwood eave trim to match existing profile and dimension throughout (existing trim had significant wood rot and termite damage); new board and batten siding (dimensions and profiles matching existing) on cantilevered second floor kitchen over garage below (existing siding had significant wood rot); refurbished and repainted existing front door.



Street Façade – (left) Detail of infill masonry below stairs – tried to emulate slightly irregular placement of individual bricks seen in existing masonry; (right) Detail of repointed masonry joints using white masonry cement, and medium coarse sand in 1:3 ratio similar to existing mortar (picture taken below cantilevered second floor kitchen next to garage door)



Driveway Façade (Northwest Elevation) – New replacement window far left upstairs to replace fire-damaged existing; refurbished roofing, copper flashing and perimeter eave trim as noted earlier (roof now has some hail damage – awaiting repair);repointed masonry in numerous locations; new standing seam copper roof over rear porch covering stairs down to first floor kitchen; also new glazed rain screen and wood frames at rear porch openings (to prevent flooding of stairwell – replaced existing “temporary” corrugated plastic panels); new outdoor HVAC condensing unit (taller one on left) relocated from former location near garage; new board and batten siding, refurbished windows and insulated floor at second floor cantilevered kitchen (far right of photo)



Details of Northwest Elevation



Detail of board and batten siding and insulated floor with covering decking and trim at cantilevered second floor kitchen over garage



Detail of repointed masonry joints, replaced broken/cracked masonry (at window jamb/head corner), new painted redwood eave trim and copper drip edge (typical at all roof locations)



More detail images of Northwest Elevation





Rear Façade (Northeast Elevation) – New roof beam and trim and casement windows at second floor sunporch (upper left) to replace those damaged by fire; new glazed rear door and upper right window to match replacement windows at sunporch; new perimeter eave trim and copper flashing throughout; new roofing over new tapered roof insulation at flat roof area; new attic louver/access door in gable to replace existing damaged by fire department; repointed masonry joints in numerous locations; new decorative masonry "lattice" over first floor window (partially obscured by metal stairway – detail later). Note: circular hole in masonry on lower far right will be filled by first floor kitchen exhaust hood once interior renovation begins.



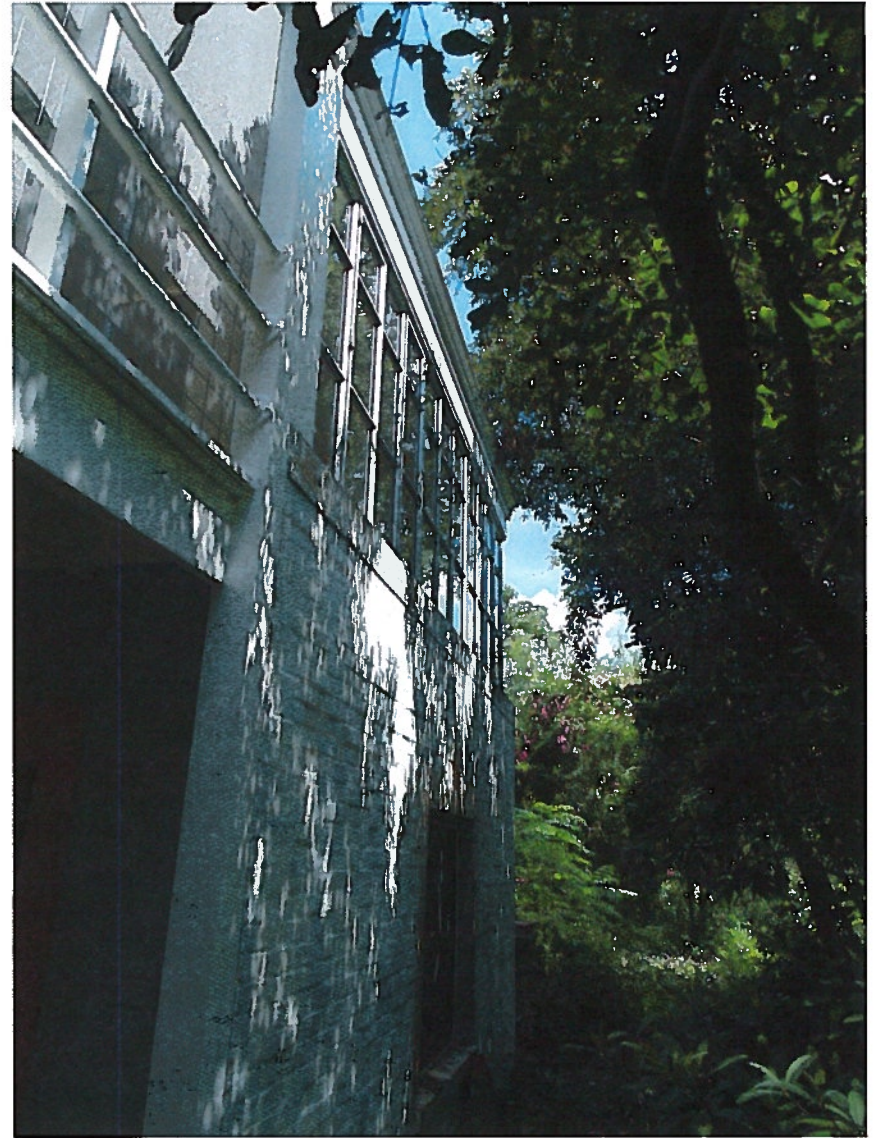
Detail of sunporch beam and replacement windows; repointed masonry, especially at exterior corner below windows. Note: former sheet metal downspout was damaged by roofing operations and removed – opening was infilled with D'Hanis solid brick



Detail of replacement glazed door above and new brick "lattice" over first floor window (pattern of lattice confirmed by existing masonry evidence – original lattice was missing when residence was purchased in 1996, painting delayed until entire house can be painted)



Detail of repointed masonry



Detail of replacement roof beam/trim and windows at second floor sunporch; replacement 6x6 wood two-story porch column (top burned in fire) and new porch flooring, railings, and screening similar to original photo)



Side Façade (Southeast Elevation) – Repointed masonry throughout; new roof beam/trim and windows at second floor sunporch; replacement 6x6 wood porch columns, new balcony porch flooring, railings and screening



Detail of balcony railings and screening



Side Façade (Southeast Elevation) – new porch columns; new porch flooring, railings and screening. Note: this elevation is difficult to photograph in its entirety due to tree canopies



Interior of sunporch (repair of fire damage): replacement windows on left and new glazed door with sidelites at center (access onto existing balcony); last two bays have replacement ceiling decking (destroyed by fire); new lighting (reinstallation of fixtures already in my possession)



Replacement windows, new wood roof beam above windows with finish trim; existing roof beams and decking repainted; existing tile floor cleaned

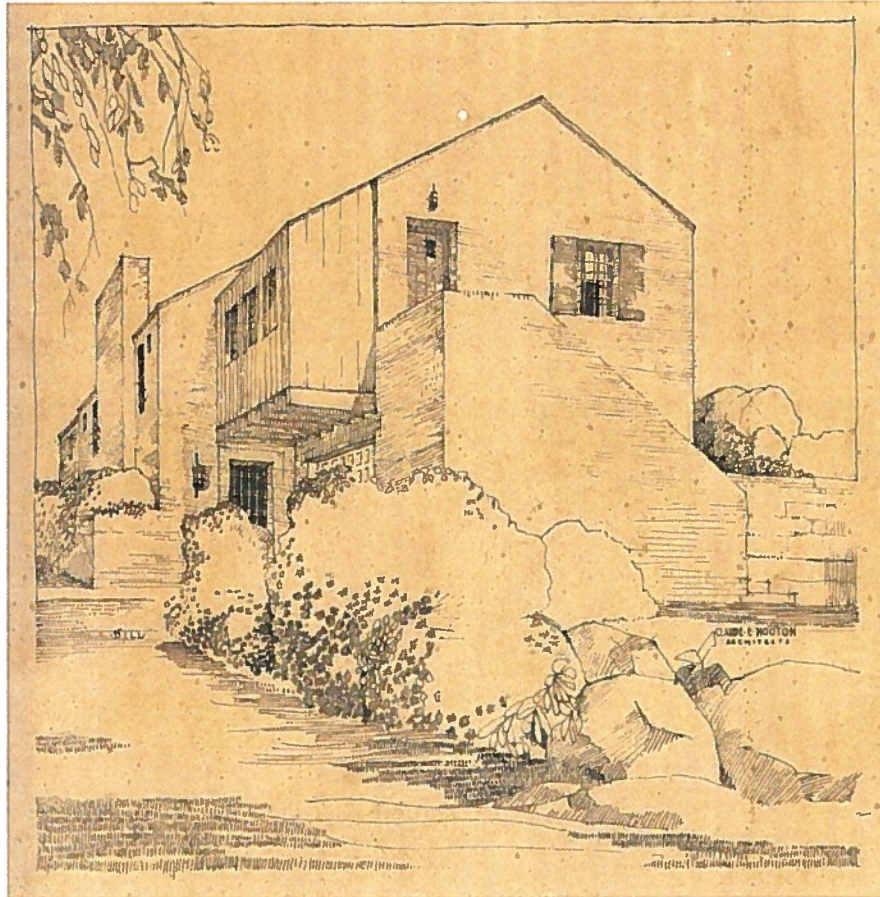


Interior corner of sunporch with replacement windows



Attic showing new batt insulation at rafters with poultry netting support

Original Images of Residence – 114 Princess Pass, San Antonio, TX



Original rendering ca. 1934

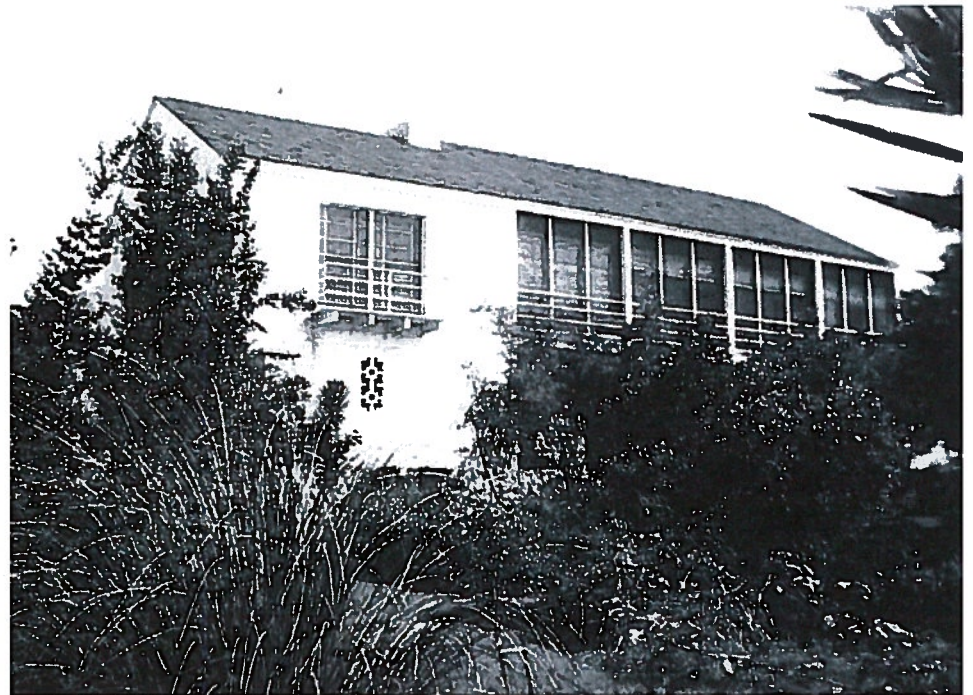


Photo of Southeast Elevation ca. 1940