

HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2017

HDRC CASE NO: 2017-050
ADDRESS: 702 MASON ST
LEGAL DESCRIPTION: NCB 1276 BLK 8 LOT N 56 FT OF 1
ZONING: R-5,H
CITY COUNCIL DIST.: 2
DISTRICT: Government Hill Historic District
APPLICANT: Christopher Gill
OWNER: Christopher Gill
TYPE OF WORK: Historic Tax Certification
REQUEST:

The applicant is requesting Historic Tax Certification for the property at 702 Mason.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualifications:

(a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:

- (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
 - (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

- (d) Certification.

- (1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.
 - (2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.
- (g) Eligibility.
- (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

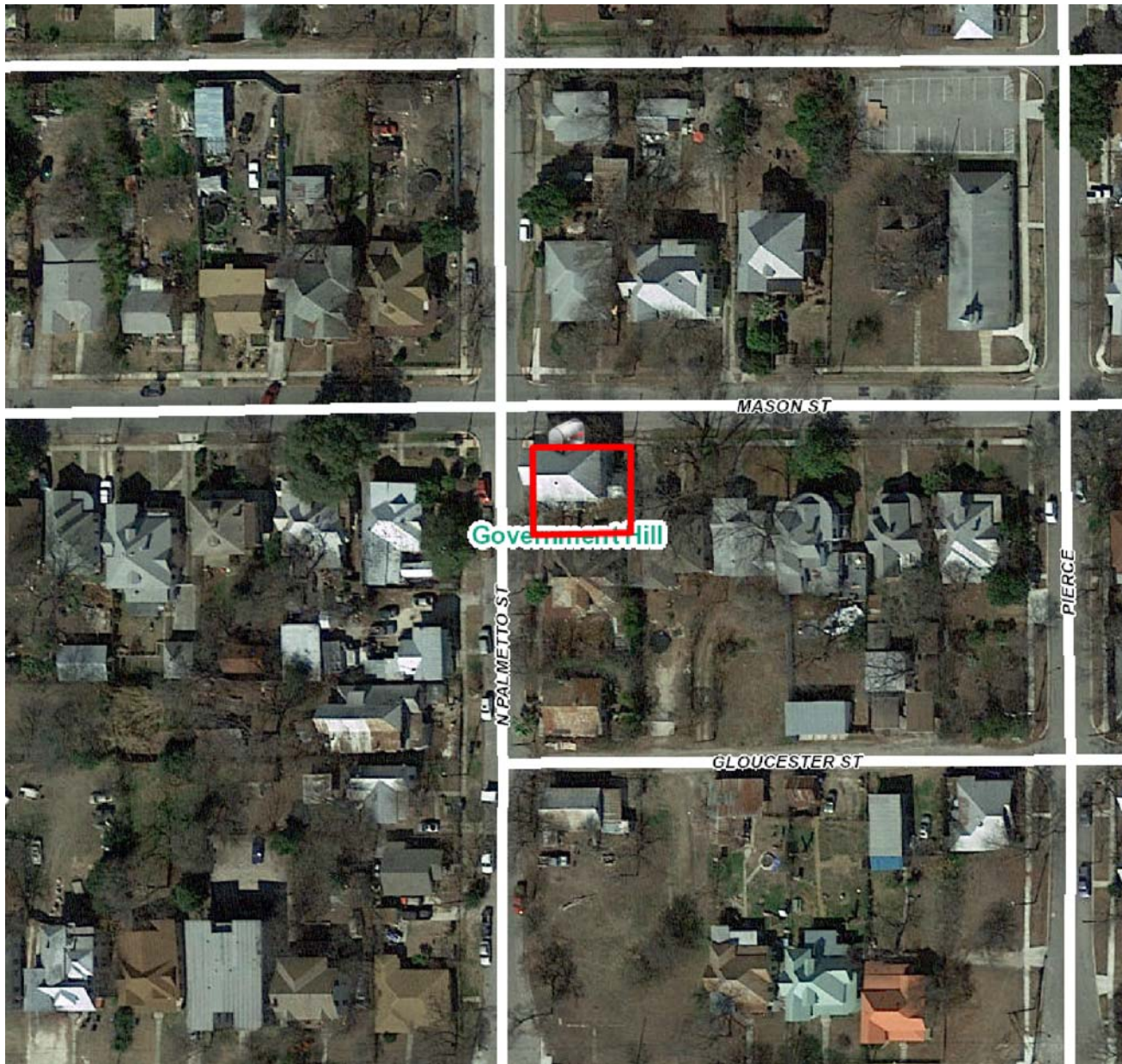
- a. The applicant is requesting Historic Tax Certification for the property at 702 Mason in the Government Hill Historic District. The structure first appears on a Sanborn map in 1924 as a one story structure. The 1951 Sanborn map shows both the addition of a second floor and an addition to the south side of the structure.
- b. At the October 5, 2016, HDRC hearing, the applicant received approval for the repair of existing siding, the installation of entrance awnings, the repair of wood windows and exterior modifications including the creation of new window openings in an existing addition.
- c. The requirements for Historic Tax Certification outlined in UDC Section 25-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs and an itemized list of costs.

RECOMMENDATION:

Staff recommends approval based on findings a through c with the stipulation that the applicant complete all approved scopes of work in accordance with the issued Certificates of Appropriateness and DSD issued permits.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 26, 2016

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N Palmetto

Mason St

Pierce Ave

Colita St

Mason St

N Palmetto

702 Mason Street

Mason St

N Palmetto

Mason St

Mason St

Clouchester St

N Palmetto

702 Mason St - Tax Certificate Information

Scope of Work:

This home located in the Government Hill historic district will be fully updated and remodeled for today's buyer. These updates will include:

1. Electrical updates - \$12,000
2. Plumbing updates - \$12,000
3. New roof install - \$10,300
4. HVAC system - \$8,500
5. Interior sheetrock repairs/paint - \$15,500
6. Exterior siding repairs/paint - \$6,000
7. Windows/door repair - \$5,500
8. Updated kitchen including custom cabinetry & granite countertops - \$15,000
9. Floor repairs - \$8,500
10. Bathroom updates - \$10,500

Total: \$103,800

Timeline: 10 - 12 weeks















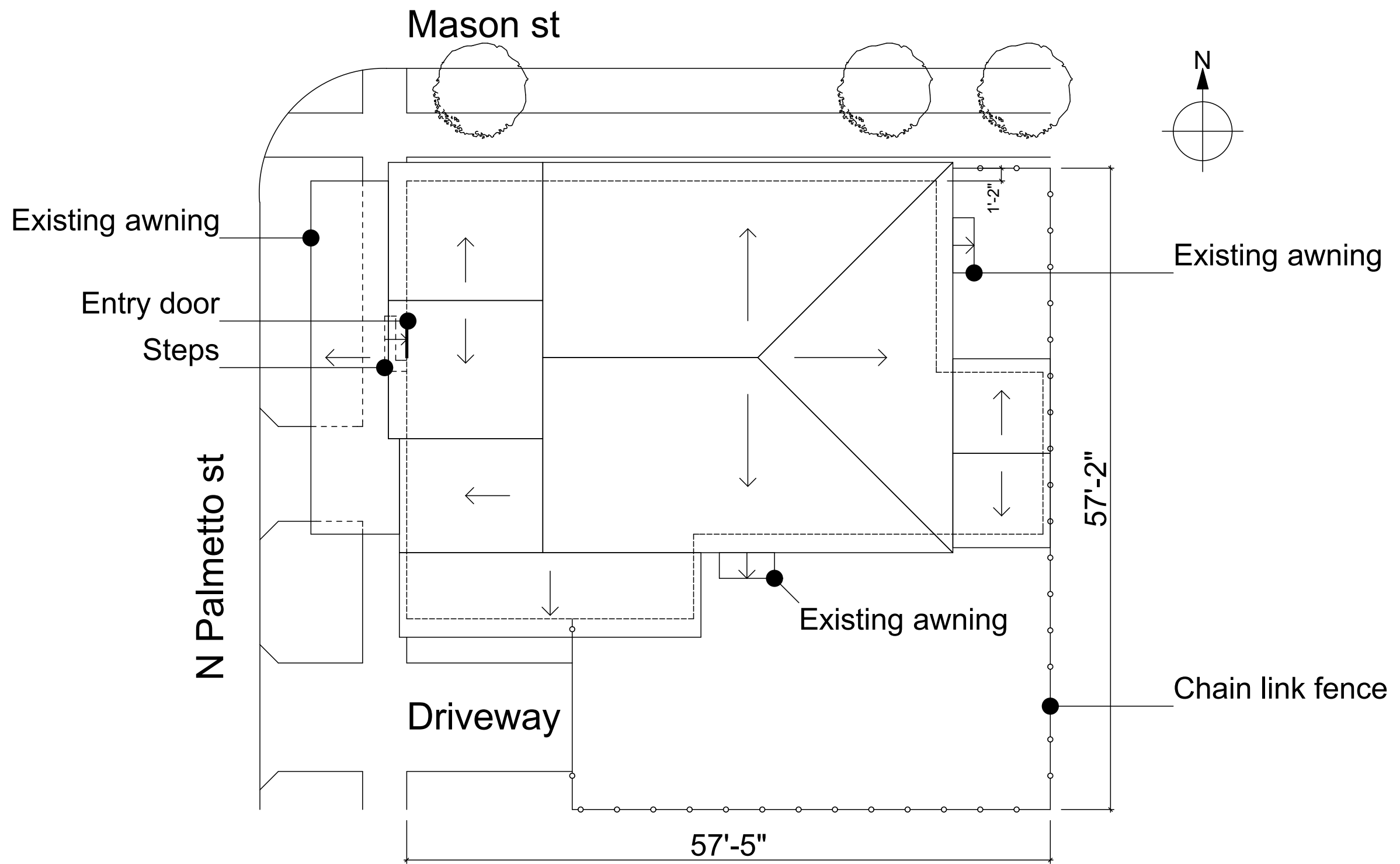






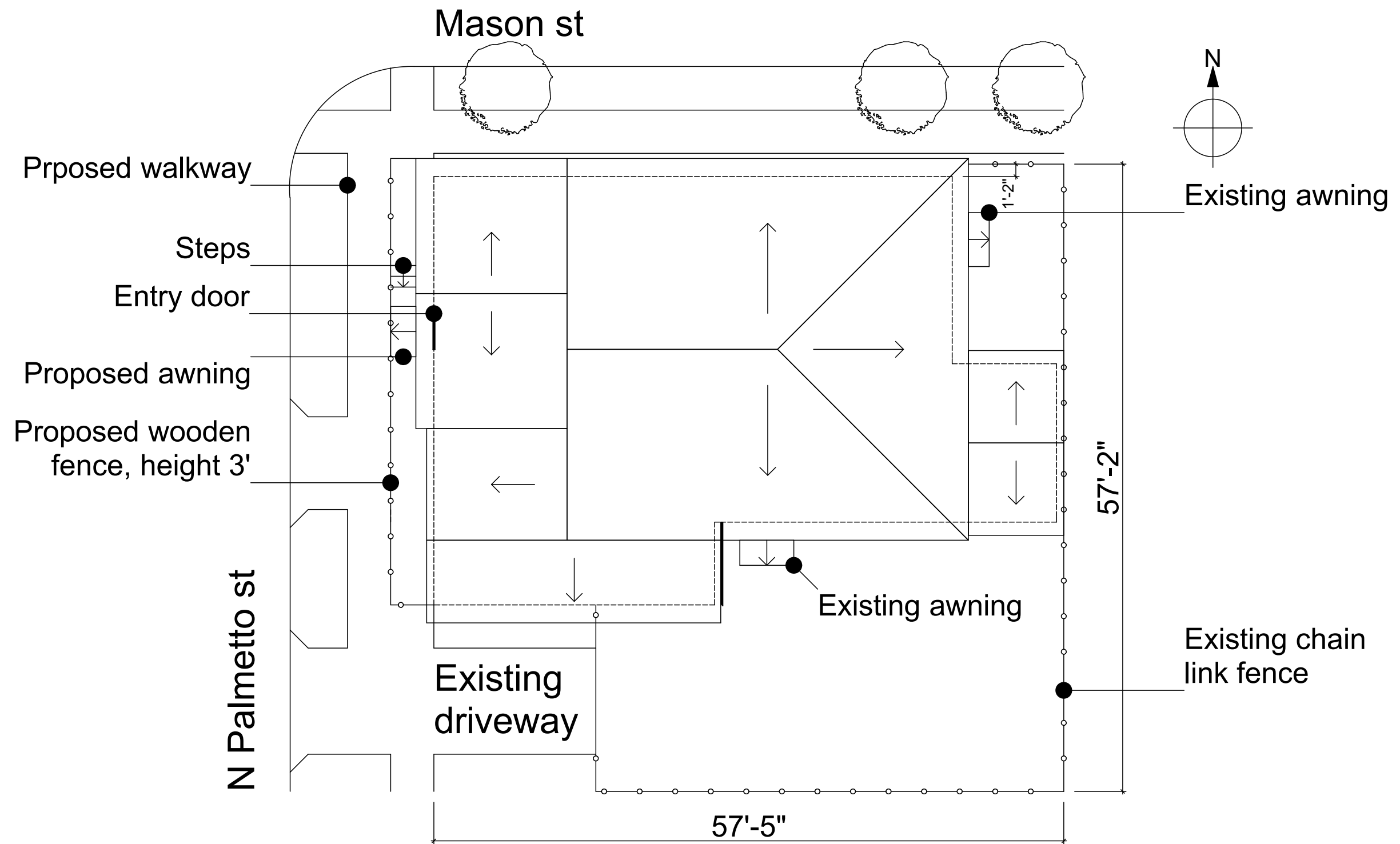






EXISTING SITE / FLOOR PLAN

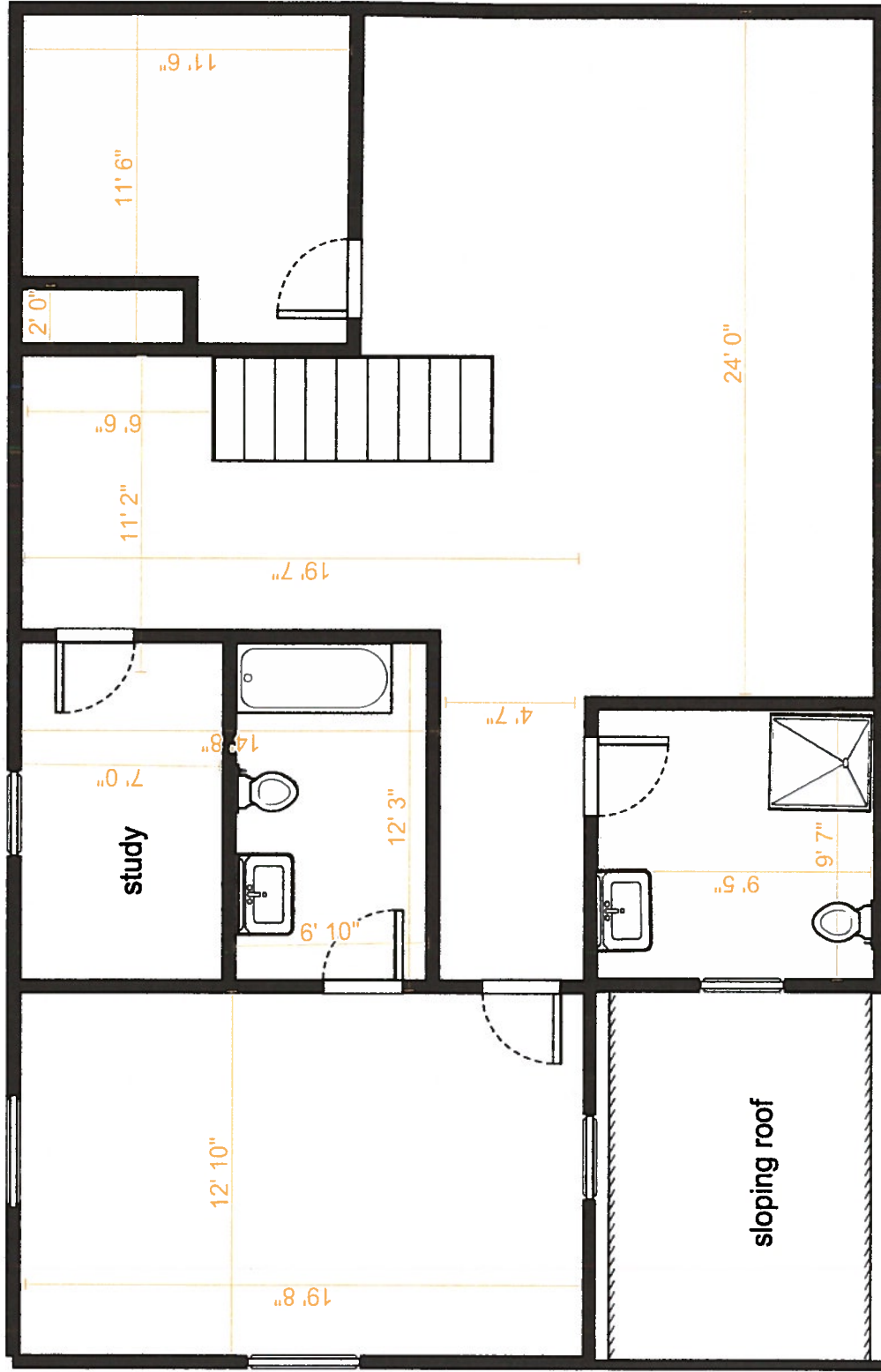
Scale 1" = 10' - 0"



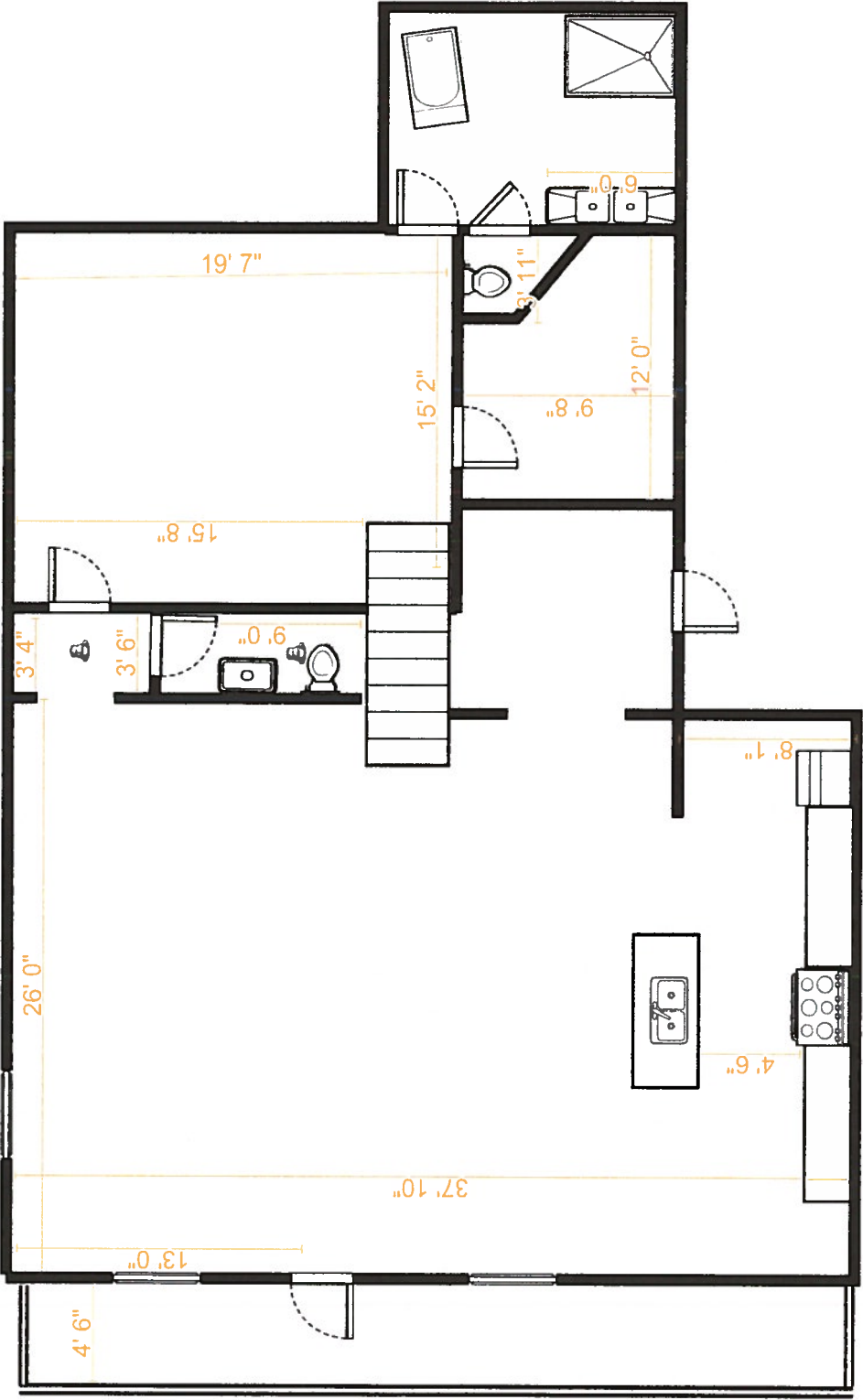
PROPOSED SITE / FLOOR PLAN

Scale 1" = 10' - 0"

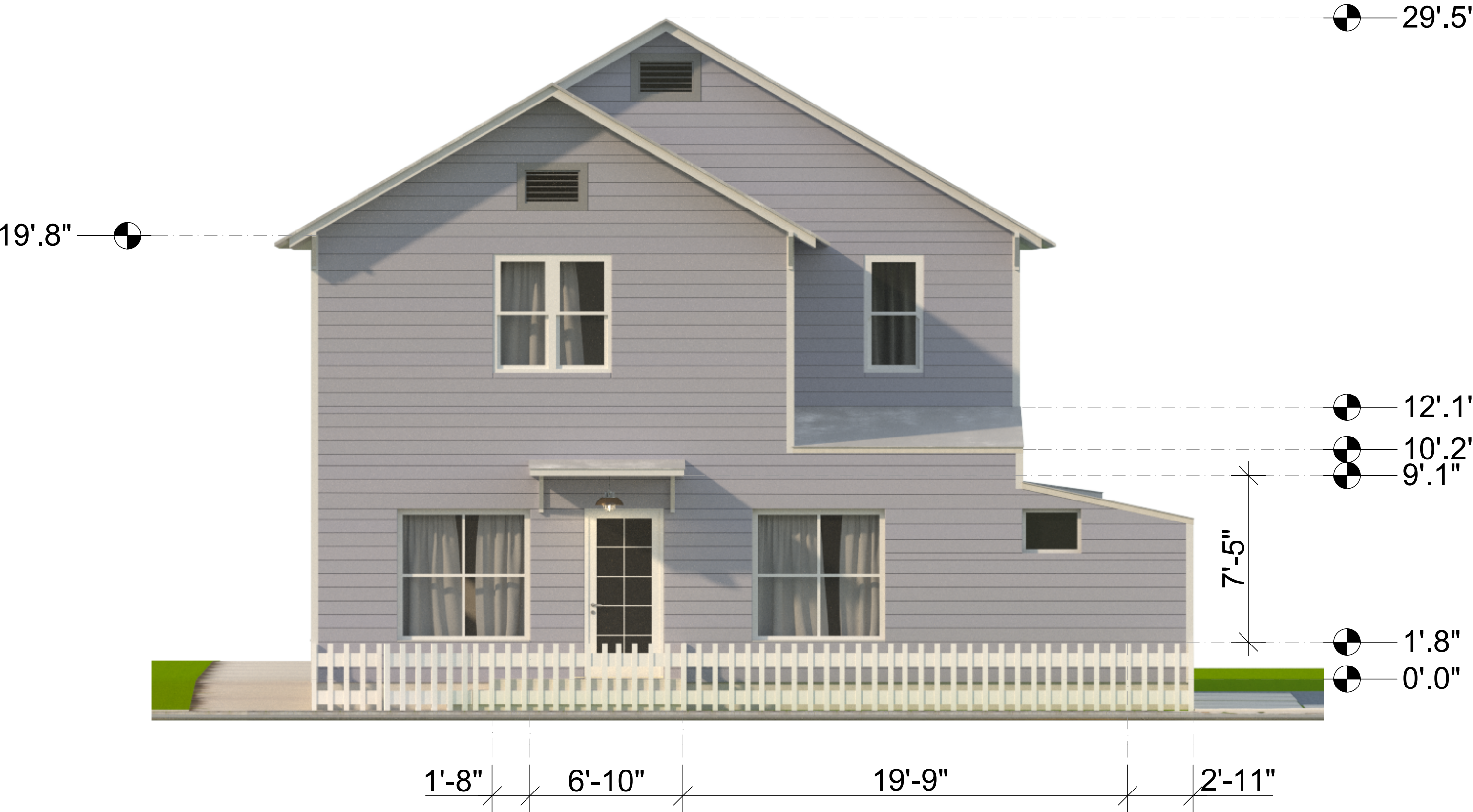
702 Mason St. 2,994 SQF 3/3.5 - Upstairs



702 Mason St. 2,994 SQF 3/3.5 - Downstairs



West Elevation (Front)



North Elevation (Left)



East Elevation (Rear)



South Elevation (Right)







