

HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2017

HDRC CASE NO: 2017-034
ADDRESS: 815 QUITMAN ST
LEGAL DESCRIPTION: NCB 1255 BLK 3 LOT S 11.5 FT OF 39 & W 49.5 OF 42 ARB 42C
ZONING: C-2
CITY COUNCIL DIST.: 2
DISTRICT: Government Hill Historic District
APPLICANT: Mark Sullivan
OWNER: Monique Sullivan
TYPE OF WORK: New construction
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a one-story commercial structure, approximately 2400 square feet, with a stucco exterior and a metal roof.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent

street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. *Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS

Salvaged materials—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

FINDINGS:

- a. The property is a vacant lot located in the Government Hill Historic District. There lot is fenced in by 6' wood privacy fence on the left, rear and right property lines, and a 6' transparent wrought iron fence on the front property line.
- b. The lot is along a narrow street. There is one other buildings along the block that face Quitman; it is a two-story brick warehouse building two lots to the east. The warehouse has only one roll-up door, one pedestrian door, and one window. On the left side of the lot, there is a parking lot to the rear of an Army Lodge, which is a two-story brick building with six over six windows.
- c. The applicant submitted a request for a pre-fabricated structure. The request was heard by the Design Review Committee on May 11, 2016, at which members provided feedback about submitting something more consistent with the Guidelines. The applicant withdrew his application and was not heard by the HDRC.
- d. The request was heard by the Design Review Committee on February 7, 2016, at which the member present noted the lack of rhythm along the block and found the orientation appropriate for the warehouse style structure. There

were also concerns about documentation, including needing a context aerial, window details, door details, material examples, and a site plan showing all site elements existing and proposed.

- e. **SETBACKS/ORIENTATION** - The proposed commercial structure is setback 27 feet from the front property line and 8 feet from the left side property line. The proposed front entrance faces east. According to the Guidelines for New Construction 1.A., front facades of new buildings should align with front facades of adjacent building where a consistent setback has been established and the new building should be oriented similar to the predominate orientation of historic buildings along the street frontage. Staff made a site visit January 20, 2017, and found that the historical development pattern does not have a consistent front setback along this block. Also staff found that there is not a predominate orientation along this block; however it is consistent in historic districts for the front entrances should face the street. Staff finds the proposed setback appropriate, but does not find the orientation consistent with the Guidelines.
- f. **SCALE/MASS** (height, transitions, foundation heights) – The proposed structure is one-story tall on a slab. According to the Guidelines for New Construction 2.A., new construction should be designed so that the height and scale are consistent with nearby historic buildings, and to align foundation heights similar to those of adjacent historic structures. Staff made a site visit on February 8, 2017, and found that the other two historic structures along the block are also on slab and are both two-stories tall. Staff finds the proposed one-story subordinate to the neighboring historic districts and consistent in foundation heights. This is consistent with the Guidelines.
- g. **ROOF FORM** – The proposed structure has a front gable roof with standing seam metal. According to the Guidelines for New Construction 2.B., new buildings should incorporate roof forms in terms of pitch, overhangs, and orientation that are consistent with those predominately found on the block. Staff made a site visit on January 20, 2017, and found that the other two historic structures along the block have flat roof forms. Staff finds the proposed gable roof form is not consistent with Guidelines, and recommends the structure include a flat roof form.
- h. **RELATIONSHIP OF SOLIDS AND VOIDS** – The proposed window fenestration includes 11 4' x 3' six over six wood windows, and one 1' x 2' small fixed wood window to the right of the roll-up door. The doors to be installed will be a metal 8' roll-up door and one 36" pedestrian steel door. According to the Guidelines for New Construction 1.C., incorporate window and doors openings with a similar proportion of wall to window space as typical with nearby historic facades. Staff asked for more details regarding the pedestrian door, but has not received it as of the date of posting. Staff finds the window configuration appropriate, but finds the proposed fenestration minimal and pedestrian doors are typically located along the front façade. Staff recommends that there be a pedestrian entrance along the front façade, that the details of the proposed pedestrian door are provided, and that there is more fenestration consistent with other historic buildings in the district along the front façade.
- i. **LOT COVERAGE** – The proposed building is on a vacant lot, and will take up approximately 2400 square feet of a 5700 square foot lot. According to the Guidelines for New Construction 1.D., that the new building footprint should be limited to no more than 50% of the total lot area, unless adjacent historic buildings establish a precedent of greater ratio. Staff finds the proposed lot coverage consistent with the Guidelines.
- j. **MATERIALS** – The proposed commercial structure will have stucco siding, wood trim, and a standing seam metal roof. The stucco will be painted white, and the trim and accents will be painted dark brown. The windows are made of wood, and the roll-up door and pedestrian door are made of steel with a faux wood finish. According to the Guidelines for New Construction 2.A., new materials should complement the type, color, and texture of materials traditionally found in the district. Staff finds the proposed stucco, metal roof and wood elements consistent with materials in the district, and the proposal consistent with the Guidelines. Staff finds the proposed door material appropriate, but finds the faux wood finish not appropriate as it is not compatible with the historic district. A steel roll-up door and pedestrian door with minimal detail would be more appropriate.
- k. **ARCHITECTURAL DETAILS** – There are little architectural details proposed on this new construction. According to the Guidelines for New Construction 4.A., architectural details should be in keeping with the predominate architectural style along the block face. Staff finds proposed structure lacks depth and roof overhangs. Staff recommends the applicant consider adding additional architectural details.

RECOMMENDATION:

Staff does not recommend approval at this time based on findings a through j. Staff recommends the following items be considered before submitting again to the HDRC so that the project is more consistent with the Guidelines:

1. Orienting the building to address Quitman.
2. Locating a front pedestrian entrance on the front façade.

3. Including a pedestrian door made of wood and providing details.
4. Increasing fenestration along the front façade so that it is consistent with other historic buildings in the district.
5. Including a flat roof form.
6. Adding additional architectural details.

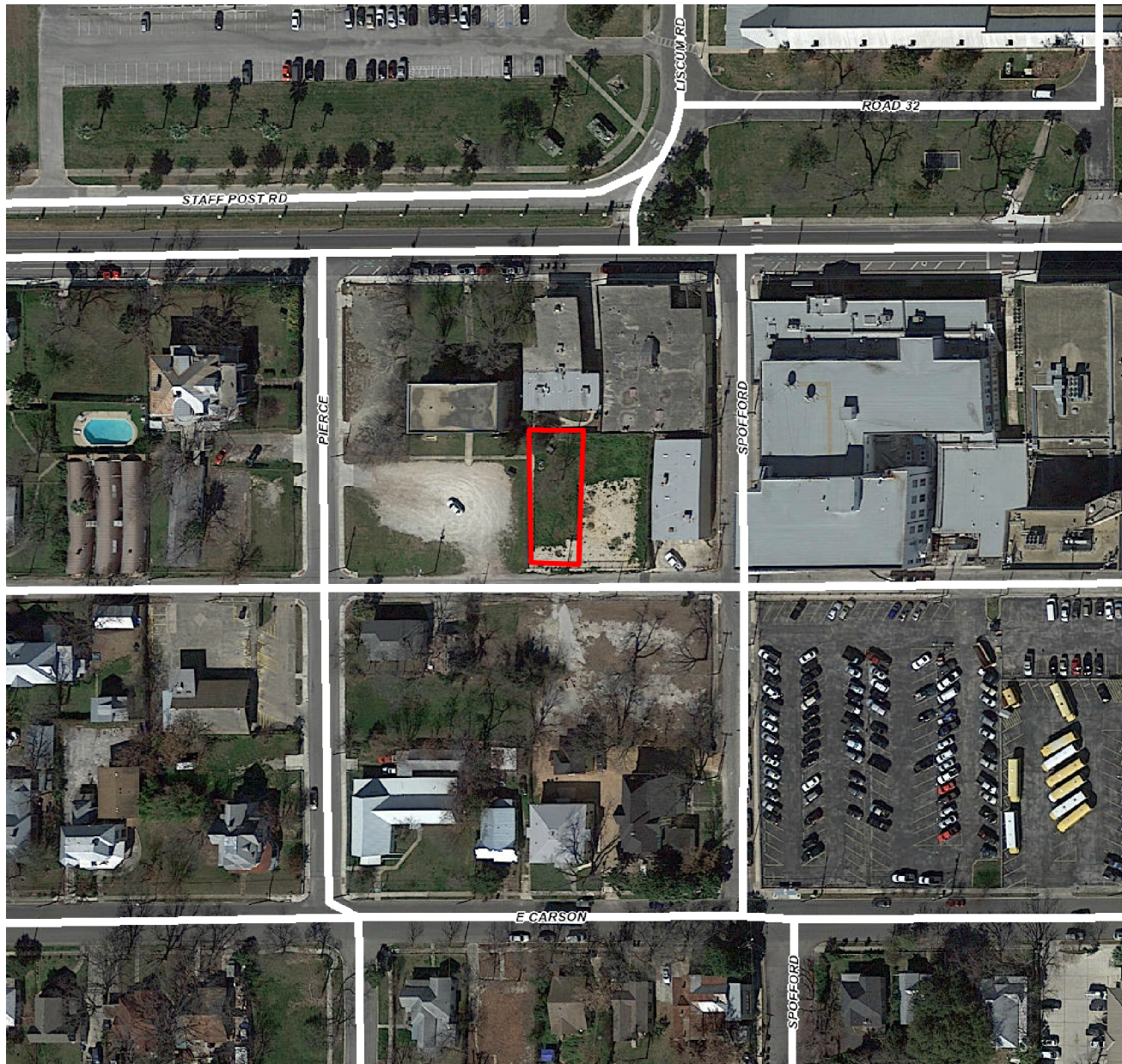
CASE MANAGER:

Lauren Sage

CASE COMMENTS:

DRC 5/11/16

2/7/17

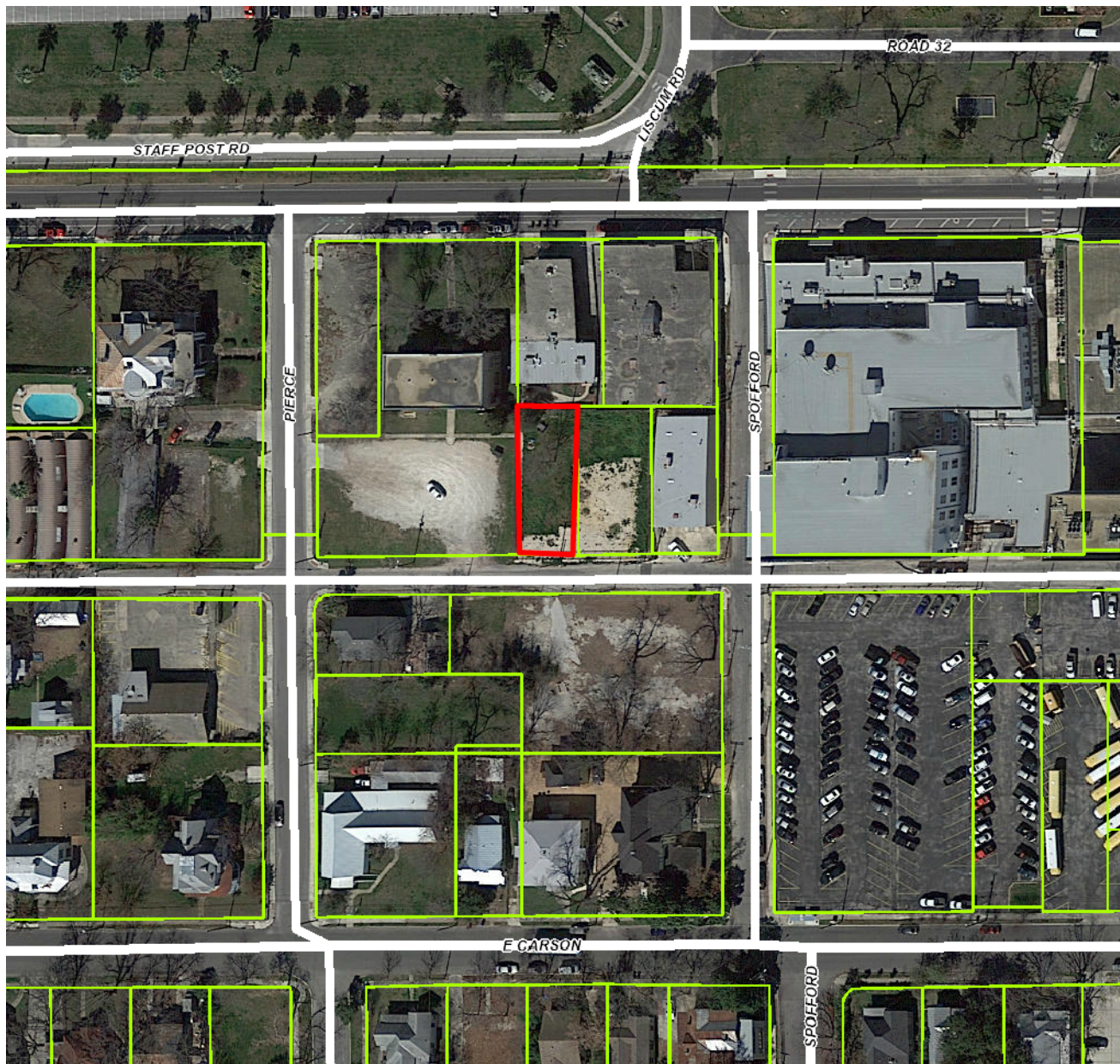


Flex Viewer

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Printed: Jan 23, 2017

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ft Sam HQ S

Army Lodge
1105 Af & AM

815 Quitman Street

Pierce Ave

Pierce Ave

Spoilford Ave

Spoilford Ave

Spoilford Ave

Spoilford Ave

Quitman St

Quitman St

Quitman St

Quitman St

Quitman St

Quitman St

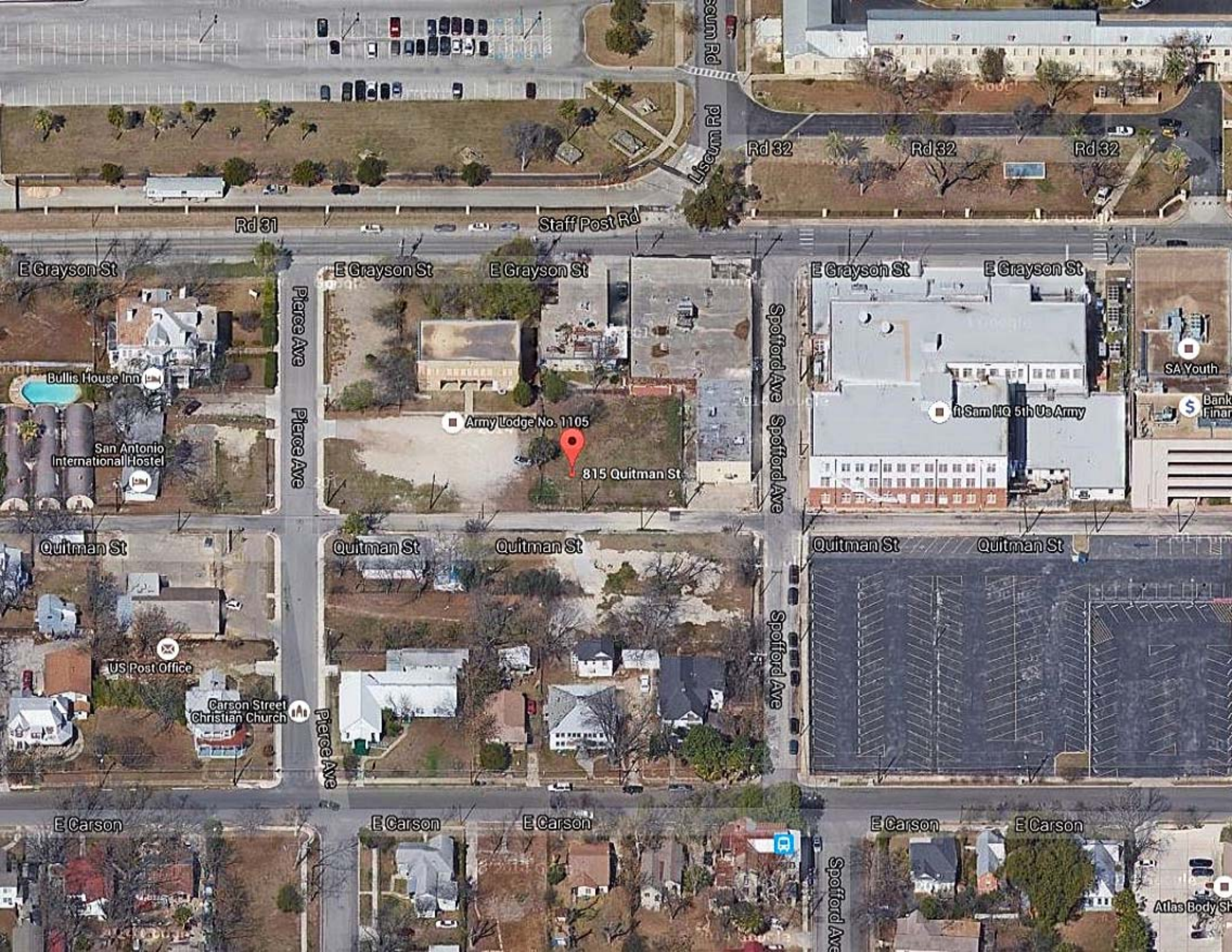
Pierce Ave Pierce Ave

Google



CITY OF SAN ANTONIO
NOTICE OF HEARING
HISTORIC & DESIGN
REVIEW COMMISSION
ADDRESS: [REDACTED]
HEARING DATE: [REDACTED]
TIME: 10:00 A.M.
FOR MORE INFORMATION CONTACT
CITY PLANNING
ALL HEARINGS TAKE PLACE AT 100 N. N. ST.





Rd 31

Staff Post Rd

Rd 32

Rd 32

Rd 32

E Grayson St

E Grayson St

E Grayson St

E Grayson St

E Grayson St

Pierce Ave

Spofford Ave

Bullis House Inn

San Antonio International Hostel

Army Lodge No. 1105

815 Quitman St

Rt Sam HQ 5th Us Army

SA Youth

Bank

Quitman St

Quitman St

Quitman St

Quitman St

Quitman St

Pierce Ave

Spofford Ave

US Post Office

Carson Street Christian Church

E Carson

E Carson

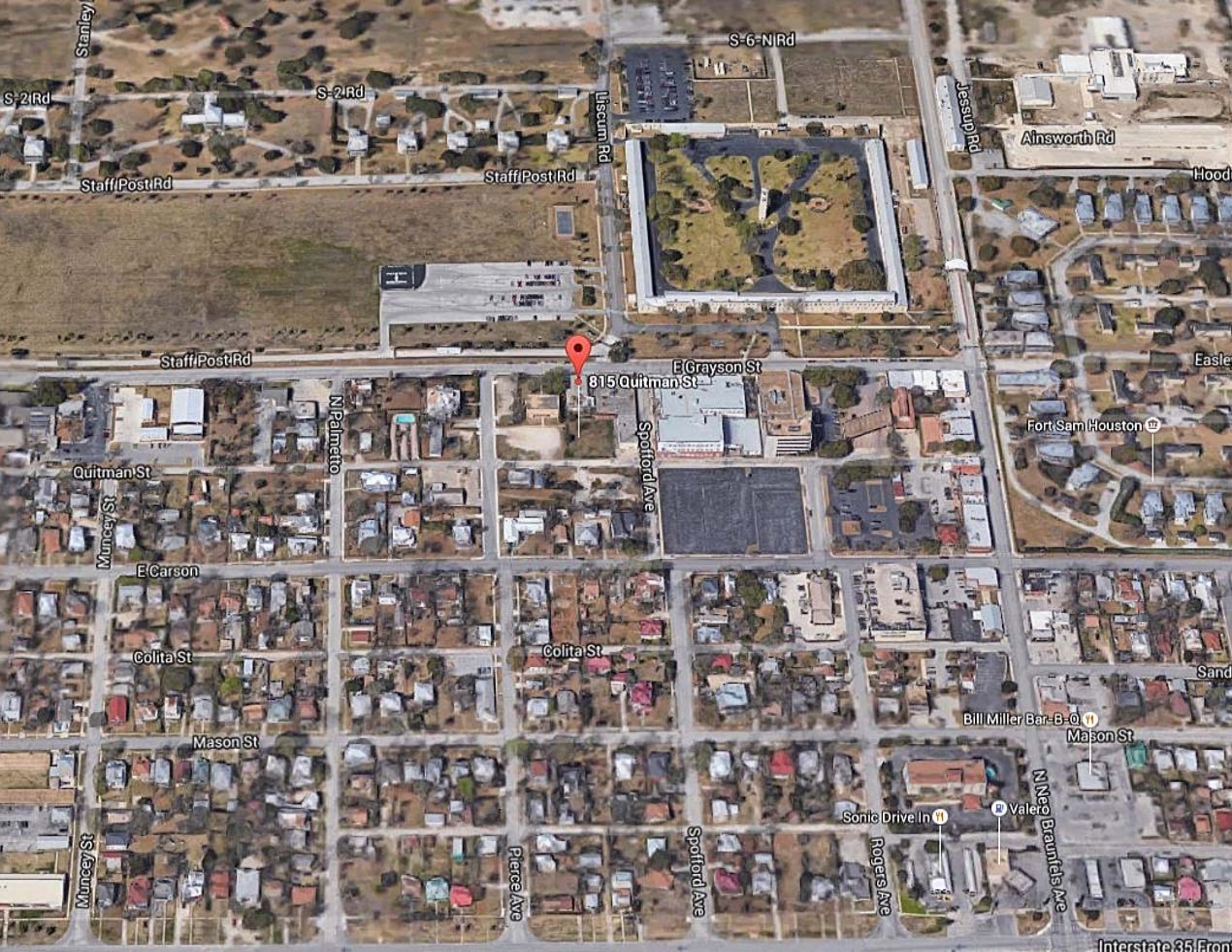
E Carson

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Spofford Ave

Atlas Body Sh



Stanley

S-21Rd

S-2Rd

S-6-NRd

Liscum Rd

Jessup Rd

Ainsworth Rd

Staff/Post Rd

Staff/Post Rd

Staff/Post Rd

E Grayson St

815 Quitman St

Spottford Ave

Quitman St

N Palmetto

Muncey St

E Carson

Colita St

Mason St

Colita St

Pierce Ave

Spottford Ave

Sonic Drive In

Rogers Ave

N Neo Brautfels Ave

Mason St

Bill Miller Bar-B-Q

Valero

Interstate 35 Front

Army Lodge No. 1105

815 Quitman St

Quitman St

Spofford Ave















NO
PARKING
ANYTIME

NO
PARKING
ANYTIME
TOW AWAY ZONE
←→





815 QUITMAN

Google Maps

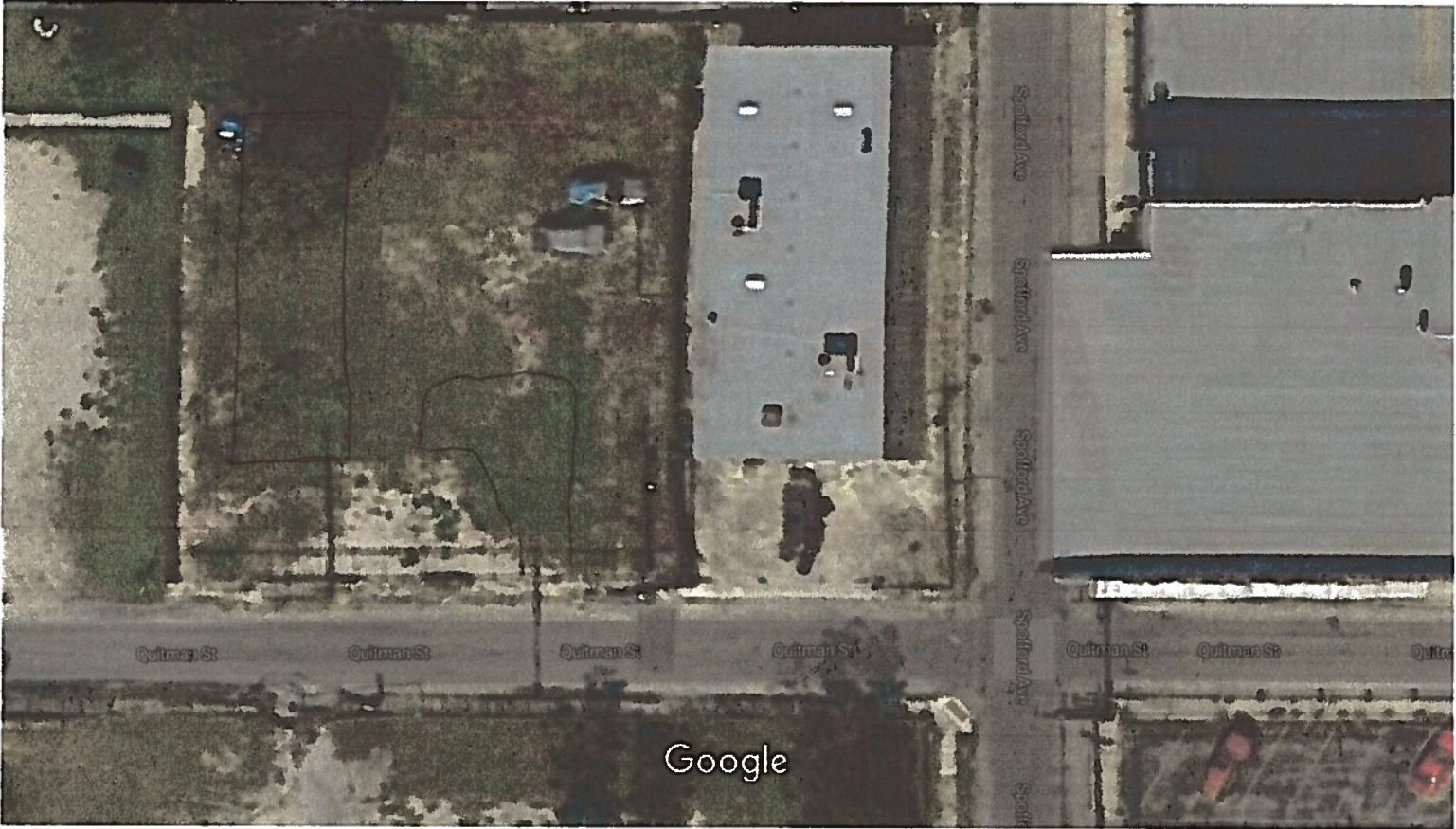


Map data ©2017 Google 20 ft

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815 QuITMAN

Google Maps



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INSET WINDOWS (SIMILAR) 815
QUITMAN



2017 FEB - 8

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815 QUITMAN

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Comment as: (Unknown (Goo ↕)

Sign out

Publish

Preview

☐ Notify me

GARAGE DOOR FAUX WOOD

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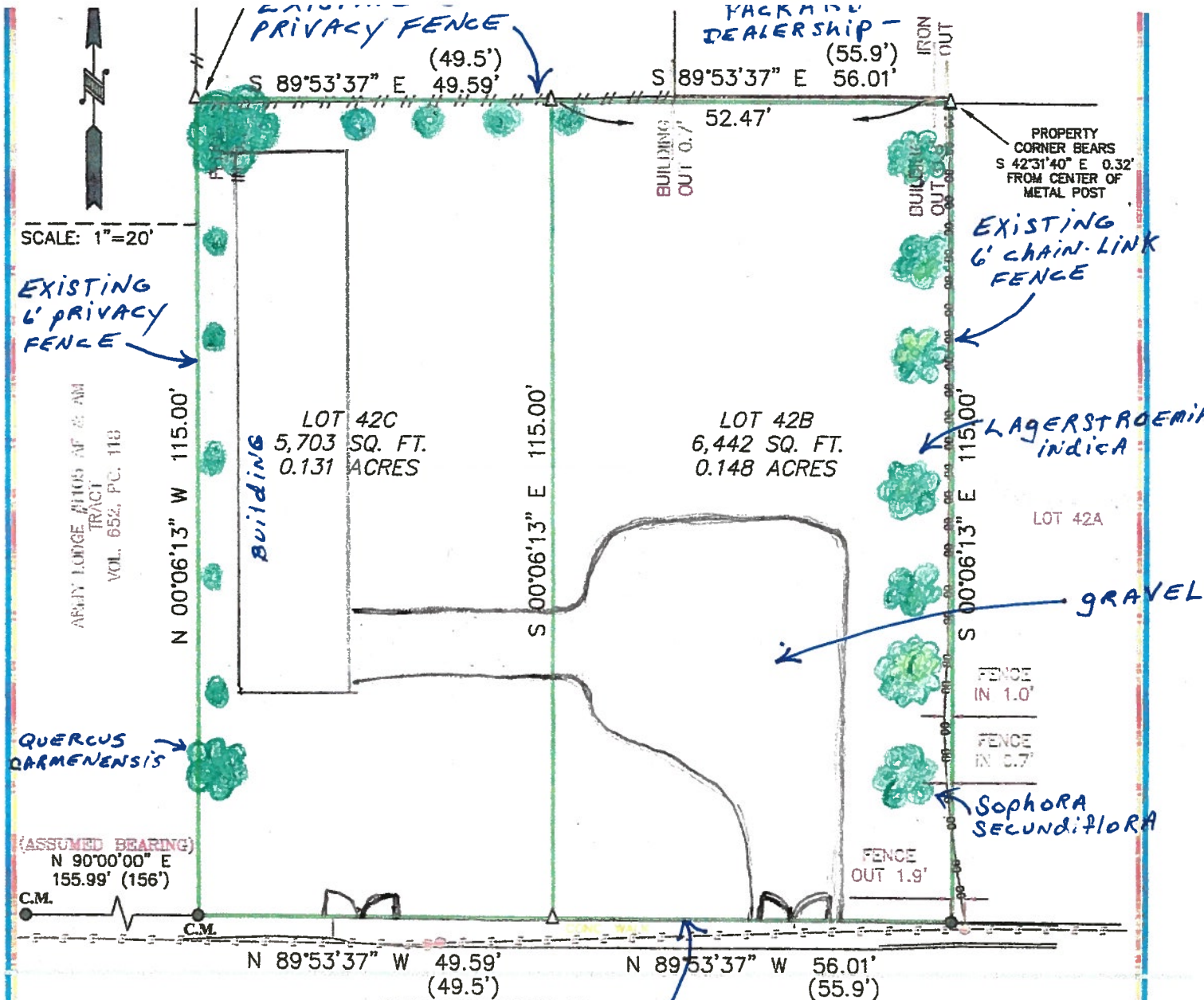
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I Painted This Standard White Garage Door to Look Like Wood



Beautify Your Home

I can paint your garage door to look like the richness of real wood.



NOTE:
THE SIGNING SURVEYOR WAS NOT PROVIDED A CURRENT
TITLE COMMITMENT AND THERE MAY BE EASEMENTS,
RIGHTS OF WAY OR OTHER INSTRUMENTS OF RECORD
WHICH MAY AFFECT THIS PROPERTY WHICH ARE NOT
SHOWN ON THE FACE OF THIS SURVEY.

NOTE:
BEARINGS SHOWN HEREON ARE ASSUMED.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0405 G, which is Dated 08-29-2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtml>.



Property Address:
815 & 819 QUITMAN ST.
Property Description:

LOT 42B AND 42C, BLOCK 3, NEW CITY BLOCK 1255, CITY
OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

Owner:
MONIQUE GARZA

FIRM REGISTRATION NO.
10111700

LEGEND

- = FND 1/2" IRON ROD
- () = RECORD INFORMATION
- B.S. = BUILDING SETBACK
- C.M. = CONTROLLING MONUMENT



I, MARK J. EWALD, Registered Professional
Land Surveyor, State of Texas, do hereby
certify that the above plat represents an
actual survey made on the ground under my
supervision, and there are no discrepancies,
conflicts, shortages in area or boundary
lines, or any encroachment or overlapping of



EAST ELEVATION

815 QUITMAN ST.
S.A. TEXAS, 78208

Storage building - PERSONAL

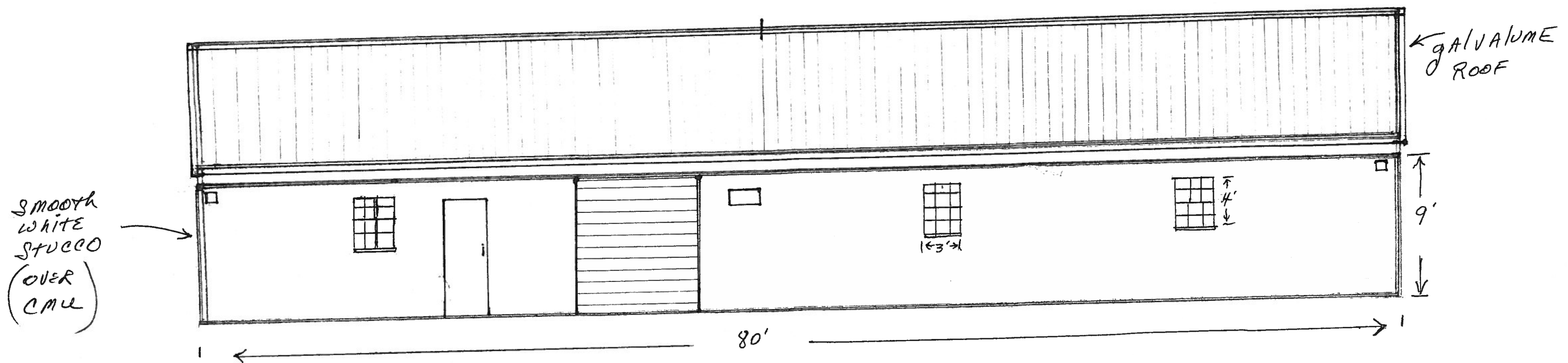
COMBINED LOT AREA: 12,190 sq. ft.

Setbacks: ON PLAT MAP.

building footprint = 2,560 sq. ft.

ZONED - C2, COMMERCIAL

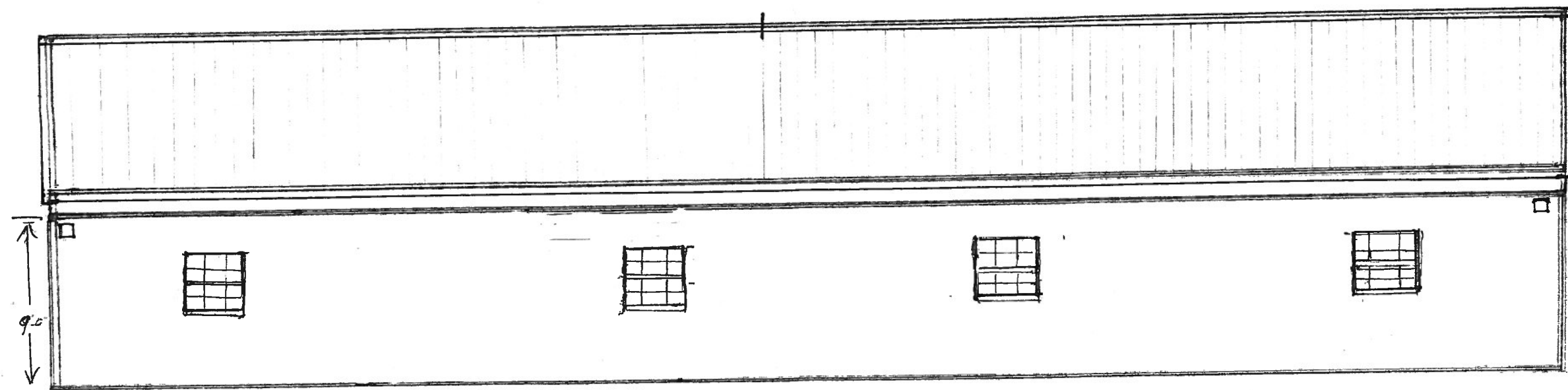
2017 JAN 26 PM 1:44



WEST ELEVATION
815 QUITMAN ST.
S.A. TAMA 78208

DEVELOPMENT DEPARTMENT

2017 JAN 26 PM 1:44

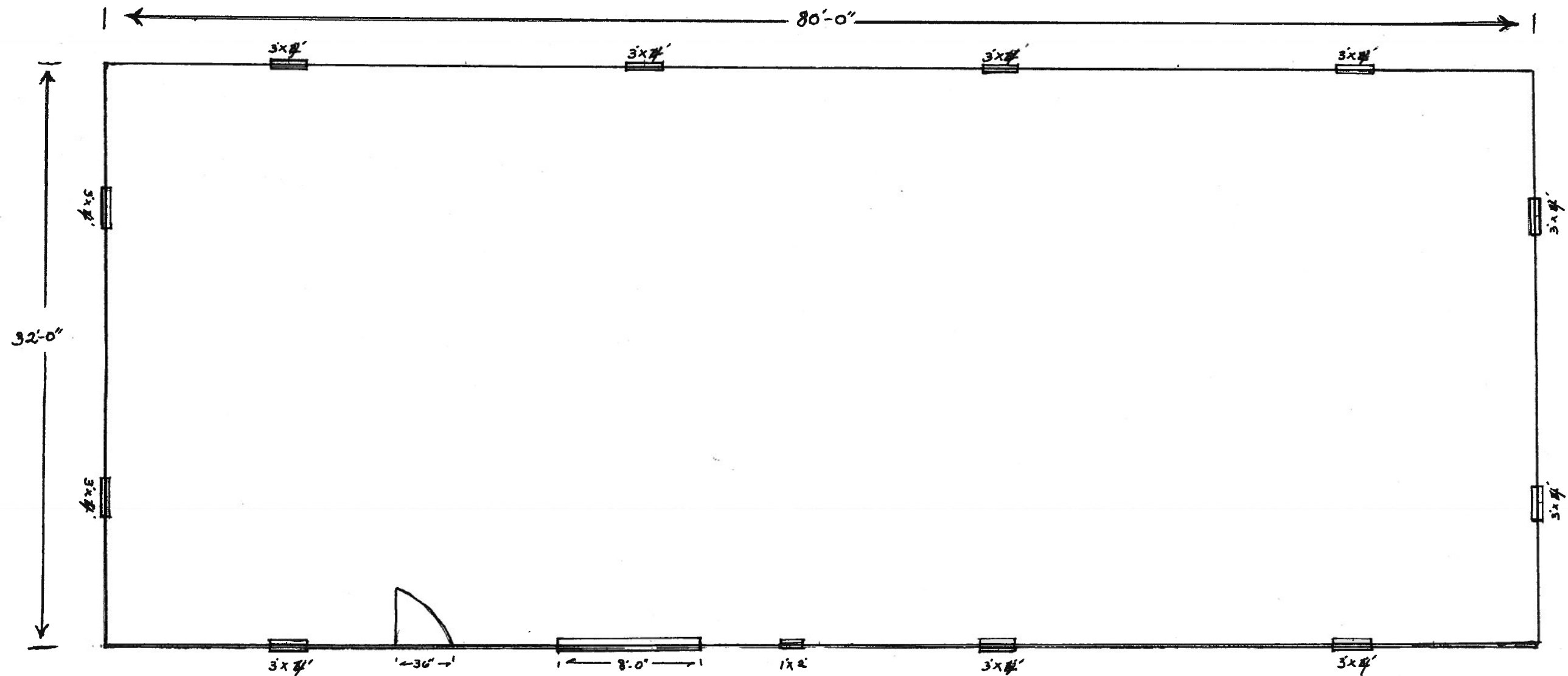


815 QUITMAN ST.
SA TX. 78208

ELEVEN ea. 3'x4' windows
ONE ea. 1'x2' bathroom window
ONE ea. 8' roll-up garage door
ONE ea. 36' entry door

DEVELOPMENT DEPARTMENT

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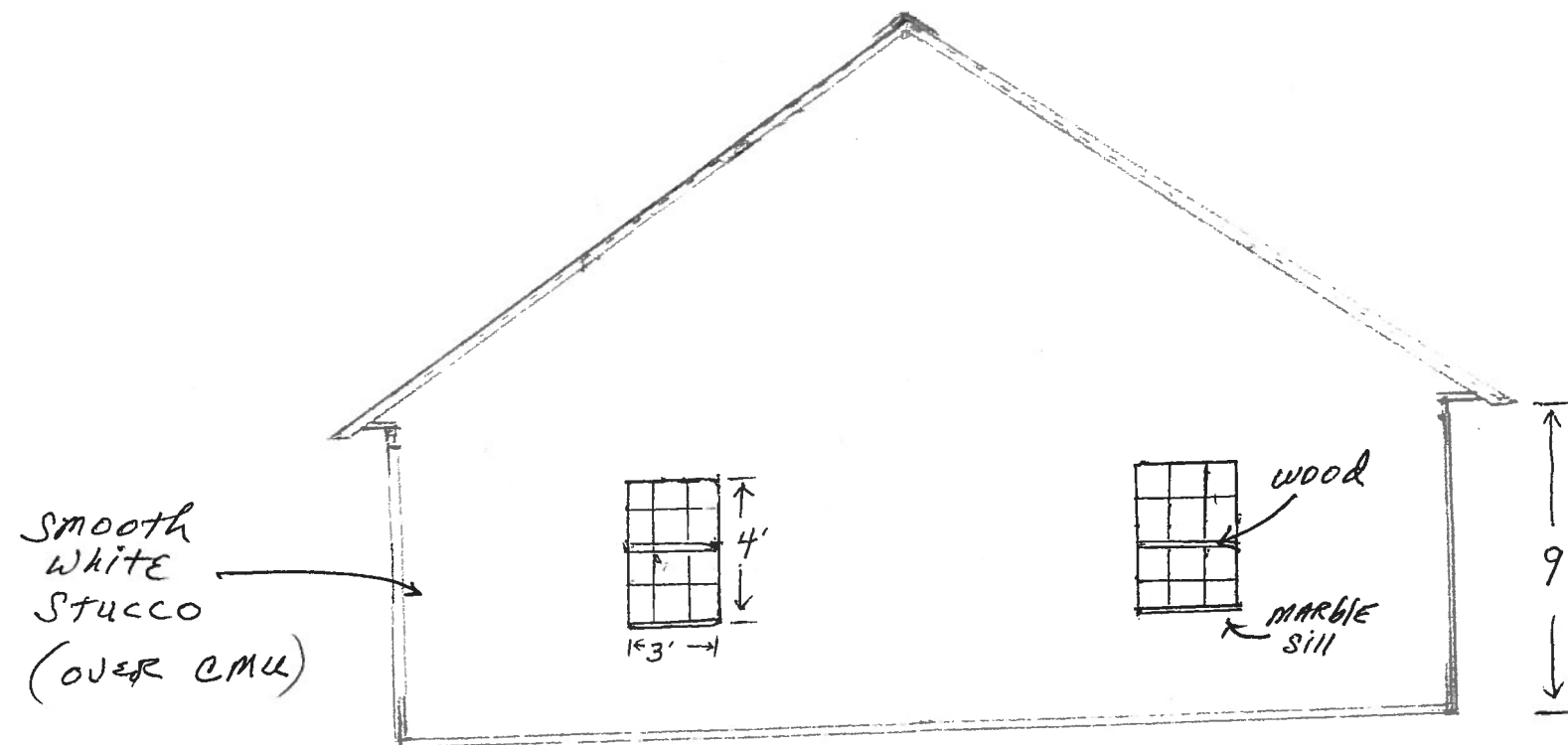


windows and doors

815 QUITMAN ST.
S.A. 78208

DEVELOPMENT DEPARTMENT
2017 JAN 26 PM 1:44

NORTH and SOUTH ELEVATIONS ARE THE SAME.
— IDENTICAL —



Smooth
Coat
White
Stucco



815
QUITMAN



11/24/2008



Smooth Coat



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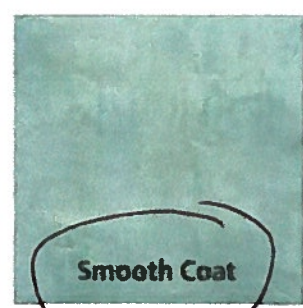
DEVELOPMENT DIVISION

SANTA
BARBARA
STYLE

315
QUITMAN

INSET
WINDOWS →

SMOOTH
STUCCO →
↓



Smooth Coat



2017 FEB -8 PM 12:11



Temecula Ca. Soffit, Fascia, Gutters,
Downspouts, Beam Cap, After Stucco

A Plus Gutter Systems Inc.

URL <http://gutter4u.com>

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similar
colors



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