

## HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2017

**HDRC CASE NO:** 2017-045  
**ADDRESS:** 410 DEVINE ST  
**LEGAL DESCRIPTION:** NCB 2958 BLK 2 LOT 50  
**ZONING:** RM-4,HS  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Lavaca Historic District  
**LANDMARK:** Fuezell House  
**APPLICANT:** William Faulkner  
**OWNER:** William & Stephanie Faulkner  
**TYPE OF WORK:** Installation of front yard fencing  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to install front yard fencing at 410 Devine. The applicant has proposed to install a transparent welded wire fence to feature four (4) feet in height along the public right of way fronting Devine Street.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

#### 2. Fences and Walls

##### B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

### FINDINGS:

- a. The historic structure at 410 Devine is located within the Lavaca Historic District on a block of Devine Street that commonly features front yard fencing. The applicant has proposed to install a front yard fence that features transparent welded wire and four feet in height. Additionally, the applicant has proposed two fencing options; option one which includes log posts and option two which includes square fence posts.
- b. Per the Guidelines for Site Elements 2.B., new fences should appear similar to those found throughout the district in terms of their scale, transparency and character. The Lavaca Historic District features front yard fencing featuring varying designs and materials. Staff finds the installation of a welded wire fence with square posts to feature four (4) feet in height consistent with the example found throughout the district and the Guidelines.
- c. As noted in finding one, the applicant has proposed two fencing options. Option one features round cedar logs. Option two features square cedar posts. Staff finds the installation of option two, the square cedar posts appropriate and consistent with the Guidelines.

### RECOMMENDATION:

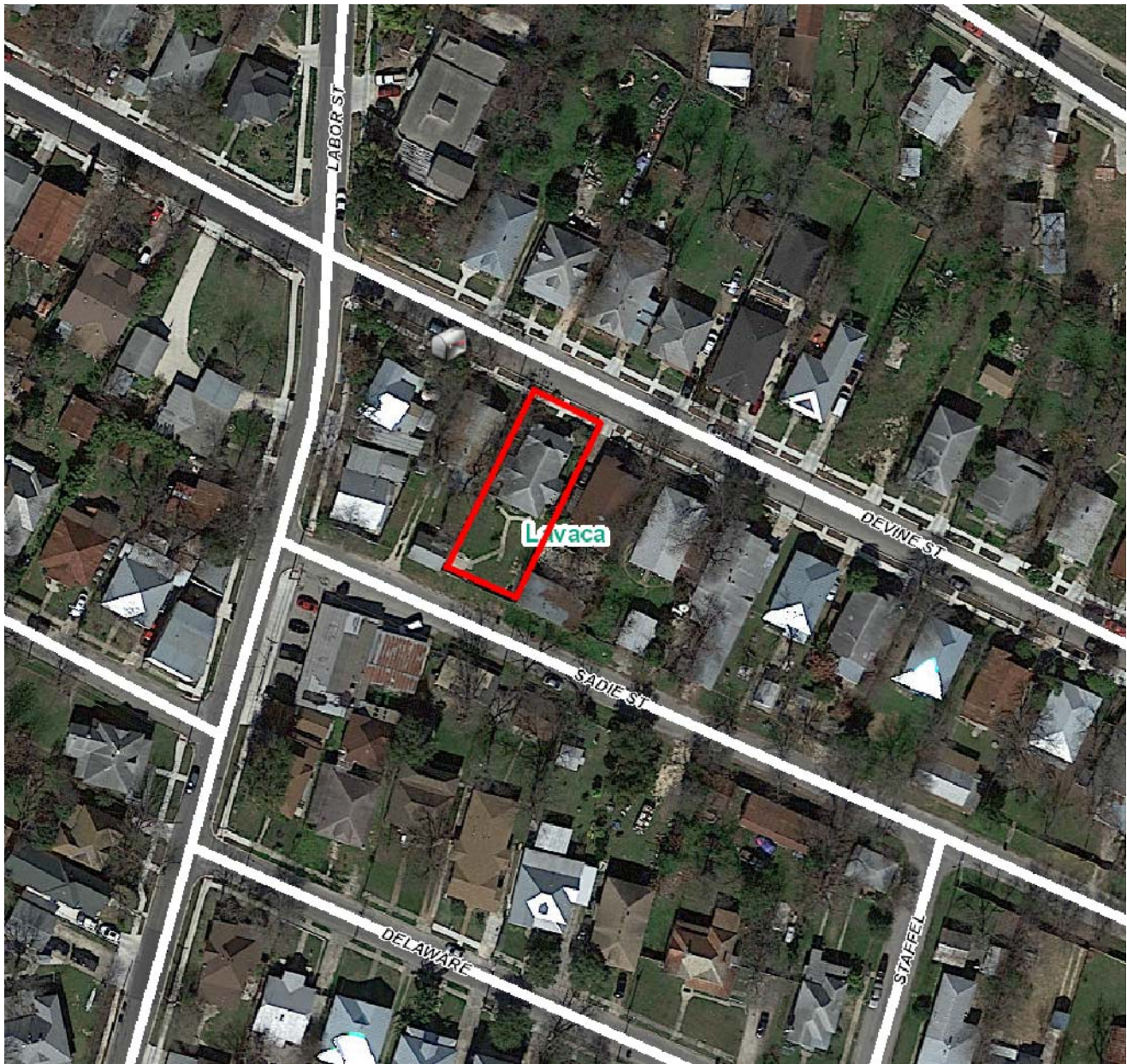
Staff recommends approval based on findings a through c with the stipulation that square fence posts are installed.

**CASE MANAGER:**

Edward Hall

**CASE COMMENT:**

The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514.



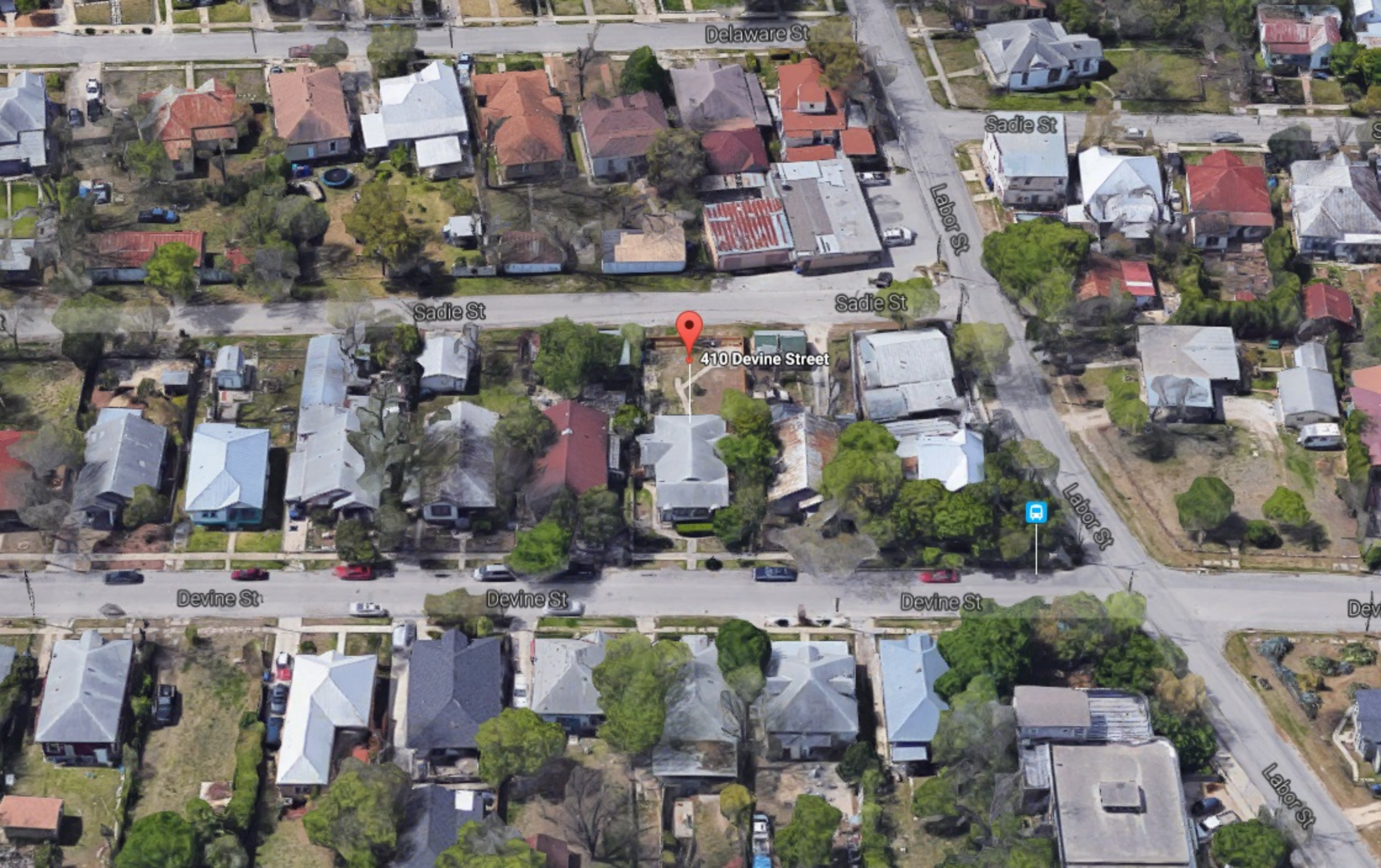
Flex Viewer

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SADIE ST.  
(50.0' R.O.W. ASPHALT PAVEMENT)  
(ST. SIGN: SADIE)

N65°57'10"W 50.03'(BCAD)  
N67°10'46"W 50.21'(FIELD)

EDGE OF ASPHALT

14.2'

0.3'

13.3'

GRAVEL DRIVE

CONC. WALK

CONC. SLAB

LOT 49

LOT 51

Proposed  
fence  
addition in  
blue

S25°20'55"W 130.90'(FIELD)

S26°19'31"W 130.47'(BCAD)

N25°25'11"E 133.44'(FIELD)

N26°19'20"E 131.93'(BCAD)

LOT 50  
BLOCK 7  
N.C.B. 2958  
DUPLEX  
RESIDENCE

CONC.

CONC.

CONC.

CONC. STEPS

CONC. STEPS

CONC.

STONE WALL  
W/IRON  
FENCE

CONC.  
CURB

S64°16'50"E 50.02'(FIELD)  
S64°16'50"E 50.00'(BCAD)

DEVINE

(50.0' R.O.W. ASPHALT PAVEMENT)  
(ST. SIGN: DEVINE)

NOTE: THE BEARINGS ARE AS PROTRACTED  
PER BEXAR COUNTY APPRAISAL DISTRICT

LEGEND:

- |                       |                     |
|-----------------------|---------------------|
| --= WOOD FENCE        | ⊗ = POWER POLE      |
| —◇— CHAIN LINK FENCE  | ⦿ = FIRE HYDRANT    |
| —X— BARBED WIRE FENCE | ○ = FND ½" IRON ROD |
| ⊗= WROUGHT IRON FENCE | ● = SET ½" IRON ROD |
| —□— SMOOTH WIRE FENCE | ■ = FND FENCE POST  |

OWNER: J. ARNOLD PROPERTIES, LLC

ADDRESS: 410 DEVINE

TITLE COMPANY: PRESIDIO TITLE

GF NO.: 116472

LOT: 50

BLOCK: 7

N.C.B: 2958

SUBDIVISION: ~

CITY: SAN ANTONIO

COUNTY: BEXAR

STATE: TEXAS

PLAT RECORDED IN: VOLUME ~ PAGE ~ DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS

THIS PROPERTY IS SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS: (PER TITLE COMMITMENT)

VOLUME 6352 PAGE 960, REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS

VOLUME 10825 PAGE 625, REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS



P.O. BOX 100442  
SAN ANTONIO, TEXAS 78201  
PHONE: 210-534-6700  
FAX: 210-534-9673

1. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND ITEMS OR EASEMENTS ARE NOT LOCATED BY THIS SURVEY.
2. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND/OR FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
3. THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.



STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE DRAWING IS A TRUE DEPICTION OF CURRENT FIELD CONDITIONS AND THERE ARE NO ENCROACHMENTS OF BUILDINGS EXCEPT AS SHOWN ABOVE ACCORDING TO A SURVEY OF THE PROPERTY COMPLETED UNDER MY SUPERVISION ON THIS,

THE 13TH DAY OF MARCH 2012 A.D.

PETER A. AGUIRRE, R.P.L.S. 5464

DRAWN BY: M. AGUIRRE

JOB NO: 12-4214-014

FIELD WORK COMP.: MARCH 13, 2012

### Proposed Materials:

These are just examples and the final product will be installed at 4' high  
cedar log w/bark & welded wire fence.



or

squared cedar post w/out bark & alternate style of fence

