

# HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2017

**HDRC CASE NO:** 2017-060  
**ADDRESS:** 510 E MISTLETOE  
**LEGAL DESCRIPTION:** NCB 868 BLK LOT 25 & 30 X 50 STRIP IN REAR  
**ZONING:** R-6  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Aliza Lozano/Rockstar homes, LLC  
**OWNER:** Judith & Frederick Bode  
**TYPE OF WORK:** Install porch, modify front opening, window modifications, construct rear addition

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove two wood windows on the west side façade and enclose with new siding to match existing
2. Create a new front door opening and remove the second front door and enclose with new siding to match existing
3. Construct a new front porch
4. Construct a rear addition with a screened in porch, totaling approximately 290 square feet

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### 6. Architectural Features: Doors, Windows, and Screens

#### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

#### A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should

be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.

iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

### *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

#### 1. Massing and Form of Residential Additions

##### A. GENERAL

i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.

ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.

iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

##### B. SCALE, MASSING, AND FORM

i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.

ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.

iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

#### 3. Materials and Textures

##### A. COMPLEMENTARY MATERIALS

i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

##### B. INAPPROPRIATE MATERIALS

i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

##### C. REUSE OF HISTORIC MATERIALS

i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

#### 4. Architectural Details

##### A. GENERAL

i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof

form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

## **FINDINGS:**

- a. The structure is a one-story Folk Victorian home, with wood siding and a composition shingle roof. It is a contributing structure within the pending Tobin Hill North Historic District. Per UDC Sec. 35-453, when a pending district is recommended by the commission for designation, property owners shall follow the historic and design review process until a final resolution from City council is made.
- b. **WINDOWS** – There is one double window, with two 2 over 2 dividing lights, and one two over two wood window on the right façade. The proposal is to remove these windows and enclose the frames with siding to match the existing. According to the Guidelines for Exterior Maintenance and Alterations 6.A.i, original window openings should be preserved and not be filled in. Staff finds the proposal is not consistent with the Guidelines, and the window openings should be retained.
- c. **FRONT DOORS** – The existing two wood front doors are in its original location. The proposed new location for the front door entrance would move it up approximately 4' to be closer in line with the front façade. The second front door is proposed to be removed and enclosed with new siding to match existing. According to the Guidelines for Exterior Maintenance and Alterations 6.A.i, original door openings should be preserved and not be filled in. Staff finds the proposal is not consistent with the Guidelines, and both door openings should be retained.
- d. **FRONT PORCH** – The front façade of the house has been previously altered. The original porch has been enclosed, resulting in a small room at the front of the house. Staff has located the structure on the May 1924 Sanborn map which documents the enclosed porch. The proposed new front porch sits in front of the existing enclosure, and extends 8' in front of the house. According to the Guidelines for Exterior Maintenance and Alterations 7.B, new porches should be designed so that they are compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish and should be based on the architectural style of the building and historic patterns. The proposed porch design includes traditional elements, including square columns with decorative brackets, a porch balustrade and hand rails along each side of the wood porch steps. These details are consistent with the Guidelines in terms of porch material and architectural details. A front-facing, gabled bay, as found on this house, is characteristic of the Folk Victorian Style. Historically, a front porch would not extend beyond this front bay. The proposed depth of the porch would result in a condition that detracts from the historic building form because the porch would protrude in front of the front bay. This is not consistent with the Guidelines in terms of porch massing and form. A reduced porch depth that does not protrude past the front bay would be more appropriate.

### Findings related to item #4:

- e. **ROOF FORM** – The main structure has a front gable and a rear hipped roof. The proposed rear addition has a rear gable. According to the Guidelines for Additions 1.A.ii., similar roof forms, pitches, and overhangs should be used on additions. Staff finds the gable roof form is appropriate for the architectural style of the home.
- f. **TRANSITION** – The proposed addition is in line with the left and right façade. According to the Guidelines for Additions 1.A.iv., the addition should feature a visual distinction between old and new building forms, whether it is an offset of the material or an architectural element. Staff finds the proposed addition not consistent with the Guidelines in terms of featuring a transition. Staff recommends that there be a vertical trim piece distinguishing between old and new, or that there be an inset of the addition.
- g. **SCALE AND MASS** – The proposed addition is one story, and adds 290 square feet to the rear . According to the Guidelines for Additions 1.B.i, additions should be designed to be subordinate to the principal façade. The proposed additions are set back from the front façade and subordinate to the main structure in scale and in height. Staff finds the proposal consistent with the Guidelines.
- h. **FOOTPRINT** – The additions to the main structure includes a total additional footprint of 290 square feet.

According to the Guidelines for Additions 1.B.iv., residential additions should not double the exiting footprint. Staff finds the proposal consistent with the Guidelines.

- i. **WINDOWS/DOORS** – The proposed addition features two over two windows with same profile as existing, two sets of double doors each with half window lights, and one single door with a full light and a transom window. According to the Guidelines for Additions 4.A.ii., the addition should incorporate architectural details that are in keeping with the style of the original structure. Staff finds the proposed windows and doors are characteristic of the original structure, however salvaging the existing rear windows would be more appropriate.
- j. **MATERIALS** - The proposed addition features wood lap siding, aluminum screen panels for the screened in porch, composition shingle roofing. The proposed doors are steel and the windows are vinyl. The material on the face of the rear gable will be wood lap siding to match existing. According to the Guidelines for Additions 3.A., addition materials should match in type, color, and texture, and be compatible with the architectural style and materials of the original structure. Staff finds the proposed siding, screening, and roofing materials are consistent with the Guidelines in terms of color, type, texture and are compatible with the style of the original structure. Vinyl windows and steel doors are not consistent with the Guidelines. Wood windows and wood doors would be most appropriate.
- k. **ARCHITECTURAL DETAILS** – The proposed screen porch design includes traditional elements, including square columns with a simple foot and capital, a porch balustrade and hand rails along each side of the wood porch steps. According to the Guidelines for Additions 4.A.i., an addition should incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Staff finds the proposed details consistent with the Guidelines as they are compatible with the Folk Victorian style.

## **RECOMMENDATION:**

Staff does not recommend approval of items # 1 and #2 based on findings a through c. Window and door openings should be retained.

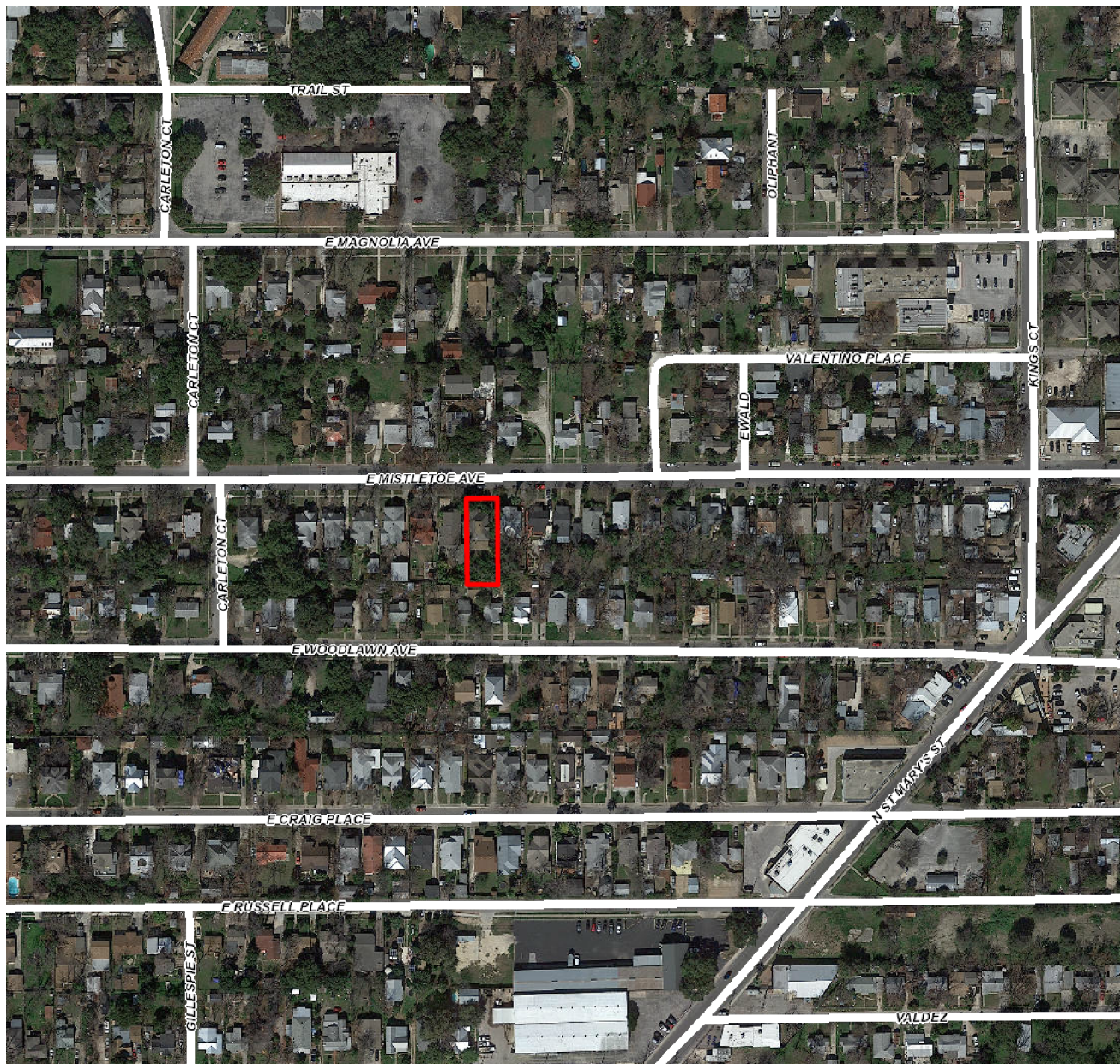
Staff recommends approval of items #3 and #4 based on findings d through k with the following stipulations:

- 1. That the porch depth is reduced so that it does not protrude past the front bay.
- 2. That there is a vertical trim piece or that there is an inset of the addition to indicate the transition between old and new.
- 3. That the existing, original rear windows are salvaged and installed in the rear addition.
- 4. That the windows to be installed in the addition maintain the dimension, profile, and configuration of the originals, feature clear glass, maintain the original appearance of window trim and sill, and be inset at least two inches.
- 5. Submit a window detail to staff prior to receiving a Certificate of Appropriateness
- 6. That these details be submitted to staff prior to receiving a Certificate of Appropriateness.

## **CASE MANAGER:**

Lauren Sage





## Flex Viewer

Powered by ArcGIS Server

Printed: Feb 07, 2017

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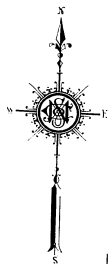
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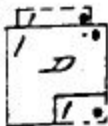
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Copyright 1924 by the San Antonio Map Co.

517-1518  
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MIDDLE 512

514



710



**510 E. Mistletoe Ave.**

**Judith (Judy) Bode/ Rock Star Homes, LLC**

**210-716-4363**

## **Covered Front Porch**

We are constructing a new victorian<sup>4</sup> style porch in front of the existing home. The homes existing front concrete steps will be left in place and will be built over it. The size of the new porch is 18' 8" x 8' 0", consisting of 6x6 cedar post, 4x4 pressure treated support post set in to concrete footings, 2x8 pressure treated floor joists, 2x6 pressure treated deck boards. We will be building cedar handrails, cedar balusters, and replicated the existing corbels the home has. New steps entry with pressure treated 2x6 lumber. Also, building out roof extension for cover porch using 2x6 treated pine exposed rafters, 30 yr asphalt shingle at a 4 pitch (color of roofing still pending and will be submitted to Historical dept. for review)

## **Front Doors**

1. Currently the home was a 3-plex multi- family home and we are currently converting into a single family home. We would need to remove one existing exterior door that lead into apartment one in order for us to have the house as a single-family. We will be reframing the opening of the removed doorway and install applying the same 5" wood siding tongue and groove the home currently has in place around the home.

2. For the relocation of the existing front door, we want to push the door out 5' because due to the existing layout it does not work as a single family home. The new plan is that a bedroom will be located to close to the existing door and for safety concern the home owner will like the door move out and it will also tie in with the new front porch patio. Going to frame out the new location a install a new steel entry door.

\* I have attached the existing floor plan to show the layout of the existing home and its doors.

3. Error was made on the front porch design; we are NOT reshaping the angle on the front of the home on the porch side. You can see the angle wall on the door plan.

## **Windows**

Removing 3 exterior windows on the west side of home.

Double windows are deteriorated beyond repair and interfere with the layout of new Kitchen plan. for single window is also deteriorated beyond repair and new wall is located where it is being placed. New siding 5" tongue and groove wood panel.

## Foundation

AP: X2238524- has been submitted and is going to match the existing concrete skirt of the home only in the bedroom extension. On the side of the patio will be a wooden lattice around the perimeter.

## Screen in porch

1. Extending outward 10ft and will use 4x4 pressure treated support post, 4x4 cedar columns, 2 x 8 pressure treated floor joists and 2x 6 pressure treated deck boards. We are going to screen in the porch with an aluminum screen panel between the columns. Build 2x4 pressure treated hand rail, balusters, post and also entry/exit to screened in patio with 2x6 pressure treated deck boards and 2x4 hand rails as stated. Wooden lattice around the bottom of patio facing south and west.

## Bedroom

2. Extending outward 10 ft from existing structure for larger master bedroom. Install a (1) 4'x 5' wood frame window facing south. Install of a 36" x 72" exterior door going in to the screen patio (west). (foundation for this has been submitted in the AP above)

## Roof

3. Extension of roof for new addition will be a 22.5' ridge extending from the hipped end of existing rear home roof, and 6/12 gabled roof over bedroom and screened in porch ( see attached plan) 30 yr- tab shingles (4sq) will submit to administrative. Existing roof shingles will be removed (30sq) and replaced with 30-yr tab color will be Owens Corning **Supreme AR Driftwood**



South and east side -



West side

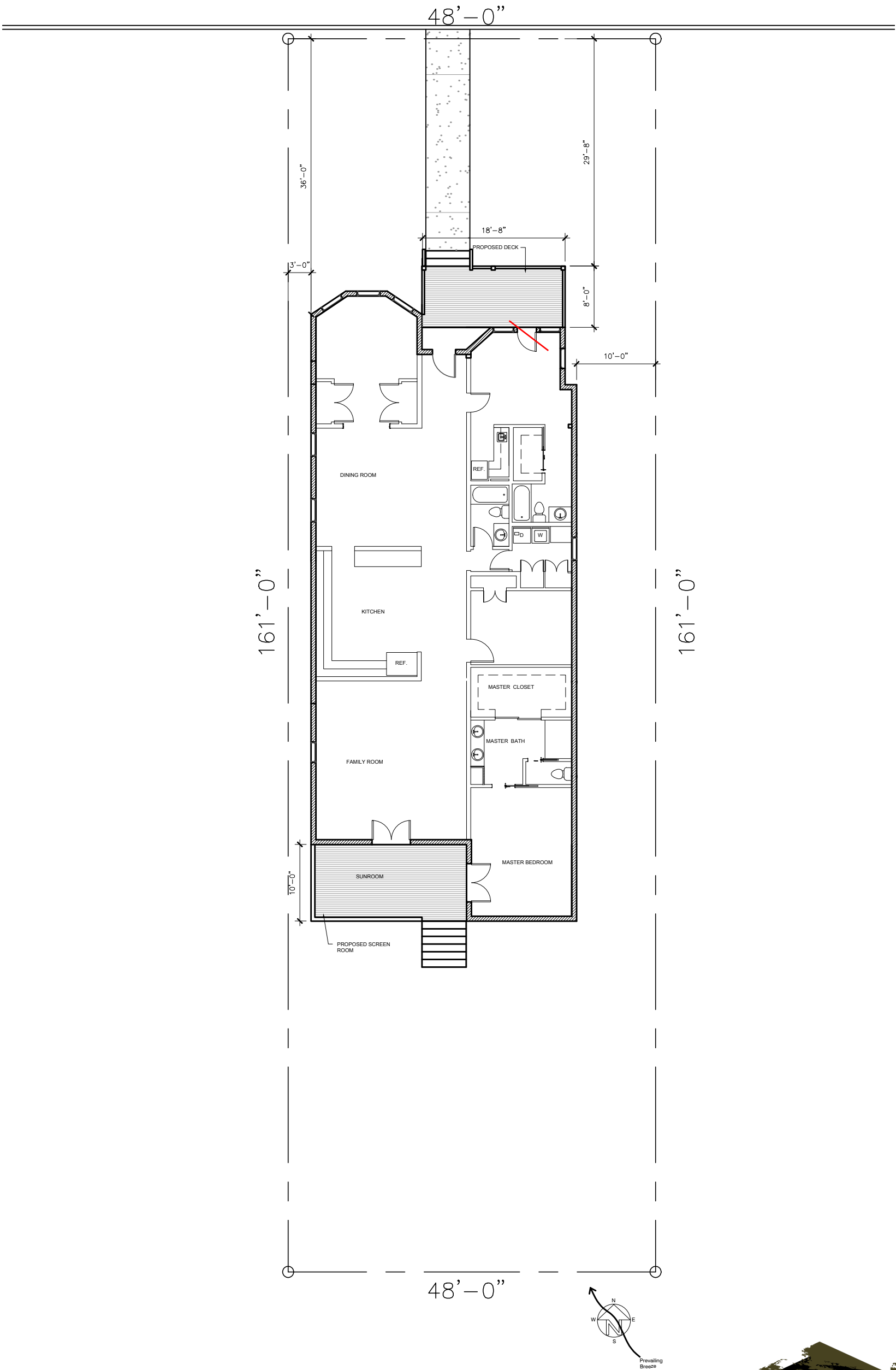








MISTLETOE AVE.

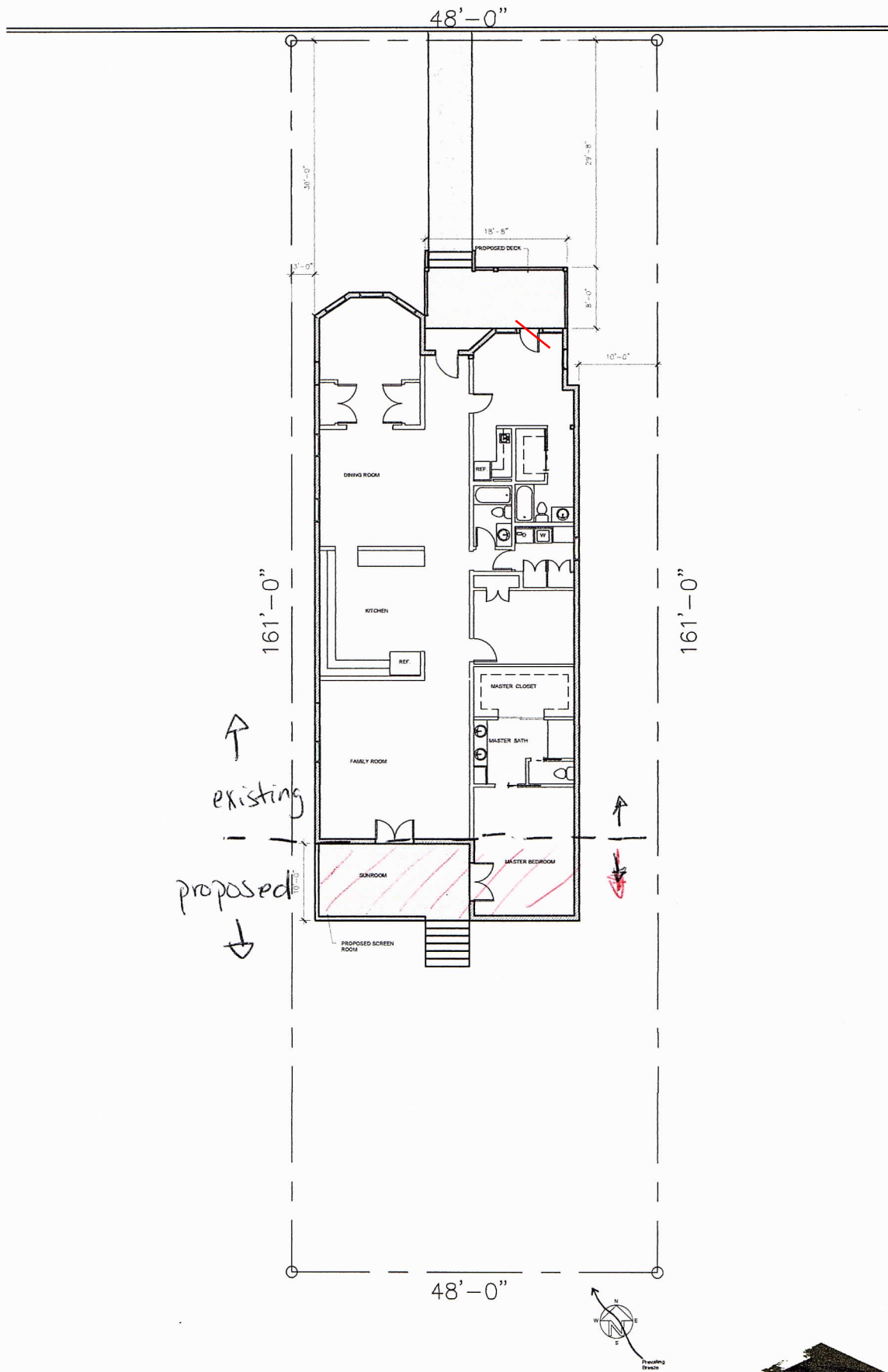


**1** SITE PLAN – 2510 SF. BLD.  
SCALE: NTS

PROJECT ADDRESS:  
510 E. MISTLETOE  
SAN ANTONIO, TX 78212



510 E. MISTLETOE AVE.

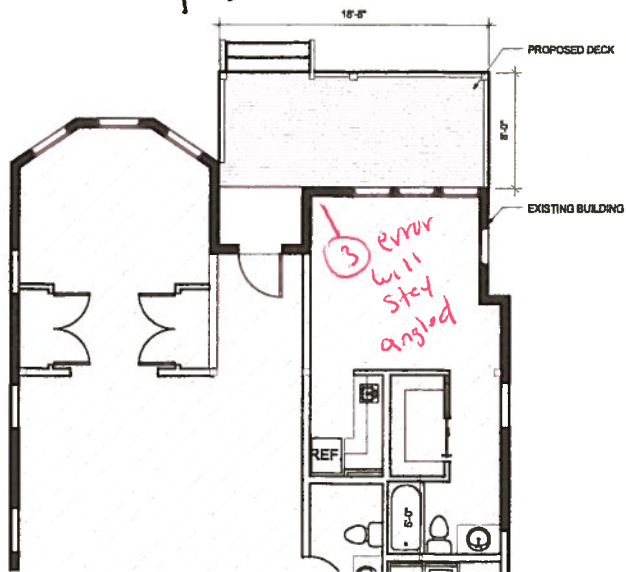




PORCH ADDITION REVIEW

510 E. MISTLETOE  
SAN ANTONIO, TX 78212

Proposed  
Floor  
plan

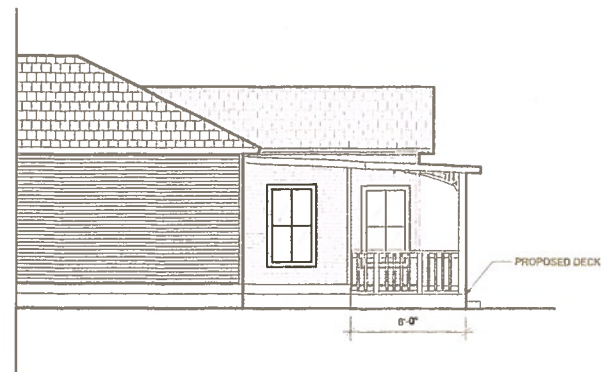


**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

Porch

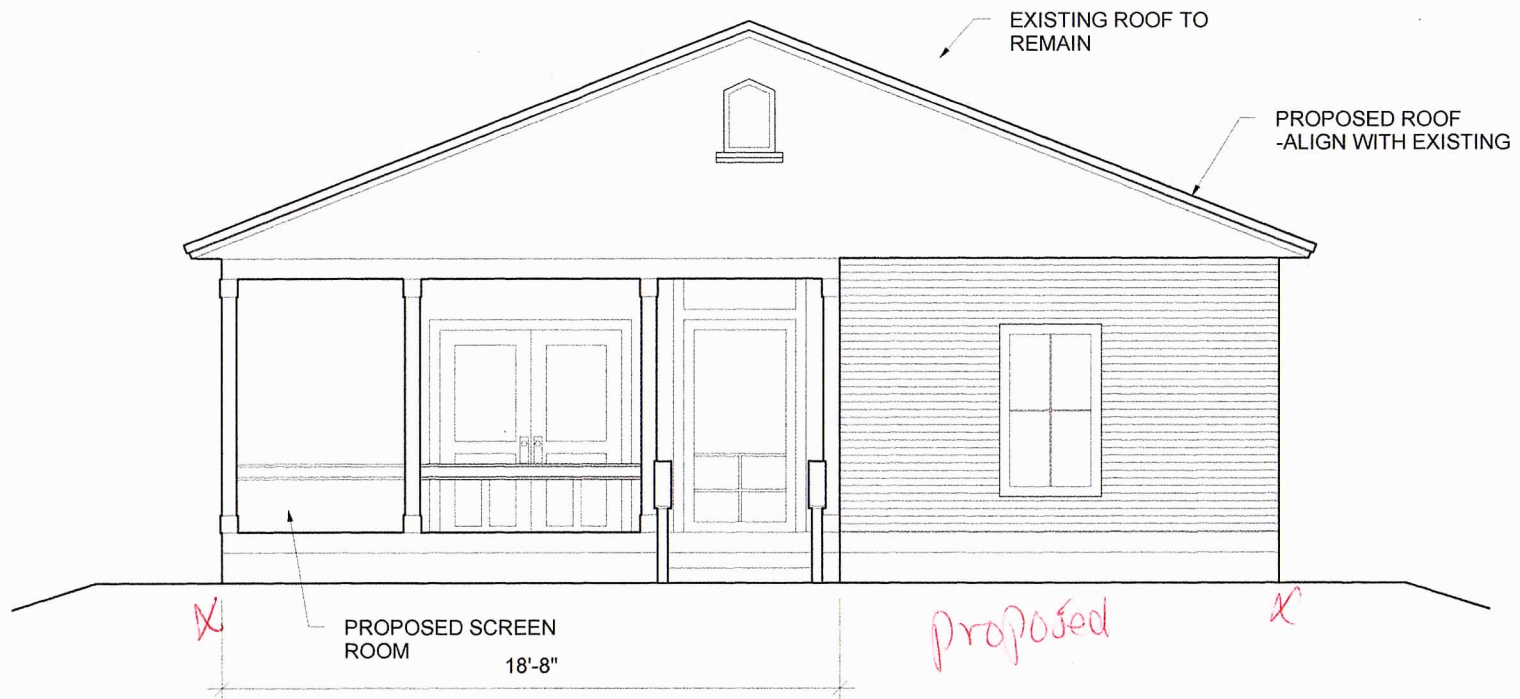


**2 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



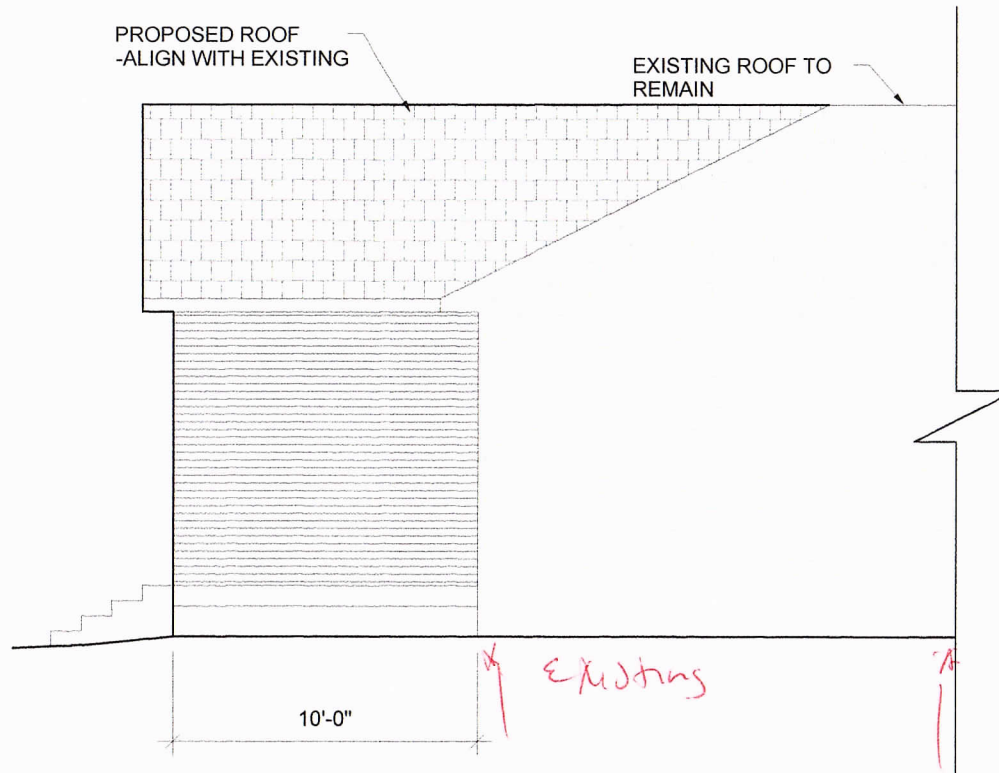


**3** REAR ELEVATION  
SCALE: 1/4"=1'-0"

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# PROPOSED - EAST ELEVATION

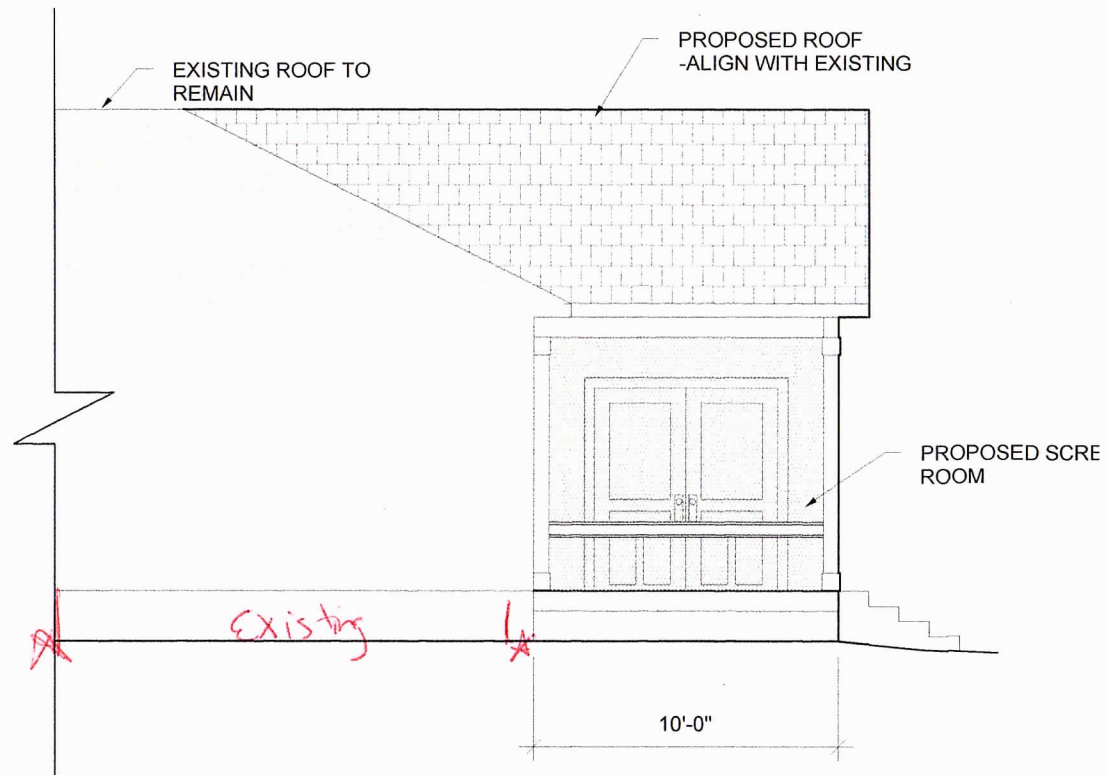


## 5 EAST ELEVATION

SCALE: 1/4"=1'-0"

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# **4** WEST ELEVATION

SCALE: 1/4"=1'-0"

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SAN ANTONIO, TX 78212





HEADER SCHEDULE		
	MAXIMUM SPAN	
SIZE	ONE STORY B.R.	TWO STORY B.R.
2-2x6	3'-6"	2'-5"
2-2x8	4'-5"	3'-2"
2-2x10	5'-5"	3'-10"
2-2x12	6'-3"	4'-5"

\* THESE HEADER SIZES ARE TO BE USED UNLESS OTHERWISE NOTED ON PLAN

- \* ALL MATERIAL TO BE NO.2 S.P.
- \* NUMBER OF STORIES BELOW ROOF LEVEL (B.R.)
- \* USE (2) JACK STUDS FOR 2X12 (1) JACK STUD FOR OTHERS, KING STUDS NO. EQUALS JACK STUD

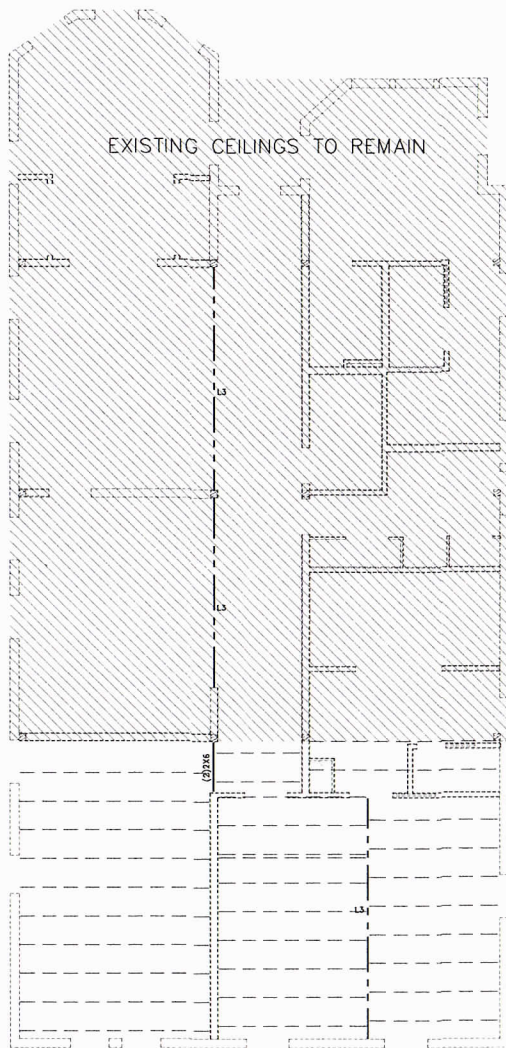
Diagram illustrating the typical tall wall detail, showing the cross-section and plan view.

Key components and dimensions labeled:

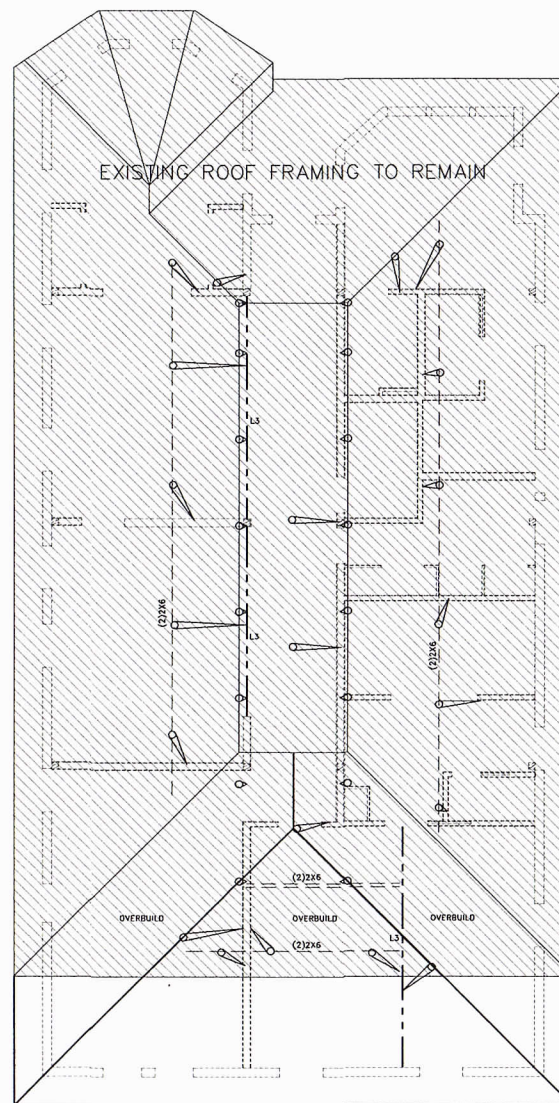
- SEE HEADER SCHEDULE
- DOUBLE TOP PLATE
- KING STUD, USE SAME NUMBERS AS JACK STUDS
- SEE TAIL RAIL SCHEDULE FOR STUD SIZES AND SPACING OR 2x6'S @ 16" O.C. IF NOT SCHEDULED
- 1/2" EXPANSION ANCHOR x 4 3/4" OR 1/2" x 7" ANCHOR BOLT AT 24" O.C.
- JACK STUDS SEE HEADER SCHEDULE
- WALL PLAN SEE
- WALL WIDTH SEE PLAN

**TYPICAL TALL WALL DETAIL**

NO SCALE



CEILING PLAN  
Scale: 1/4" = 1'-0"  
ALL CEILING JOISTS TO BE 2X6" @ 16" O.C.



ROOF FRAMING PLAN  
Scale: 1/4" = 1'-0"  
ALL RAFTERS TO BE 2X6" @ 16" O.C.

[illegible]



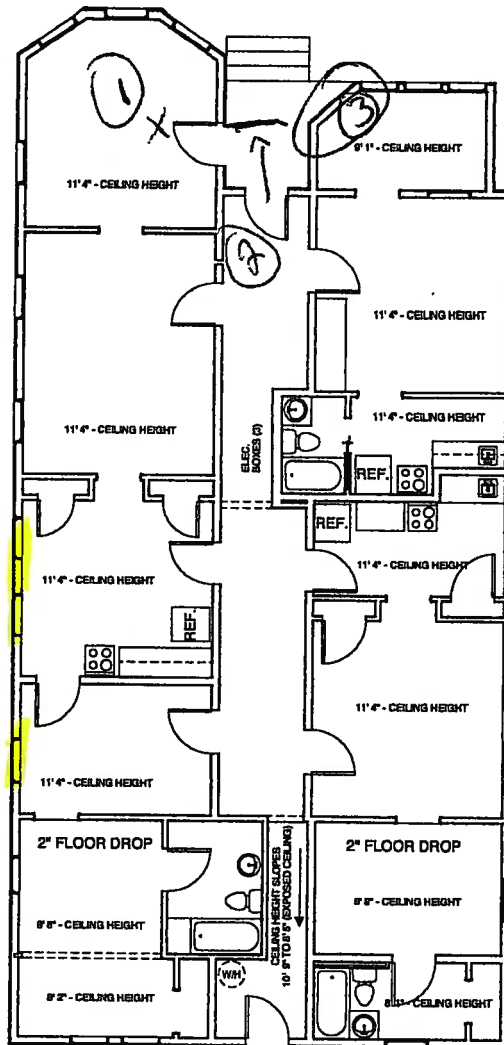
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$$1/8^{\circ} = 1'-0"$$

**XAC  
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Mistletoe

~~DO NOT~~

- windows  
to be  
removed



EXISTING FLOORPLAN

1/8" = 1'-0"

NOTE: DRAWINGS FOR  
PRELIMINARY ESTIMATES  
AND REFERENCE ONLY.  
NOT FOR CONSTRUCTION.

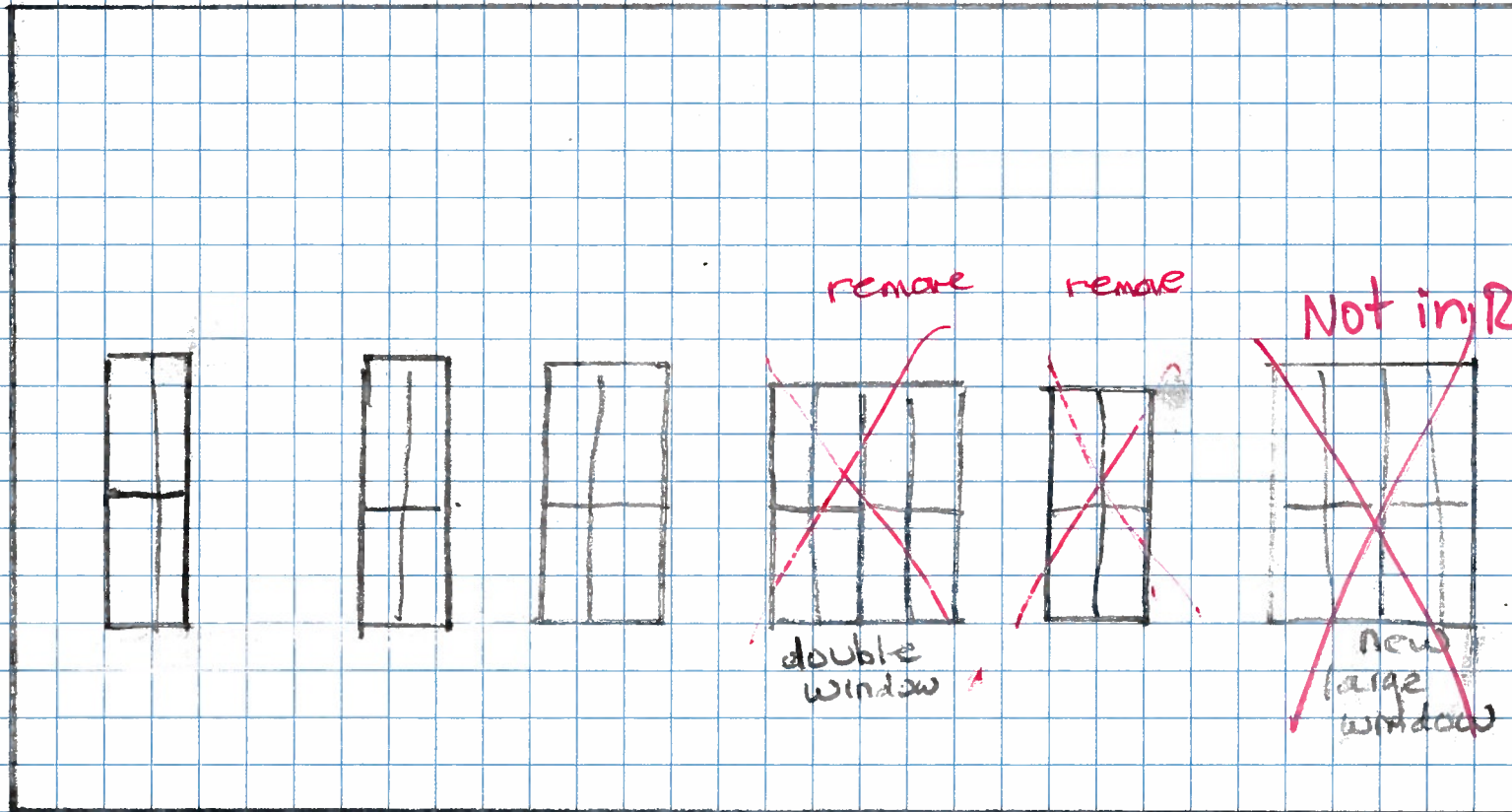
JUDY BODE HOUSE  
HOME SURVEY  
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JB-1612  
01/03/17



XAC  
DESIGN  
TEL 512.773.3070

West side of house



double  
window where  
store will  
be

single  
window  
where  
wall  
needs



