

# HISTORIC AND DESIGN REVIEW COMMISSION

March 15, 2017

**HDRC CASE NO:** 2017-109  
**ADDRESS:** 223 W HOLLYWOOD AVE  
**LEGAL DESCRIPTION:** NCB 6459 BLK 10 LOT 10, 11 & E 12.5 FT OF 9  
**ZONING:** R-5  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Jason Peters  
**OWNER:** Bernice Beck  
**TYPE OF WORK:** Construction of storage shed  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to build a storage shed in rear of property with materials similar to those found on the primary structure.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 3. Materials and Textures

#### A. NEW MATERIALS

- i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
- ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
- v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

#### B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

## FINDINGS:

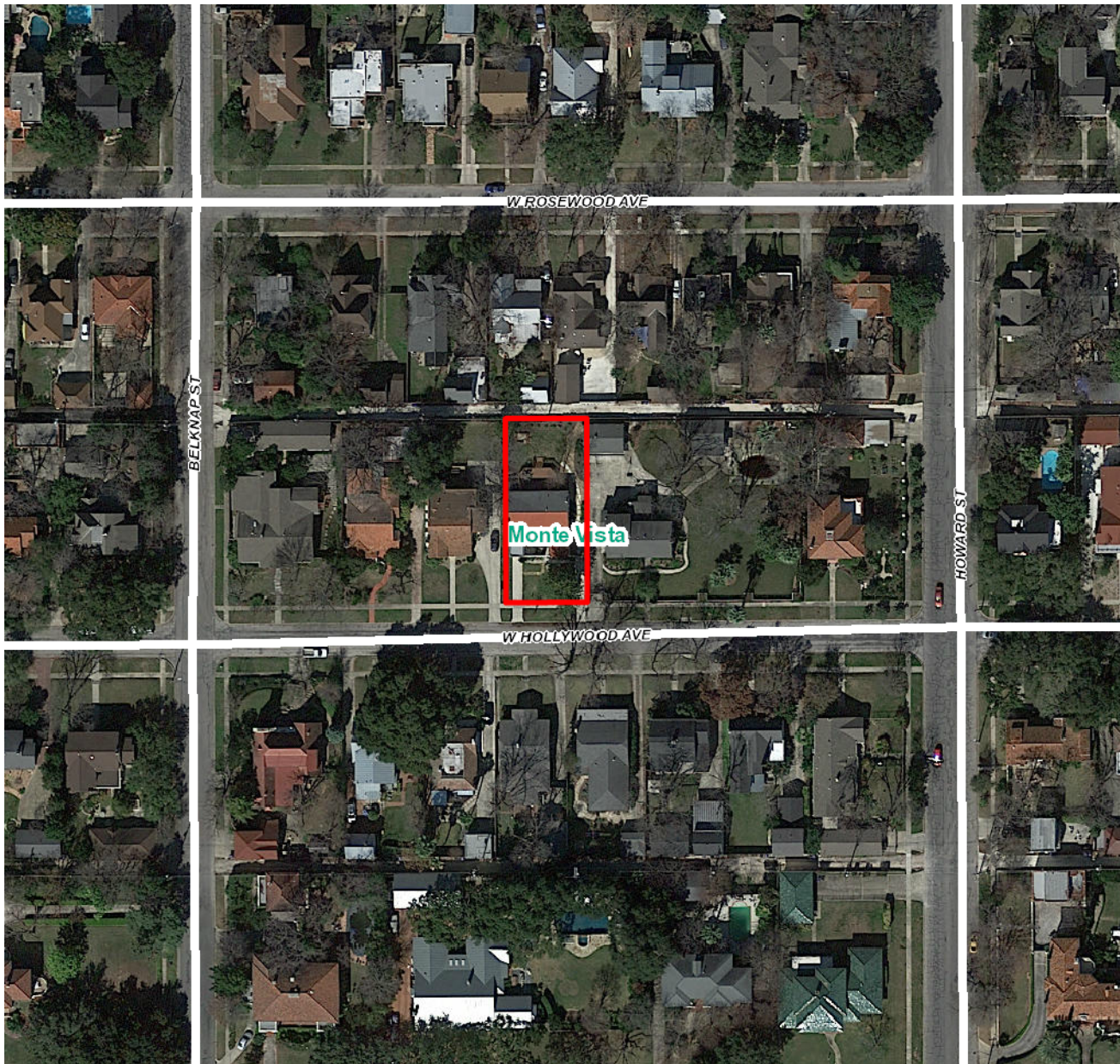
- a. The structure located at 223 W Hollywood was constructed in 1925 in the Spanish Eclectic style. The house was designed by architects Carvel and Frost, who were prolific along Hollywood Ave. The house is a contributing structure in the Monte Vista Historic District.
- b. According to the Historic Design Guidelines for New Construction, new outbuildings should be visually subordinate to the historic structure in terms of height, massing, and form, and should be no longer than 40 percent of the existing structure's footprint. The proposal is a modest design that will not detract from the primary structure on the property. Staff finds the proposal consistent with the guidelines.
- c. A new outbuilding should relate to the period of construction of the primary structure through use of compatible materials and simplified details. The primary structure is a contributing structure to the district and its stucco façade is a character defining feature of the design. The staff finds the use of Hardie Board siding in lieu of stucco to be inconsistent with the guidelines.

### **RECOMMENDATION:**

Staff recommends approval based on findings a through c with the stipulation that stucco be used on all four facades of the structure.

### **CASE MANAGER:**

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

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223





14' WIDE

62.5' ALLEY

FENCE POST IN CONCRETE

BLOCK

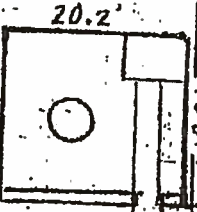
140.0' PRIVACY FENCE

WIRE FENCE

WOOD DECK

WOOD DECK

1 STORY STUCCO  
#223 W.  
HOLLYWOOD



12' x 20' Storage

140.0'

STUCCO WALL

STONE WALK

CONC. DRIVE

"X" ETCHED FOUND ON CONC. DRIVEWAY

62.5'

X IS 0.6' INSIDE EDGE OF CONC. DRIVE

BACK OF CONC. CURB

WEST HOLLYWOOD AVE.

SCALE: 1" = 20' DATE OF SURVEY: 9-11-61 COMPUTED BY: JEG DRAWN BY: JEG CHECKED BY: JEG

Lot(s) 11, 10 & EAST 12.5' of 9 Block 10 N.C.B. 6459  
Addition or Subdivision  
Volume 8564, Page 146 of the DEED & PLAT records of BEXAR County, Texas.  
Address: 223 WEST HOLLYWOOD AVE. OF No. ~  
Reference name: TOM HANNIGRUM





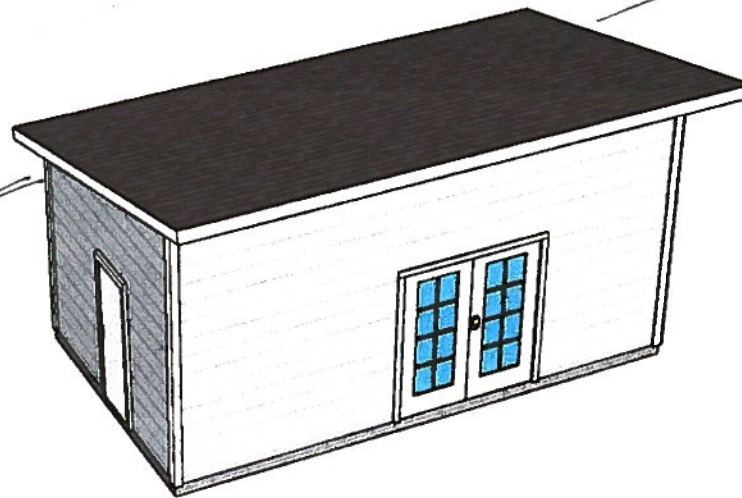
Neighbor's yard

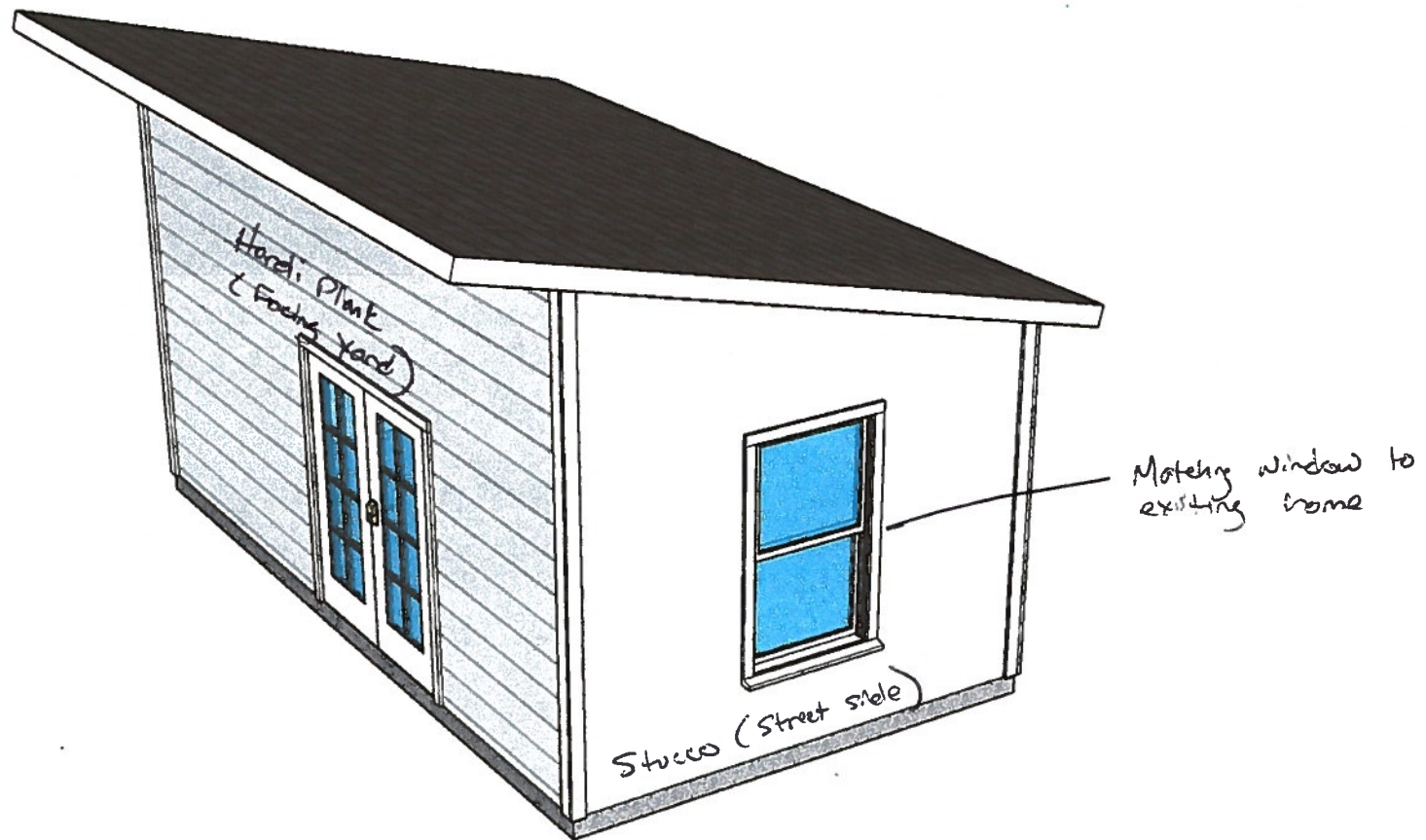
→  
Street side

Existing  
Home

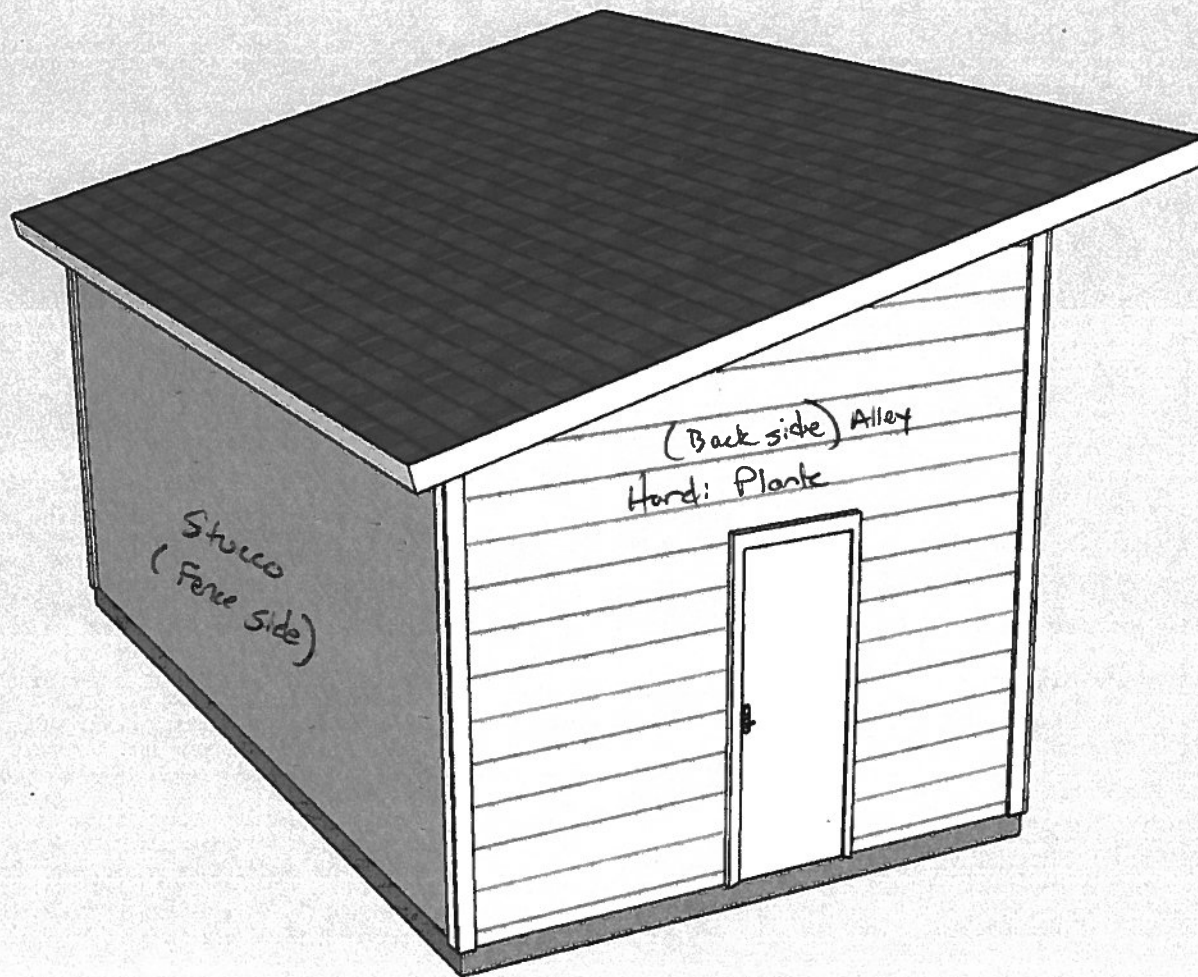
Alley

yard











**Lone Star State**  
CONSTRUCTION

[illegible]





Front of home

Shed located in near





Back yard





Back yard