

HISTORIC AND DESIGN REVIEW COMMISSION

March 15, 2017

HDRC CASE NO: 2017-111
ADDRESS: 8400 NW MILITARY HWY
LEGAL DESCRIPTION: NCB 11672 P-10 ABS 124 NON-ADJ
ZONING: R-6
CITY COUNCIL DIST.: 9
APPLICANT: Robert Lopez/Lopez Salas Architects
OWNER: Pat Schneider/City of San Antonio
TYPE OF WORK: Construction of storage facility
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a pre-engineered metal storage facility within an existing enclosed fence.

APPLICABLE CITATIONS:

Unified Development Code DIVISION 4. - PUBLIC PROPERTY

Sec. 35-640. - Public Property and Rights-of-Way.

(a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.

(b) Public Rights-of-Way. Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

(Ord. No. 98697 § 6)

Sec. 35-642. - New Construction of Buildings and Facilities.

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of

ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

(Ord. No. 98697 § 6)

FINDINGS:

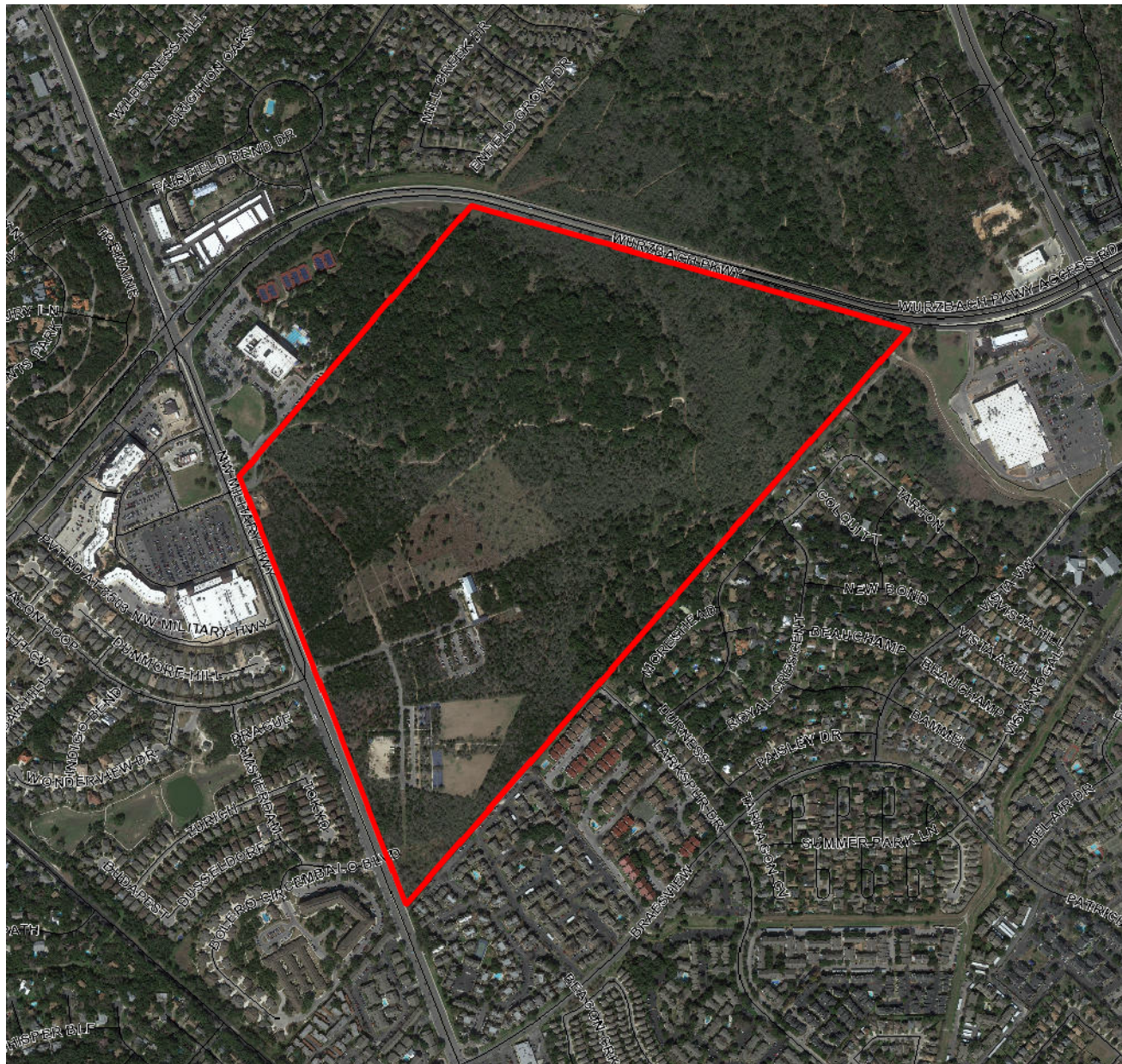
- a. The existing primary structure, located at the Urban Ecology Center at Phil Hardberger Park, was constructed in 2014 and is approximately 18,600 square feet.
- b. The proposed structure is a maintenance storage facility to be used by park staff. The facility is not to be seen from the public right-of-way and is concealed by an existing tree line, which is to be retained and undisturbed.
- c. The proposed structure is consistent with the UDC guidelines for massing, scale, and setting of new buildings and is appropriate for its surroundings.

RECOMMENDATION:

Staff recommends approval based on findings a through c.

CASE MANAGER:

Stephanie Phillips

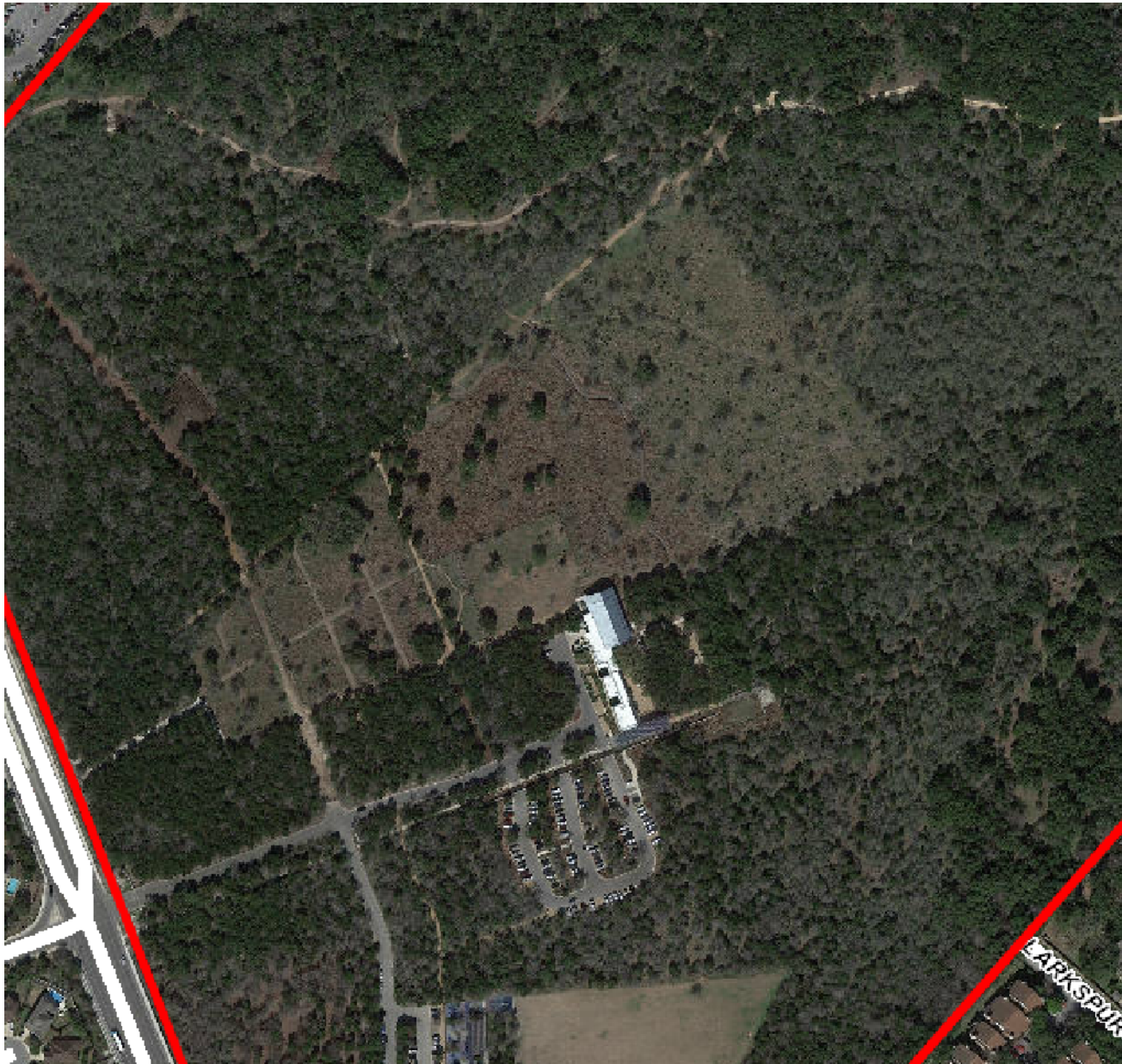


Flex Viewer

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Hardberger Park Maintenance Building

Project Description:

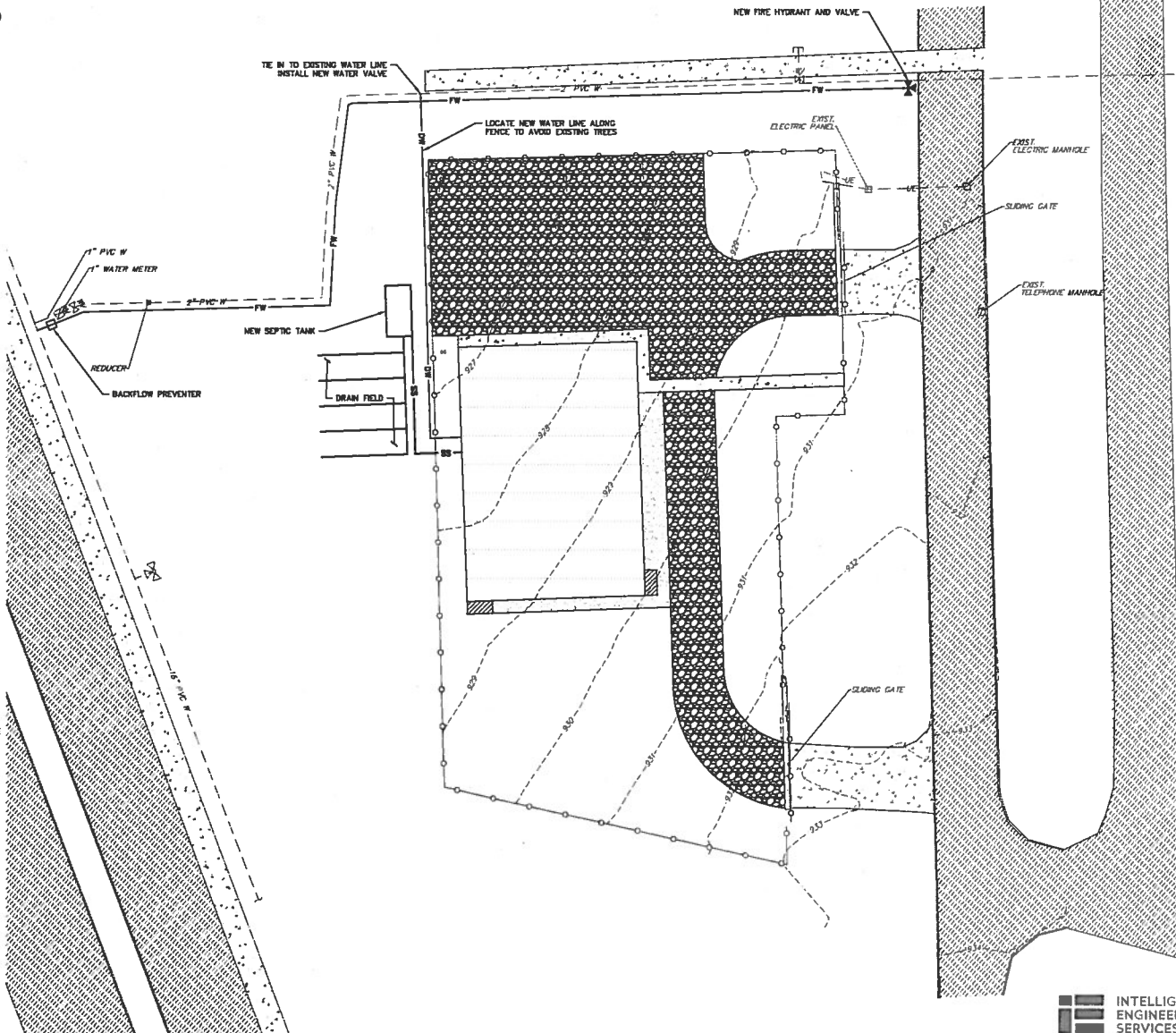
The proposed project is a free standing metal pre-engineered metal building; utilized as a storage facility within an enclosed existing fence within an existing maintenance yard for Hardberger Park's back of house staff. Site is surrounded by an existing tree line that is not visible from the surrounding roadways and the tree line is not to be disturbed.

UTILITY GENERAL NOTES:

- UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, ELEVATION, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS/HER OWN EXPENSE. ANY CONFLICTS WHICH MAY AFFECT THE DESIGN OF THE NEW WORKS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY AND ALL UTILITY LOCATIONS REGARDING LOCATES AND PROFILES FOR SPECIFIC UTILITY IDENTIFICATION/CONSTRUCTION. THE FOLLOWING NUMBERS ARE PROVIDED TO ASSIST THE CONTRACTOR:
UTILITY LOCATORS:
TEXAS STATE WIDE ONE CALL: 800-545-0005
TEXAS EXCAVATION SAFETY SYSTEM (TESS): 800-DIG-TESS
- THE CONTRACTOR SHALL REPLACE "IN-RIND" ALL PAVEMENT SECTIONS ENCOUNTERED WHERE "SAWCUT AND PATCH" IS REQUIRED FOR A UTILITY CONNECTION AND/OR A DRIVEWAY LOCATION.
- THE TOP OF PIPE ELEVATION OF THE WATER MAIN MUST MAINTAIN A 2-FOOT VERTICAL CLEARANCE WHERE THE WATER MAIN CROSSES UNDER EXISTING AND NEW UTILITIES.
- DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, THE LOCAL GAS PROVIDER MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- UNDERGROUND ELECTRICAL LINES ARE LOCATED CLOSE TO THE PROJECT. ATTENTION IS DIRECTED TO THE STATE LAW (TEXAS UTILITIES CODE, TITLE 5, CHAPTER 251, SUBCHAPTER D) CONCERNING OPERATIONS IN THE VICINITY OF ELECTRICAL LINES AND THE NEED FOR EFFECTIVE PRECAUTIONARY MEASURES. VERIFY EXISTING UTILITIES AND USE EXTREME CAUTION IN ALL EXCAVATION OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL ADJUST THE TOP ELEVATIONS AS NECESSARY OF ALL MANHOLES, VALVE BOXES, METER BOXES, JUNCTION BOXES, ETC. TO MATCH PROPOSED GRADES AND PREVENT FLOODING OF WATER ON TOP OF THESE ITEMS. (NO SEPARATE PAY ITEM).
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO STORM DRAINAGE AND ASSOCIATED IMPROVEMENTS DURING ALL PHASES OF CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR. CONTRACTOR SHALL BE PREPARED TO PROVIDE ADEQUATE SHORING OR OTHER APPROPRIATE SAFETY MEASURES TO PREVENT COLLAPSE, UNDERMINING, OR ANY OTHER DAMAGE TO SAID DRAINAGE STRUCTURES THROUGHOUT CONSTRUCTION.
- WHEN CONSTRUCTING SANITARY SEWER OR STORM DRAIN SYSTEMS, THE CONTRACTOR SHALL START AT THE DOWNSTREAM END AND WORK UPSTREAM. IF CONNECTING TO EXISTING SYSTEMS, VERIFY EXISTING DOWNSTREAM AND/OR UPSTREAM PIPE INVERT ELEVATIONS PRIOR TO STARTING WORK. IMMEDIATELY NOTIFY ENGINEER IF INVERT ELEVATIONS ARE NOT AS SHOWN ON PLANS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR START AT THE UPSTREAM END AND WORK DOWNHILL. INSTALL PIPE WITH BELLS AT UPSTREAM END.
- CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY LINE INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- CLAY PLUG - WHERE UNDERGROUND UTILITIES ENTER THE BUILDING, A CLAY PLUG SHALL BE PROVIDED IN THE UTILITY TRENCHES ON THE EXTERIOR SIDE OF THE BUILDING. THE PLUG SHALL EXTEND ONE FOOT BEYOND THE PIPE IN ALL DIRECTIONS AND BE A MINIMUM OF TWO FEET THICK.
- IN AREAS WHERE LARGE EXCAVATING EQUIPMENT COULD DAMAGE EXISTING UTILITIES, CONTRACTOR SHALL HAND EXCAVATE AROUND CONFLICTING UTILITIES.
- WHEN WATER LINES ARE INSTALLED IN THE VICINITY OF SEWER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH TCEQ 30 TAC 290, IN ITS ENTIRETY.
- NO WATER JETTING TO BACKFILL TRENCHES WILL BE ALLOWED ON THIS PROJECT.
- PROVIDE SEDIMENT CONTAMINATION PROTECTION AS REQUIRED. AS A MINIMUM, PROVIDE SILT FENCING. CONTRACTOR SHALL PROVIDE MORE EFFECTIVE LEVELS OF SEDIMENT CONTAMINATION PROTECTION IF SILT FENCE IS NOT SUFFICIENT.
- ALL WATER AND WASTEWATER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CHAPTERS 113, 290, 295 & 217 IN THEIR ENTIRETY, AND CONFORM TO CURRENT ANWWA REQUIREMENTS.
- WHEN RECYCLED WATER, SEWER AND WATER MAINS LINES ARE INSTALLED IN THE SAME VICINITY, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH TCEQ DESIGN CHAPTER 210.25 AND 290.44 "E".
- CONTRACTOR WILL BE RESPONSIBLE FOR COST INCURRED AS A RESULT OF UTILITY RELOCATIONS PERFORMED FOR CONTRACTOR'S CONVENIENCE.
- INSTALL A 1.5x1.5x18" THICK REINFORCED CONCRETE PAD AROUND ALL VALVES LOCATED IN PAVED AREAS.
- FINISHED ELEVATIONS ON THE SANITARY SEWER CLEANOUTS SHALL BE 3-INCHES ABOVE FINISHED GRADE IN NON-PAVED AREAS OR AT FINISHED GRADE IN PAVED AREAS. CLEAN FULL SHALL BE ADDED AND SLOPED FROM ALL RIMS TO ENSURE POSITIVE DRAINAGE. INSTALL A 2x2x20" THICK REINFORCED CONCRETE PAD AROUND ALL CLEANOUT STACKS LOCATED IN PAVED AREAS.
- ALL TRENCHES SHALL BE MADE SAFE TO THE GENERAL PUBLIC BY THE END OF THE WORKING DAY.
- ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL SERVICES ARE BROUGHT TO WITHIN 4 FEET OF THE BUILDING. BUILDING CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST TO CONNECT ALL SERVICES TO THE BUILDING.
- REFERENCE DETAILS AND SPECIFICATIONS FOR PLACEMENT OF TRACER WIRE AND WARNING TAPE ON ALL UTILITIES.

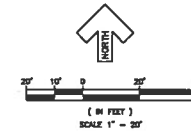
SEPTIC NOTE

LOCATE DRAIN FIELD AROUND EXISTING TREES



LEGEND

- DW — NEW DOMESTIC WATER LINE
- FW — NEW FIRE WATER LINE
- SS — NEW SANITARY SEWER LATERAL
- NEW FIRE HYDRANT



**LOPEZ
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ARCHITECTS INC.**
227 W. 10th St., 301
San Antonio, TX 78208
512.324.4448
512.324.4909
www.lopezsalas.com

Project No. 16013
Date: 2.21.2016

**INTERIM
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DOCUMENTS**
THE INFORMATION CONTAINED
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NEW FOR RECORD
CONSTRUCTION

REV. REVISION DATE

CITY OF SAN ANTONIO
HARDBERGER PARK - PARKS BLDG
8400 NW MILITARY HWY.

UTILITY PLAN

**INTELLIGENT
ENGINEERING
SERVICES**
ENGINEERING CONSULTANTS FROM THE GROUND UP
1000 REDBONE PLACE, SUITE 200 SAN ANTONIO, TEXAS 78204
78745-0009
616.259.0021 (PHONE) 616.259.0022 (FAX)

The enclosed map of this drawing is an
as of the office of Lopez Salas
Architects, Inc., 227 W. 10th St.,
301 San Antonio, Texas 78208, has
been prepared in accordance with
the provisions of the Texas
Professional Engineering Act
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C-150



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237 W. Trade St. 301
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Project No. 16013

Date: 02.21.2017

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CITY OF SAN ANTONIO
HARDBERGER PARK - PARKS BLDG
8400 NW MILITARY HWY.

FLOOR PLAN

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A2.1

KEYNOTES

- 1 NEW CONCRETE PLUMBING, RE: CHS
- 2 METAL BLOSS-PANELS
- 3 OVERHEAD ROLLING GARAGE DOOR
- 4 ADA COMPLIANT BENCHES
- 5 LOCATION PROVIDED BY OWNER
- 6 MOP BULK, RE: PLUMBING

RCP LEGEND

- 2x2 REINFORCED CONCRETE
FLOOR SLAB
- 2x2 REINFORCED CONCRETE
FLOOR SLAB (PER CODE)
- CONCRETE BORED PILING (L&L)

2" x 4" REINFORCED FLOOR
SLAB (PER BAY) 2x4" x 4" x 4"

2" x 4" REINFORCED FLOOR
SLAB (PER BAY) 2" x 4" x 4"

WALL METAL BRIDGE (PER BAY) 2x4" x 4" x 4"

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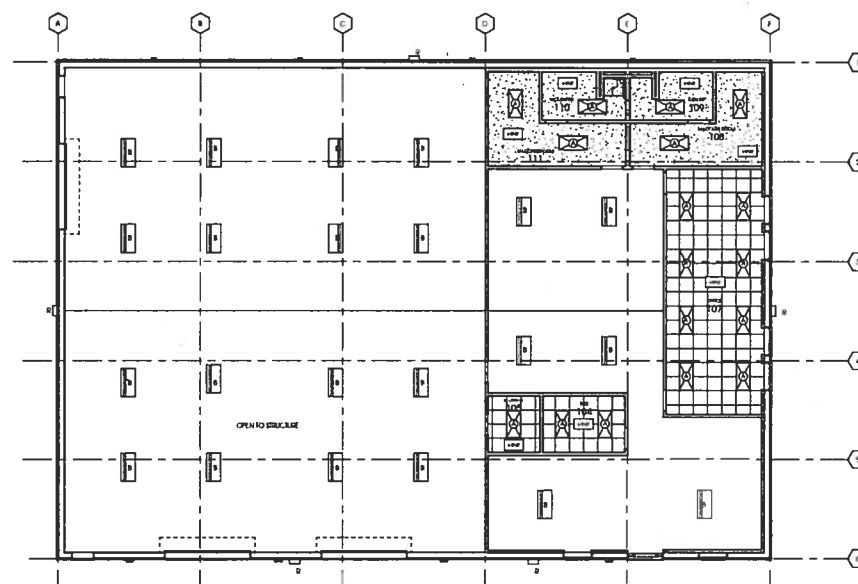
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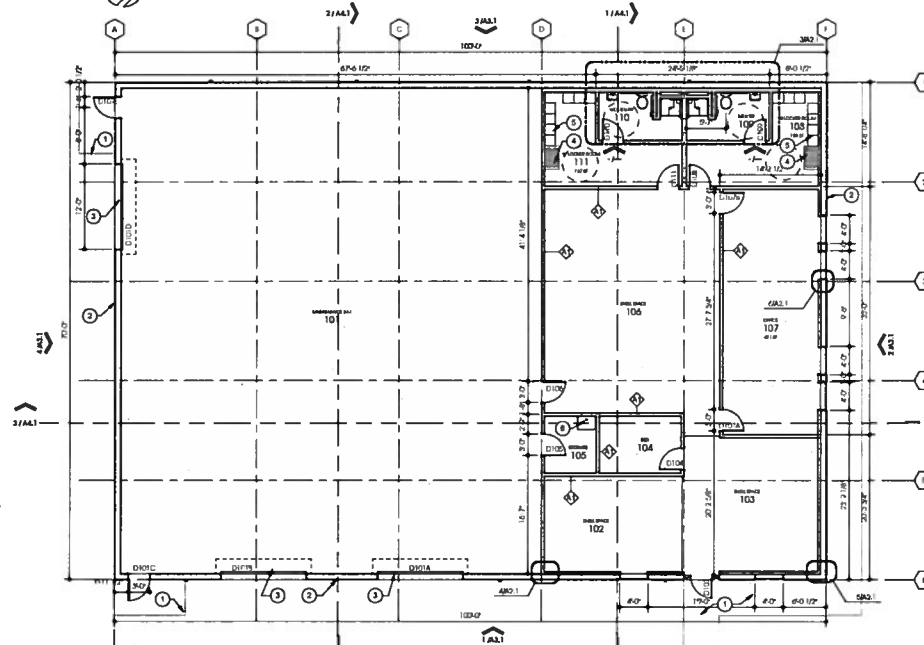
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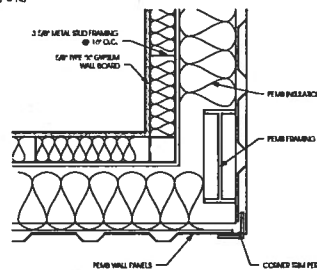


2 REFLECTED CEILING PLAN
1/8" = 1'-0"

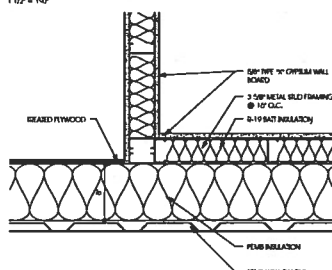


1 FLOOR PLAN
1/8" = 1'-0"

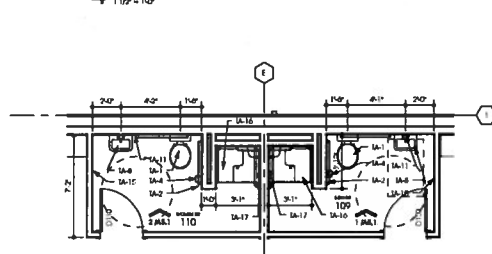
6 EXTERIOR DOUBLE WALL @ WINDOW
1/8" = 1'-0"



5 DOUBLE WALL CORNER
1/8" = 1'-0"



4 PLAN DETAIL SOUTH WALL INTERSECTION
1/8" = 1'-0"



3 ENLARGED RR
1/8" = 1'-0"





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Project No. 16013
Date: 02.21.2017

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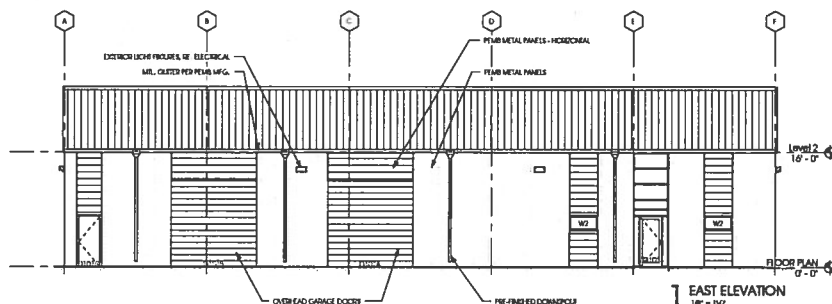
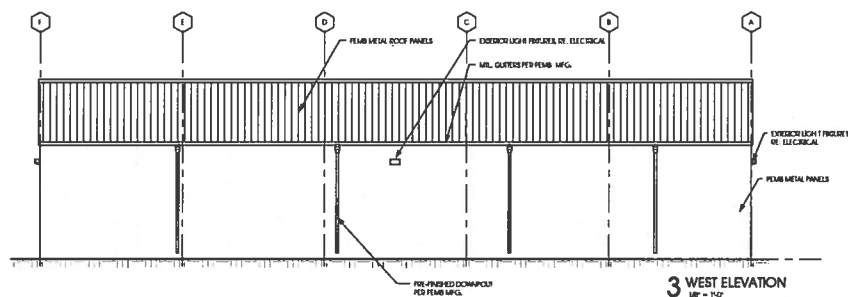
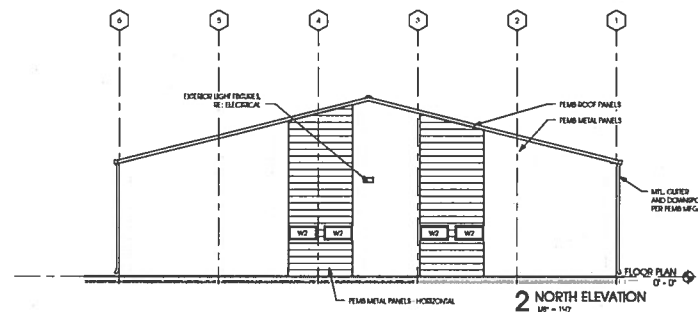
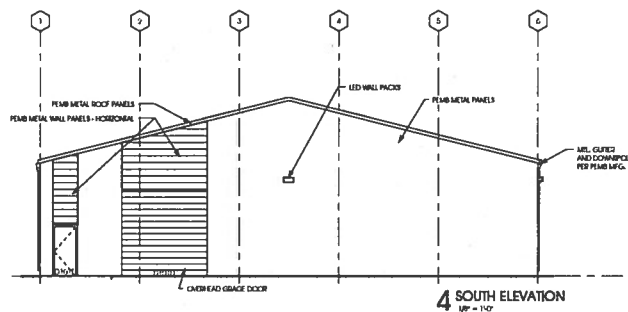
NO. REVISION DATE

CITY OF SAN ANTONIO
HARDBERGER PARK - PARKS BLDG
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**BUILDING
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SECTIONS**

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A3.1



Project No. 1601.3
Date: 02.21.2017

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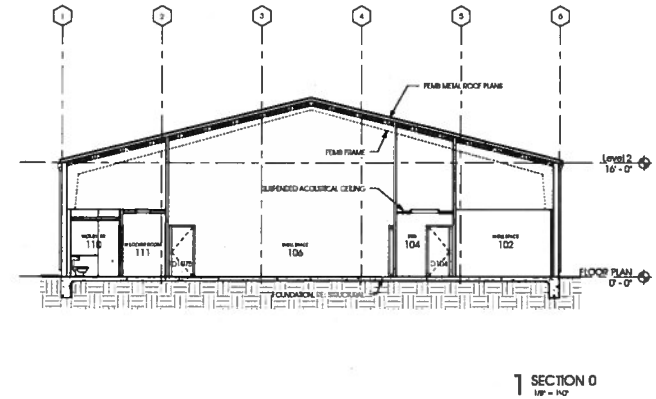
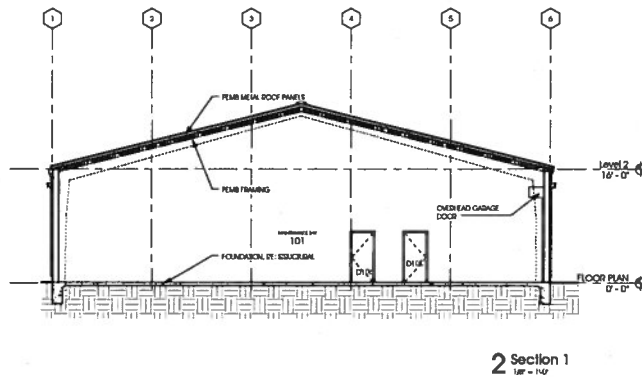
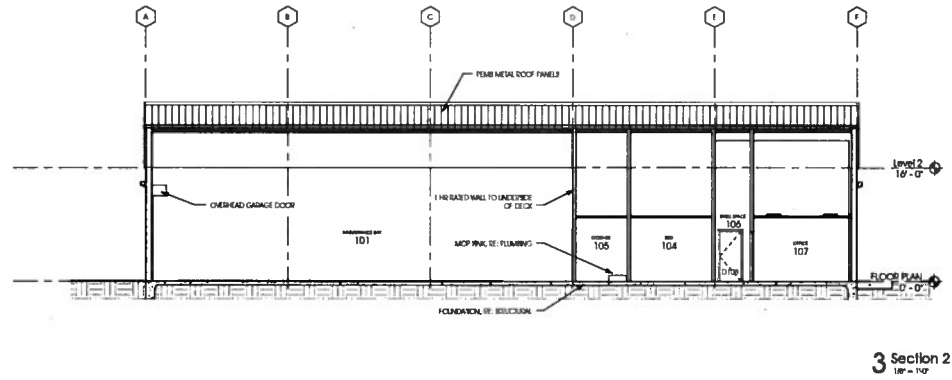
BUILDING SECTIONS

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A4.1

GENERAL NOTES

1. INSURE FIRE PROOFING OVER ROOF TRUSS AND REEL SUPPORT ANGLES AT CONCRETE SLAB WALL PANELS. TYPICAL RE: STRUCTURAL FOR REE, LOCARCH & CONNECTIONS.
2. BRUSH ON FIRE PROOFING @ BEAM, REEL JOINTS & FULL HEIGHT OF COLUMNS TO B.O. METAL FLOOR DECK. (TYPICAL)
3. FIRE RATED SUPPORT CURBS OF METAL ISOL AND FLOORING OF OFFICE BOUND AT FULL HEIGHT PRIOR TO PLACING SPWNT-ON-THE-ROOFING. (TYPICAL)
4. PRIOR TO FIRE PROOFING PROVIDE MECHANICAL BREAK AT REEL PLANCE. BEARING THEIR GREATEST SPAN 14'-0".
5. FIRE RATED METAL ISOL CURBS AT MINIMUM COLUMNS PRIOR TO PLACING SPWNT-ON-THE-ROOFING. (TYPICAL)
6. PROVIDE METAL ISOL FLOORING AND OFFERMENT OVER COLUMNS NOT CHANGING SPWNT-ON-THE-ROOFING.
7. FIRE PROOFING NOT REQUIRED FOR B.O. METAL BOOF DECK AND JOINTS/STUBS 2'-0" + ABOVE A FLOOR LINE.
8. FIRE PROOFING SHALL BE APPLIED ON ALL STRUCTURAL BEARING AND CONNECTIONS. (TYPICAL)

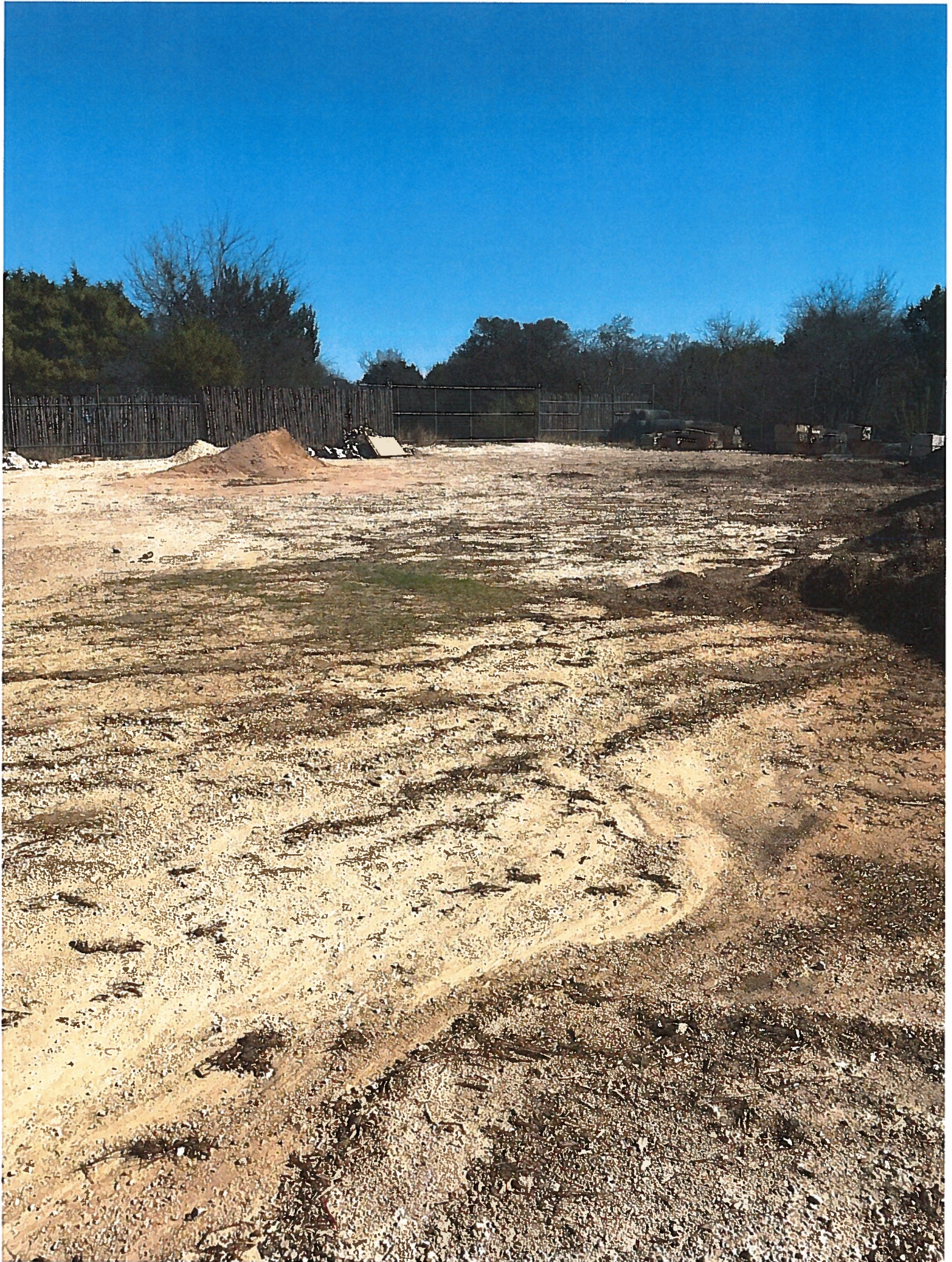


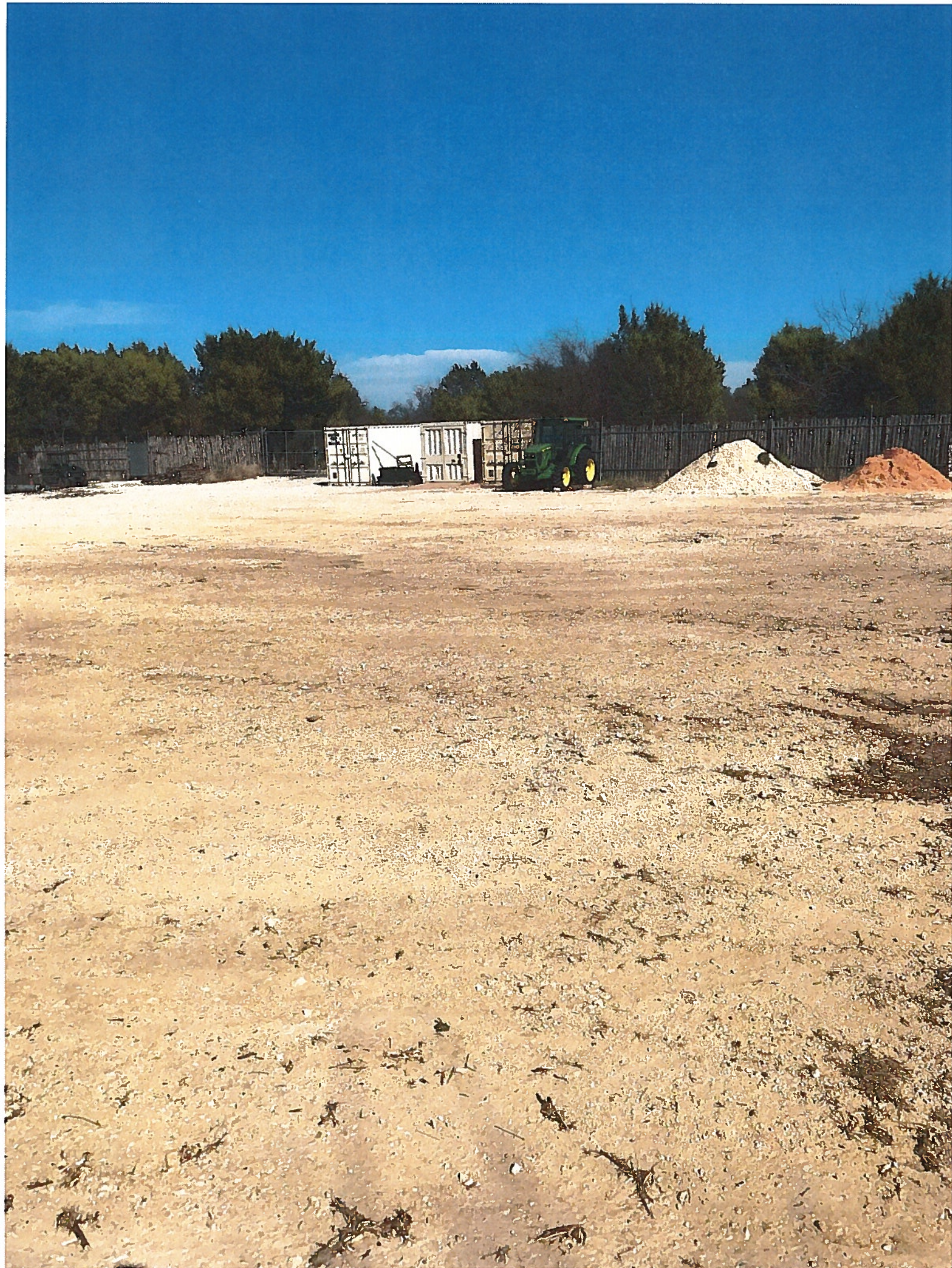


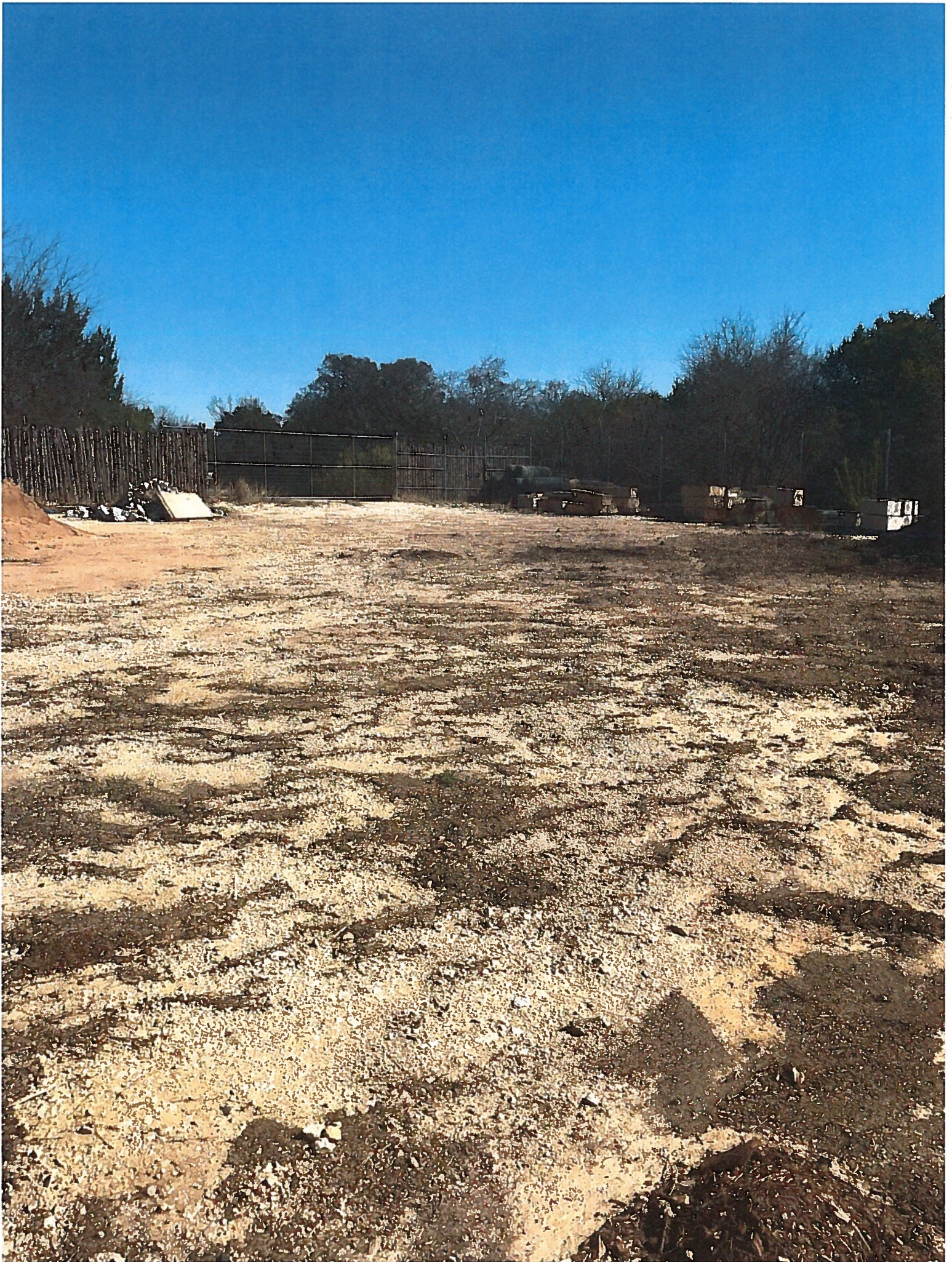




















PANEL OPTIONS

AP PANEL

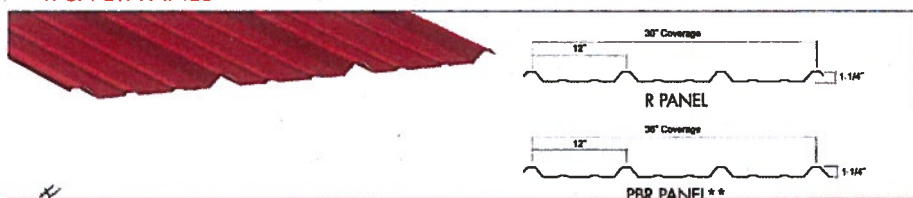


VERTICAL PANELS

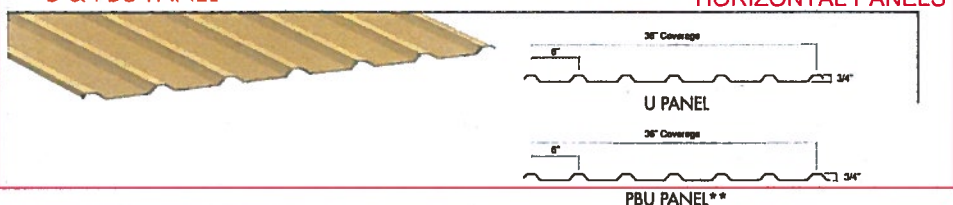
CF PANEL



R & PBR PANEL**



U & PBU PANEL**



HORIZONTAL PANELS

CORRUGATED PANEL



MUELLER SNAP LOCK



MUELLER LOCK



AP Panel

Choose from
Column A

CF Panel

Choose from
Columns A or B

R, U & C Panel

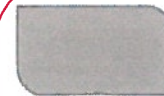
Choose from
Columns A, B or C

Column A



Galvalume Plus*

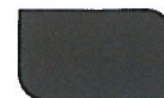
White



Light Gray



Silver Metallic



Charcoal



Deep Blue



Deep Green



Ivy Green



Mansard Brown



Burnished Slate



Rustic Red



Patriot Red



Bright Copper



Tan



Light Stone

NOW AVAILABLE

MUELLER SNAP LOCK
& MUELLER LOCK
Standing Seam Panels
in the following colors:

Galvalume Plus

White

Smokey Pewter

Silver Metallic

Deep Blue

Deep Green

Ivy Green

Burnished Slate

Patriot Red

Bright Copper

Light Stone

FIELD

TRIM