

HISTORIC AND DESIGN REVIEW COMMISSION

May 17, 2017

HDRC CASE NO: 2017-234
ADDRESS: 2142 W MAGNOLIA AVE
LEGAL DESCRIPTION: NCB 6829 BLK LOT 13, W 5 FT OF 12
ZONING: R-6
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Gloria Torres
OWNER: Gloria Torres
TYPE OF WORK: Tax certification

REQUEST:

The applicant is requesting Historic Tax Certification for the property located at 2142 W Magnolia.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualifications:

(a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:

(1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.

(b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.

(c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:

(1) State the legal description of the property proposed for certification;

(2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;

(3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;

(4) Include a statement of costs for the restoration or rehabilitation work;

(5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;

(6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;

(7) Include a detailed statement of the proposed use for the property; and

(8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

(2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.

(g) Eligibility.

(1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

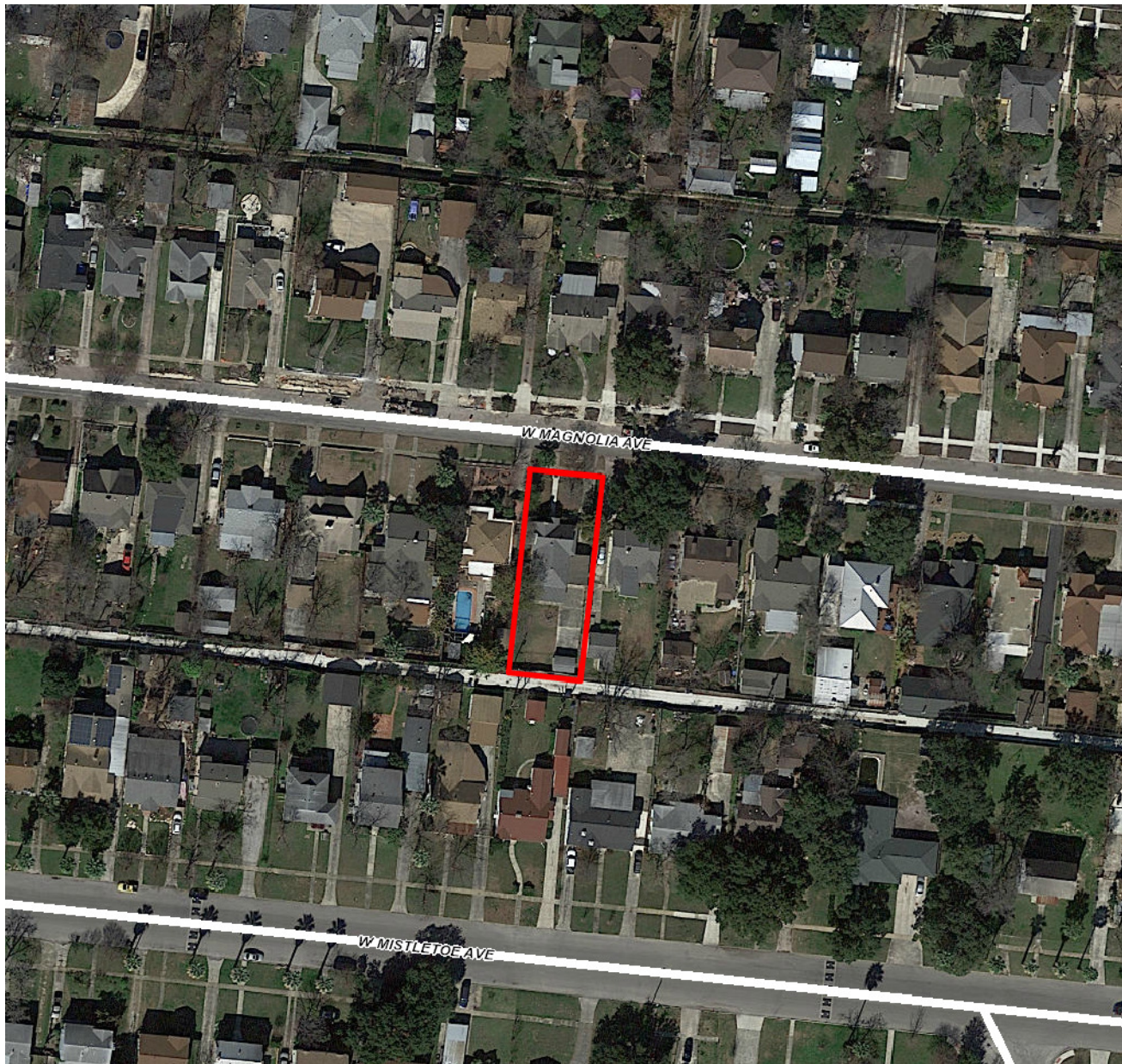
- a. The structure located at 2142 W Magnolia Ave is one-story single family home constructed in 1935. The original structure is primarily brick with Tutor style elements, including a cross-hipped roof form with composition shingles. It is a contributing structure in the Monticello Park Historic District. The house also includes a non-contributing rear addition constructed of wood lap siding with wide profile measuring approximately 4-5 inches. The applicant is applying for Historic Tax Certification.
- b. The applicant received HDRC approval to demolish the non-contributing rear addition in February 2017 and construct a new 720 square foot addition, along with a 147 square foot deck, in its place. The new addition will be made of stucco. The applicant also received administrative approval in March 2017 to install gutters on the front left of the primary structure and re-roof the primary structure with dimension shingles. These modifications are included in the Historic Tax Certification submission.
- c. Staff conducted a site visit on May 9, 2017, to examine the conditions of the property. The non-original rear addition had been removed. Overall, the staff finds the proposal and reinvestment in the property commendable.
- d. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

Staff recommends approval based on findings a through d.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: May 10, 2017

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**CITY of SAN ANTONIO
NOTICE of HEARING**



**HISTORIC & DESIGN
REVIEW COMMISSION**

ADDRESS: 2142 W MAGNOLIA

REQUEST: TAX CERTIFICATION

HEARING DATE: MAY 17, 2017 **Time:** 3:00 PM

**FOR MORE INFORMATION CONTACT
(210) 207-0035**

ALL HDRC MEETINGS TAKE PLACE AT 1901 S. ALAMO









HOUSE INTERIOR & EXTERIOR RENOVATION 2142 W MAGNOLIA San Antonio, TEXAS 78201

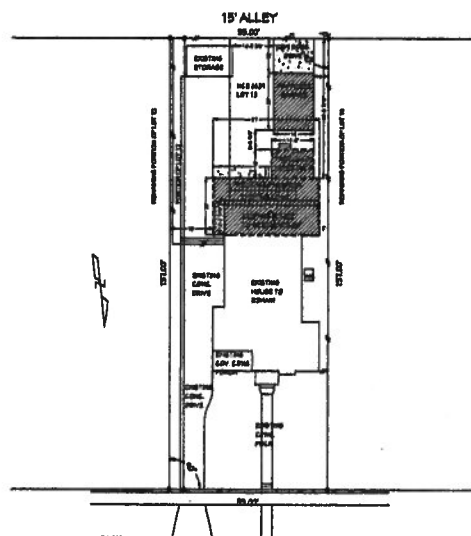
GENERAL NOTES:

1. CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE INSTALLATION AS IDENTIFIED HEREIN. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND IS RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK.
2. CODES: ALL CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND AUTHORITIES, INCLUDING BUT NOT LIMITED TO: INTERNATIONAL RESIDENTIAL CODE (2015 IBC), NATIONAL FIRE PROTECTION CODES (NFPA 54 & 25 2007 ED), UNIFORM PLUMBING CODE, AND NATIONAL ELECTRIC CODE (2011 NEC).
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
4. QUALITY WORKMANSHIP SHALL BE OF THE HIGHEST TYPE. INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS, IF MORE STRINGENT.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE OWNER BEFORE PROCEEDING WITH THE CORRESPONDING WORK.
6. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANDERS, ETC.
7. THE GENERAL CONTRACTOR SHALL SAFETY SHORE, BRACE OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OR METHOD BY THE DESIGNER SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
8. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW OR INDICATE ALL FASTENING OR FRAMING TECHNIQUES AND/OR DEVICES, OR TO SHOW ALL CONDITIONS PRESENT.
9. PROVIDE NECESSARY BLOCKING TO SECURE ANY FIXTURES OR EQUIPMENT TO THE STRUCTURE. GENERAL CONTRACTOR TO COORDINATE WITH RESPECTIVE TRADES FOR EXACT LOCATIONS.
10. ALL ANNULAR OPENINGS IN CONSTRUCTION WILL BE SEALED WITH ELASTOMERIC CAULKING OR SEALANT.
11. ARCHITECTURAL DRAWINGS SHALL BE COORDINATED WITH MECHANICAL, PLUMBING AND ELECTRICAL AND PROVIDE OPENINGS AND SUPPORTS AS REQUIRED FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT. ALL SUSPENDED MECHANICAL EQUIPMENT SHALL BE SWAY OR LATERAL BRACED.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND VERIFY THE EXISTING CONDITIONS AT THE JOBSITE. EXISTING SITE CONDITIONS SHALL PREVAIL OVER DRAWINGS. ANY CONFLICT OR DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS AND ANY UNUSUAL OR SPECIAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.
13. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPERVISION FOR ALL JOB SITE OPERATIONS. THE SUPERVISOR SHALL HAVE THE NECESSARY KNOWLEDGE, EXPERIENCE AND AUTHORITY TO CONDUCT THE REQUIRED ACTIVITIES IN COMPLIANCE WITH THESE NOTES.
14. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED.
15. ALL SHOWN EXISTING BUILDING HORIZONTAL AND VERTICAL DIMENSIONS OF THE ARCHITECTURAL DRAWING SHEETS SHALL BE ACCURATELY FIELD MEASURED BY THE CONTRACTOR. THE ACTUAL FIELD MEASUREMENT SHALL BE USED IN THE PRECISE FABRICATION AND INSTALLATION OF THE REQUIRED FEATURES SUCH AS PRE-CAST STRUCTURAL AND ARCHITECTURAL MEMBERS, CAST-IN-PLACE CONCRETE MEMBERS, HANDRAILS, CABINETS, DOORS, ETC.
16. UNLESS INDICATED OTHERWISE, ALL TYPICAL NOTES, DETAILS AND FEATURES SHOWN AS APPLICABLE FOR ONE CONDITION SHALL BE APPLICABLE AT SIMILAR CONDITIONS WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED.
17. UNLESS OTHERWISE NOTED WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS AND DETAILS WILL GOVERN.
18. ALL GYPSUM BOARD CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM CONSTRUCTION HANDBOOK.
19. THE ARCHITECTURAL DRAWINGS ARE NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. ADDITIONAL ENGINEERED DESIGN DOCUMENTS ARE REQUIRED. A REGISTERED ENGINEER SHALL PREPARE DRAWINGS, WITH THE APPROPRIATE SEAL, FOR THE FOUNDATION DESIGN AND RELATED CONNECTIONS FOR THIS PROJECT. SEE STRUCTURAL NOTES FOR FRAMING DESIGN.
20. GLASS IN SHOWER DOORS TO BE SAFETY GLASS.
21. GLASS IN DOORS TO BE SAFETY IF GREATER THAN 3 IN. DIAMETER OR WITHIN 2 FT. OF DOOR OPENING.
22. GLASS IN FULL WINDOWS AT TUBS TO BE SAFETY GLASS.
23. RIA OPENING SHALL BE LOCATED MIN. 10 FT. FROM ANY GAS FIRE APPLIANCE OR ITS ENCLOSURE'S OPENING.

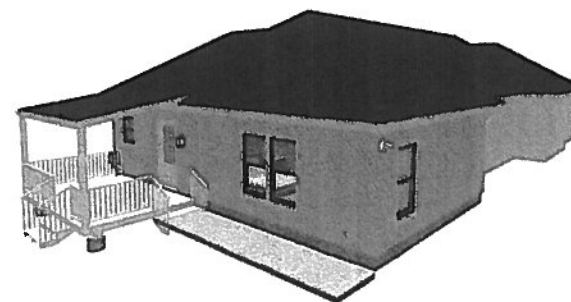
KITCHEN AND CABINET NOTES:

1. ALL CABINETS CONFIRM COLOR WITH HOME OWNER PRIOR TO ORDERING.
2. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.
3. INSTALL HARDWARE ON SITE.
4. INSTALL CROWN MOULDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER.
5. CUT OPEN OPENING ON SITE, SEE APPLIANCE SPECIFICATIONS.
6. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
8. USE MIN 1" DUCT FOR HOOD.
9. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING.

PAYMENT SCHEDULE	
DATE	TYPE
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES
10/1/2017	GENERAL NOTES



Site Plan W. MAGNOLIA



Any Design & Construction
San Antonio, Texas 78201
www.anydesign.com
210-372-4800



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITTING
2	ISSUED FOR PERMITTING
3	ISSUED FOR PERMITTING
4	ISSUED FOR PERMITTING
5	ISSUED FOR PERMITTING
6	ISSUED FOR PERMITTING
7	ISSUED FOR PERMITTING
8	ISSUED FOR PERMITTING
9	ISSUED FOR PERMITTING
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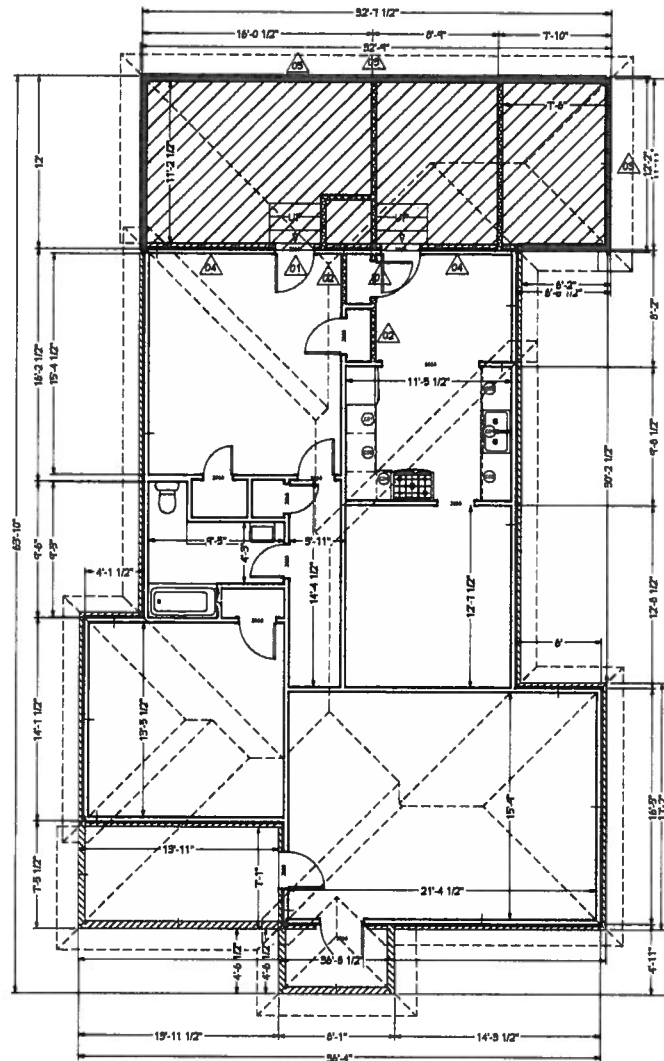
Cover - General Notes

2142 W. MAGNOLIA
San Antonio, Texas 78201



NOTES: THESE DRAWINGS ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS AND DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY DISCREPANCIES OR CHANGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WORK WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS AND DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY DISCREPANCIES OR CHANGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WORK WITHIN THE SPECIFIED TIME FRAME.

DATE:
2/21/2017
SCALE:
SHEET:
P-1



Demo Plan

LEGEND
 DEMO WALL
 EXISTING WALL TO REMAIN

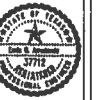
NOTES
 1. REMOVE DOOR.
 2. REMOVE WALL.
 3. REMOVE PORTION OF HOUSE IN ITS ENTIRETY (REAR 12'-2" X 53'-4").
 4. WALL TO REMAIN.
 5. LOCATE AND CAP SPRINKLER SYSTEM WHERE REQUIRED.

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 San Antonio, Texas 78208
 (210) 377-9600
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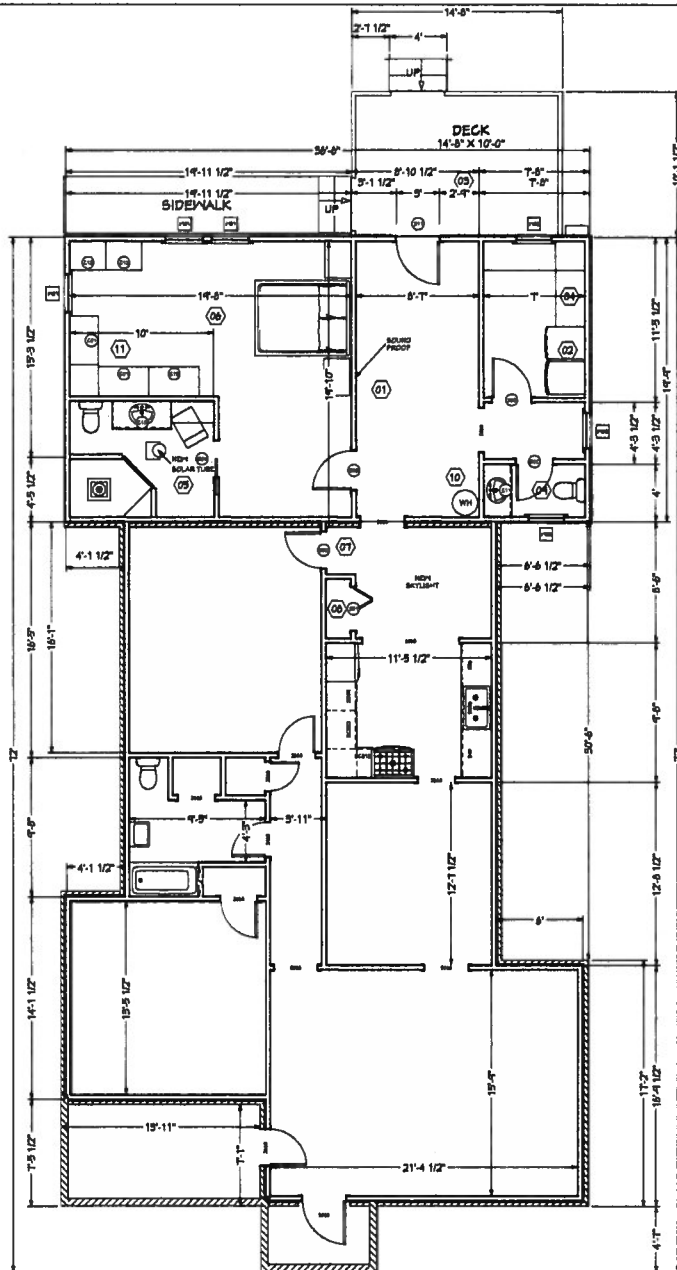
REVISION TABLE	REVISION BY	DESCRIPTION
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2		
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5		

Demo Plan
2142 W. MAGNOLIA
San Antonio, Texas 78201



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DATE:
 1/12/2017
 SCALE:
 SHEET:
 A-1



NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DOOR SCHEDULE	DESCRIPTION	HEADER	THICKNESS
001	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
002	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
003	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
004	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
005	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
006	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DOOR SCHEDULE	DESCRIPTION	HEADER	THICKNESS
007	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
008	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"

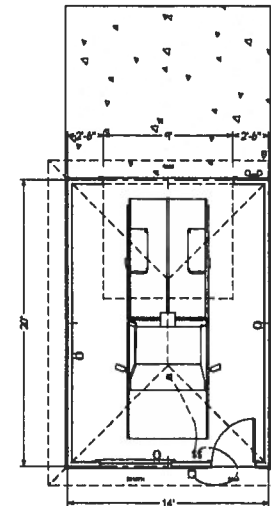
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010	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"
011	2000	1	1	1	30"	80"	1	2000-1	2000-1	2000-1	1 1/2"

LEGEND

- PROPOSED MALL
- EXISTING MALL TO REMAIN

NOTES

- 01 NEW FOUNDATION TO MATCH EXISTING HOUSE FINISH FLOOR ELEVATION
- 02 INSTALL FOR WASHER AND DRYER CONNECTIONS
- 03 INSTALL EXTERIOR PRE-TREATED WOOD DECK AND STEPS
- 04 INSTALL COUNTER TOP AND HOP SINK PER CUSTOMER
- 05 INSTALL NEW BATHROOM
- 06 INSTALL NEW BEDROOM
- 07 INSTALL DOOR AND PROVIDE ENTRY HALL TO KITCHEN
- 08 MODIFY EXISTING CLOSET TO ACCOMMODATE PANTRY ACCORDING TO PLANS
- 09 INSTALL NEW POWDER ROOM
- 10 RELOCATE ELECTRIC WATER HEATER



Garage Floor Plan

Are Design & Associates
2142 W. Magnolia, Suite 78201
San Antonio, Texas 78201
www.are-design.com
214-373-9800



REVISION	DATE	DESCRIPTION

Proposed Floor Plan
2142 W. MAGNOLIA
San Antonio, Texas 78201

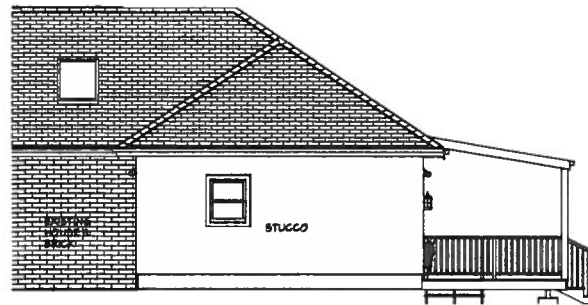


NOTES: 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL CONDITION. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY MEASURES. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

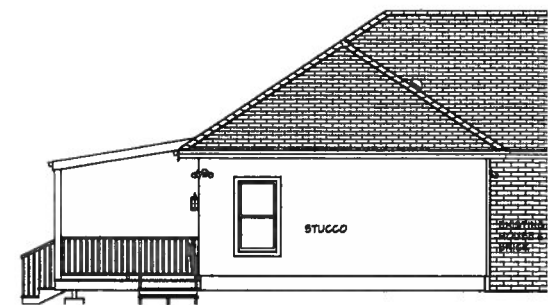
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Rear Elevation



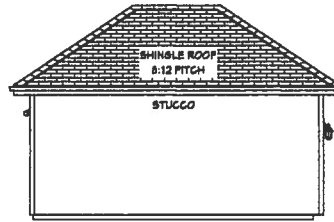
Left Elevation



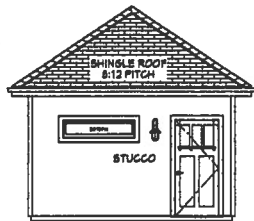
Right Elevation



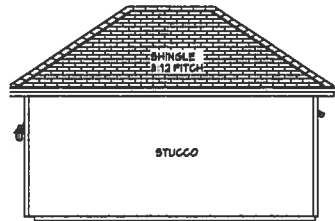
Front Garage



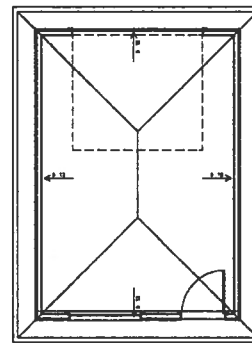
Right Garage



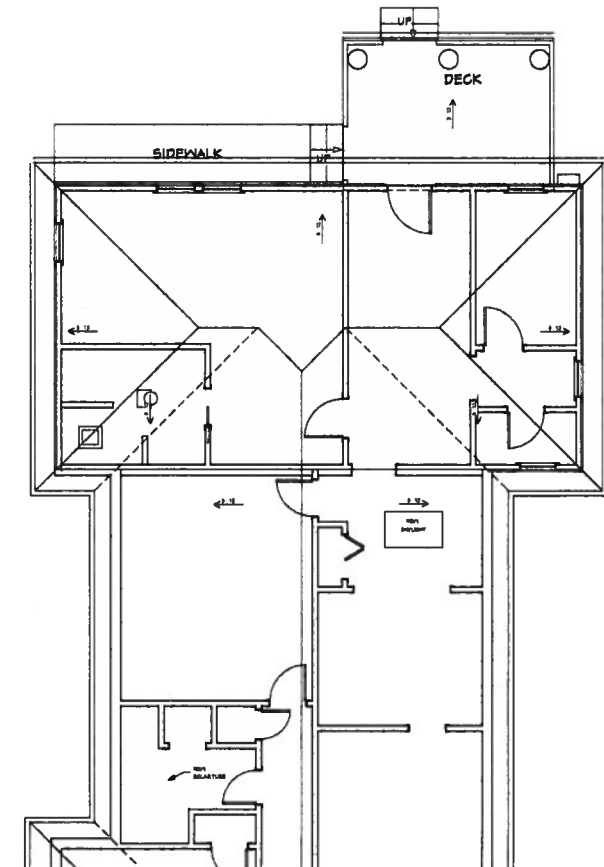
Rear Garage



Left Garage



Garage Roof Plan



House Roof Plan

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REVISION	DATE	DESCRIPTION

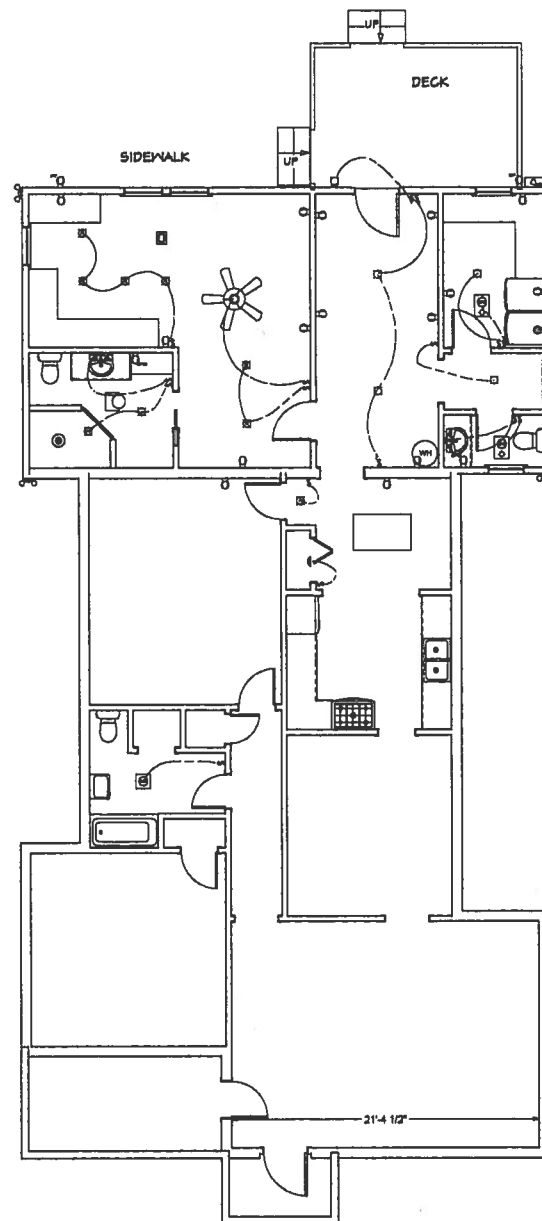
Elevations & Roof Plan




















2142 W. MAGNOLIA
San Antonio, Texas 78201



NOTE: OWNER AND/OR USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND ORDINANCES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS PLAN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE OWNER OR ANY OTHER PARTY. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE OWNER AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

DATE:
2/21/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-3

[illegible]

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Burinco/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT6 + TV, TwCable
	Telephone Jack
	Intercom
	Thermostat
	Door Chimes, Door Bell Button
	Smoke Detector: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

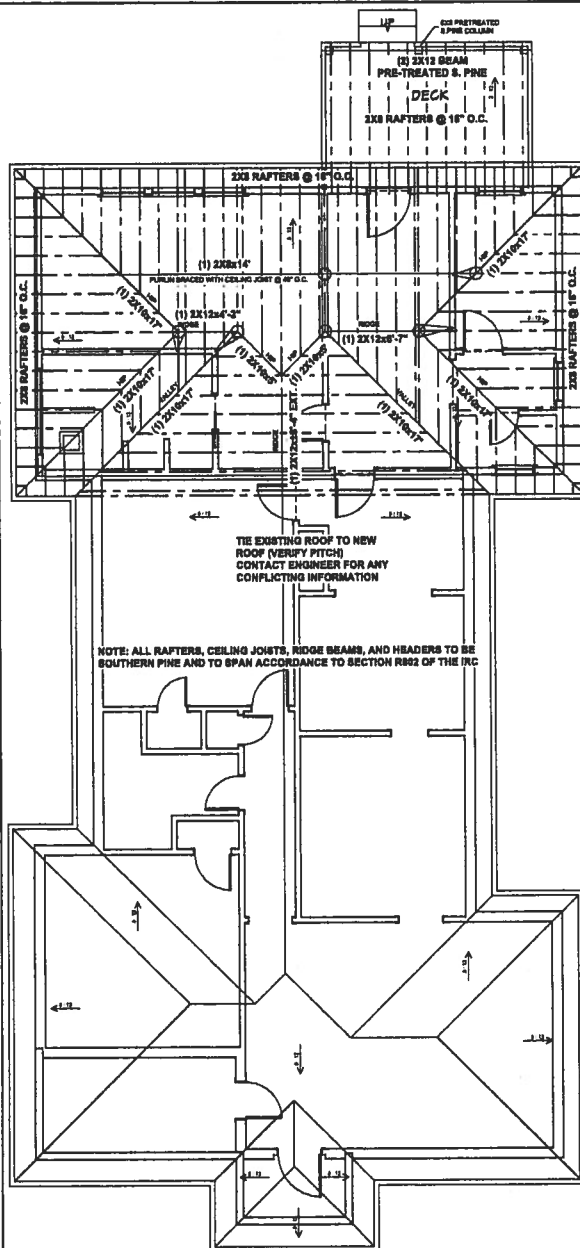
Art Design & Associates
San Antonio, Texas 78238
www.artdesignative.com
artsmarketing@live.com
210-372-0600

[illegible]

Electrical Plan
2142 W. MAGNOLIA
San Antonio, Texas 78201

WORLD, COMBAT STRESS AND CARE HAVE COME WITH THE PROGRESS AND COMPLEXITY OF THE MODERN WAR. IN REPLYING, SOCIETY, BECAUSE OF THE COMPLEXITY OF MODERN WARFARE FOR THE FIRST TIME, HAS A RESPONSIBILITY TO THE SOLDIER. CONGRESS, COME THE ARMY, CONSTRUCTION, AND BECAUSE OF THE URGENCY IN MODERN WARFARE CARE AND MEDICAL TREATMENT, THE OFFICIAL ANSWER TO THE RESPONSIBILITY FOR ANY DAMAGE, INCLUDING, PHYSICAL, REQUIRES THAT TO THE COMBAT STRESS OR DAMAGE IN THE COMBAT OR SUBSEQUENT IT IS RESPONSIBILITY THAT YOU COMBAT FOR DAMAGE AND MEDICAL TREATMENT. USUAL TRAINING OFFICIALS PRIOR TO F.I.M.

DATE:
2/21/2017
SCALE:
SHEET:
E-1



HOUSE ADDITION ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

CEILING FRAMING NOTES:

1. ALL FRAMING MEMBERS AND CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND SPECIFICATIONS AND THE INTERNATIONAL RESIDENTIAL CODE 2018 (IRC).
2. ALL CEILING JOISTS TO BE 2x8 @ 24" O.C., TYPICAL U.N.O.
3. DESIGN LOADS:
 - A. LIVE LOADS 10PSF
 - B. UNINHABITABLE ATTICS W/ LIMITED STORAGE 20PSF
 - C. HABITABLE ATTICS AND SLEEPING AREAS 30PSF
 - D. ALL OTHER AREAS EXCEPT BALCONIES AND DECKS 40PSF
 - E. ROOF LIVE LOAD: 20 PSF, REDUCIBLE PER LATEST IRC
4. DESIGN VALUES FOR VISUALLY GRADED LUMBER: ALL FRAMING MEMBERS TO BE #2 SOUTHERN YELLOW PINE (SP) AND SHOULD COMPLY WITH THE DESIGN VALUES SET BY THE AMERICAN WOOD COUNCIL (AWC) EFFECTIVE ON JUNE, 2013.

LUMBER	F _b (PSI)	F _v (PSI)	E (KSI)
2x8	1,000	175	1,400
2x8	825	175	1,400
2x10	800	175	1,400
2x12	750	175	1,400
5. LAMINATED VENEER LUMBER (LVL): E=2,000,000; F_b=2800 PSI; F_v=285 PSI
6. CEILING JOISTS SPACED AT 24" O.C., U.N.O.
7. CLO - INDICATES CONCEALED/LOADING BEAM. ALL OTHER BEAMS SHOWN ON PLAN TO BE DROPPED U.N.O.

RAFTERS (Ceiling Not Attached)

LL=20 psf, DL=10 psf, Def= L/180

Max. Span #2 SP - Light Roof Covering

Rafter Size	24"	16"	12"
2x8	12'-3"	15'-1"	17'-0"
2x8	15'-10"	19'-5"	22'-5"
2x10	18'-11"	23'-2"	26'-0"

RAFTERS (Ceiling Attached)

LL=20 psf, DL=10 psf, Def= L/240

Max. Span #2 SP - Light Roof Covering

Rafter Size	24"	16"	12"
2x8	12'-3"	14'-1"	15'-6"
2x8	15'-10"	18'-6"	20'-5"
2x10	18'-11"	23'-2"	26'-0"

STUD WALL COLUMNS

FOR SUPPORT OF BEAMS

Beam Size	2x4 Studs	2x6 Studs
2-2x10	2	2
2-2x12	3	2
3-2x12	3	3
2-9-1/2" LVL	4	4
2-9-1/2" LVL	5	4
2-11-7/8" LVL	5	4
3-11-7/8" LVL	6	4
2-14" LVL	8	4
3-14" LVL	8	5
2-16" LVL	8	5
3-16" LVL	10	6
2-18" LVL	10	6
3-18" LVL	10	6
4-18" LVL	14	8

RAFTERS (Ceiling Not Attached)

LL=20 psf, DL=20 psf, Def= L/180

Max. Span #2 SP - Heavy Roof Covering

Rafter Size	24"	16"	12"
2x8	10'-8"	13'-0"	15'-1"
2x8	13'-9"	16'-10"	19'-5"
2x10	16'-5"	20'-1"	23'-2"

RAFTERS (Ceiling Attached)

LL=20 psf, DL=20 psf, Def= L/240

Max. Span #2 SP - Heavy Roof Covering

Rafter Size	24"	16"	12"
2x8	N/A	N/A	N/A
2x8	N/A	16'-10"	19'-5"
2x10	N/A	20'-1"	23'-2"

EXTERIOR WALL STUDS

MAXIMUM ALLOWABLE LENGTH (H)

Stud Size	Supporting
2x4	Roof Only
2x4	1-Floor, Roof
2x6	12'-0"
2x8	20'-0"

GENERAL:

1. All work and materials shall comply with these plans and specifications, the City of San Antonio requirements, and the International Residential Code 2018 (IRC).
2. Contractor is solely responsible for safety and including any underground and overhead utility.
3. Contractor shall obtain any required permits.
4. All waste shall be disposed of by contractor at local government approved site.

WALL BRACING:

Exterior walls 10 feet or less and shall be braced in accordance to section 602.12. Exterior walls are to be braced.

WIND LOAD:

Building based on 90 mph per hour, 3-second-gust wind speeds for Exposure B location.

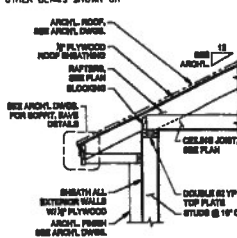
ROOF LOAD:

Not to exceed 20lb/sq.ft. live load and 10lb/sq. ft dead load.

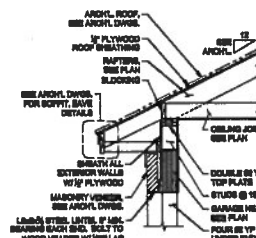
SEISMIC DESIGN CATEGORY: B

WOOD FLOOR LOAD:

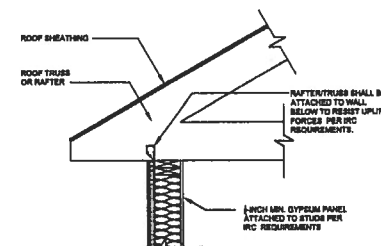
Not Applicable



SECTION A



SECTION B



**WALL DETAIL
ADDITION/GARAGE**

SCALE: NTS

CEILING JOISTS - Max. Span for #2 SP

LL=10 psf, DL=5 psf, Def= L/240

Without Attic Storage

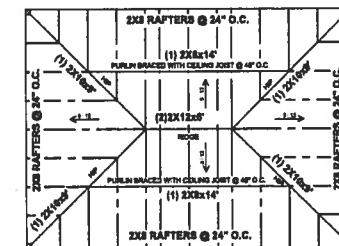
Joist Size	24"	16"	12"
2x8	15'-6"	17'-8"	19'-6"
2x8	20'-1"	23'-4"	25'-6"
2x10	23'-11"	26'-0"	28'-0"

CEILING JOISTS - Max. Span for #2 SP

LL=20 psf, DL=10 psf, Def= L/240

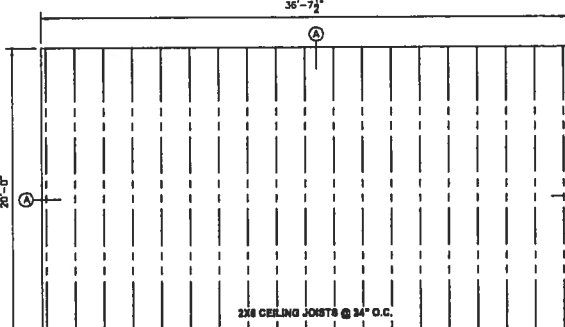
Limited Attic Storage

Joist Size	24"	16"	12"
2x8	11'-0"	13'-6"	15'-6"
2x8	14'-2"	17'-5"	20'-1"
2x10	16'-11"	20'-9"	23'-11"



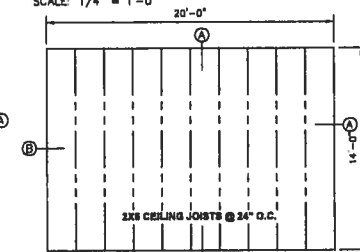
GARAGE ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



HOUSE ADDITION CEILING JOIST PLAN

SCALE: 1/4" = 1'-0"



GARAGE CEILING JOIST PLAN

SCALE: 1/4" = 1'-0"

Art Design & Associates
San Antonio, Texas 78208
www.artdesignandassociates.com
Phone: 210-272-9400

REVISION TABLE	DATE	REVISION BY	DESCRIPTION

Roof and Floor Framing
2142 W. Magnolia
San Antonio, Texas



Armeda Group
San Antonio, Texas 78208
www.armedagroup.com

DATE:
8/31/2016
SCALE:
1/4" = 1'-0"
SHEET:

5-2

GENERAL:

- All work and materials shall comply with these plans and specifications, the City of San Antonio requirements, and the International Residential Code 2012 (IRC).
- Contractor is solely responsible for safety and including any underground and overhead utility.
- Contractor shall obtain any required permits.
- All waste shall be disposed of by contractor at local government approved site.
- Ground slope adjacent to foundation and site drainage shall comply with code.
- Cure fresh concrete for 14 days (e.g. cover with 8-mil plastic or other acceptable method).
- All concrete shall be 3000-psi minimum.
- All welding must comply with AISC 341.

GRADING:

- Ground level shall be minimum 8 inches below top of slab.
- Minimum 8-inch fall first 10 feet out from and perpendicular to foundation (5%).
- Minimum 2% elsewhere to drain of property (minimum 1% on paving).

PIERS:

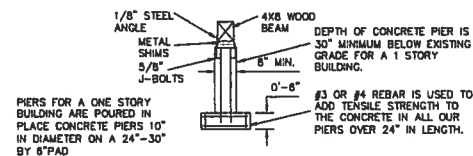
- Minimum 8 inch diameter.

CONCRETE PAD:

- Minimum #3 rebar, see detail.
- Concrete to be 3000-psi minimum.
- Concrete pad must be 24"-30" in diameter and placed into ground a minimum of 30".

BEAMS:

- Exterior and interior beams to be pre-treated water and termite resistant 4x8 wood.
- Anchor beams to piers with 1/8" steel angle brackets and 5/8" j-bolts.



SELECT FILL:

- For subgrade preparation, strip all surface vegetation and topsoil to firm material. Place select fill material in horizontal lifts not exceeding 8 inches thickness after compaction. Select fill material should have a plasticity index of 20 or less and aggregates not larger than 3 inches and not contain organic or other deleterious material. Assure at least 95 percent compaction.

CONCRETE GRADE BEAMS:

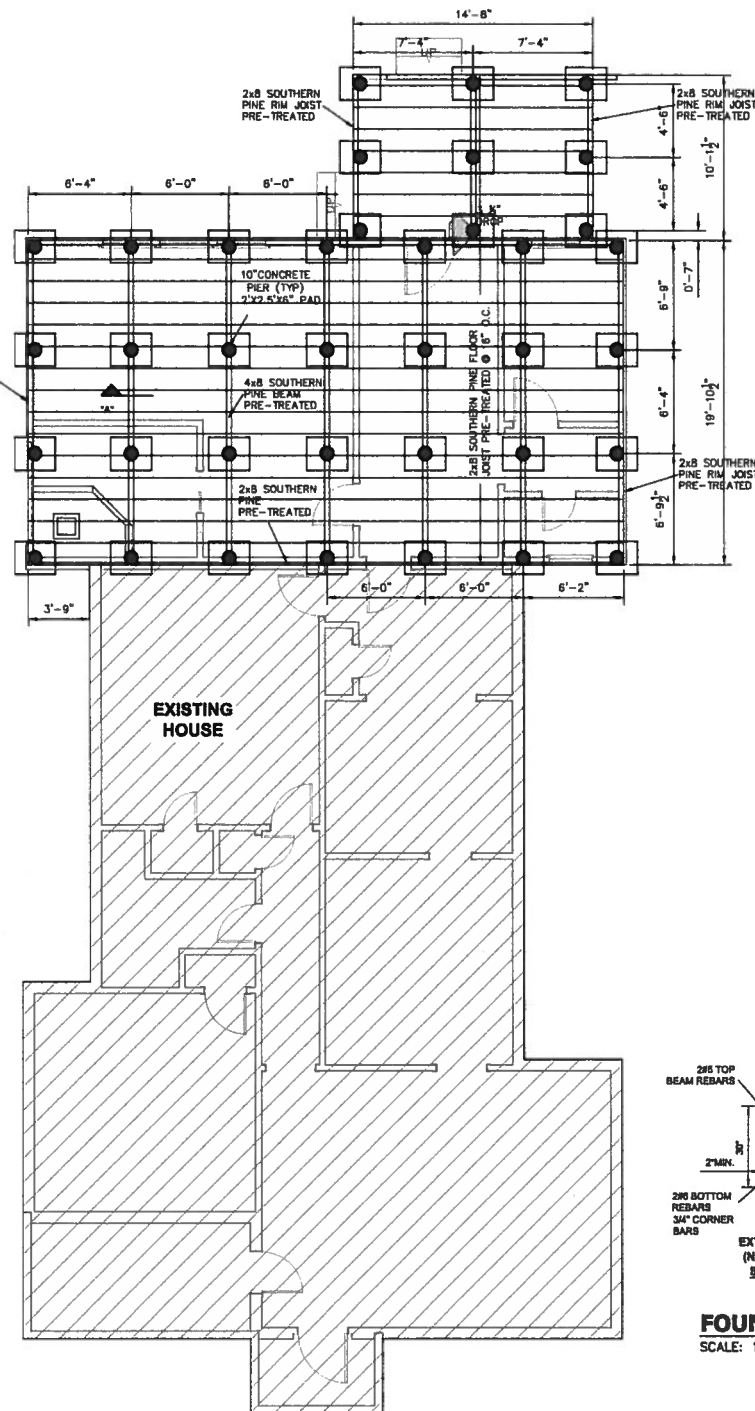
- Minimum 12 inches wide interior and exterior grade beams.
- Exterior grade beams shall be minimum 30 inches vertical and interior grade beams shall be a minimum 30 inches vertical.
- Grade beams shall bear minimum 12 inches into undisturbed, natural ground or 12 inches into solid rock. Contact engineer if uncertain.
- Top surface of grade beam shall be level. Bottom of grade beam shall have a maximum 10% slope.
- Steel reinforcing (rebar) concrete cover: bottom 3 inches, sides and top 2 inches. Horizontal rebar minimum: For grade beam minimum 24 inches in depth: Beams less than 30" in depth shall have 2 top #5 rebar and 2 bottom #6 rebar. Minimum laps 30 times diameter.
- Stirrups #3 @ 36 inches on center maximum.
- Shear rebar at intersections of slab and all beams: #5 @ 20 inches on center, minimum 24 inches into slab and 10 inches into grade beam.
- Haunch: 45 degree, minimum 6-inch vertical and 6-inch horizontal.
- Corner 3/4" rebar, "L" shape, one shall be provided in each direction at all perimeter corners. Minimum 18 inches in each direction.

CONCRETE SLAB:

- Slab thickness minimum 4 inches.
- Waterproof membrane: min. 6-mil poly, 12-inch lap beneath slab.
- Slab rebar: #4 @ 18 inches on center each direction, centered in slab depth.
- Anchor bolts for base plate shall be minimum 1/2" inch diameter at 4 feet on center and 12 inches from corners. Bolts shall be embedded minimum 7 inches into grade beam with bolt head in grade beam. Alternative method of anchoring may be used if approved by the engineer.

FOUNDATION WALL (Height 4' to 8'):

- Foundation wall shall be minimum 12 inches thick.
- Wall rebar: double mat #5 rebar @ 16 inches on center with minimum 2-inch concrete cover.
- Foundation walls shall be placed minimum 12 inches into undisturbed, natural ground or 8 inches into solid rock. Contact engineer if uncertain.
- Corner #5 rebar, "L" shape, shall be provided at all intersections of foundation walls. Minimum 18 inches in each direction and spaced at minimum 8 inches. First rebar shall be placed 2 inches from top.
- Shear rebar at intersections of slab and foundation wall: #5 @ 20 inches on center, minimum 30 inches into slab and 18 inches into grade beam.

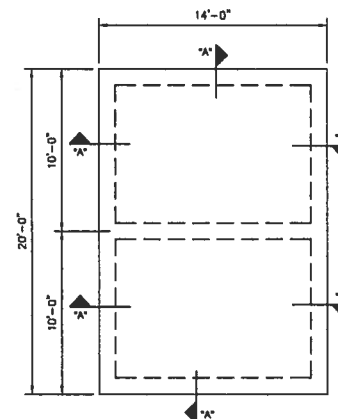


FOUNDATION PLAN - HOUSE ADDITION

SCALE: 1/4" = 1'-0"

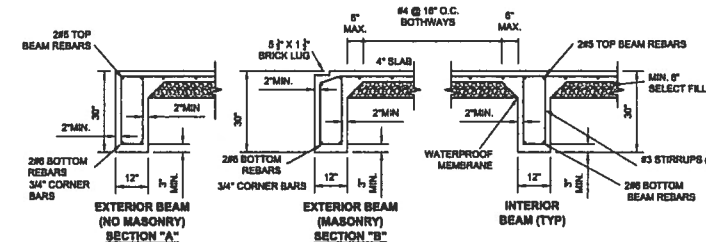
LEGEND

- DROP (SEE SECTION DETAIL FOR DETAIL)
- SECTION MARK (SEE SECTION DETAIL)



FOUNDATION PLAN - GARAGE

SCALE: 1/4" = 1'-0"



FOUNDATION DETAILS

SCALE: 1/2" = 1'-0"

Renovation Budget - Page 1

Borrower	Gloria Torres			
Property Address	2142 W Magnolia Ave			
City	San Antonio	County	Bexar	State TX Zip Code 78201
Lender/Client	Randolph-Brooks Federal Credit Union			



Structure Builders
A FAMILY OWNED & OPERATED BUSINESS



Labor & Material Agreement LIC. # 30547

Name(s): Gloria Torres Phone: 415-9446
Address: 2142 W Magnolia Ave Phone: _____
City: San Antonio Texas Zip: 78201 Email: _____

Job Specifications

Structure Builders agrees to furnish all necessary labor & materials to complete the terms and conditions of the project described below:

Structure Builders will perform basic addition, remodel, 30' wide by 26' projection. Structure will also include deck and cover over car port. Structure will include a 4' x 6' shed and 2' x 4' shed on ground addition. Structure will also include 30-year dimensional shingles on roof. Downspout from structure will not include. Plumbing, electrical and lighting fixtures will be done by other trades with everything else done by Structure Builders. Structure will include all things to be done by other trades.

Price: 117,500

\$ <u>23,500</u> (40%)	\$ <u>23,500</u>	\$ <u>23,500</u>	\$ <u>30,000</u>	\$ <u>17,000</u> (60%)
Dn. Payment	% Completion	% Completion	% Completion	Completion

(1) Structure Builders agrees that all work will be done in a reasonable time period. They are not responsible for delays caused by weather, strikes, or any other delays beyond their control. (2) Lifetime Warranties expressed in this agreement are Manufacturer's Warranties (3) Structure Builders will provide a Labor Warranty of a period of (2) years unless expressed otherwise by management. (4) HOMEOWNER

Renovation Budget - Page 2

Borrower	Gloria Torres						
Property Address	2142 W Magnolia Ave						
City	San Antonio	County	Bexar	State	TX	Zip Code	78201
Lender/Client	Randolph-Brooks Federal Credit Union						

never comes on stage. Therefore, all articles in the 40's about a 1
2 3's 4's or 5's and 6's, should be all like, include
30 years. Documented things in color. Document that a brother
will not be able to stand before and fight for his brother. He
to be alone from this with everything else. He will
say to a lot of all things to be done and to be done.

Price: 117.700

\$ 23,540 (40%)
Dn. Payment

\$ 23,540
1/2 Completion

\$ 72,500
1/2 Completion

\$ 3,000
3/4 Completion

\$ 17,040 (60%)
Completion

(1) Structure Builders agrees that all work will be done in a reasonable time period. They are not responsible for delays caused by weather, strikes, or any other delays beyond their control. (2) Lifetime Warranties expressed in this agreement are Manufacturer's Warranties (3) Structure Builders will provide a Labor Warranty of a period of (2) years unless expressed otherwise by management. (4) HOMEOWNER has the right to CANCEL this contract for any reason WITHIN (3) Business Days of the SIGNED DATE agreement. (5) This agreement is subject to Chapter 27 of the Property Code. The provisions of that chapter may affect your right to recover damages arising from the performance of this agreement. If you have a complaint concerning a construction defect arising from the performance of this agreement and, the defect has not been corrected through normal Warranty services, you must provide written notice to Structure Builders via certified mail, return receipt, no later than the (60th) day before the date you file a suit to recover damages in court of law. The notice must refer to Chapter 27, Property Code, and must describe the construction defect. If requested by the contractor, you must provide the contractor an opportunity to inspect and cure the defect as provided by Section 27.004, Property Code. NOTICE: ANY HOLDER OF THIS CONSUMER CREDIT AGREEMENT IS SUBJECT TO ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS AND SERVICES OBTAINED WITH THE PROCEEDS HEREIN. RECOVERY HEREFUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREIN. NOTICE TO THE BUYER: DO NOT SIGN THIS AGREEMENT BEFORE YOU READ IT, OR IF IT CONTAINS BLANK SPACES. YOU ARE ENTITLED TO A COPY OF THIS AGREEMENT YOU SIGNED.

X _____ X
Buyer

Buyer

Date: 2/11/2011

X _____ X
Agent

Office of Company Approval

Date: 7/14/17

1302 CAMARON ST. SAN ANTONIO, TX. 78212 WWW.STRUCTUREBUILDERSOFA.COM. 210.733.9641 (P) 210.731.0769 (F)

Four (4) to six (6) month completion schedule,
start date April 17, 2017.

**The following is a breakdown of the costs for the construction project at
2142 W Magnolia Ave:**

General Requirements

Zoning, building, other permits \$ 750.00

Site Prep

Demolition, dumpster, removal, other \$ 7225.00

Utilities

Tap fees & hook up, Gas connection fee, installation \$ 7700.00

Foundation

Concrete piers and wood beam foundation \$ 7830.00

Rough Framing

Exterior & interior walls, roofing framing lumber \$20,570.00

Exterior

Stucco, exterior paint, install doors, windows, cornice \$ 6910.00

Windows/Exterior Doors

Locks, windows \$ 1811.00

Plumbing

Water supply piping, install water heater, fixtures, faucets \$ 5900.00

Electrical

Rough wiring, lighting fixtures, exterior fixtures \$ 7575.00

HVAC

Install central AC for entire house \$10,500.00

Insulation & Air Sealing

Wall & ceiling insulation, energy diagnostics \$ 2130.00

Drywall/Plaster

Walls and ceilings \$ 4500.00

Interior Finish

Interior doors, door knobs, cabinets, painting, flooring \$ 6532.00

Bath

Ceramic tile, stone, shower pan/liner, shower glass \$ 6650.00

Porches & Deck

Wood deck \$ 1500.00

Contractor Overhead and Profit \$19,617.00

Total Construction Cost **\$117,700.00**



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

March 1, 2017

ADDRESS: 2142 W MAGNOLIA AVE
LEGAL DESCRIPTION: NCB 6829 BLK LOT 13, W 5 FT OF 12
HISTORIC DISTRICT: Monticello Park
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Gloria Torres - 2142 W Magnolia
OWNER: Gloria Torres - 2142 W Magnolia
TYPE OF WORK: Roofing, Window replacement/fenestration changes, Utility Work

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: 1. install gutters on two roof overhangs on the front left of the home with minimal profiles that will match the color of the fascia board. 2. re-roof main structure with dimension singles in desert tan. 3. install ceiling exhaust fan to rear left existing bathroom. 4. install solar tube ventilation in the new addition. 5. Revise previous HDRC CoA that approved a triple vinyl window with 3 one over one windows in the rear addition and change it to a double window.

CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

DATE: 3/1/2017 6:16:22 PM

ADMINISTRATIVE APPROVAL TO: 1. install gutters on two roof overhangs on the front left of the home with minimal profiles that will match the color of the fascia board. 2. re-roof main structure with dimension singles in desert tan. 3. install ceiling exhaust fan to rear left existing bathroom. 4. install solar tube ventilation in the new addition. 5. Revise previous HDRC CoA that approved a triple vinyl window with 3 one over one windows in the rear addition and change it to a double window.

APPROVED BY: Lauren Sage

Shanon Shea Miller
Historic Preservation Officer



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION CERTIFICATE OF APPROPRIATENESS

February 15, 2017

HDRC CASE NO: 2017-052
ADDRESS: 2142 W MAGNOLIA AVE
LEGAL DESCRIPTION: NCB 6829 BLK LOT 13, W 5 FT OF 12
HISTORIC DISTRICT: Monticello Park
PUBLIC PROPERTY: No
APPLICANT: Gloria Torres - 2142 W Magnolia
OWNER: Gloria Torres - 2142 W Magnolia
TYPE OF WORK: Addition

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish existing rear addition
2. Construct a new rear addition, which is approximately 720 square feet
3. Construct rear deck, which is approximately 147 square feet

FINDINGS:

- a. The main structure is a one-story brick, Traditional home. It has a cross-hipped roof form, with composition shingles. It is a contributing structure in the Monticello Park Historic District, which was designated in 2008.
- b. EXISTING ADDITION – There is an existing non-contributing addition with wood lap siding on the rear of the primary structure. The applicant is proposing to remove this existing rear addition and build a new addition on the rear. Staff finds the removal of addition appropriate.
- c. ROOF FORM – The existing structure has a cross-hipped roof form. The proposed addition will have a hipped roof. According to the Guidelines for Additions 1.A.iii., use a similar roof form and orientation as the structure, particularly if visible from the street. Staff finds the proposed roof form compatible with the main structure and consistent with the Guidelines.
- d. TRANSITION – The proposed addition will have stucco siding. The main structure is made of brick. According to the Guidelines for Additions 1.A.iv., there should be a small change at the seam in order to provide a visual distinction between old and new. Staff finds the proposed material transition consistent with the Guidelines.
- e. SCALE & MASS – The proposed addition is one-story, approximately 720 square feet. According to the Guidelines for Additions 2A. and .B.ii., new additions should be subordinate to the principle façade and not double the existing square footage. The main structure is over 2,100 square feet. Staff finds the proposal consistent with the Guidelines in terms of scale and mass as it's lower in height and less than half the area of the main structure.
- f. MATERIALS – The addition will have architectural dimensional shingles to match the existing, and stucco siding to provide a visual distinction between old and new. According to the Guidelines for Additions 3.A.i., materials that match in type, color and texture and include an offset to distinguish from the historic structure should be used. Staff finds stucco is a compatible material in the Monticello Park Historic District, thus the proposed materials are consistent with the Guidelines.
- g. WINDOWS/DOORS – The main structure has vinyl one over one windows, and a few have false dividing lights. The proposed additions includes 4 vinyl one over one windows and one horizontal vinyl window on the right elevation. There is also a proposed steel single leaf French door. According to the Guidelines for Additions,

architectural details that are in keeping with the architectural style of the original structure should be incorporated. Staff finds the proposed one over one windows and French door compatible with the style of the main structure, but finds the long horizontal window, the vinyl window material, and steel door material not consistent with windows typically found on homes of this style. A window that is similar in proportion of the wood one over one windows, windows made of wood, and a door made of wood would be appropriate.

h. RELATIONSHIP TO SOLIDS AND VOIDS – There is proposed fenestration on the right portion of the rear façade with a triple window featuring three vinyl one over one windows. According to the Guidelines for New Construction 2.C.i, windows, doors, and porches shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic façades. Avoid blank walls, particularly on elevations visible from the street. Staff finds the proposed blank right façade, the blank façade to the left of the proposed rear door and the right façade with only one long horizontal window not consistent with the Guidelines. Facades with increased fenestration and openings of similar proportions are appropriate.

i. LIGHTING– The proposed addition includes one squared light with 2 over 2 dividing lights on each face. There are also four proposed flood lights. According to the Guidelines for Exterior Maintenance and Alterations 5.B.iii., new lighting should not harm the historic materials and not distract from the façade of the building. New light fixtures should be unobtrusive in design and should not rust or stain the building. Staff finds the proposed lighting fixtures are consistent with the Guidelines as they are affixed to the rear new addition and directing light downward.

j. DECK – The proposed deck is approximately 147 square feet, made of wood with wood square posts, a shed roof covering, and wooden balusters. It is on a pier and beam slab, with rear wood steps leading into the rear yard. There is also a According to the Guidelines for Additions, additions should be subordinate to the principal façade and main structure, and be made of compatible materials. Staff finds the rear deck appropriate and consistent with the Guidelines as it will not be seen from the public right-of-way.

RECOMMENDATION:

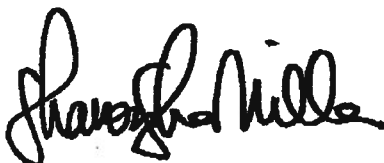
Staff recommends approval based on findings a through g with the following stipulations:

1. That window fenestration is added to the right façade of the proposed addition.
2. That window fenestration is added to the left façade of the proposed addition.
3. That window fenestration is added to the left portion of the rear façade of the proposed addition.
4. That the horizontal window on the right elevation is deleted and a window that is similar in proportion of the wood one over one windows is installed.
5. That new windows are made of wood, feature clear glass, maintain the original appearance of window trim and sill, and be inset at least two inches.
6. That details of these stipulations be submitted to staff prior to receiving a Certificate of Appropriateness.

COMMISSION ACTION:

Approved with stipulations: 1. That window fenestration is added to the right façade of the proposed addition. 2. That window fenestration is added to the left façade of the proposed addition. 3. That the horizontal window is deleted. 4. That the new windows match the proportion of the small existing windows on the original structure. 5. That the details of these stipulations be submitted to staff prior to receiving a Certificate of Appropriateness.

The applicant submitted documents meeting the stipulations on February 21, 2017.



Shanon Shea Miller
Historic Preservation Officer