

HISTORIC AND DESIGN REVIEW COMMISSION

June 21, 2017

HDRC CASE NO: 2017-293
ADDRESS: 1918 W MAGNOLIA AVE
LEGAL DESCRIPTION: NCB 1961 BLK 9 LOT 22
ZONING: R-6 H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Bob Bradley
OWNER: Emily Gorman
TYPE OF WORK: Extension of front porch, installation of new porch decking
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Extend the front roofline to create a front porch.
2. Install new wooden porch decking on an existing concrete slab.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.

ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.

iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

FINDINGS:

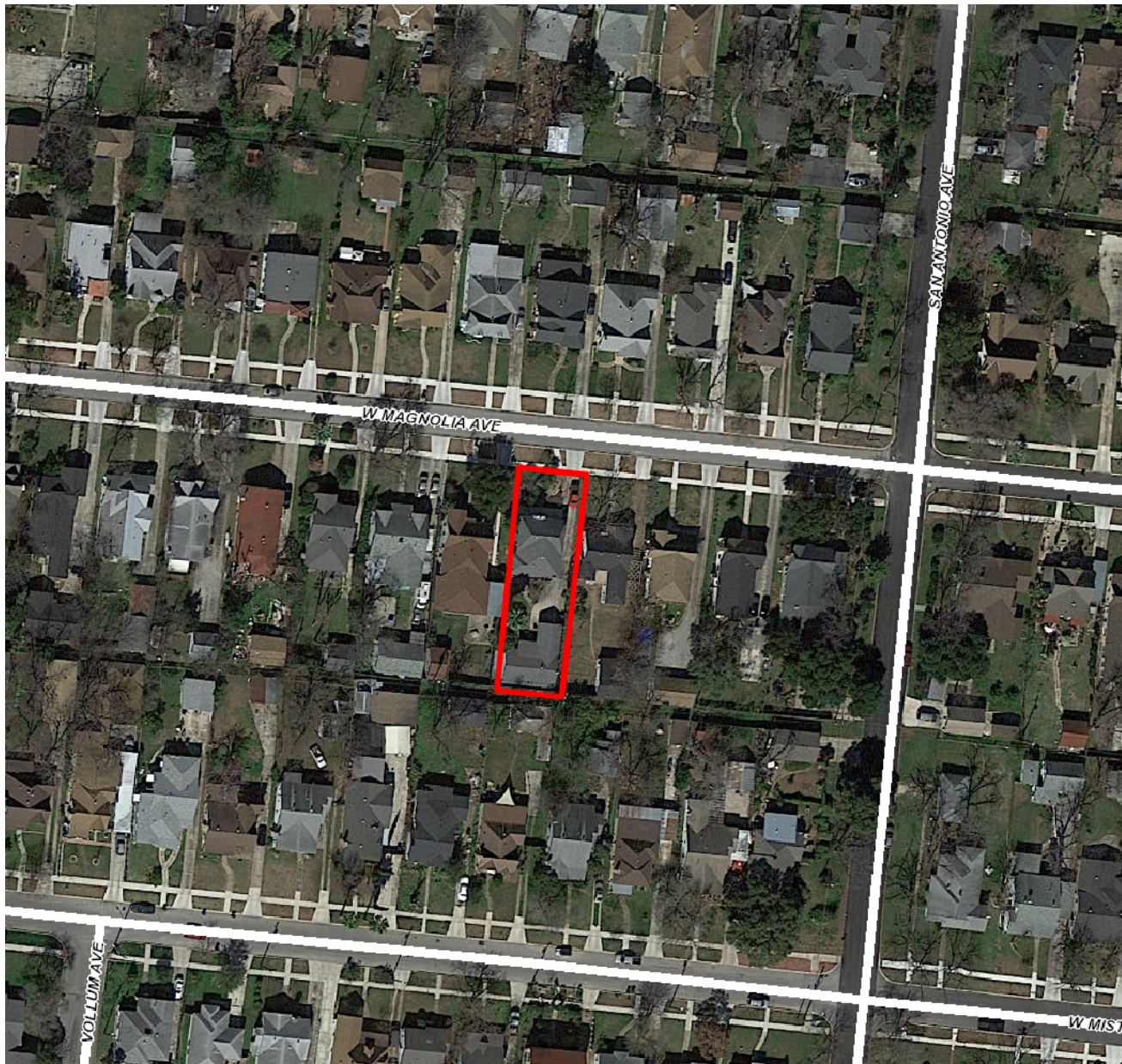
- a. The primary structure located at 1918 W Magnolia Ave is a 1-story single family home constructed in approximately 1930 in the Tudor style. The home features a hipped roof, textured stucco wall finish, and a character defining stone chimney on the front façade. It is a contributing structure in the Monticello Park Historic District. The applicant is requesting approval to extend the front roofline to create a front porch, install new wooden porch decking on an existing concrete slab, and install a new side gutter.
- b. **FRONT PORCH** – The applicant has proposed to install a new roof that extends the front roofline to create a new front porch. The porch will extend the width and length of the existing concrete decking, which measures approximately 8 feet by 24 feet. The new roof will have a pitch of approximately 4:12 and will be covered with composition shingles to match the existing material of the primary structure's roof. The new porch roof will be supported by pairs of painted wood columns measuring 4x4" with a trellis constructed with 2x2" painted wood beams. The trellis will be covered with flowering jasmine. According to Guideline 7.A.i, new porches should not be added where historically present. There is no evidence that a front porch historically existed on this structure, and a front porch configuration similar to the proposed submission is not characteristic of Tudor homes of this scale and configuration. Additionally, the proposed porch will partially conceal the front chimney, which is a character defining feature of the home. Staff does not find the proposal consistent with the guidelines as submitted.
- c. **WOODEN DECKING** – The applicant has proposed to cover the existing concrete decking slab, measuring approximately 8 feet by 24 feet, with new treated wood decking. The decking will extend the existing depth of the deck to provide an adequate level landing with the front door. The decking will be slightly raised from the concrete slab. According to Guideline 7.A.iii, original concrete porch floors should be preserved, and covering them with other materials should be avoided unless they were used historically. Staff does not find the proposal consistent with the Guidelines.

RECOMMENDATION:

Staff does not recommend approval as submitted based on findings a through c.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Jun 16, 2017

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GORMAN RESIDENCE

1918 W. MAG. / NEW ROOF FOR
EXISTING FRONT PORCH

2 JUN 2017

1 OF 1

1 PROJECT DESCRIPTION:

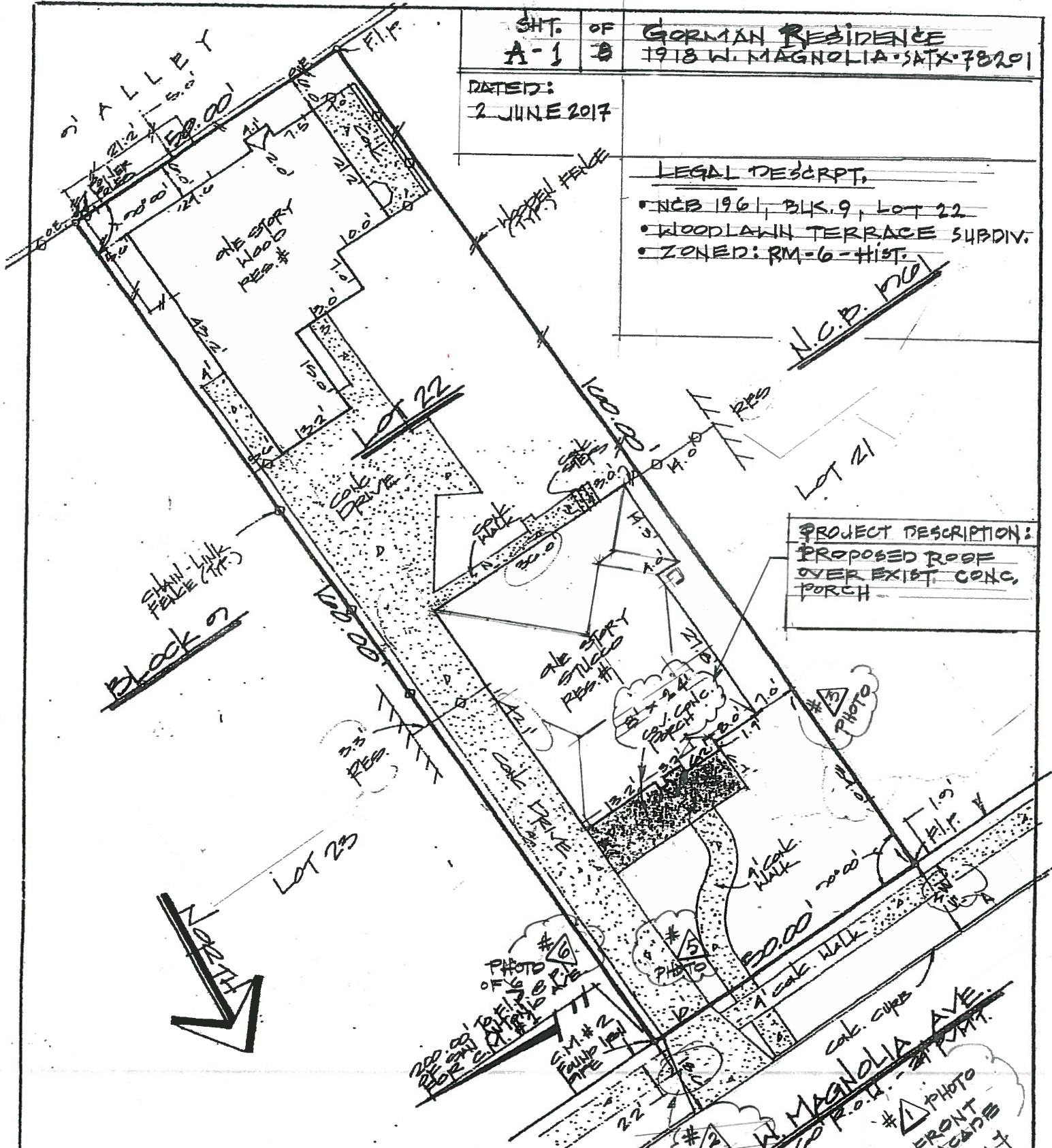
HOMEOWNER IS SEEKING APPROVAL

TO CONSTRUCT A NEW ROOF TO COVER AN

EXISTING, 8' x 24', CONC. SLAB ON-GRADE, FRONT PORCH.

PROPOSED CONSTRUCTION WOULD CONSIST OF:

- ① A NEW, SINGLE-SLOPED (APPROX. 4:12 PITCH) ROOF THAT TIES INTO ^{THE} EXISTING (7:12 PITCH) ROOF, TO BE COVERED WITH MATCHING COMPOSITION SHINGLES. NEW ROOF IS SUPPORTED BY PAIRS OF PAINTED WOOD ^{4x4} COLUMNS ON EITHER SIDE OF 16" W. TRELLIS, CONSTRUCTED WITH 2x2 PTD. WD. MATERIAL, COVERED WITH FLOWERING "CONFEDERATE JASMINE".
- ② NEW ^{PAINTED} GUTTERS WITH DOWN SPOUTS ARE PLANNED FOR BOTH THE NEW PORCH AND THE EXISTING PRIMARY STRUCTURE'S ROOFS.
- ③ A NEW TREATED-WOOD DECK WILL EXTEND THE EXISTING 18" D. x 6" H. CONC. STEP-DOWN AT THE FRONT DOOR, TO PROVIDE AN ADEQUATE LEVEL LANDING AT SAME & A PLANKED LANDING AT THE EX. CONC. WALK.
- ④ ELECTRICAL POWER FOR DOWN LIGHTING & CEILING FANS WILL BE PROVIDED.
- ⑤ A NEW PAINT WD. SCREEN DOOR TO REPLACE THE EXIST. DETEIORATED ONE.



SHT. OF
A-1 8

GORMAN RESIDENCE
1918 W. MAGNOLIA AVE. SATX. 78201

DATE: 2 JUNE 2017

LEGAL DESCRIPT.

- N.C.B. 1961, BLS. 9, LOT 22
- WOODLAWN TERRACE SUBDIV.
- ZONED: RM-6-HIST.

N.C.B. 1961

PROJECT DESCRIPTION:
PROPOSED ROOF
OVER EXIST. CONC.
PORCH

- LEGEND
- F.I.P.: FOUND 1/2" IRON PIN
 - S.I.P.: SET 1/2" IRON PIN
 - P.I.: POINT OF INTERSECTION
 - P.C.: POINT OF CURVE
 - P.T.: POINT OF TANGENT
 - C.M.: CONTROLLING MONUMENT

STATE OF TEXAS
COUNTY OF BEXAR

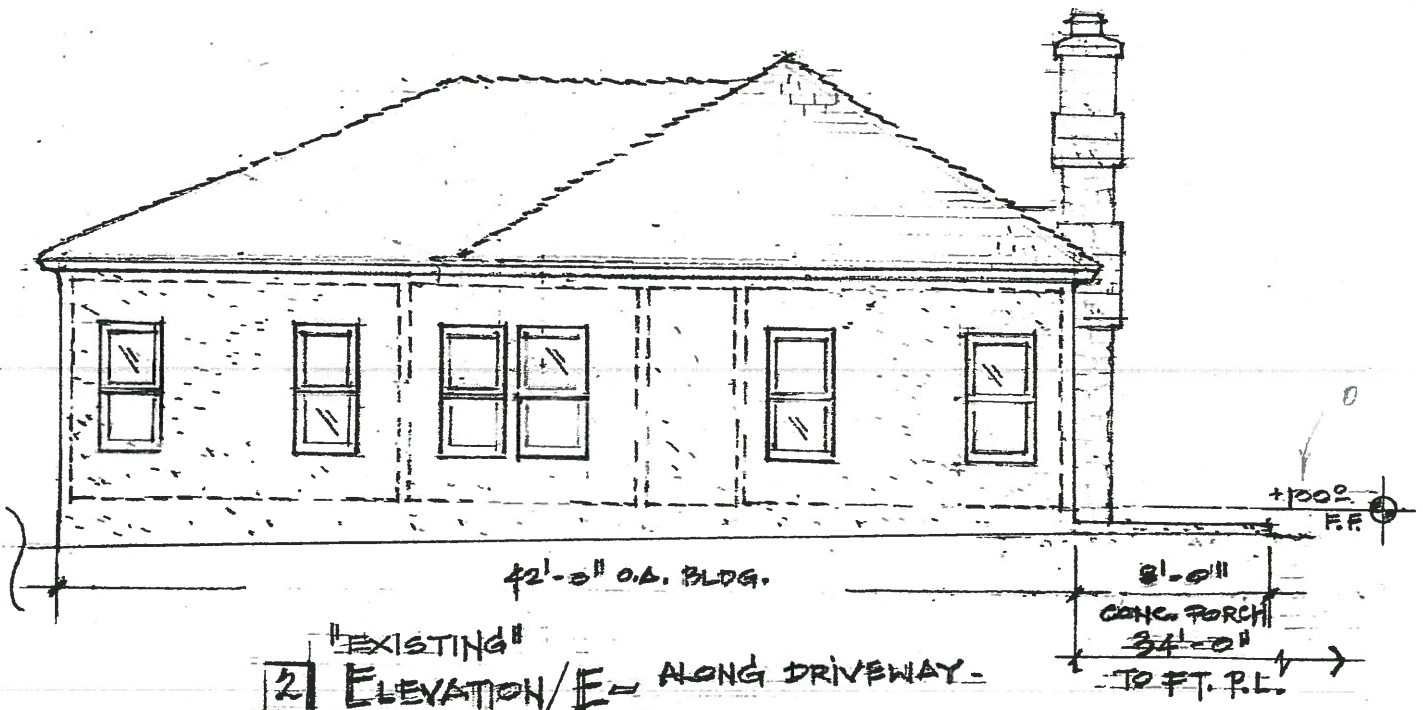
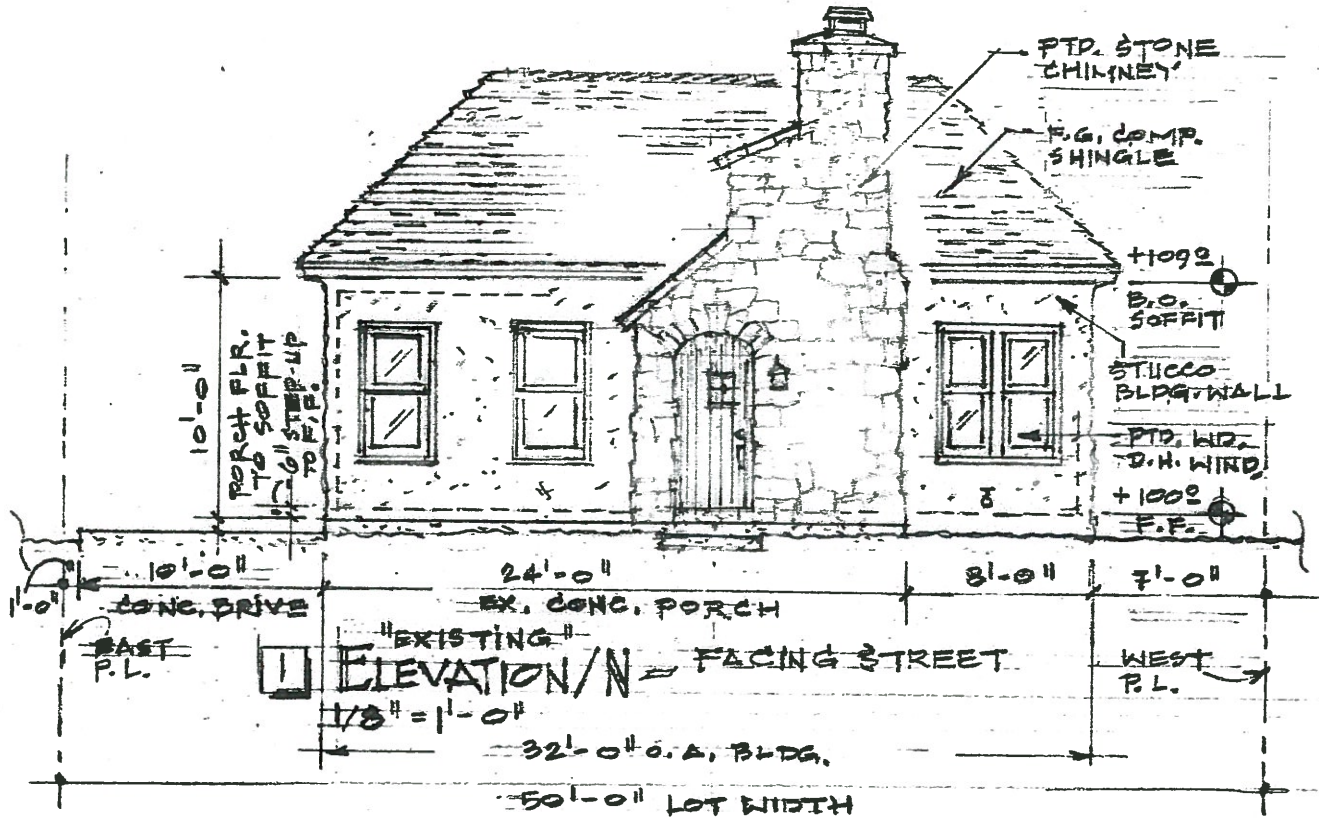
LOT NO. 22 BLOCK NO. 7 N.C.B. NO. 1961
SUBDIVISION WOODLAWN TERRACE
UNIT VOL. C42 PAGE(S) 130
STREET ADDRESS 1918 W. MAGNOLIA AVE.
CITY SAN ANTONIO BEXAR COUNTY, TEXAS
SURVEYED FOR ALAMO TITLE CO. G.F. NO. 200853
BUYER(S) ROBERT WILLIAM McALLISTER

GORMAN RESIDENCE
1918 W. MAGNOLIA
SATX. 78201

PROPOSED ROOF FOR
EXISTING FRONT PORCH

DATE:
2 JUNE 2017

SHEET
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OF 8

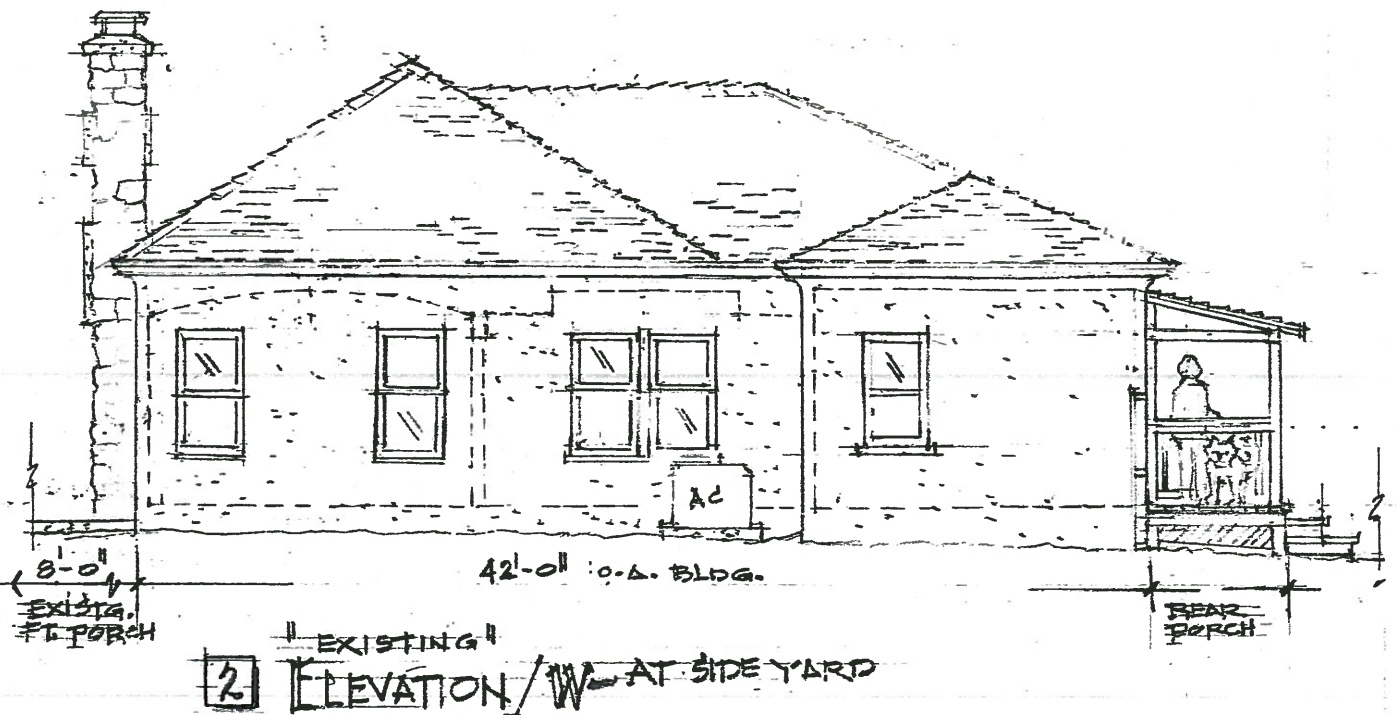
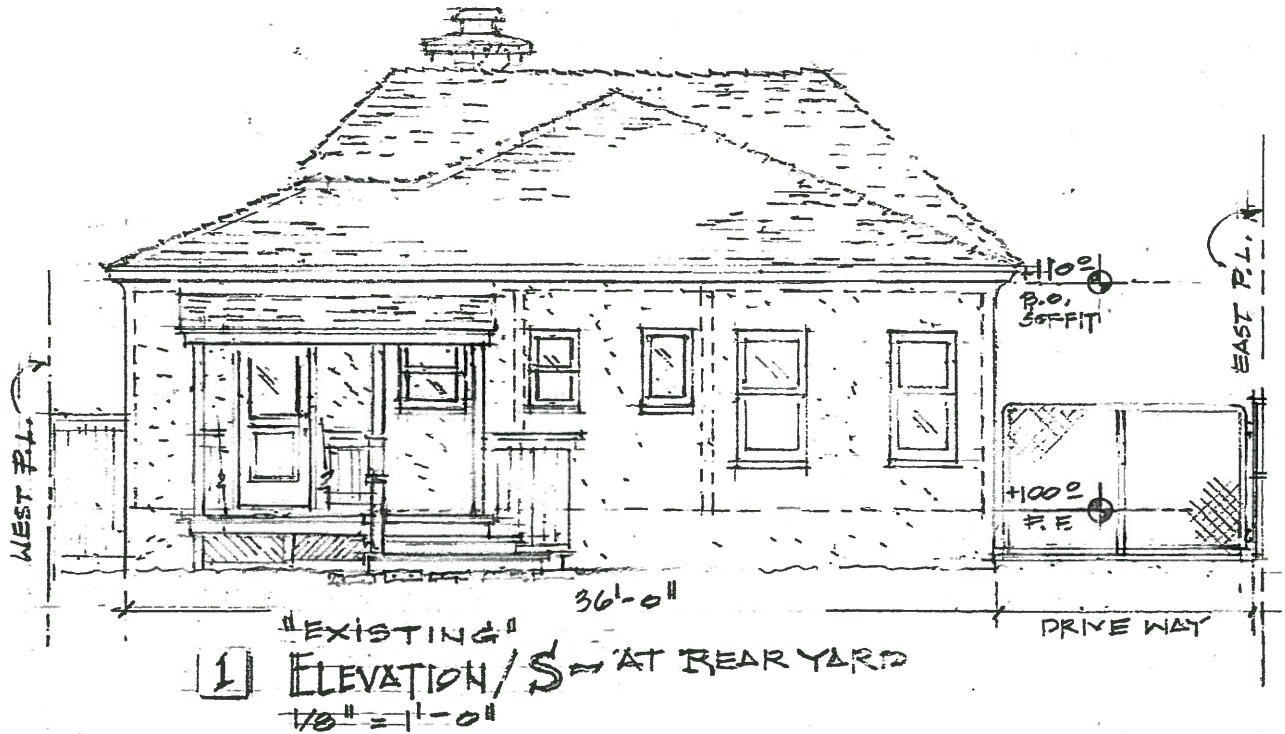


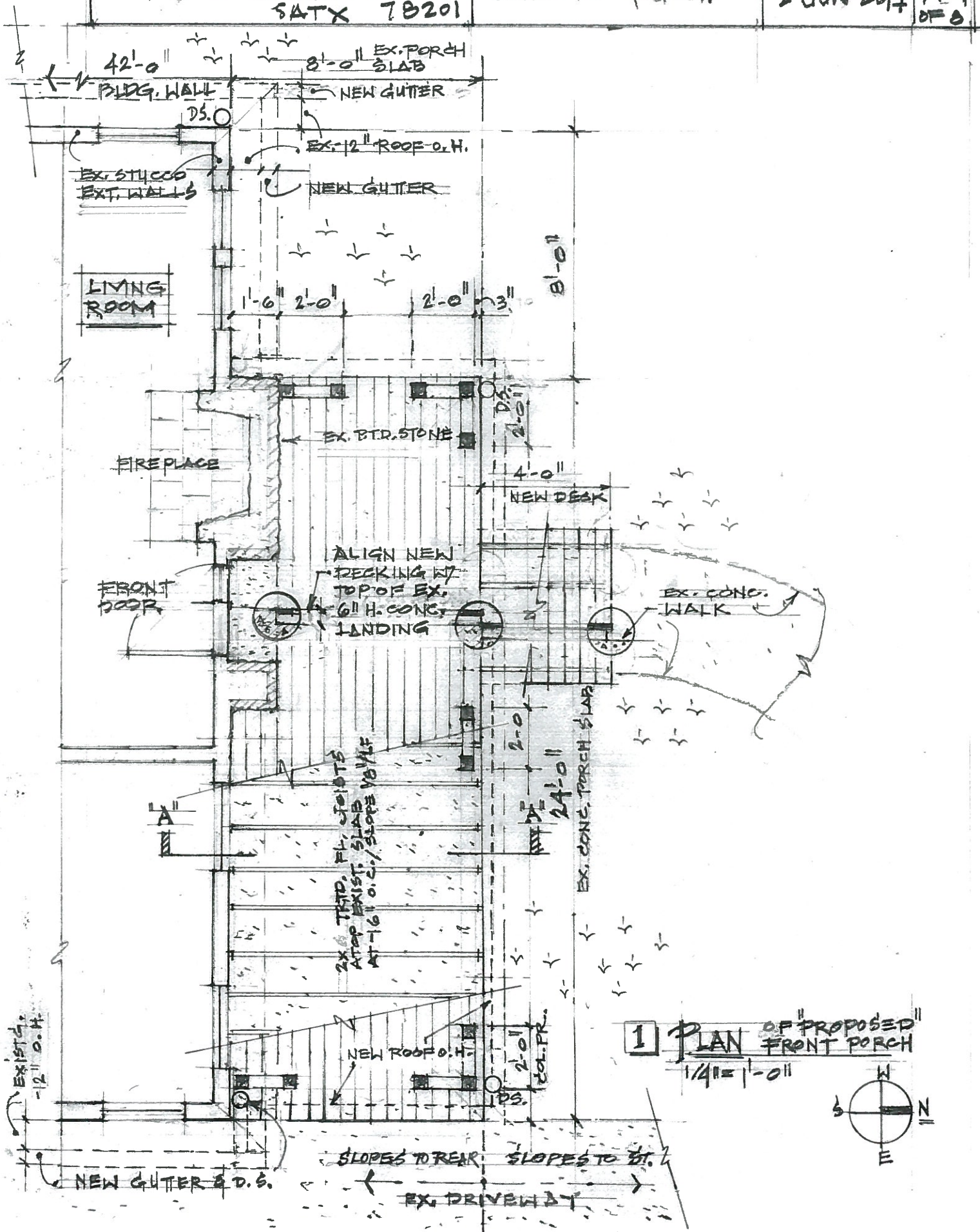
GORMAN RESIDENCE
1918 W. MAGNOLIA
S.A.T.X. 78201

PROPOSED ROOF FOR
EXISTG. FRONT PORCH

DATE:
2 JUNE 2017

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A-3
OF 3





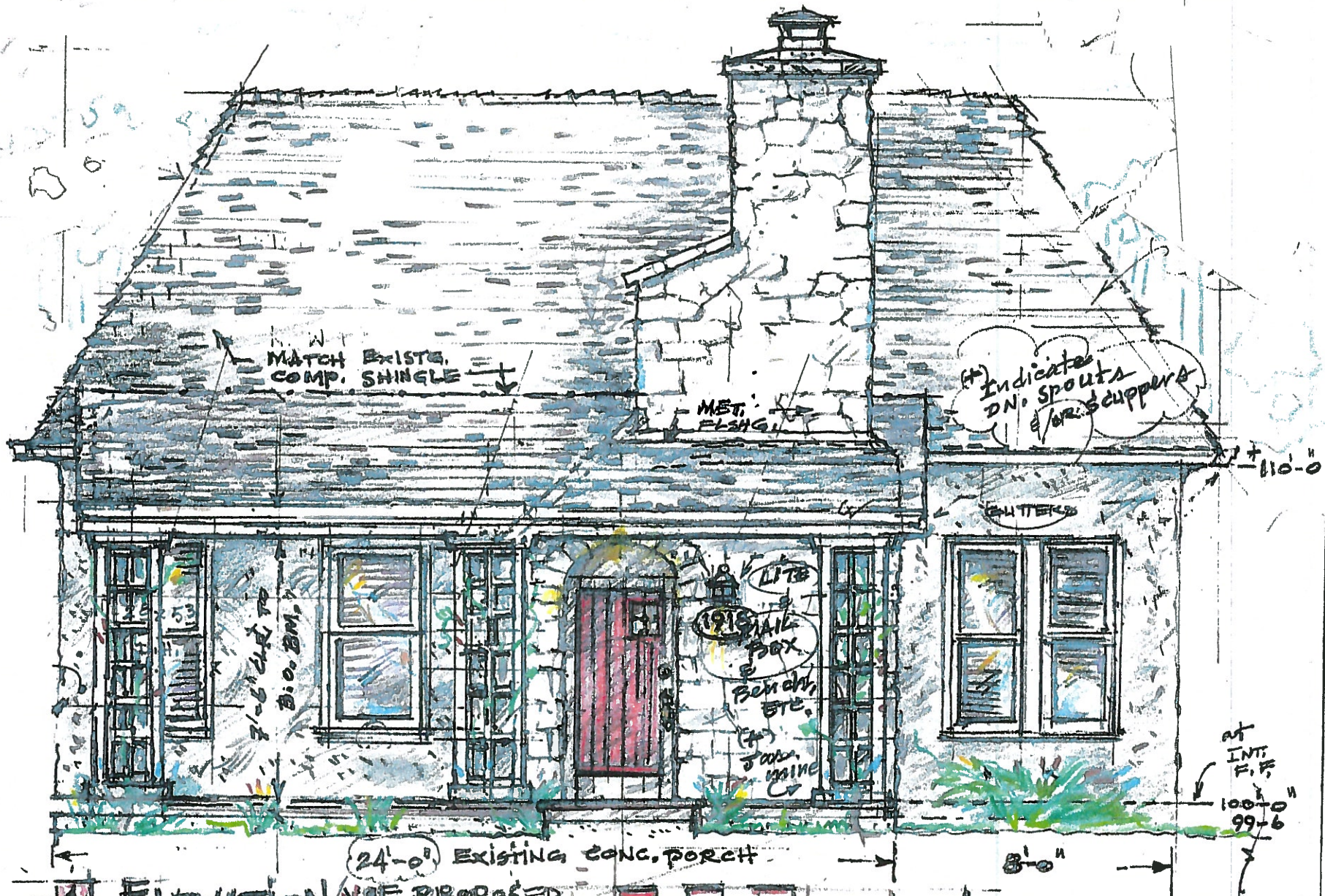
Sht.
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of 8

DATE:

ROOF FOR
EXIST. PORCH

1918 W. MAGNOLIA

SATX. 782.01



ELEVATION OF PROPOSED PORCH ROOF

1/4" = 1'-0"

Partial plan
at col.
mark

2'-0"

4' walk

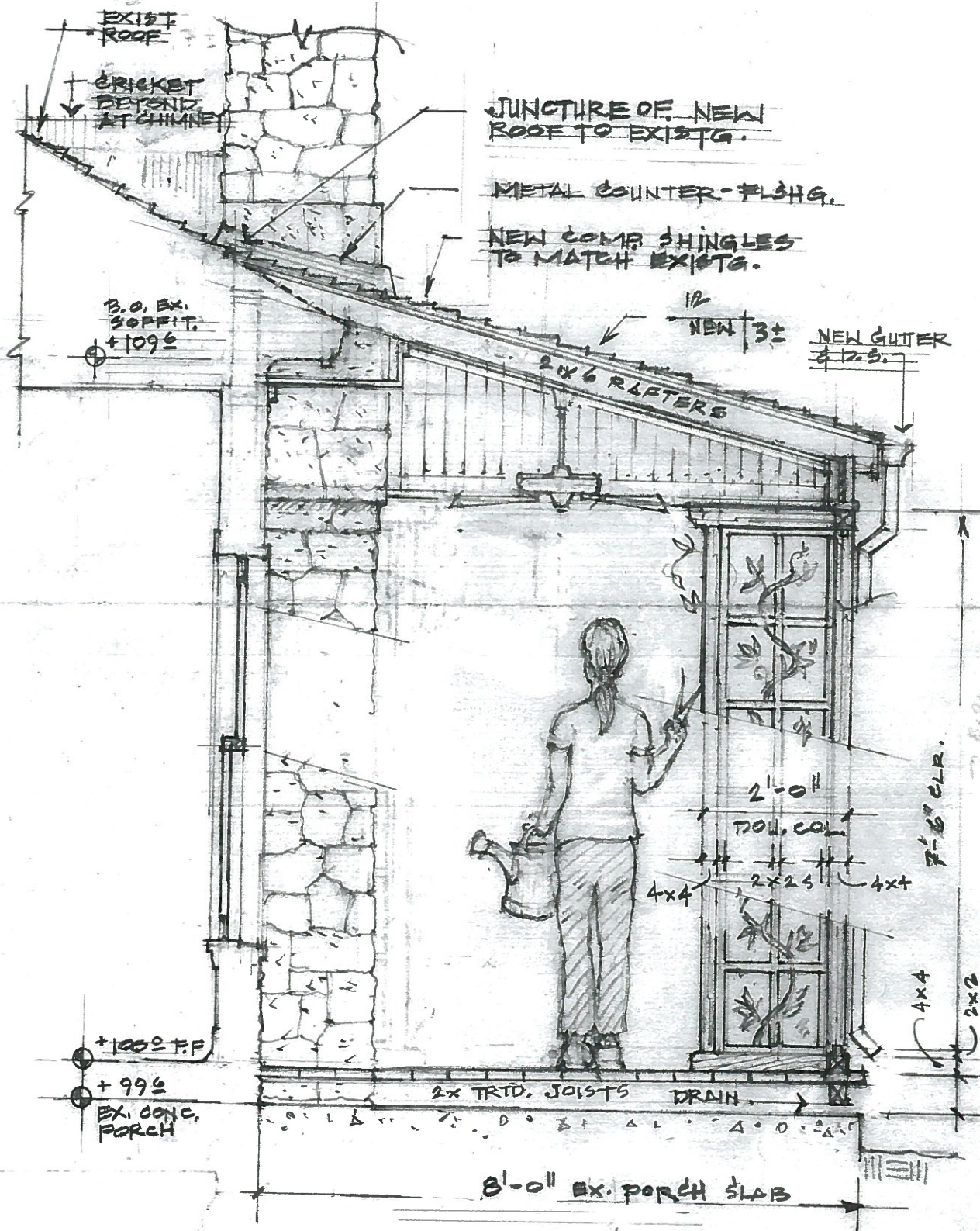
10 FT.

14-0

GORMAN RESIDENCE
1918 W. MAGNOLIA 78201

DATE:
2 JUN 2017

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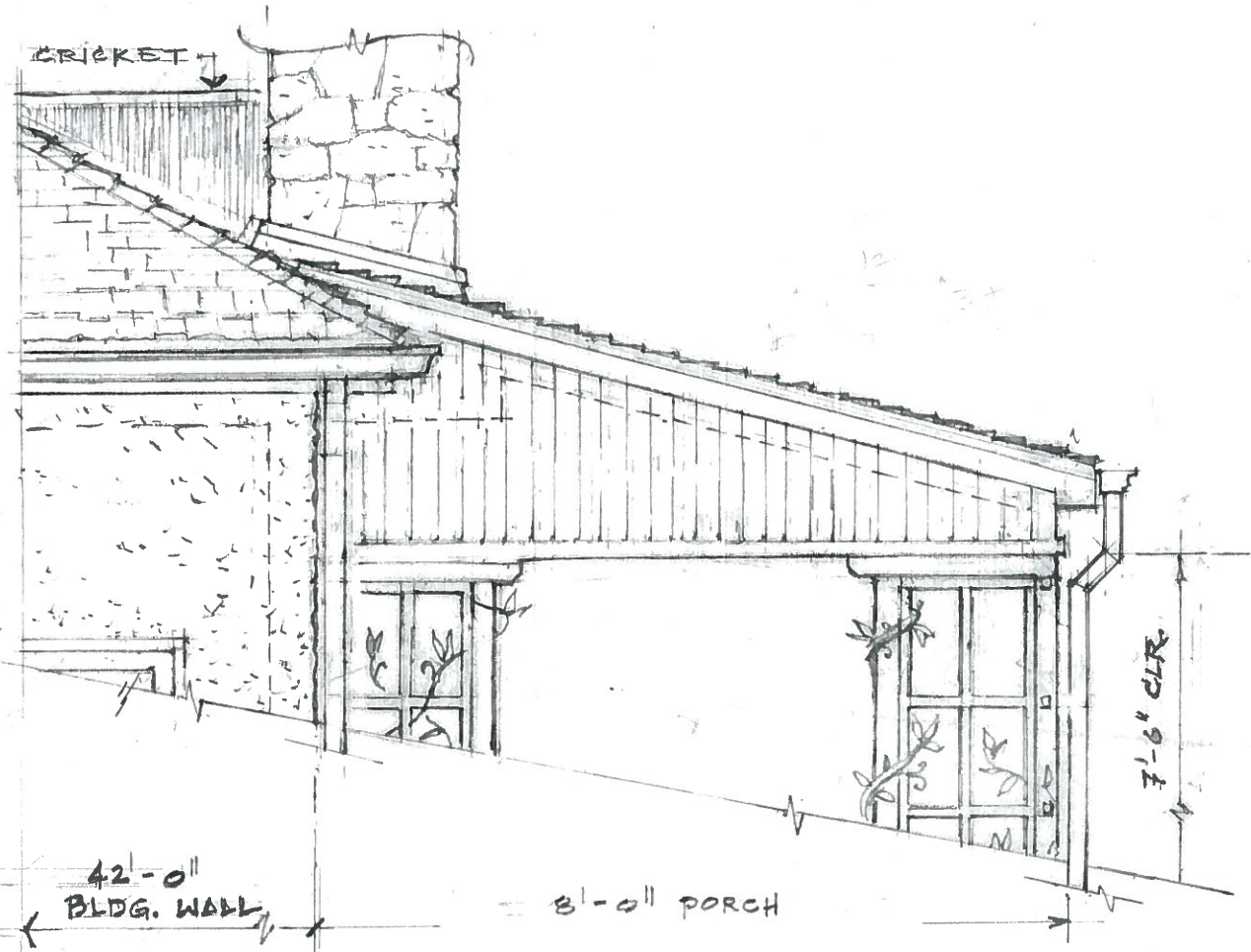


SECTION "A" - THRU PROPOSED PORCH ROOF
LOOKING WEST
1/2" = 1'-0"

GORMAN RESIDENCE
 1918 W. MAGNOLIA
 78201

DATE:
 2 JUN 2017

SHT.
 7
 OF 8



1 ELEVATION/E. OF PORCH at
 1/2" = 1'-0"







1918



