

# HISTORIC AND DESIGN REVIEW COMMISSION

June 21, 2017

**HDRC CASE NO:** 2017-284  
**COMMON NAME:** 127 E GRAYSON  
**ADDRESS:** 131 E GRAYSON ST  
**LEGAL DESCRIPTION:** NCB 974 BLK 17 LOT 13 & 14  
**ZONING:** C-3NA, RIO -2  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Bobby Eicholz/Rialto Studio  
**OWNER:** Gene Bartosh/Rio Perla Properties, LP  
**TYPE OF WORK:** Construction of surface parking  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to construct a temporary surface parking lot to accommodate parking for forty automobiles.

## APPLICABLE CITATIONS:

UDC Section 35-673. – Site Design Standards

(a) Solar Access. The intent of providing and maintaining solar access to the San Antonio River is to protect the river's specific ecoclimate. The river has a special microclimate of natural and planted vegetation that requires certain levels and balanced amounts of sunlight, space and water. Development must be designed to respect and protect those natural requirements, keeping them in balance and not crowding or altering them so that vegetation does not receive more or less space and water, but particularly sunlight, than is required for normal expected growth.

(1) Building Massing to Provide Solar Access to the River. Building massing shall be so designed as to provide direct sunlight to vegetation in the river channel as defined:

A. The area to be measured for solar access shall be a thirty-foot setback from the river's edge or from the river's edge to the building face, whichever is lesser, parallel to the river for the length of the property.

B. The solar calculations shall be measured exclusive to the applicant's property; that is, shades and shadows of other buildings shall not be included in the calculations. The solar calculations shall only measure the impact of new construction and additions. The shading impact of historic buildings on the site may be excluded from the calculations.

C. The defined area shall receive a minimum of 5.5 hours of direct sunlight, measured at the winter solstice, and 7.5 hours of direct sunlight, measured at the summer solstice.

D. Those properties located on the south side of the river (whose north face is adjacent to the river) shall only be required to measure the sunlight in the 30-foot setback on the opposite bank of the river.

E. Those properties within the river improvement overlay district not directly adjacent to the river are still subject to the provisions of this section. To determine the solar access effect of these buildings on the river the applicant must measure the nearest point to the river of an area defined by a thirty-foot setback from the river's edge, parallel to the river for the length of their property that would be affected by their building. For those buildings on the south side of the river, the 30-foot setback shall be measured only on the opposite bank.

F. However, in those cases where the above conditions cannot be met due to the natural configuration of the river, existing street patterns, or existing buildings, the HDRC may approve a buildings mass and height as allowed by table 674-2.

G. If there is a conflict with this section and another section of this chapter this section shall prevail.

(2) Prohibition of Structures, Buildings, Roofs or Skywalks Over the River Channel. No structure, building, roof or skywalk may be constructed over the river channel, or by-pass channel with the exception of structures for flood control purposes, open air pedestrian bridges at ground or river level, and street bridges. The river channel is the natural course of the river as modified for flood control purposes and the Pershing-Catalpa ditch.

(b) Building Orientation. Buildings should be sited to help define active spaces for area users, provide pedestrian connections between sites, help animate the street scene and define street edges. Consideration to both the street and riverside should be given. The placement of a building on a site should therefore be considered within the context of the block, as well as how the structure will support the broader design goals for the area.



(1) Two or More Buildings on a Site.

A. Cluster buildings to create active open spaces such as courtyards along the street and river edges. Site plazas and courtyards, if possible, so that they are shaded in the summer and are sunny in the winter.

(2) Primary and Secondary Entrances

A. Orient a building's primary entrance toward the street with subordinate entrances located on the riverside and/or the interior of the property. On a major thoroughfare street it is acceptable to provide the primary entrance through a common courtyard and then to a street.

B. The primary entrance shall be distinguished by architectural features such as, but not limited to: an entry portal; change in material or color; change in scale of other openings; addition of columns, lintels or canopies.

C. Secondary entrances shall have architectural features that are subordinate to the primary entrance in scale and detail. For purposes of this division subordinate means that the entrance is smaller in height and width, and has fewer or simpler architectural elements.

(c) Topography and Drainage. The natural contours of occasional hillsides and riverbanks contribute to the distinct character of the San Antonio River and shall be considered in site designs for new development. Site plans shall minimize the need for cut and fill. It should be considered as an opportunity for positive enhancements through the creative use of terraces and retaining walls.

(1) Visual Impacts of Cut and Fill. Divide a grade change of more than ten (10) vertical feet into a series of benches and terraces. Terrace steep slopes following site contours. When creating site benches, using sloped "transitional areas" as part of the required landscaping is appropriate.

(2) Minimize the Potential for Erosion at the Riverbank. Grade slopes at a stable angle not to exceed four to one (4:1) and provide plant material that will stabilize the soil such as vigorous ground covers, vines or turf planting that are native and noninvasive species as found on the permissible plant list maintained by the parks and recreation department. Use of stabilizing materials such as geo-web or geo-grid is permitted as long as plant material is used to conceal the grid.

Use of terraced walls is permitted when there is a slope of more than four to one (4:1).

(3) Retaining Walls. Limit the height of a retaining wall to less than six (6) feet. If the retaining wall must exceed six (6) feet, a series of six-foot terrace walls is acceptable. Walls at dams and locks are excluded from this requirement. If in the opinion of the historic preservation officer a higher wall is consistent with the adopted conceptual plan of the river, a higher wall (not to exceed twelve (12) feet) is allowed. Materials used for the walls may include limestone, stucco, brick, clay, tile, timber, or textured concrete. (see Figure 673-2)

(4) Enhance or Incorporate Acequias Into The Landscape Design and Drainage Scheme of the Site. Where archeological evidence indicates a site contains or has contained a Spanish colonial acequia, incorporate the original path of the acequia as a natural drainageway or a landscape feature of the site by including it as part of the open space plan, and a feature of the landscape design.

(5) Design of Stormwater Management Facilities to be a Landscape Amenity. Where above ground stormwater management facilities are required, such facilities shall be multi-purpose amenities. For example, water quality features can be included as part of the site landscaping and detention facilities can be included as part of a hardscape patio. Using an open concrete basin as a detention pond is prohibited.

(6) Walls and Fences at Detention Areas.

A. When the topography of the site exceeds a four to one (4:1) slope and it becomes necessary to use a masonry wall as part of the detention area, use a textured surface and incorporate plant materials, from the plant list maintained by the parks department, that will drape over the edge to soften the appearance of the structure.

B. The use of solid board or chain link fence with or without slats is prohibited. A welded wire, tubular steel, wrought iron or garden loop is permitted.

(7) Roof Drainage into the River.

A. All roof drainage and other run-off drainage shall conform to public works department standards so that they \ drain into sewer and storm drains rather than the river. Drainage of this type shall not be piped into the river unless the outlet is below the normal waterline of the river at normal flow rates.

B. All downspouts or gutters draining water from roofs or parapets shall be extended underground under walks and patios to the San Antonio River's edge or stormwater detention facility so that such drainage will not erode or otherwise damage the Riverwalk, landscaping or river retaining walls.

C. All piping and air-conditioning wastewater systems shall be kept in good repair. Water to be drained purposely from these systems, after being tested and adjudged free from pollution, shall be drained in the same manner prescribed in subsection (7)A. above.

(d) Riverside Setbacks. Riverside setbacks for both buildings and accessory structures are established to reinforce the defined character of the specific river improvement overlay district and help to define an edge at the river pathway that is



varied according to the relationship of the river and the street. In the more urban areas, buildings should align closer to the river edge, while in more rural areas the buildings should be set farther away.

(1) Minimum setback requirements are per the following Table 673-1.

Description	RIO-1	RIO-2	RIO-3	RIO-4	RIO-5	RIO-6
Riverside Setback	20 FT	15 FT	0 FT	20 FT	50 ft	100 FT

(2) Designation of a development node district provides for a minimum riverside setback of zero (0) feet.

(e) Landscape Design. Lush and varied landscapes are part of the tradition of the San Antonio River. These design standards apply to landscaping within an individual site. Additional standards follow that provide more specific standards for the public pathway along the river and street edges.

(1) Provide Variety in Landscape Design. Provide variety in the landscape experience along the river by varying landscape designs between properties. No more than seventy-five (75) percent of the landscape materials, including plants, shall be the same as those on adjacent properties. (see Figure 673-4).

(2) Planting Requirements in Open Space Abutting the River. On publicly-owned land leased by the adjoining property owner, if applicable, and/or within privately owned setbacks adjacent to the river, a minimum percentage of the open space, excluding building footprint, lease space under bridges and parking requirements, are required to be planted according to Table 673-2.

A. Planting requirements in RIO-4, RIO-5, and RIO-6 should continue the restoration landscape efforts along the river banks. Planting in these RIO districts is to be less formal so as to maintain the rural setting of the river.

B. In "RIO-3," if existing conditions don't meet the standards as set out in Table 673-2, the owner or lessee will not have to remove paving to add landscaping in order to meet the standards until there is a substantial remodeling of the outdoor area. Substantial remodeling will include replacement of seventy-five (75) percent of the paving materials, or replacement of balcony and stair structures.

(f) Plant Materials. A number of soil conditions converge in the San Antonio area to create unique vegetation ecosystems. Along the route of the San Antonio River, the soil conditions vary greatly from the northern boundary near Hildebrand to the city limits near Mission San Francisco de la Espada (Mission Espada) and therefore native and indigenous plants will vary accordingly. Landscaping should reflect the unique soil characteristics of the specific site.

(1) Incorporate Existing Vegetation. Extend the use of landscape materials, including plants, shrubs and trees that are used in the public areas of the river onto adjacent private areas to form a cohesive design.

(2) Use indigenous and noninvasive species characteristic of the specific site as found on the permissible plant list maintained by the parks and recreation department or the Unified Development Code Plant List found in Appendix E. In "RIO-3," plantings of tropical and semi-tropical plants with perennial background is permitted.

(3) Install Trees to Provide Shade and to Separate Pedestrians From Automobile Traffic. Install street trees along the property line or in the ROW abutting all streets according to minimum requirement standards established in subsection 35-512(b), except where this conflicts with existing downtown Tri-Party improvements in "RIO-3." In "RIO-3" the owner has the option of placing trees at the property line, or along the street edge.

(g) Paving Materials. An important San Antonio landscape tradition is the use of decorative surfaces for paving and other landscape structures. Paving materials and patterns should be carefully chosen to preserve and enhance the pedestrian experience.

(1) Vary Walkway, Patio and Courtyard Paving to Add Visual Interest on the Riverside of Properties Abutting the River. Pervious paving is encouraged where feasible and appropriate to the site.

A. A maximum of six hundred (600) square feet is allowed for a single paving material before the paving material must be divided or separated with a paving material that is different in texture, pattern, color or material. A separation using a different material must be a minimum of twenty-four (24) inches wide, the full width of the pathway.

B. A maximum of one hundred (100) lineal feet is allowed in a walkway before the pattern must change in districts "RIO-2," "RIO-3," and "RIO-4." A maximum of five hundred twenty-eight (528) lineal feet is allowed before the pattern must change in districts "RIO-1," "RIO-5" and "RIO-6." The change of material at five hundred twenty-eight (528) lineal feet will define and delineate one-tenth-mile markers.

C. In "RIO-3," the Riverwalk pathway shall be delineated by using a separate material that is clearly distinguished from the adjacent patio paving materials. If the historic Hugman drawings indicate a sidewalk width and pattern on the site, that paving pattern and material shall be replicated.

(h) Site Walls and Fences. Site walls and fences are used to help divide spaces, screen unsightly objects and provide privacy. However, the character of the San Antonio River is such that walls shall not be erected in such a way as to block views of the river from public spaces.



(1) Use of Site Walls to Define Outdoor Spaces.

A. Use of low scale walls (twenty-four (24) inches to forty-eight (48) inches) to divide space, create a variety in landscaping and define edges is permitted.

B. Solid walls (up to seventy-two (72) inches) are permitted to: screen mechanical equipment, garbage receptacles and other unsightly areas; and provide privacy at the back of lots up to the front building face.

(2) Site Wall and Fence Materials.

A. On properties abutting the river, site walls and fence materials may be constructed of: stone, block, tile, stucco, wrought iron, tubular steel, welded wire or a combination of masonry and metal, cedar posts and welded wire or garden loop or other materials having similar characteristics. All other properties, not abutting the river may use the above listed materials plus wood fencing.

B. All chain link fences are prohibited for properties abutting the river. For properties that do not abut the river chain link is only allowed in the rear yard if not readily visible from the right-of-way. Barbed wire, razor wire, and concertina are prohibited in all RIO districts.

(i) Street Furnishings. Street furnishings are exterior amenities, including but not limited to, tables, chairs, umbrellas, landscape pots, wait stations, valet stations, bicycle racks, planters, benches, bus shelters, kiosks, waste receptacles and similar items that help to define pedestrian use areas. Handcrafted street furnishings are particularly important in San Antonio, and therefore this tradition of craftsmanship and of providing street furniture is encouraged.

(1) Prohibited Street Furnishings in Riverwalk Area. The following street furnishings are prohibited within the publicly owned portion of the Riverwalk area, whether or not the property is leased, and on the exterior of the riverside of buildings directly adjacent to the publicly owned portion of the river:

A. Vending machines.

B. Automatic teller machines.

C. Pay phones.

D. Photo booths.

E. Automated machines such as, but not limited to, penny crunching machines, blood pressure machines, fortune-telling machines, video games, animated characters and other machines that are internally illuminated, or have moving parts, or make noise, or have flashing lights.

F. Inanimate figures such as horses, kangaroos, bears, gorillas, mannequins or any such animal, cartoon or human figure. This section does not affect public art as defined in Appendix "A" of this chapter.

G. Monitors (i.e., television screens, computer screens).

H. Speakers.

(2) Street Furnishing Materials.

A. Street furnishings shall be made of wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing material, such as Corian or Surell.

B. Inexpensive plastic resin furnishings are prohibited.

(3) Advertising on Street Furnishings.

A. No commercial logos, trademarks, decals, product names whether specific or generic, or names of businesses and organizations shall be allowed on street furnishings.

B. Product or business advertising is prohibited on all street furnishings.

C. Notwithstanding the restrictions above, applications may be approved for purposes of donor or non-profit recognition.

(4) Street furnishings, such as tables and chairs may not be stored (other than overnight storage) in such a way as to be visible from the river pathway.

(j) Lighting. Site lighting should be considered an integral element of the landscape design of a property. It should help define activity areas and provide interest at night. At the same time, lighting should facilitate safe and convenient circulation for pedestrians, bicyclists and motorists. Overspill of light and light pollution should be avoided.

(1) Site Lighting. Site lighting shall be shielded by permanent attachments to light fixtures so that the light sources are not visible from a public way and any offsite glare is prevented.

A. Site lighting shall include illumination of parking areas, buildings, pedestrian routes, dining areas, design features and public ways.

B. Outdoor spaces adjoining and visible from the river right-of-way shall have average ambient light levels of between one (1) and three (3) foot-candles with a minimum of 0.5-foot candles and a maximum of six (6) foot-candles at any point measured on the ground plane. Interior spaces visible from the river right-of-way on the river level and ground floor level shall use light sources with no more than the equivalent lumens of a one hundred-watt incandescent bulb. Exterior balconies, porches and canopies adjoining and visible from the river right-of-way shall use light sources with the equivalent lumens of a sixty-watt incandescent bulb with average



ambient light levels no greater than the lumen output of a one hundred-watt incandescent light bulb as long as average foot candle standards are not exceeded. Accent lighting of landscape or building features including specimen plants, gates, entries, water features, art work, stairs, and ramps may exceed these standards by a multiple of 2.5. Recreational fields and activity areas that require higher light levels shall be screened from the river hike and bike pathways with a landscape buffer.

C. Exterior light fixtures that use the equivalent of more than one hundred-watt incandescent bulbs shall not emit a significant amount of the fixture's total output above a vertical cut-off angle of ninety (90) degrees. Any structural part of the fixture providing this cut-off angle must be permanently affixed.

D. Lighting spillover to the publicly owned areas of the river or across property lines shall not exceed one-half (½) of one (1) foot-candle measured at any point ten (10) feet beyond the property line.

(2) Provide Lighting for Pedestrian Ways That is Low Scaled for Walking. The position of a lamp in a pedestrian-way light shall not exceed fifteen (15) feet in height above the ground.

(3) Light Temperature and Color.

A. Light temperature and color shall be between 2500° K and 3500° K with a color rendition index (CRI) of eighty (80) or higher, respectively. This restriction is limited to all outdoor spaces adjoining and visible from the river right-of-way and from the interior spaces adjoining the river right-of-way on the river level and ground floor level. Levels shall be determined by product specifications.

(4) Minimize the Visual Impacts of Exterior Building Lighting.

A. All security lighting shall be shielded so that the light sources are not visible from a public way.

B. Lighting (uplighting and downlighting) that is positioned to highlight a building or outdoor artwork shall be aimed at the object to be illuminated, not pointed into the sky.

C. Fixtures shall not distract from, or obscure important architectural features of the building. Lighting fixtures shall be a subordinate feature on the building unless they are incorporated into the over-all design scheme of the building.

(5) Prohibited Lighting on the Riverside of Properties Abutting the River.

A. Flashing lights.

B. Rotating lights.

C. Chaser lights.

D. Exposed neon.

E. Seasonal decorating lights such as festoon, string or rope lights, except between November 20 and January 10.

F. Flood lamps.

(6) Minimize the visual impacts of lighting in parking areas in order to enhance the perception of the nighttime sky and to prevent glare onto adjacent properties. Parking lot light poles are limited to thirty (30) feet in height, shall have a 90° cutoff angle so as to not emit light above the horizontal plane.

(k) Curbs and Gutters.

(1) Construct Curb and Gutter Along the Street Edge of a Property.

A. Install curbs and gutter along the street edge at the time of improving a parcel.

B. In order to preserve the rural character of RIO-5 and RIO-6, the HPO in coordination with public works and the development services department may waive the requirement of curbs and gutters.

(l) Access to Public Pathway Along the River. These requirements are specifically for those properties adjacent to the river to provide a connection to the publicly owned pathway along the river. The connections are to stimulate and enhance urban activity, provide path connections in an urban context, enliven street activity, and protect the ambiance and character of the river area.

(1) A stair, ramp or elevator connecting the publicly owned pathway at the river to private property along the river is allowed by right at the following locations:

A. At all street and vehicular bridge crossings over the river.

B. Where publicly owned streets dead end into the river.

C. Where the pedestrian pathway in the Riverwalk area is located at the top of bank and there is a two-foot or less grade change between the private property and the pathway.

(2) If there is a grade change greater than two (2) feet between the private property and the publicly owned pathway at the river then the following conditions apply:

A. Access to the publicly owned pathway is limited to one (1) connection per property, with the exception that connections are always allowed at street and vehicular bridge crossings. For example if one (1) property extends the entire block face from street crossing to street crossing the owner would be allowed three (3) access points if the distance requirements were met.



- B. The minimum distance between access points shall be ninety-five (95) feet. Only street and vehicular bridge connections are exempted. Mid-block access points must meet this requirement.
- C. Reciprocal access agreements between property owners are permitted.
- (3) Clearly define a key pedestrian gateway into the site from the publicly owned pathway at the river with distinctive architectural or landscape elements.
- A. The primary gateway from a development to the publicly owned pathway at the river shall be defined by an architectural or landscape element made of stone, brick, tile, metal, rough hewn cedar or hand-formed concrete or through the use of distinctive plantings or planting beds.
- (m) Buffering and Screening. The manner in which screening and buffering elements are designed on a site greatly affects the character of the river districts. In general, service areas shall be screened or buffered. "Buffers" are considered to be landscaped berms, planters or planting beds; whereas, more solid "screens" include fences and walls. When site development creates an unavoidable negative visual impact on abutting properties or to the public right-of-way, it shall be mitigated with a landscape design that will buffer or screen it.
- (1) Landscape Buffers Shall be Used in the Following Circumstances: To buffer the edges of a parking lot from pedestrian ways and outdoor use areas, (such as patios, and courtyards), and as an option to screening in order to buffer service areas, garbage disposal areas, mechanical equipment, storage areas, maintenance yards, equipment storage areas and other similar activities that by their nature create unsightly views from pedestrian ways, streets, public ROWs and adjoining property.
- (2) Screening Elements Shall be Used in the Following Circumstances: To screen service areas, storage areas, or garbage areas from pedestrian ways.
- (3) Exceptions for Site Constraints. Due to site constraints, in all RIOs and specifically for "RIO-3" where there is less than ten (10) feet to provide for the minimum landscape berm, a screen may be used in conjunction with plantings to meet the intent of these standards. For example a low site wall may be combined with plant materials to create a buffer with a lesser cross sectional width.
- (4) Applicable Bufferyard Types. Table 510-2 establishes minimum plant materials required for each bufferyard type. For purposes of this section, type C shall be the acceptable minimum type.
- (5) Applicable Screening Fence and Wall Types. Screening fences and walls shall be subject to conditions of subsection 35-673(h), Walls and Fences.
- (n) Service Areas and Mechanical Equipment. Service areas and mechanical equipment should be visually unobtrusive and should be integrated with the design of the site and building. Noise generated from mechanical equipment shall not exceed city noise regulations.
- (1) Locate service entrances, waste disposal areas and other similar uses adjacent to service lanes and away from major streets and the river.
- A. Position utility boxes so that they cannot be seen from the public Riverwalk path, or from major streets, by locating them on the sides of buildings and away from pedestrian and vehicular routes. Locating them within interior building corners, at building offsets or other similar locations where the building mass acts as a shield from public view is preferred.
- B. Orient the door to a trash enclosure to face away from the street when feasible.
- C. Air intake and exhaust systems, or other mechanical equipment that generates noise, smoke or odors, shall not be located at the pedestrian level.
- (2) Screening of service entrance shall be compatible with the buildings on the block face.
- A. When it would be visible from a public way, a service area shall be visually compatible with the buildings on the block face.
- B. A wall will be considered compatible if it uses the same material as other buildings on the block, or is painted a neutral color such as beige, gray or dark green or if it is in keeping with the color scheme of the adjacent building.
- (o) Bicycle Parking. On-site bicycle parking helps promote a long term sustainable strategy for development in RIO districts. Bicycle parking shall be placed in a well lit and accessible area. UDC bicycle parking requirements in UDC 35-526 can be met through indoor bicycle storage facilities in lieu of outdoor bike rack fixtures.

## **FINDINGS:**

- a. The applicant has proposed to construct a surface parking lot at 127 E Grayson, at the corner of E Grayson Street and Isleta Street. Within this request, the applicant has proposed to utilize the existing concrete slab. The proposed parking lot will accommodate forty (40) automobiles. The applicant has proposed to utilize an existing curb cut for automobile entry to the lot, which is located on Isleta Street.



- b. LANDSCAPING – The applicant has proposed to preserve the existing site trees and has proposed to install a series of landscaping materials that are to extend in a planting garden along the public right of way along E Grayson and Isleta Streets. The applicant has proposed for the landscaping buffer to contain a series of plant materials that are both xeric and native to South Texas. This is consistent with the UDC Section 35-673.
- c. PARKING LOT – As noted in finding a, the applicant has proposed to utilize the existing concrete slab and curb cuts for the proposed new parking. The northwestern portion and a small southwestern portion of the site currently does not feature a slab and the applicant has proposed to install new asphalt paving.
- d. SITE UTILITIES– The applicant has proposed a number of site utility items including light poles, a concrete median and parking gate and parking bumpers. Staff finds the proposed items appropriate. The applicant has noted that site lighting will be consistent with that featured at the Pearl Full Goods parking lot to the south. Staff finds this proposal appropriate. The applicant is responsible for complying with the UDC Section 35-673.

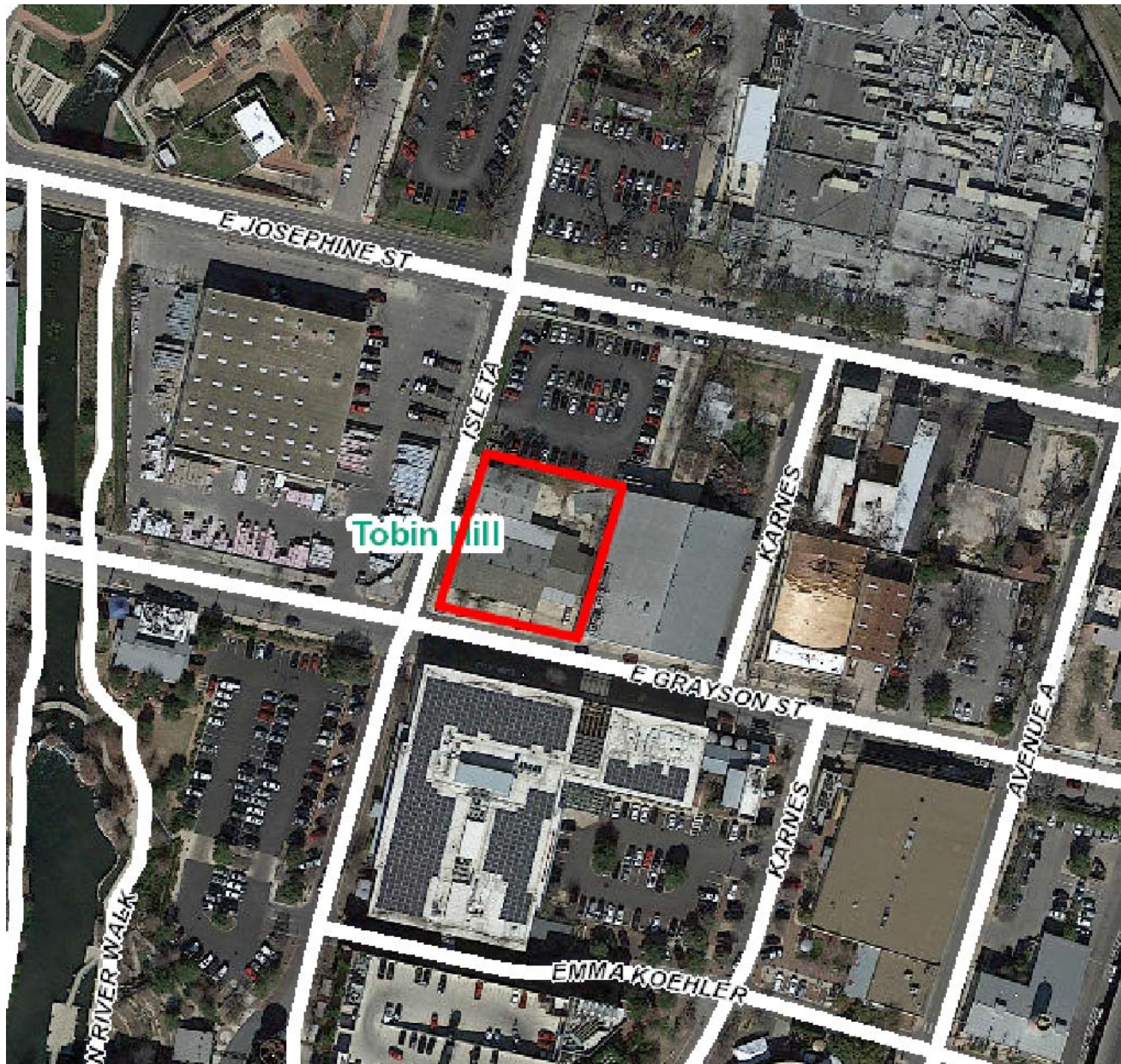
**RECOMMENDATION:**

Staff recommends approval as submitted based on findings a through d.

**CASE MANAGER:**

Edward Hall





## Flex Viewer

Powered by ArcGIS Server

Printed: Jun 12, 2017

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NO  
PARKING  
ANYTIME

33













[illegible]

Project Number: 0000

Drawn By **MP/RM**

Checked By \_\_\_\_\_ BE \_\_\_\_\_

Scale:  $1'' = 10'-0''$

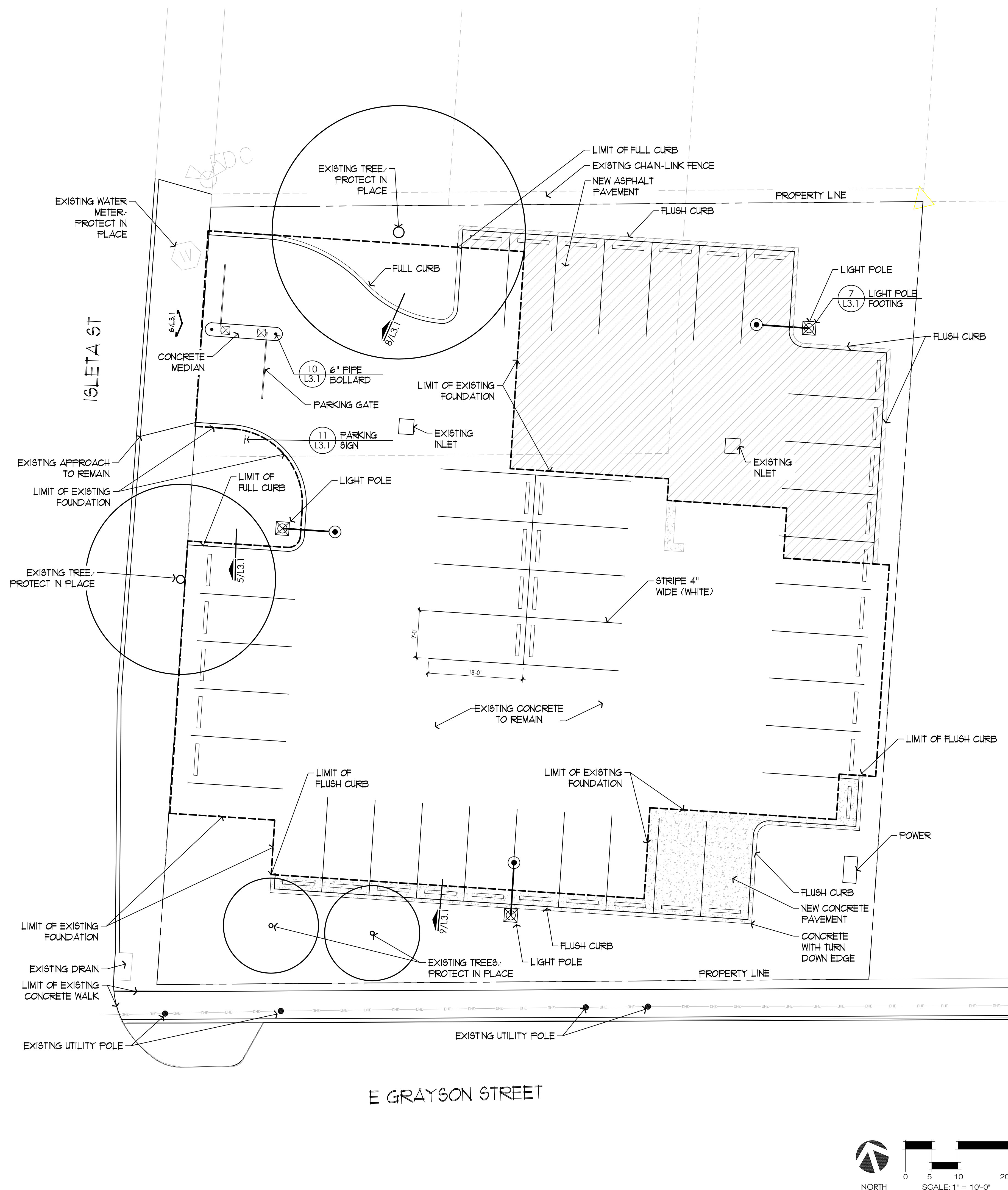
Sheet Title

## Layout Plan

Sheet Number

## L2.0

Sheet of



General Construction Notes:

1. THE GENERAL CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH LANDSCAPE ARCHITECT PRIOR TO MOBILIZATION TO DISCUSS AND MARK ALL TREES TO BE PROTECTED AND REMOVED.
2. THE GENERAL CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY EXISTING CONDITIONS THAT PREVENT CONSTRUCTION AS DETAILED.
3. ALL DIMENSIONS MUST BE VERIFIED ON SITE. FIELD-VERIFY DIMENSIONS OF FENCE TO BE DEMOLISHED. NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING SUBGRADE FOR ALL HARDSCAPE AND PLANTING AREAS.
6. POSITION STANDARD WHEEL STOPS 18" OFF EDGE OF PAVING AND SECURE WITH (2) 18" LONG #4 BARS.

SYMBOL LEGEND:

**LIMIT OF CONTRACT** — LOC — LOC —

**EXPANSION JOINT** EJ

**DETAIL KEYS**

4 — DETAIL NUMBER  
L3.6 — DETAIL SHEET

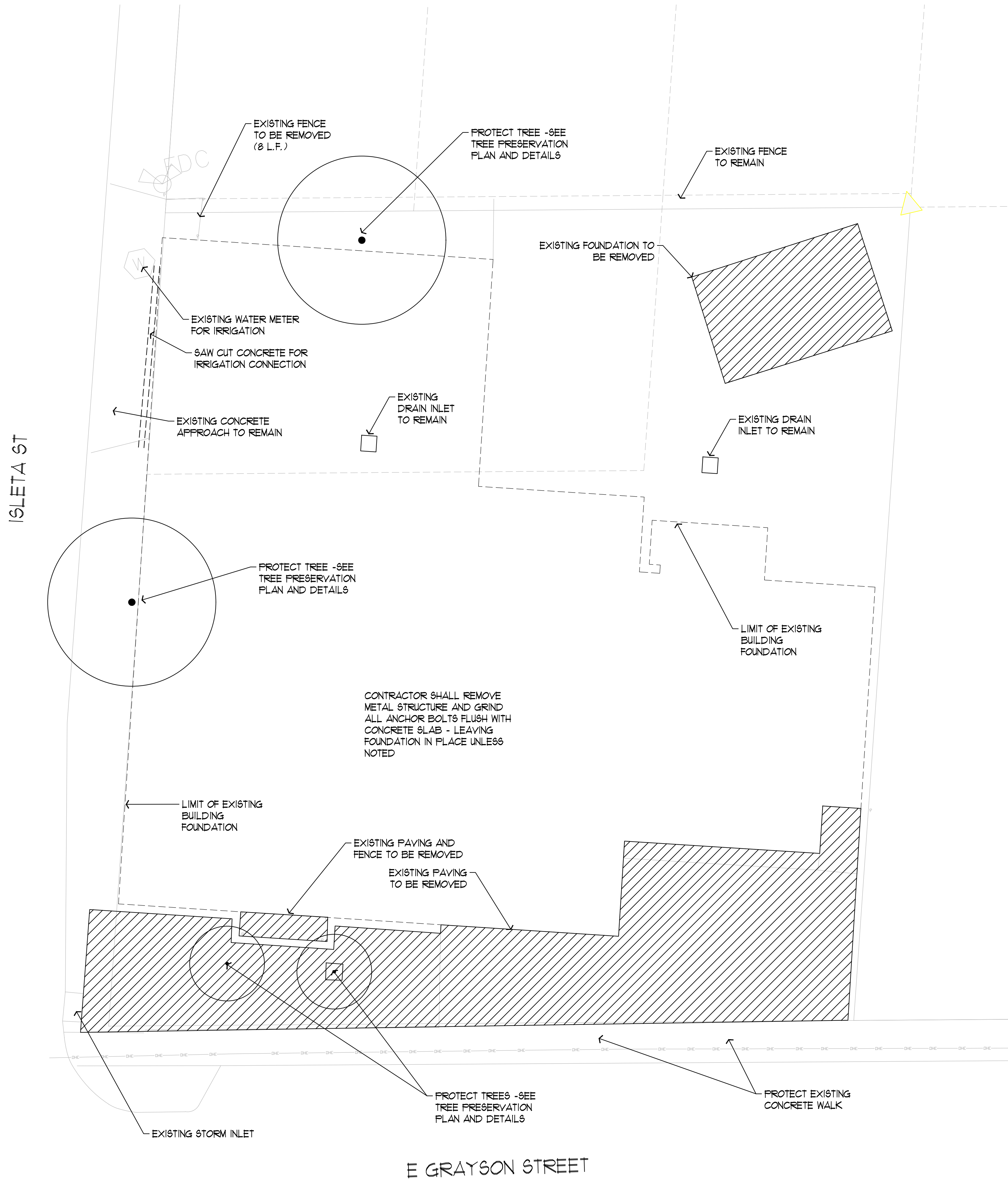
**SECTION SYMBOL**

1/3.5 — DETAIL SHEET  
DETAIL NUMBER

**ELEVATION SYMBOL**

1/3.5





General Demolition Notes:

1. ALL EXISTING ITEMS/UTILITIES NOT SPECIFICALLY NOTED TO BE REMOVED SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. ANY ITEMS OR UTILITIES REMOVED OR DAMAGED DURING DEMOLITION THAT WERE TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
2. ALL EXISTING TREES SHALL REMAIN UNLESS IDENTIFIED FOR DEMOLITION ON TREE PRESERVATION PLAN. ALL TREES TO REMAIN SHALL BE PROTECTED. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT SHOULD ANY QUESTIONS ARISE REGARDING EXISTING TREES. ALL OAK TREE WOUNDS AND CUT ROOTS SHALL BE PAINTED IMMEDIATELY TO PREVENT SPREAD OF OAK WILT.
3. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT LOCATIONS SHOWN ON THE PLANS. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT, CURBS, OR SIDEWALKS WILL BE ACCEPTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THE PROJECT.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IF THERE ARE ANY QUESTIONS FOR DEMOLITION WORK ON THIS PROJECT.
6. EXISTING UTILITIES SHOWN ON THIS LAYOUT WERE OBTAINED FROM A SURVEY OF VISIBLE FEATURES AT THE SITE AND RECORD MAPS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
7. IT IS ESSENTIAL THAT, 48 HOURS PRIOR TO CONSTRUCTION, ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES.
8. DEMOLITION DEBRIS TO BE DISPOSED OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. THE GENERAL CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH LANDSCAPE ARCHITECT PRIOR TO MOBILIZATION TO DISCUSS AND MARK ALL TREES TO BE PROTECTED AND REMOVED.

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STUDIO

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RIALTO STUDIO, INC.

**Cardenas  
Parking Lot**  
(Isleta & Grayson)

**OWNER  
REVIEW SET  
6/2/2017**

Issue Date
Revisions

Project Number: **0000**  
Drawn By **MP/RM**  
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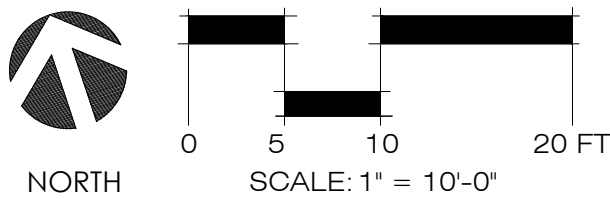
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**Demo  
Plan**

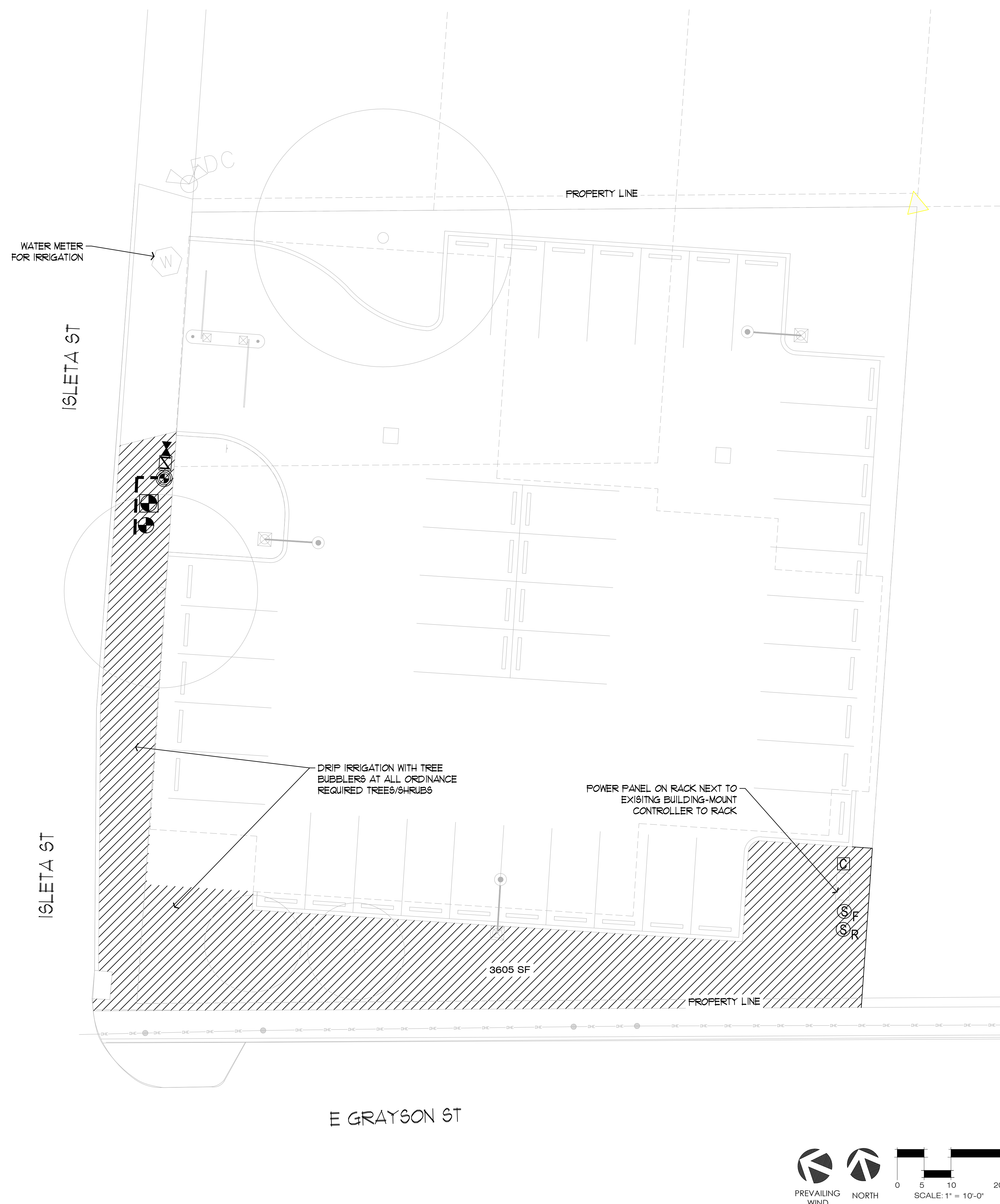
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1. SOIL MIX FOR ALL PLANTING AREAS SHALL BE MINIMUM DEPTH OF 12 INCHES. USE PLANT MIX AS SPECIFIED BELOW. SOIL MIX FOR ALL SOLID SOLD TURF AREAS SHALL BE A MINIMUM DEPTH OF 4 INCHES USE PLANT MIX AS SPECIFIED BELOW.
2. WHERE EXISTING SOILS ARE ADEQUATE FOR NATIVE GRASS SEED PLANTING IN LIEU OF IMPORTED TOP SOILS, TILL IN 2 INCHES OF COMPOST TO A DEPTH OF 4 INCHES PRIOR TO BROADCAST OF SEED MIX.
3. ALL TREES AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 4 INCHES WITH SHREDDED TEXAS NATURAL MULCH. MAINTAIN A 1FT CLEAR AREA FROM THE BASE OF THE TREE FREE OF MULCH TO ALLOW OXYGEN EXCHANGE. USE GARDEN-VILLE MULCH OR EQUIVALENT. SUBMIT SAMPLE.
4. ALL BACK FILL FOR TREE PITS & PLANTING AREAS SHALL BE A SOIL MIX WITH THE FOLLOWING COMPONENTS: 1/3 CUBIC YARD TOPSOIL, 1/3 CUBIC YARD COMPOSTED MANURE, 1/3 CUBIC YARD SAND, 1 1/2 POUND SULFUR, 1/2 POUND GENERAL ALL-PURPOSE FERTILIZER. MIXED SOIL WITH COMPOST AVAILABLE FROM LIVING EARTH IS AN ACCEPTABLE SUBSTITUTION FOR THE MIX LISTED ABOVE. (FERTILIZER IS STILL REQUIRED.)
5. LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS REGARDING APPLICATION OF PROPOSED PLANT MATERIAL PRIOR TO INSTALLATION - ESPECIALLY QUESTIONS THAT MAY AFFECT OR ALTER THE WARRANTY OF SAID MATERIAL.
6. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL TREES, SHRUBS, AND GROUND COVER IN A HEALTHY STATE UNDER THE CONTRACT UNTIL FINAL ACCEPTANCE BY THE OWNER. DEAD OR UNSATISFACTORY MATERIAL, AS DETERMINED BY LA, SHALL BE REMOVED FROM SITE & REPLACED WITH LIKE SATISFACTORY MATERIAL. AT FINAL ACCEPTANCE, ALL MATERIAL MUST BE VIABLE & SATISFACTORY TO LANDSCAPE ARCHITECT.
7. STAKE OR GUY TREES ONLY IF THEY ARE NOT ABLE TO STAND VERTICAL ON THEIR OWN.
8. REMOVE ALL STONES AND DEBRIS LARGER THAN 1 INCH IN ANY DIMENSION ON THE SURFACE IN AREAS WHERE TURF IS APPLIED.
9. ALL QUANTITIES SHOWN ON PLANS TO BE VERIFIED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LABELED PLANT MATERIAL ON PLANS.
10. ALL PLANTS MUST COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
11. ALL FINAL SHAPING AND RAKING OF THE TOPSOIL/FINISH GRADES SHALL BE REVIEWED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO APPLICATION OF PLANT MATERIAL. BERMS, IF REQUIRED SHALL BE INSTALLED IN 12 INCH LAYERS/LIFTS AND COMPACTED. EXCESSIVE SLOPES ON BERMS WHICH MAY CAUSE MAINTENANCE PROBLEMS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT.
12. VERIFY EXISTENCE OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR SITE WORK AND PLANTING.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT EXISTING UTILITIES AT ALL TIMES.
14. INSTALL IRRIGATION SYSTEM PRIOR TO APPLICATION OF TOPSOIL OR PLANTING SOIL MIX.

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
<b>CANOPY TREES</b>							
ELM	Cedar Elm	<i>Ulmus crassifolia</i>	4" caliper	12'	8'		Full canopy, symmetrical growth with strong central leader
<b>ORNAMENTAL TREES</b>							
PER	Texas Persimmon	<i>Diospyrus texana</i>	#30 cont.	6'	4'		Multi-trunk, branching to root ball
YAU	Pride of Houston Yaupon	<i>Ilex vomitoria "Pride of Houston"</i>	#30 cont.	6'	4'		Multi-trunk, branching to root ball, full and symmetrical
<b>SHRUBS, GRASSES &amp; GROUNDCOVERS</b>							
SPF	Asparagus Fern	<i>Asparagus densiflorus 'Sprenger'</i>	#3 cont.	12"	12"	24"	Pink blooms
SAL	Autumn Sage	<i>Salvia greggii</i>	#1 cont.	18"	12"	30"	
BBM	Bamboo Muhly Grass	<i>Muhlenbergia dumosa</i>	#3 cont.				
DMU	El Toro Muhly Grass	<i>Muhlenbergia emersleyi 'El Toro'</i>	#5 cont.	2'	Full	3'	
FCB	Firecracker Bush	<i>Russelia equisetiformis</i>	#1 cont.	18"	12"	30"	
ADA	Four-Nerve Daisy	<i>Tetranneus scaposa</i>	#1 cont.	9"	9"	24"	
GMG	Gulf Muhly Grass	<i>Muhlenbergia capillaris</i>	#3 cont.	12"	9"	24"	
IND	Indigo Spires Salvia	<i>Salvia 'Indigo Spires'</i>	#3 cont.	24"	12"	36"	
KDR	Katie Dwarf Ruellia	<i>Ruellia sp. 'Katie Dwarf'</i>	#1 cont.	9"	9"	24"	
LMG	Lindheimer Muhly Grass	<i>Muhlenbergia lindheimeri</i>	#3 cont.	20"-24"	Full	48"	
MHO	Mexican Honeysuckle	<i>Justicia spicigera</i>	#3 cont.	24"	Full	36"	
MIR	Moraea Iris	<i>Dietsa bicolor</i>	#5 cont.	30"	Full	36"	
SPF	Silver Ponyfoot	<i>Dichondra argentea</i>	4" pot	4"	10"	24"	Full and symmetrical
THR	Thyralis	<i>Thyralis glauca</i>	#3 cont.	30"	24"	36"	
TLA	New Gold Lantana	<i>Lantana sp. 'New Gold'</i>	#1 cont.	12"	12"	36"	
TLP	Trailing Purple Lantana	<i>Lantana montevidensis 'Trailing Purple'</i>	#1 cont.	8"	8"-10"	36"	
TUR	Turk's Cap	<i>Malvaviscus arboreus 'drummondii'</i>	#5 cont.	36"	12"	48"	Purple Flowers
VIB	Sandankwa Viburnum	<i>Viburnum suspensum</i>	#5 cont.	36"	24"	48"	








General Lighting Notes:

1. ALL SITE UNDERGROUND CONDUIT SHALL BE BURIED A MINIMUM OF 24 INCHES DEEP BELOW FINISH GRADE UNLESS OTHERWISE NOTED.
2. COORDINATE ALL REMOTE TRANSFORMER LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. WIRE SIZE SHALL BE SUFFICIENT TO LIMIT VOLTAGE DROP TO THE FIXTURE.
3. ALL EXCAVATION WITHIN THE RPZ OF EXISTING TREES SHALL BE DONE BY HAND OR AIR SPADE TO PRESERVE TREE ROOTS. DO NOT CUT ANY STRUCTURAL ROOTS. AVOID OR CUT CLEANLY ALL NON STRUCTURAL FEEDER ROOTS ENCOUNTERED.
4. PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO IDENTIFY AND ESTABLISH APPROPRIATE CONDUIT ROUTES FOR LANDSCAPE LIGHTING.
5. ELECTRICAL CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS REGARDING THE LOCATION OF PROPOSED LIGHT FIXTURES PRIOR TO INSTALLATION - ESPECIALLY QUESTIONS THAT MAY AFFECT OR ALTER THE WARRANTY OF SAID MATERIAL.
6. REFERENCE ELECTRICAL DRAWINGS FOR CIRCUITING, FIXTURE SPECIFICATIONS AND ADDITIONAL NOTES.
7. SUBSTITUTIONS OR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE.
8. ELECTRICAL CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT TO CONDUCT AIMING TO SATISFY LANDSCAPE ARCHITECT OF ALL TREE MOUNTED FIXTURES.

LIGHTING LEGEND:



POLE MOUNTED AREA LIGHT




3

—

—

FIXTURE COUNT

FIXTURE TYPE



NORTH

0

5

10

20 FT

SCALE: 1" = 10'-0"

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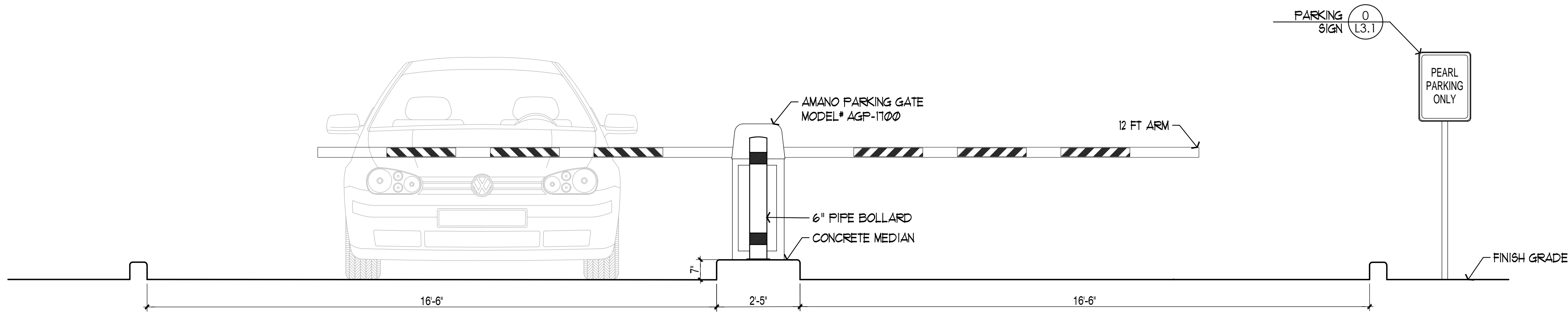
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Plan

Sheet Number

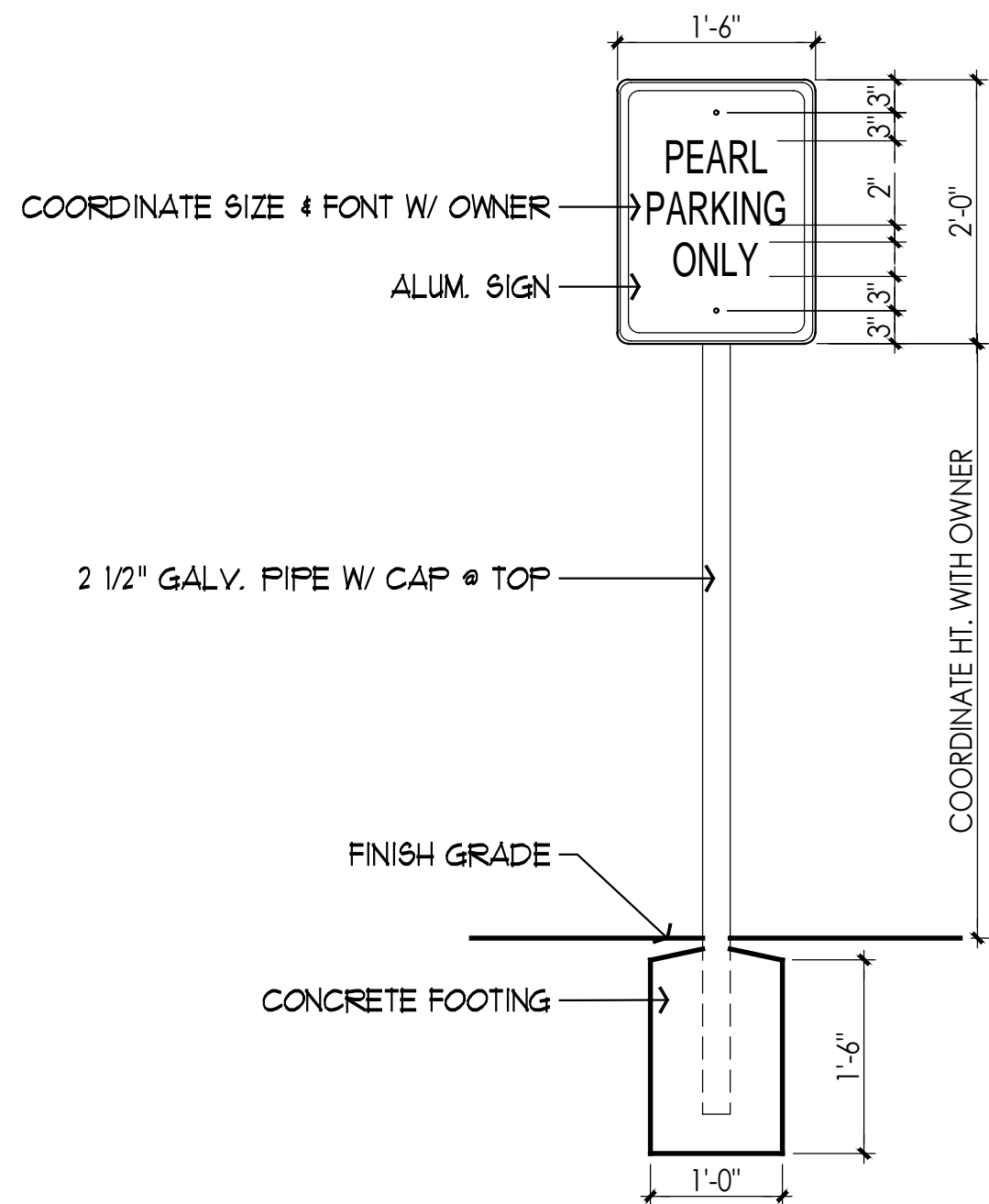
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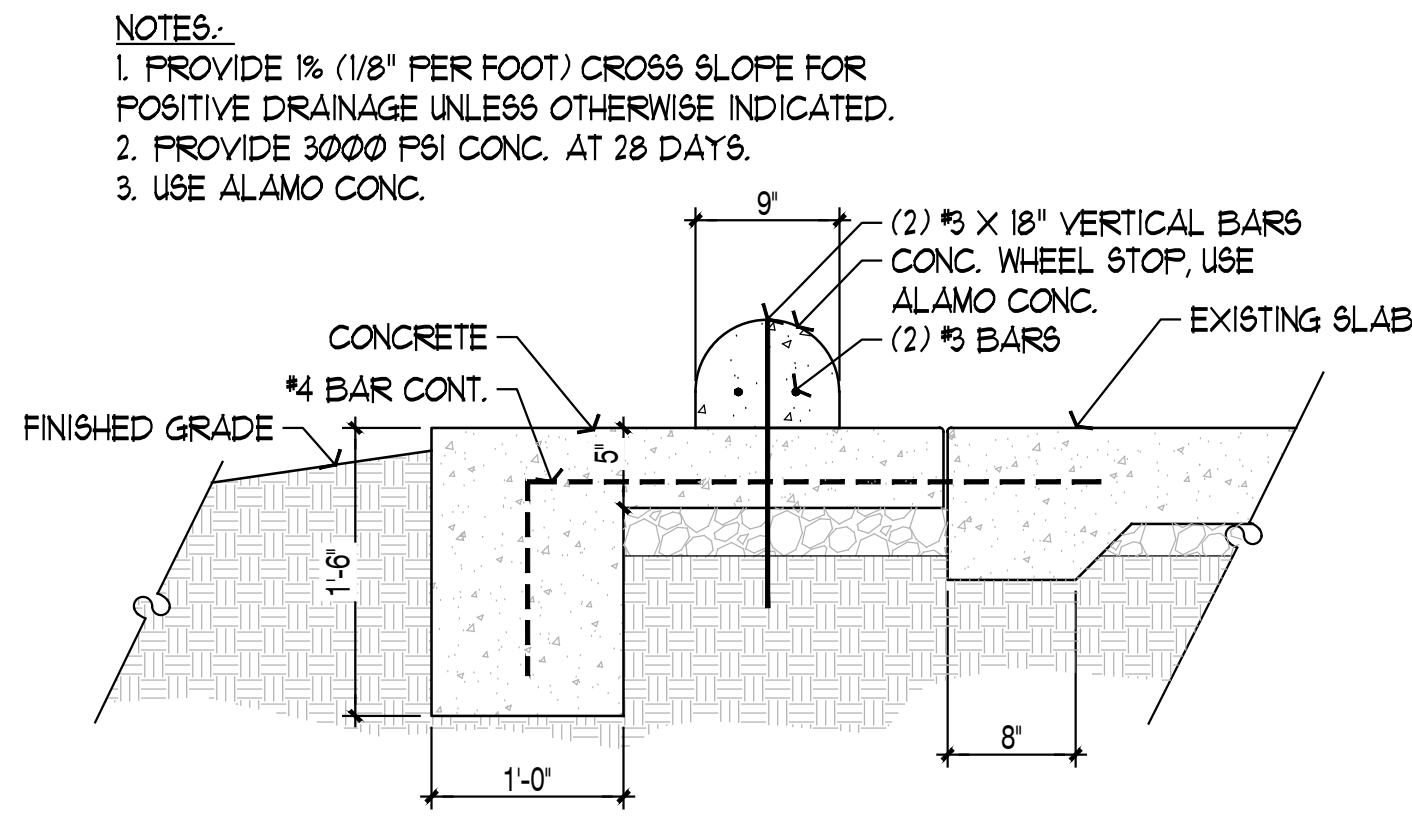




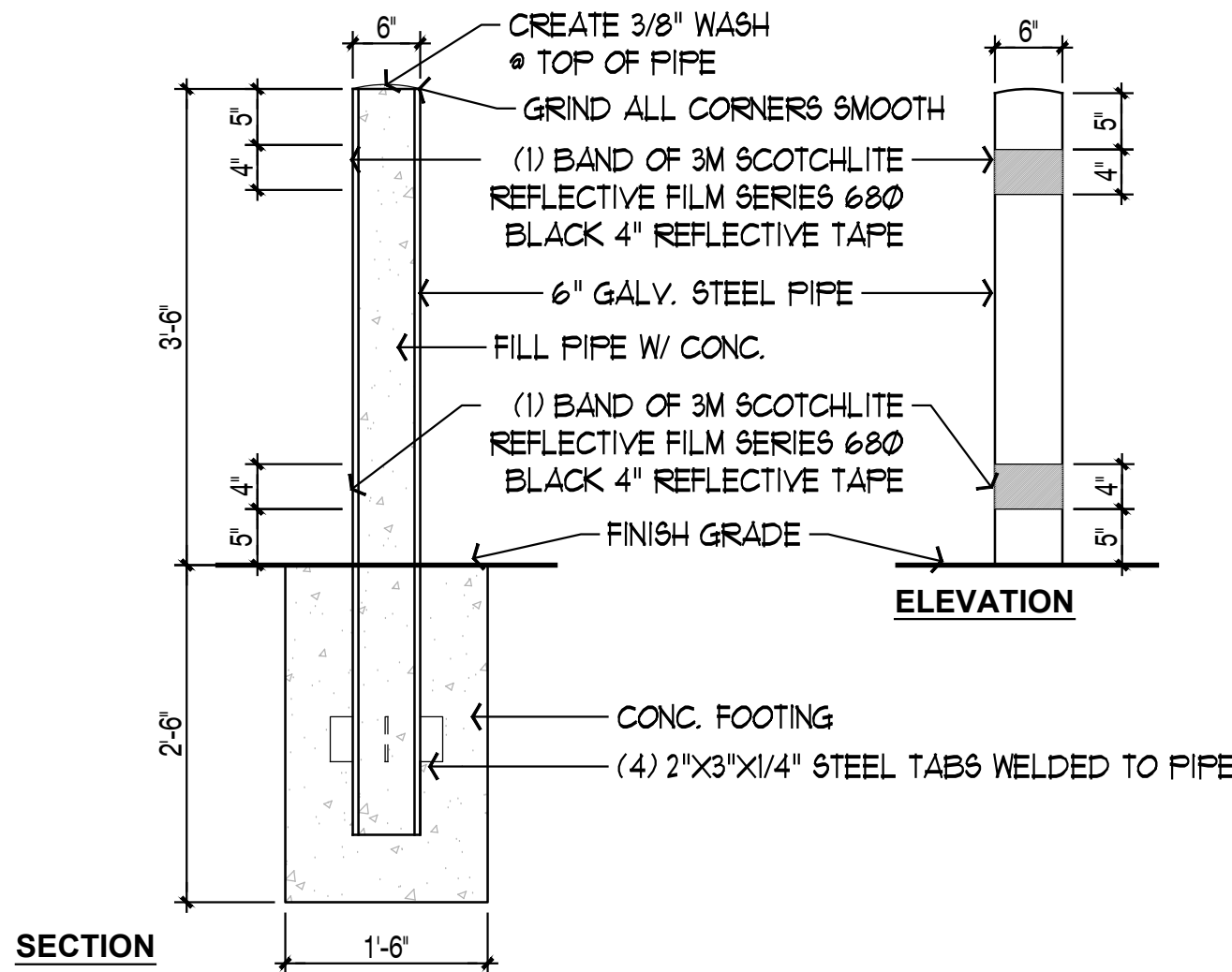
6 ELEVATION: PARKING LOT ENTRY  
SCALE: 1/2"= 1'-0"



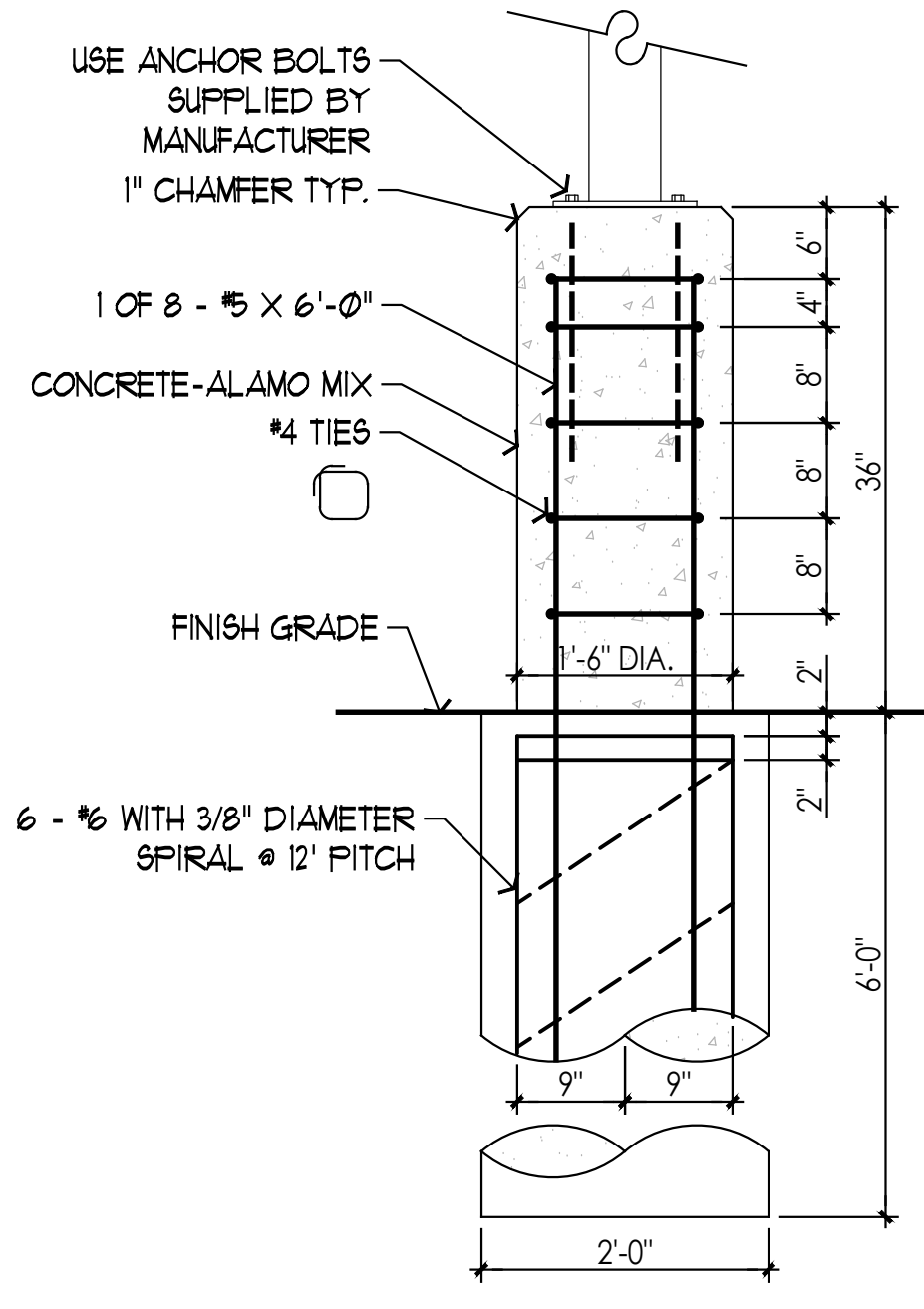
11 DETAIL: STANDARD PARKING SIGN  
SCALE: 3/4"= 1'-0"



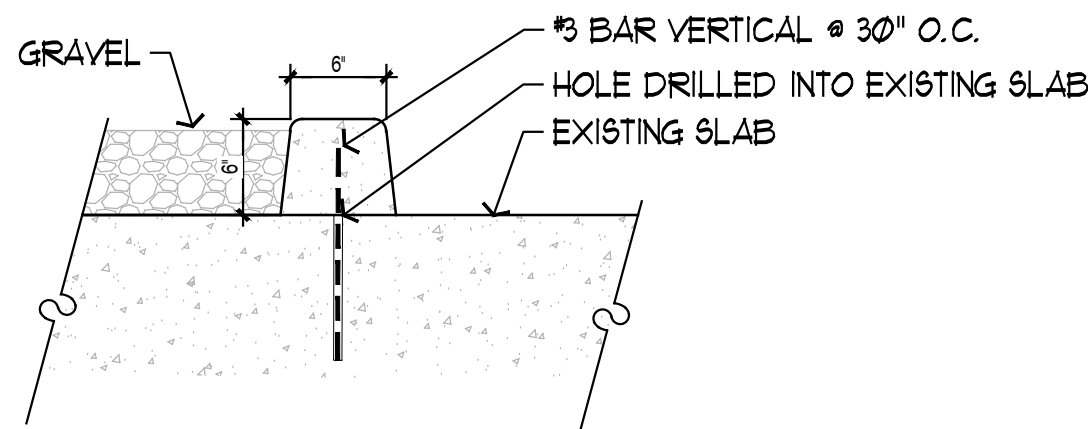
9 SECTION: CONC. EXTENSION  
SCALE: 1"= 1'-0"



10 DETAIL: 6 INCH PIPE BOLLARD  
SCALE: 3/4"= 1'-0"

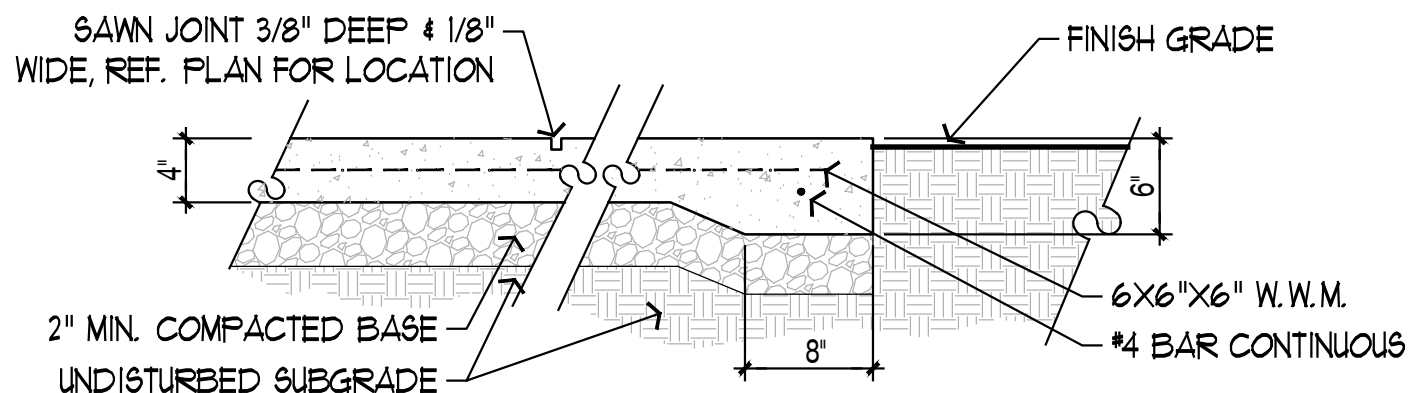


7 SECTION: LIGHT POLE FOOTING  
SCALE: 3/4"= 1'-0"



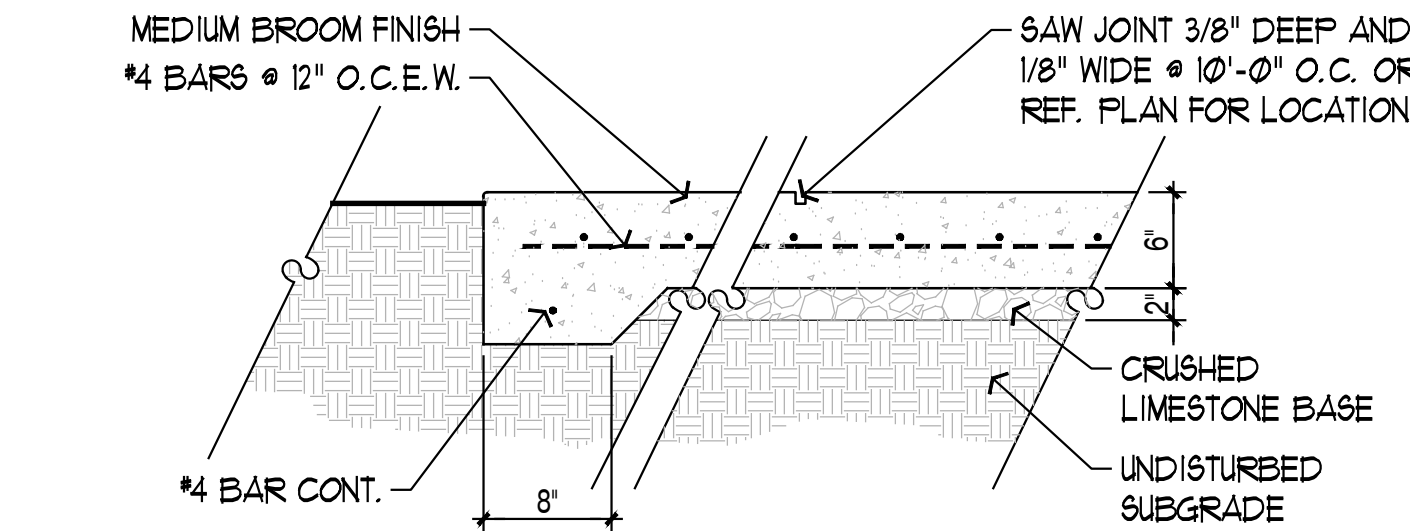
8 SECTION: 6 INCH CURB ON SLAB  
SCALE: 1"= 1'-0"

NOTE:  
1. PROVIDE 1% (1/8" PER FOOT) CROSS SLOPE FOR POSITIVE DRAINAGE UNLESS OTHERWISE INDICATED.  
2. PROVIDE 3000 PSI CONCRETE AT 28 DAYS. SLUMP LIMIT AT POINT OF PLACEMENT 2"-5".  
3. USE ALAMO CONCRETE, MATCH COLOR & FINISH OF PHASE ONE.



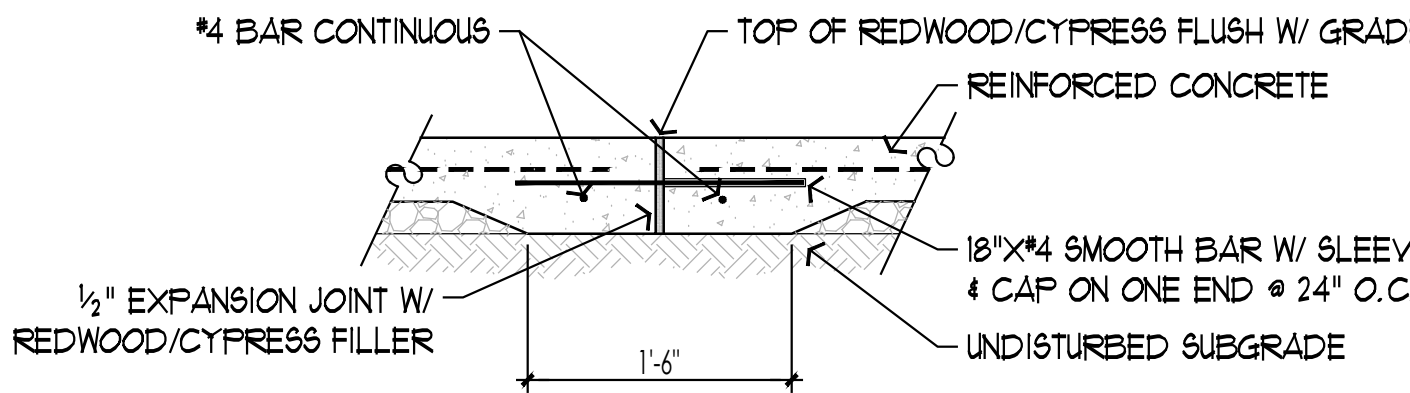
1 SECTION: 4 INCH CONC. PAVING  
SCALE: 1"= 1'-0"

NOTES:  
1. PROVIDE 1% (1/8" PER FOOT) CROSS SLOPE FOR POSITIVE DRAINAGE UNLESS OTHERWISE INDICATED.  
2. PROVIDE 3000 PSI CONC. AT 28 DAYS. SLUMP LIMIT AT POINT OF PLACEMENT 2"-5".  
3. USE ALAMO CONC. & MATCH COLOR & FINISH OF PHASE ONE.



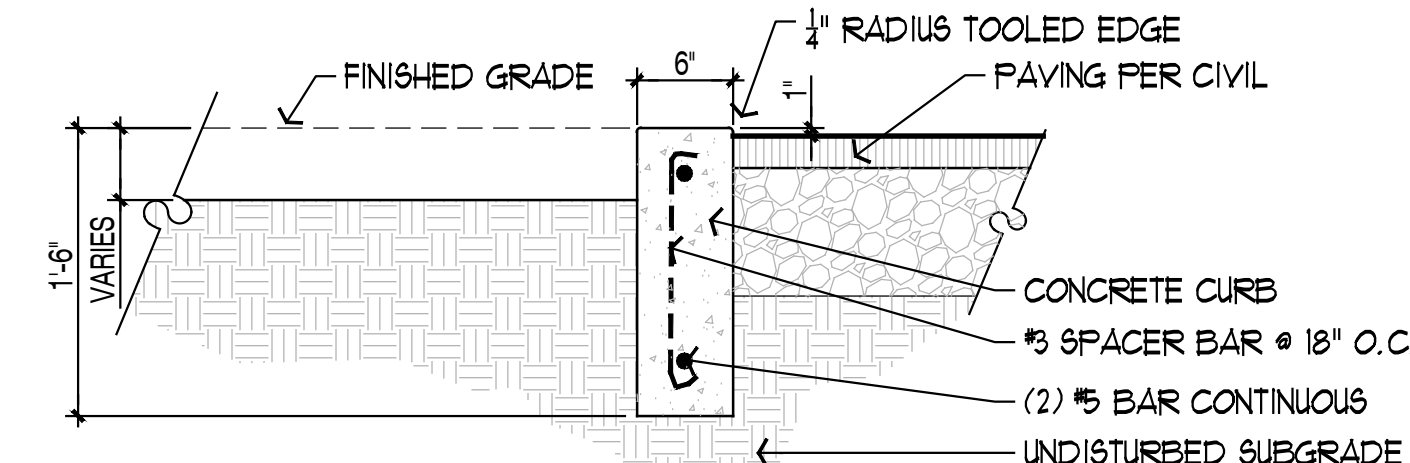
2 SECTION: 6 INCH CONC. PAVING  
SCALE: 1"= 1'-0"

NOTE:  
AT EXPANSION JOINT, INCREASE DEPTH OF SLAB 2" TO ACCOMMODATE DOWEL. FOR 4" CONC. THICKNESS SHALL BE 6" AND FOR 6" CONC. THICKNESS SHALL BE 8" DEEP AT EXP. JOINT

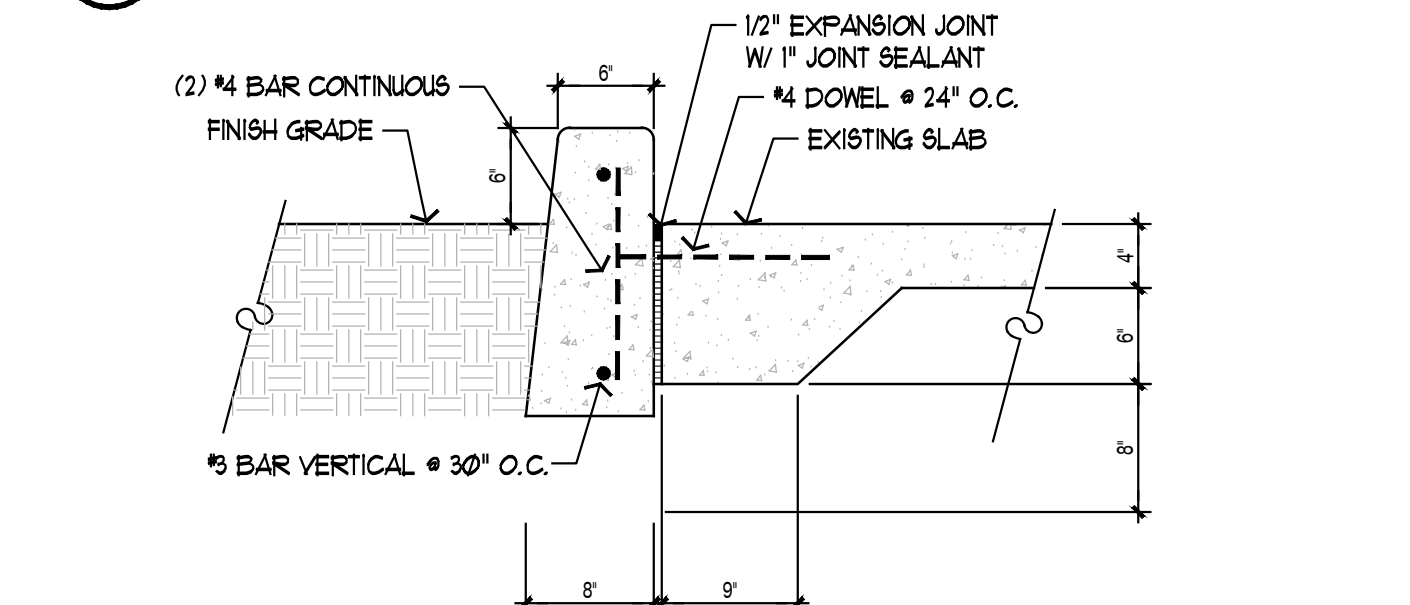


3 SECTION: EXPANSION JOINT  
SCALE: 1"= 1'-0"

NOTES:  
1. SCORE JOINTS 3/8" DEEP AND 1/4" WIDE @ 10'-0" O.C.  
2. EXPANSION JOINTS @ 30'-0" O.C.  
3. USE ALAMO CONCRETE & MATCH COLOR & FINISH OF PHASE ONE  
5. CONTRACTOR TO LEAVE GRADE IN AREAS LABELED D.G. ON PLAN 3 1/2" BELOW TOP OF PAVING AND AREAS LABELED PLANTING 12" BELOW TOP OF PAVING FOR D.G. MULCH AND PLANTING MIX TO BE INSTALLED BY LANDSCAPE CONTRACTOR



4 SECTION: 6 INCH HEADER CURB  
SCALE: 1"= 1'-0"



5 SECTION: 6 INCH CURB  
SCALE: 1"= 1'-0"

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Sheet of