

HISTORIC AND DESIGN REVIEW COMMISSION

August 02, 2017

HDRC CASE NO: 2017-360
ADDRESS: 202 SAN ARTURO
LEGAL DESCRIPTION: NCB 719 (LAVACA SUBD), BLOCK 1 LOT 12
ZONING: R-4 IDZ, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: 1718 Architecture
OWNER: Leroy and Cathy Muniz
TYPE OF WORK: Construction of a rear addition
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a rear addition at 202 San Arturo.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result

of an addition must be compatible with the architectural style and materials of the original structure.

ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

4. Architectural Details

A. GENERAL

i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The structure at 202 San Arturo was constructed in 2008 and features two stories in height. At the rear (east) of the primary structure, the applicant has proposed to construct a three story addition. This structure is located within the Lavaca Historic District. While the Historic Design Guidelines are generally intended for additions to historic structures, the general principals and guidelines for additions are applicable to non-historic additions as well in order ensure compatibility within the historic district.
- b. ADDITION – The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. The applicant has proposed to locate the addition at the rear of the existing structure, has proposed a shed roof and has proposed a setback from the wall planes of the existing structure. While the proposed location and setback from the existing structure are appropriate, the proposed roof form is not consistent with the Guidelines. The existing structure features a gabled roof and a flat roof with parapet walls. The proposed roof form is neither consistent with those found on the existing structure nor with those found throughout the Lavaca Historic District.
- c. SCALE, MASS & FORM – Regarding scale, mass and form, the applicant has proposed for the addition to feature an overall height and roof form that will be greater than that of the existing structure. This is not consistent with the Guidelines for Additions 1.B.i., which notes that additions should be subordinate to the principal façade of the original structure in terms of scale and mass.
- d. MATERIALS – The applicant has proposed materials for the addition that include wood columns, stucco to match that of the existing structure, windows and trim to match that of the existing structure, corrugated metal, a standing seam metal roof to match that of the existing structure and paint to match. Staff finds the proposed materials to be appropriate. The proposed standing seam metal roof should feature panel widths and seam heights that match those of the existing structure.
- e. TRANSITION – As noted in finding b, the applicant has proposed a transition between the proposed addition and the existing structure by the use of setbacks and through an open air first level at the addition. This is consistent with the Guidelines.
- f. ARCHITECTURAL DETAILS – Generally, the proposed addition matches the architectural details of the

existing structure as well as features materials which are complementary to those found historically throughout the district.

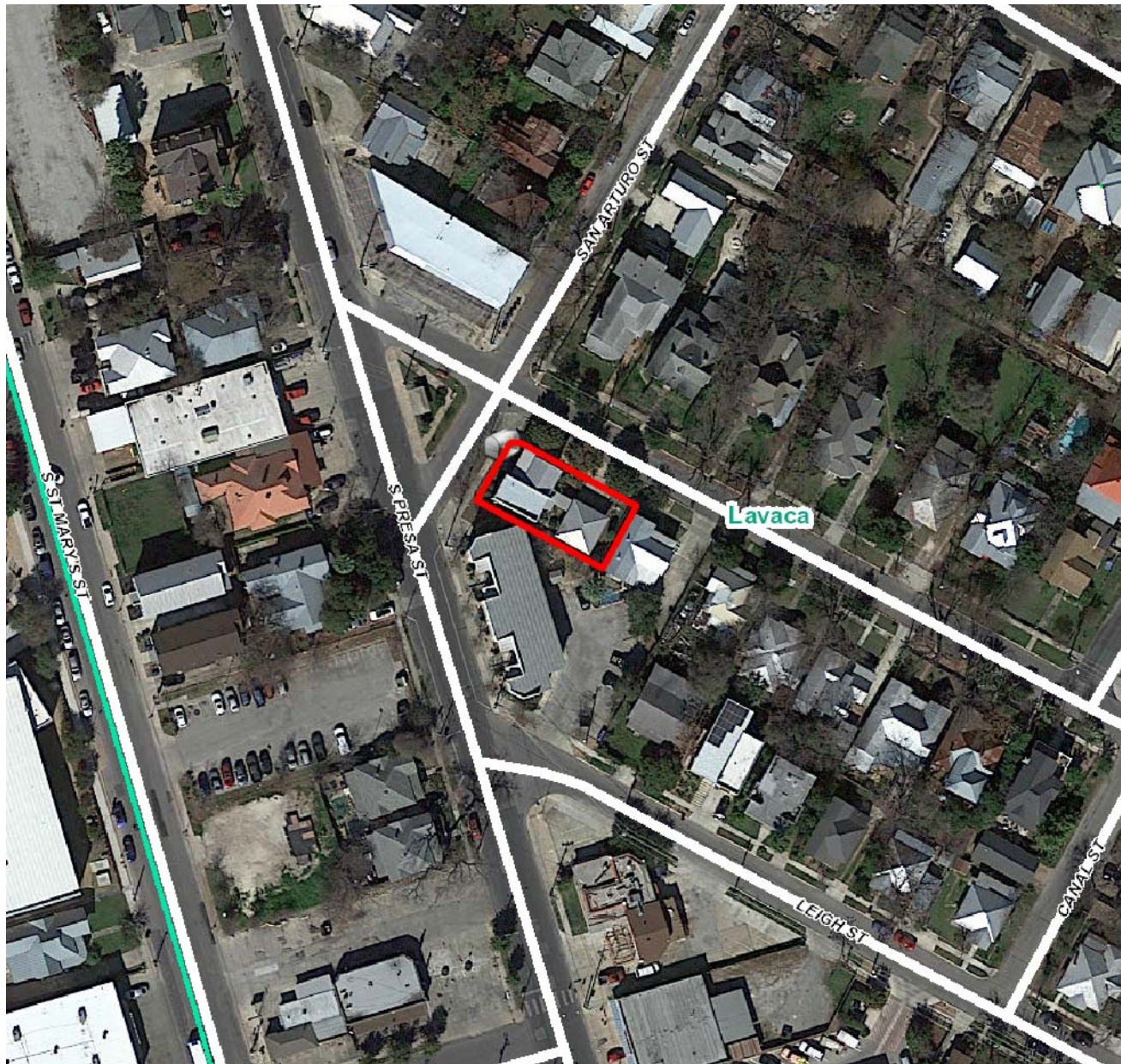
RECOMMENDATION:

Staff recommends approval based on findings a through f with the following stipulations:

- i. That the applicant reduce the overall height of the proposed addition to be subordinate to that of the existing structure.
- ii. That the applicant install all windows to match the installation method used on the existing structure and that all details are match those of the existing structure.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: May 09, 2017

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Euphorium

202 San Arturo Street

Callaghan Ave

Callaghan Ave

Callaghan

S Presa St

San Arturo St



HDRC APPLICATION

WRITTEN NARRATIVE

202 SAN ARTURO IS THE HOME OF LEROY AND CATHY MUNIZ. THE ORIGINAL HOME WAS DESIGNED AND BUILT IN 2008-2009. SINCE THEN, THE MUNIZ FAMILY HAS BEEN ENRICHING AND EXPANDING THEIR HOME OF THEIR DREAMS.

THE WEST ADDITION WILL ONLY BE ACCESSIBLE FROM THE SECOND FLOOR FROM INSIDE THE HOUSE. THE SECOND FLOOR WILL PROVIDE AN OUTDOOR, NATURALLY VENTILLATED AREA TO OVERLOOK THE DOWNTOWN SKYLINE. THE ATTIC WILL PROVIDE THE ADDITIONAL STORAGE ROOM NECESSARY FOR THE FAMILY. THE ADDITION REACHES ITS MAX HEIGHT AT 34 FT 6 IN, STAYING UNDER THE R-4 ZONING HEIGHT, AS WELL AS UNDER THE VARYING HEIGHTS OF THE LAVACA DISTRIC. THE ADDITION WILL MATCH EXISTING RESIDENTIAL MATERIALS AND FINISHES.

MAINTING THE CULTURAL HERITAGE OF SAN ANTONIO IS IMPORTANT TO US ALL. WE APPRECIATE YOUR TIME TO REVIEW THE MATERIAL AND LOOK FORWARD TO YOUR SUGGESTIONS TO MOVE FORWARD.

THANK YOU.

MATERIALS / FINISHES / FABRICS

- WOOD COLUMNS
- WOOD FRAME & STRUCTURE
- STUCCO TO MATCH EXISTING
- WINDOWS & TRIM TO MATCH EXISTING
- CORRUGATED METAL
- METAL ROOF TO MATCH EXISTING
- MATCHING EXISTING COLORS

202 SAN ARTURO ST
SITE





Google Earth

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report a problem

202 SAN ARTURO IS NOT
VISIBLE FROM THE SOUTH.



202 SAN ARTURO IS NOT
VISIBLE FROM THE SOUTH
WEST.



202 SAN ARTURO ST
SITE





SAN ANTONIO
CALLAGHAN



202



S Presa
← 600

Callaghan Ave
← 100





S Presa
600 700

Callaghan Ave
100







NO
PARKING
ANYTIME
ZONE
→

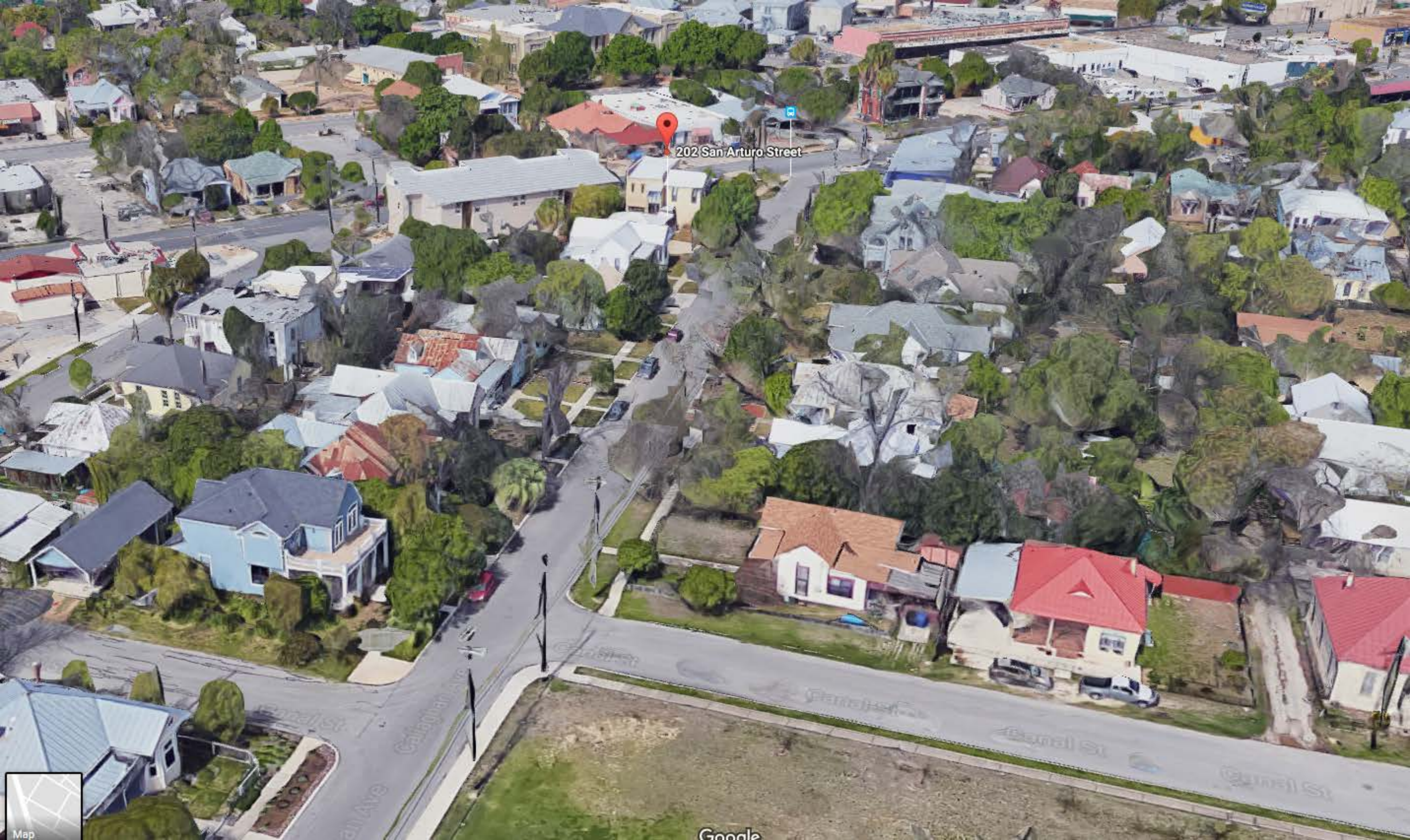


202 San Arturo St

Callagh



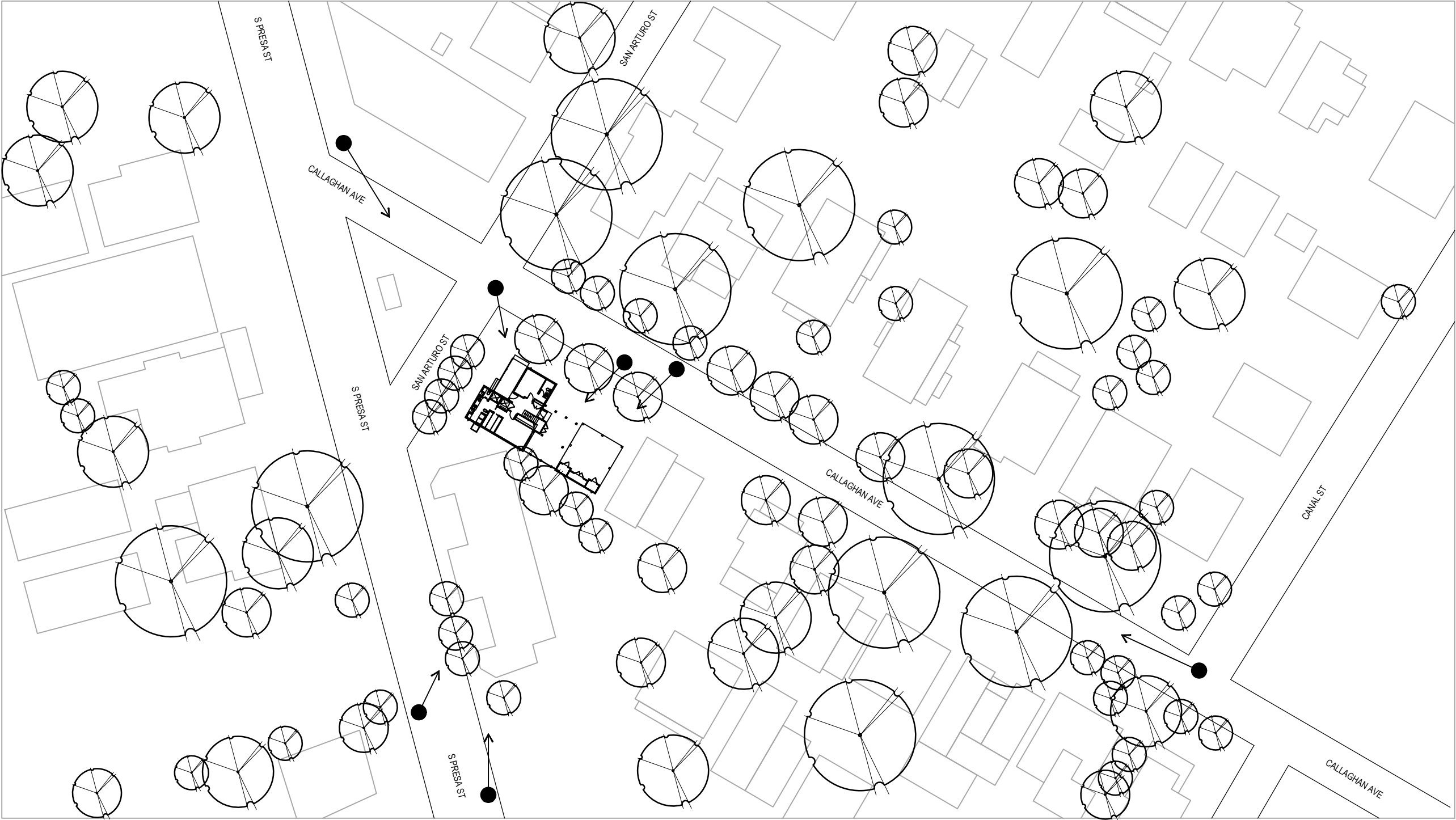
202 SAN ARTURO IS NOT
VISIBLE FROM THE END INTERSECTION OF
CALLAGHAN AVE AND CANAL ST.



202 San Arturo Street



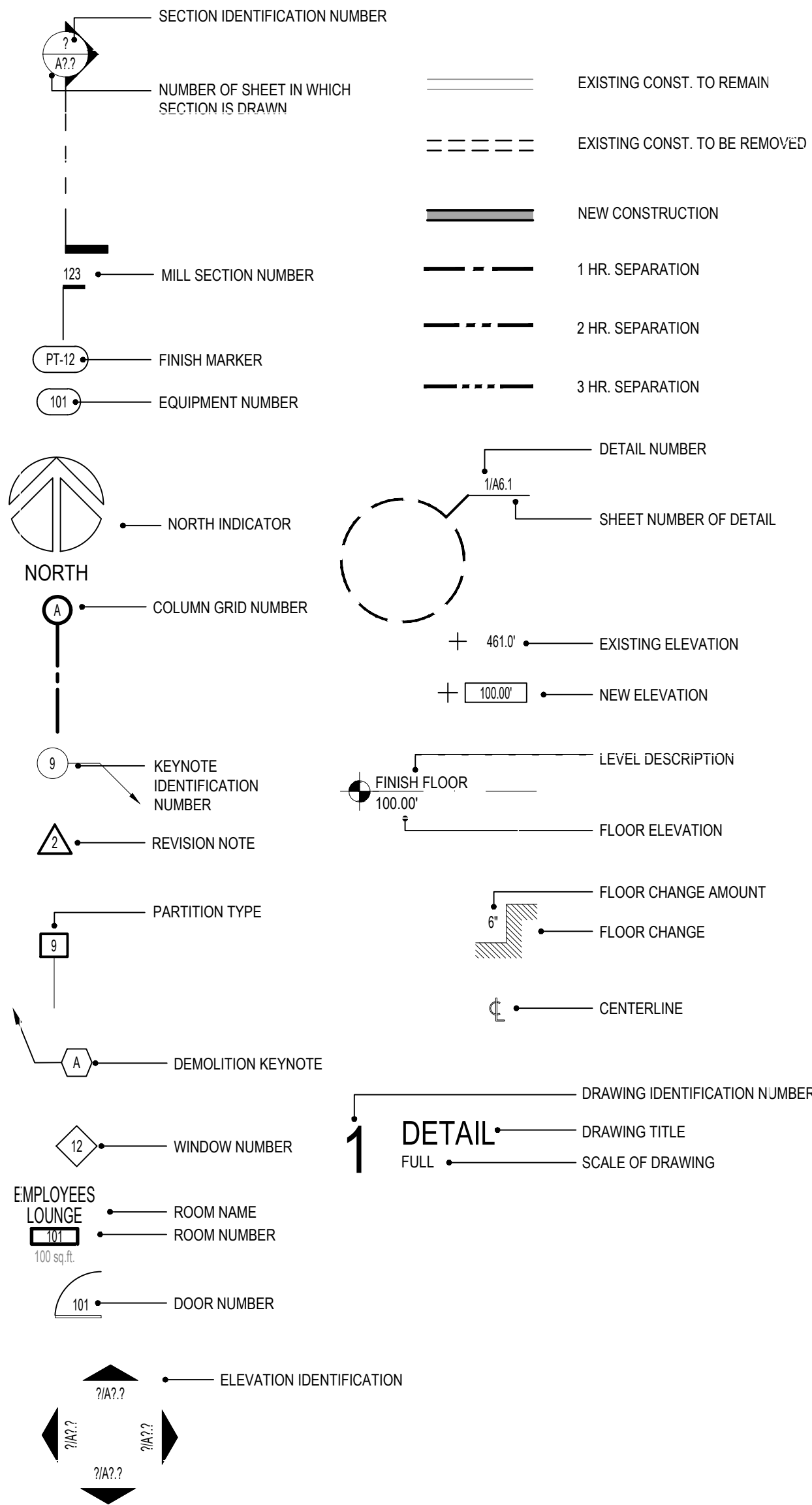
Google



GENERAL NOTES

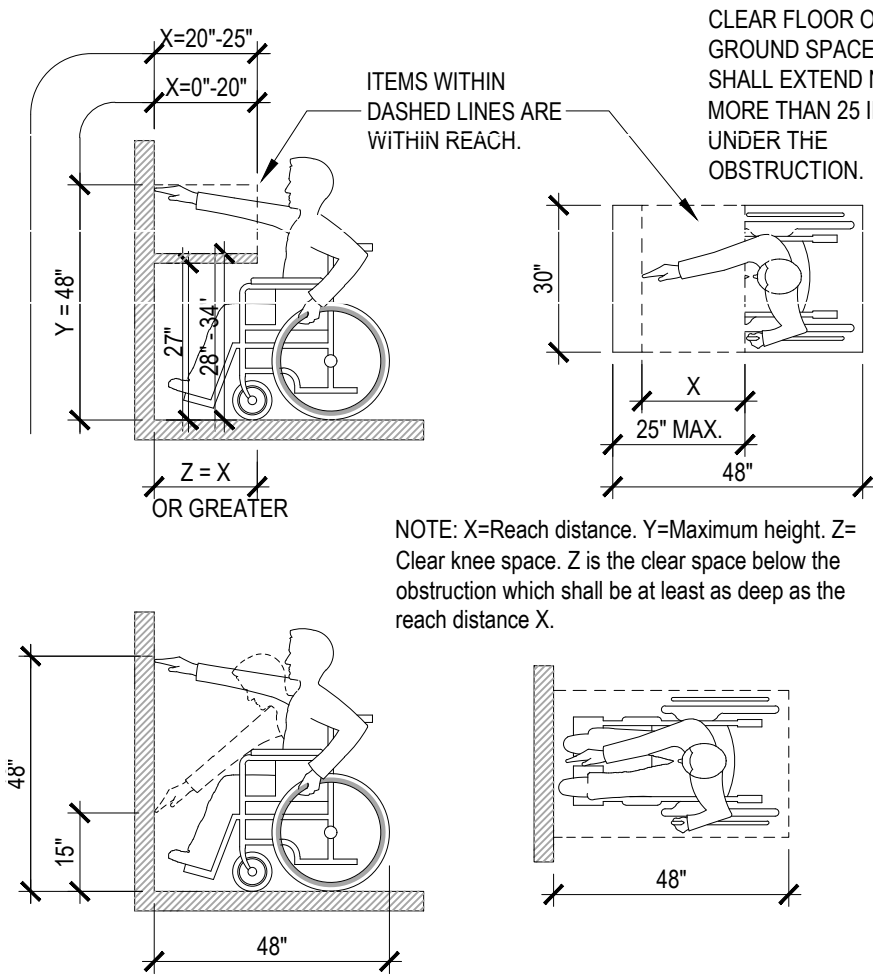
1. CONTRACTOR IS TO EXECUTE ALL DETAILS UTILIZED IN THIS PROJECT. IF IT IS NOT CLEAR WHERE A SPECIFIC DETAIL IS TO BE UTILIZED, SEND RFI TO ARCHITECT FOR CLARIFICATION.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH LOCAL AND NATIONAL GOVERNING CODES.
3. THE GENERAL CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
4. DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN DIMENSIONS IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN-LIKE APPEARANCE. WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
5. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, TELEPHONE, FAXING, CLEAN-UP SERVICE, AND TOILETS. ALL TEMPORARY WORK IS TO BE REMOVED PRIOR TO COMPLETION.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
7. THE GENERAL CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
8. THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ADDENDA, FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETION OF WORK AND FOR PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
10. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO ENSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
11. CARBON MONOXIDE EMISSIONS ARE PROHIBITED FROM ALL INTERIOR WORK. IF FUME HAZARDS OCCUR, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MONITORING AND TESTING OF AFFECTED AREAS.
12. THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO ENSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.
13. SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, OR POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT. THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF THE SPECIFIED ITEMS. ANY REQUESTS FOR SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF OF EQUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.
14. THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.
15. ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE.
16. THE GENERAL CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.
17. THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, DEBRIS, SIGNS, ODORS, UNSIGHTLY CONDITIONS, OR NON-CONSTRUCTION NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE BEHAVIOR OF INDIVIDUALS WITH RESPECT TO THE ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.
18. REFER TO ADDITIONAL NOTES BY STRUCTURAL AND MEP DISCIPLINES. WHERE VARIOUS DISCIPLINES INDICATE WORK FOR DIFFERING DISCIPLINES (FOR EXAMPLE, MECHANICAL WORK WHICH WOULD REQUIRE STRUCTURAL MODIFICATIONS), THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK.

LEGEND



GENERAL NOTES

19. REFER TO MEP SITE PLANS FOR NEW ELECTRIC SERVICE, SITE LIGHTING AND OTHER UTILITIES.
20. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS. THE LOCATION OF UTILITIES IS BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
21. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
22. ALL WOOD BLOCKING TO BE FIRE RETARDANT.
23. CONTROLS AND OPERATING MECHANISMS:
(A) GENERAL: ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH DETAILS PROVIDED. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.



- (B) HEIGHT. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN THE DETAILS. EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR.
- (C) OPERATION. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE LBS.

24. SIGNAGE. SIGNS AT ALL DESIGNATED HANDICAPPED TOILET ROOMS SHALL COMPLY WITH THIS PARAGRAPH.
(A) CHARACTER PROPORTION. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, UTILIZING AN UPPER-CASE "X" FOR MEASUREMENT.
(B) COLOR CONTRAST. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT COLORED CHARACTERS ON DARK BACKGROUNDS ARE REQUIRED.
(C) TACTILE CHARACTERS AND SYMBOLS. CHARACTERS, SYMBOLS, OR PICTOGRAPHS ON SIGNS REQUIRED TO BE TACTILE. SHALL BE RAISED 1/32 INCH MINIMUM. LETTERS AND NUMBERS SHALL BE SANS SERIF CHARACTERS, SHALL BE AT LEAST 5/8 INCH HIGH, BUT SHALL BE NO HIGHER THAN TWO INCHES AND SHALL BE PROPORTIONED IN ACCORDANCE WITH SUB-PARAGRAPH (B) OF THIS PARAGRAPH. NOTE: BRAILLE CHARACTERS MAY BE USED IN ADDITION TO STANDARD ALPHABET CHARACTERS AND NUMBERS, BUT MAY NOT BE USED EXCLUSIVELY. IF USED, BRAILLE CHARACTERS SHALL BE PLACED TO THE LEFT OF STANDARD CHARACTERS. RAISED BORDERS AROUND RAISED CHARACTERS ARE DISCOURAGED.
(D) MOUNTING HEIGHT AND LOCATION. TACTILE SIGNAGE USED FOR ROOM IDENTIFICATION SHALL BE MOUNTED ON THE WALL ON THE LATCH (STRIKE) SIDE OF DOORS AT A HEIGHT OF 60" ABOVE FINISHED FLOOR TO CENTERLINE OF SIGN.
(E) SYMBOLS OF ACCESSIBILITY. IF ACCESSIBLE TOILETS ARE IDENTIFIED, THEN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED. THE SYMBOL SHALL BE DISPLAYED AS SHOWN BELOW.
25. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS STEEL OR DECORATIVE STEEL SHOWN ON ARCHITECTURAL SHEETS WHETHER SHOWN OR DETAILED ON STRUCTURAL SHEETS. FOR MEMBERS SHOWN BUT NOT SIZED THE FOLLOWING APPLIES:
(A) LOOSE ANGLES: 4" X 4" X 3/8"
(B) TUBE STEEL: 5" X 5" X 1/4"
(C) WIDE FLANGE: W12 X 16
(D) LOOSE CHANNELS: C8 X 13.75

26. ALL SUBCONTRACTORS AND CONSTRUCTION WORKERS MUST READ THE WRITTEN SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. THE SPECIFICATIONS CONTAIN ADDITIONAL SURFACE PREPARATION OR INSTALLATION REQUIREMENTS FOR THE BUILDING MATERIALS, PRODUCTS OR COMPONENTS THAT ARE BEING PLACED OR INSTALLED.
27. THE INSTALLATION / APPLICATION INFORMATION SHOWN ON THE DRAWINGS IS NOT COMPLETE WITHOUT THE WRITTEN SPECIFICATIONS. IF THE SPECIFICATIONS / PROJECT MANUAL IS NOT WITH THESE DRAWINGS, ASK THE GENERAL CONTRACTOR FOR A COPY TO REVIEW BEFORE BEGINNING YOUR WORK.

CODE REVIEW SUMMARY

LOCATION:		202 San Arturo San Antonio, TX 78210	
OCCUPANCY CLASSIFICATION			
BUILDING TYPE: SINGLE FAMILY RESIDENCE		BUILDING AREA: -- S.F.	

DRAWING INDEX

GENERAL

A0.01 COVER SHEET / INDEX

STRUCTURE

ARCHITECTURAL

- A2.01 FIRST FLOOR PLAN / NOTES
- A2.02 SECOND FLOOR PLAN / NOTES
- A2.03 ATTIC FLOOR PLAN / NOTES
- A2.04 ROOF PLAN
- A4.01 EAST ELEVATION
- A4.02 NORTH ELEVATION
- A4.03 EAST BUILDING SECTION
- A4.04 NORTH BUILDING SECTION
- A4.05 NORTH BUILDING SECTION
- A6.01 DOOR & WINDOW SCHEDULES / CROSS SECTION / WALL DETAIL
- E1.01 ELECTRICAL FLOOR PLAN & MILLWORK

ELECTRICAL

SURVEY

LOCATION MAP - CITY



202 San Arturo Res. Addition

202 San Arturo
San Antonio, TX 78210

202 San Arturo Res. Addition

202 San Arturo
San Antonio, TX 78210

ARCHITECT

1718 ARCHITECTURE, LLC
717 N. ALAMO STREET
SAN ANTONIO, TX 78215
210.287.8166

STRUCTURE



DOCUMENTS ARE INCOMPLETE
AND MAY NOT BE USED FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

DATE 05 July 2017 EXP DATE Oct 2017
1718 ARCHITECTURE, LLC
717 NORTH ALAMO STREET
SAN ANTONIO, TEXAS 78215
VOICE: (210) 287-8166
MARCELLO@1718PARTNERS.COM

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PROJECT

Muñiz House
Addition

202 San Arturo
San Antonio, Texas 78210

OWNER

Leroy &
Cathy Muñiz

202 San Arturo
San Antonio, Texas 78210

PROJECT NUMBER

17-202SanArturo

CONSTRUCTION DOCS

NO.	DATE	DESCRIPTION OF ISSUE
1	05/04/17	Concept Design
2	05/16/17	Schematic Design
3	06/27/17	Design Development
4	07/05/17	GMP Documents
5		Final Construction Documents
6		Response to CoSA Review

CONSULTANT

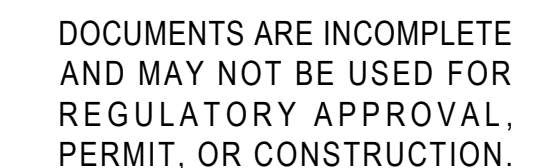
SHEET TITLE

Cover Sheet / Index

DATE 05 July 2017 BAR LENGTH ON ORIGINAL DRAWING EQUALS 1 INCH

SHEET NUMBER

Set # A0.01



1718 ARCHITECTURE, LLC
717 NORTH ALAMO STREET
SAN ANTONIO, TEXAS 78215
VOICE: (210) 287-8166
MARCELLO@1718PARTNERS.COM

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PROJECT

Muñiz House
Addition

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San Antonio, Texas 78210

OWNER

Leroy &
Cathy Muñiz

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CONSULTANT

SHEET TITLE

First Floor Plan

DATE
05 July 2017

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

SHEET NUMBER

A2.01

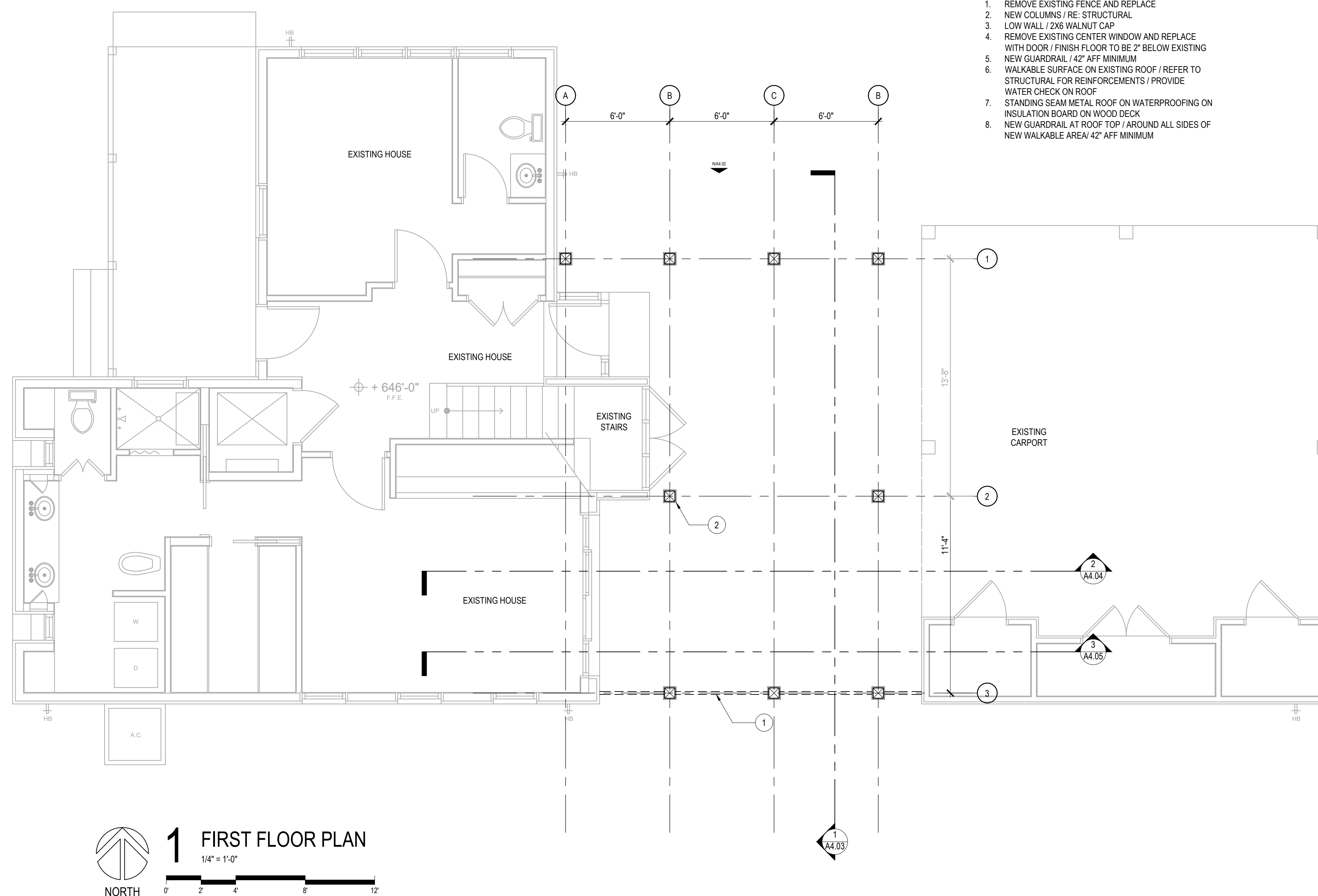
GENERAL NOTES

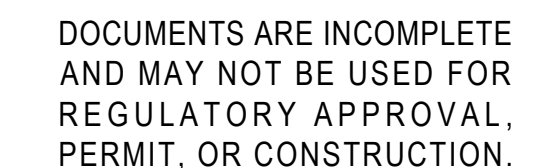
1. CONFIRM FINAL FINISHES WITH OWNER

KEYNOTES

1. REMOVE EXISTING FENCE AND REPLACE
2. NEW COLUMNS / RE: STRUCTURAL
3. LOW WALL / 2X6 WALNUT CAP
4. REMOVE EXISTING CENTER WINDOW AND REPLACE
WITH DOOR / FINISH FLOOR TO BE 2" BELOW EXISTING
5. NEW GUARDRAIL / 42" AFF MINIMUM
6. WALKABLE SURFACE ON EXISTING ROOF / REFER TO
STRUCTURAL FOR REINFORCEMENTS / PROVIDE
WATER CHECK ON ROOF
7. STANDING SEAM TYPE ROOF ON WATERPROOFING ON
INSULATION BOARD ON WOOD DECK
8. NEW GUARDRAIL AT ROOF TOP / AROUND ALL SIDES OF
NEW WALKABLE AREA / 42" AFF MINIMUM

9. THROUGH-WALL AC UNIT MOUNTED HIGH AGAINST CEILING
10. ATTIC FLOOR STEP UP





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PROJECT

Muñiz House
Addition

202 San Arturo
San Antonio, Texas 78210

OWNER

Leroy &
Cathy Muñiz

202 San Arturo
San Antonio, Texas 78210

PROJECT NUMBER

17-202SanArturo

CONSTRUCTION DOCS

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CONSULTANT

SHEET TITLE

Second Floor Plan

DATE
05 July 2017

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

SHEET NUMBER

A2.02

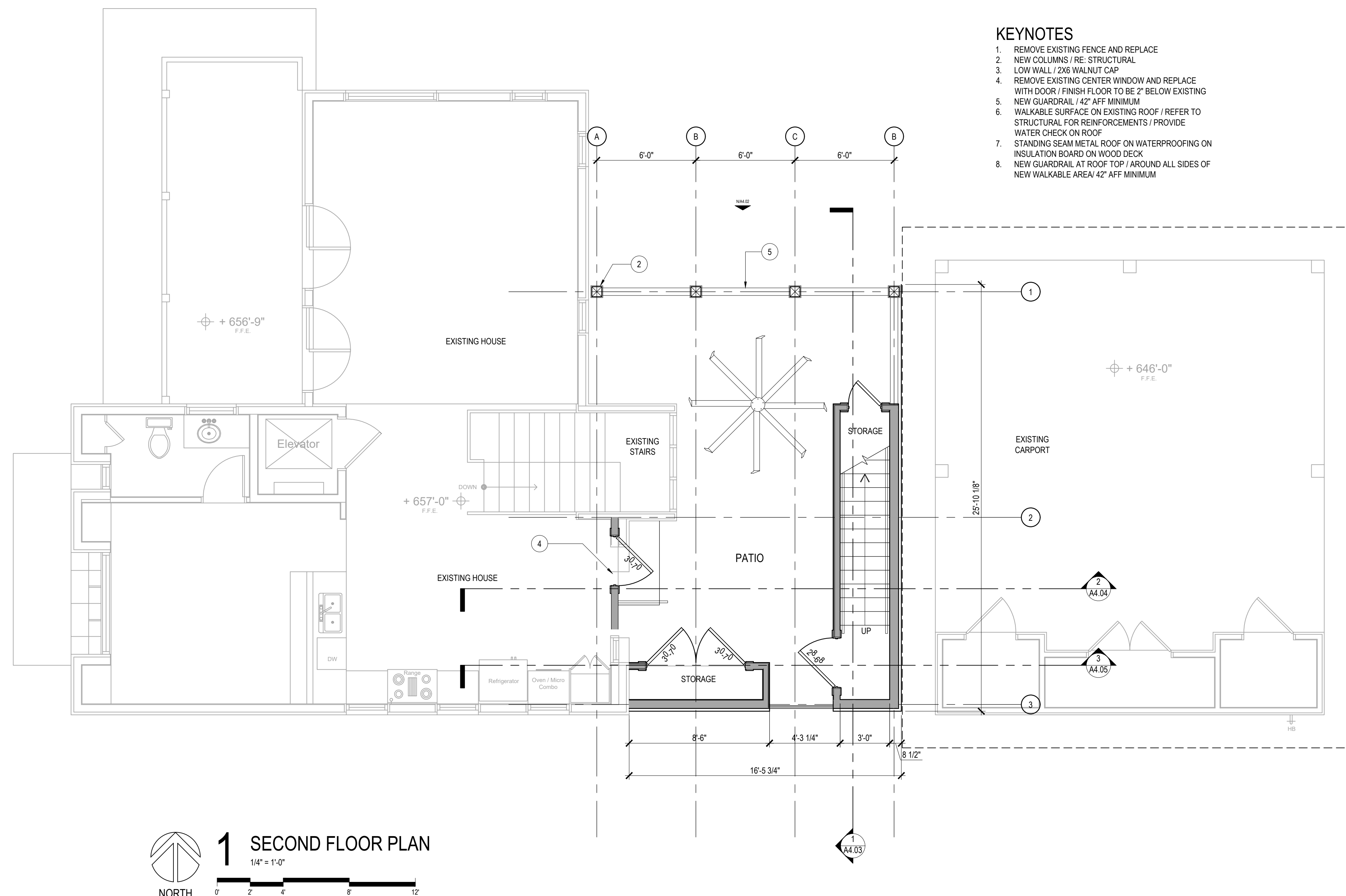
GENERAL NOTES

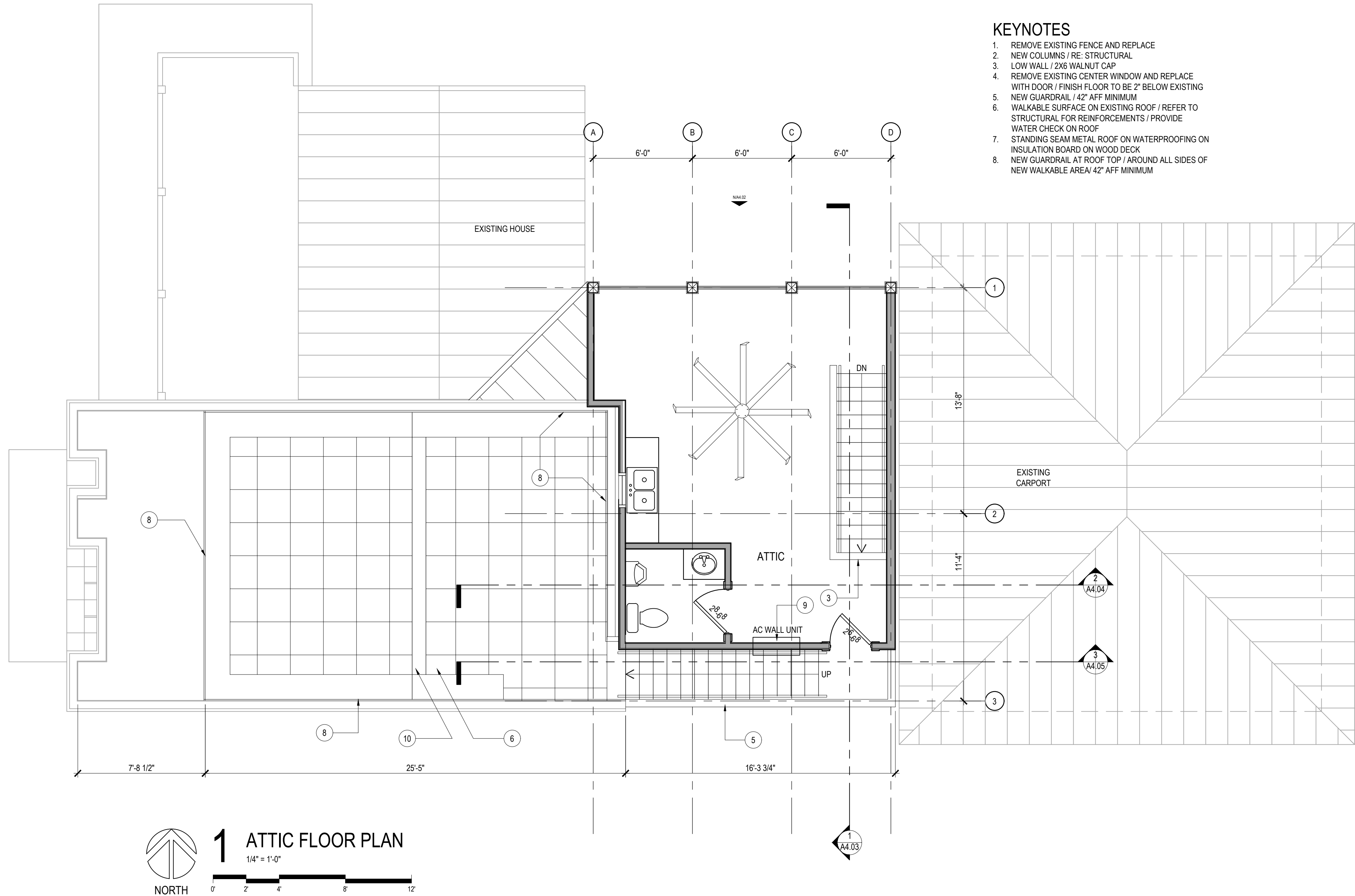
1. CONFIRM FINAL FINISHES WITH OWNER

KEYNOTES

1. REMOVE EXISTING FENCE AND REPLACE
2. NEW COLUMNS / RE: STRUCTURAL
3. LOW WALL / 2X6 WALNUT CAP
4. REMOVE EXISTING CENTER WINDOW AND REPLACE
WITH DOOR / FINISH FLOOR TO BE 2" BELOW EXISTING
5. NEW GUARDRAIL / 42" AFF MINIMUM
6. WALKABLE SURFACE ON EXISTING ROOF / REFER TO
STRUCTURAL FOR REINFORCEMENTS / PROVIDE
WATER CHECK ON ROOF
7. STANDING SEAM METAL ROOF ON WATERPROOFING ON
INSULATION BOARD ON WOOD DECK
8. NEW GUARDRAIL AT ROOF TOP / AROUND ALL SIDES OF
NEW WALKABLE AREA / 42" AFF MINIMUM

9. THROUGH-WALL AC UNIT MOUNTED HIGH AGAINST CEILING
10. ATTIC FLOOR STEP UP





GENERAL NOTES

1. CONFIRM FINAL FINISHES WITH OWNER

KEYNOTES

1. REMOVE EXISTING FENCE AND REPLACE
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9. THROUGH-WALL AC UNIT MOUNTED HIGH AGAINST CEILING
10. ATTIC FLOOR STEP UP



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DATE 05 July 2017 EXP. DATE Oct 2017
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PROJECT

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Addition

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OWNER

Leroy &
Cathy Muñiz

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CONSULTANT

SHEET TITLE

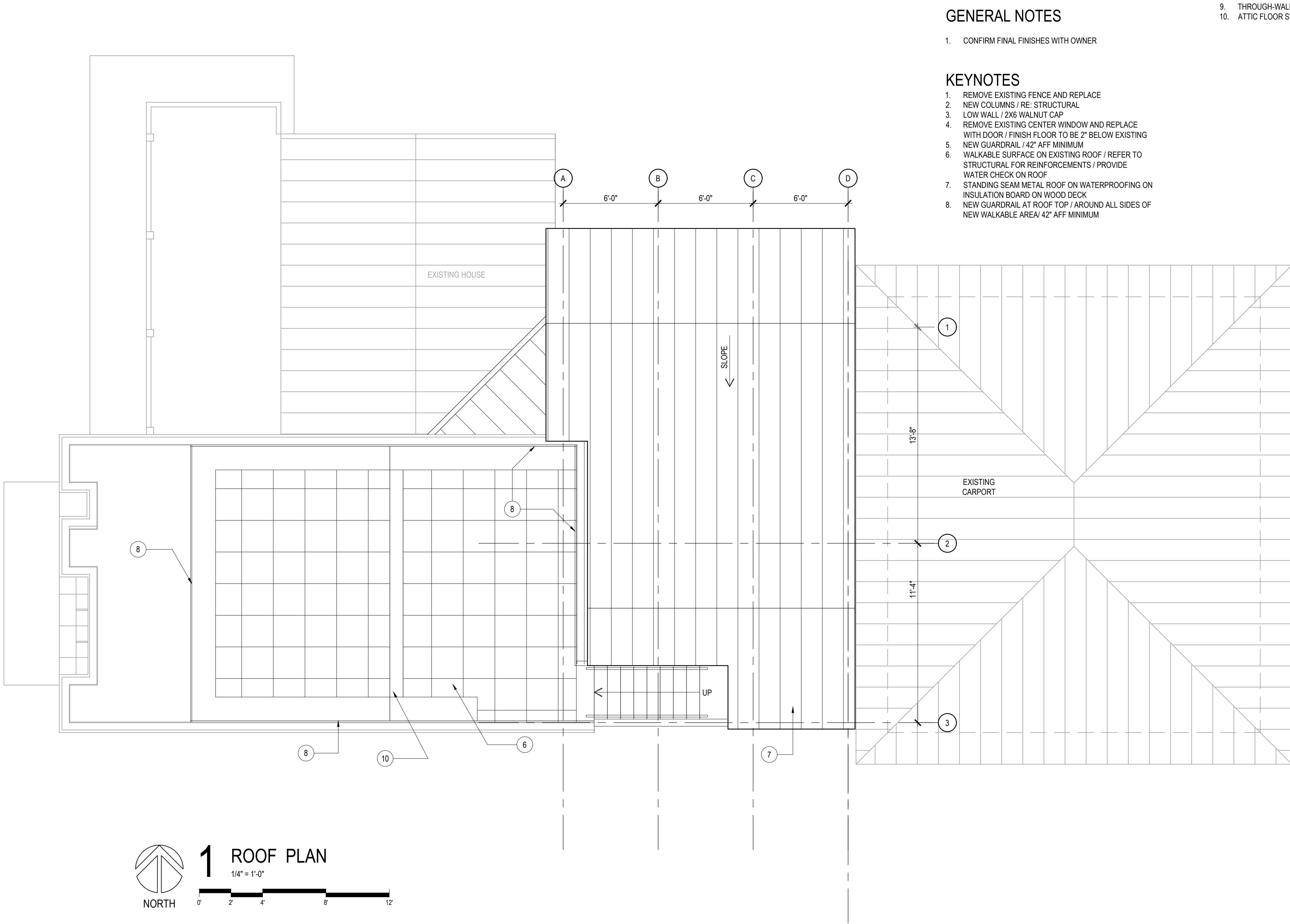
Attic Floor Plan

DATE
05 July 2017

SHEET NUMBER

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

A2.03



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CONSULTANT

SHEET TITLE

Roof Plan

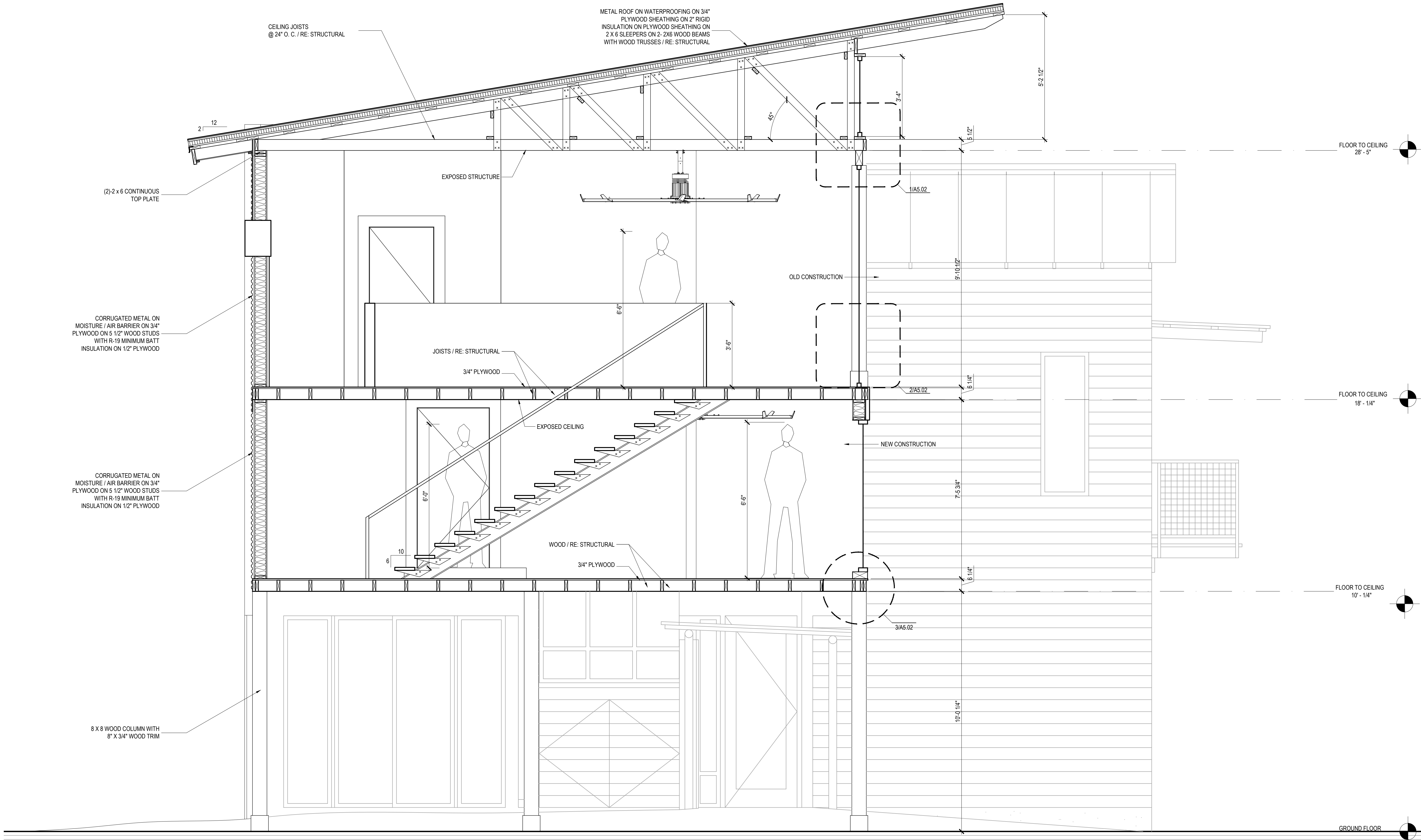
DATE
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SHEET NUMBER

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

SHEET NUMBER

A2.04



1 BUILDING SECTION
1/2" = 1'-0"

Muñiz House
Addition

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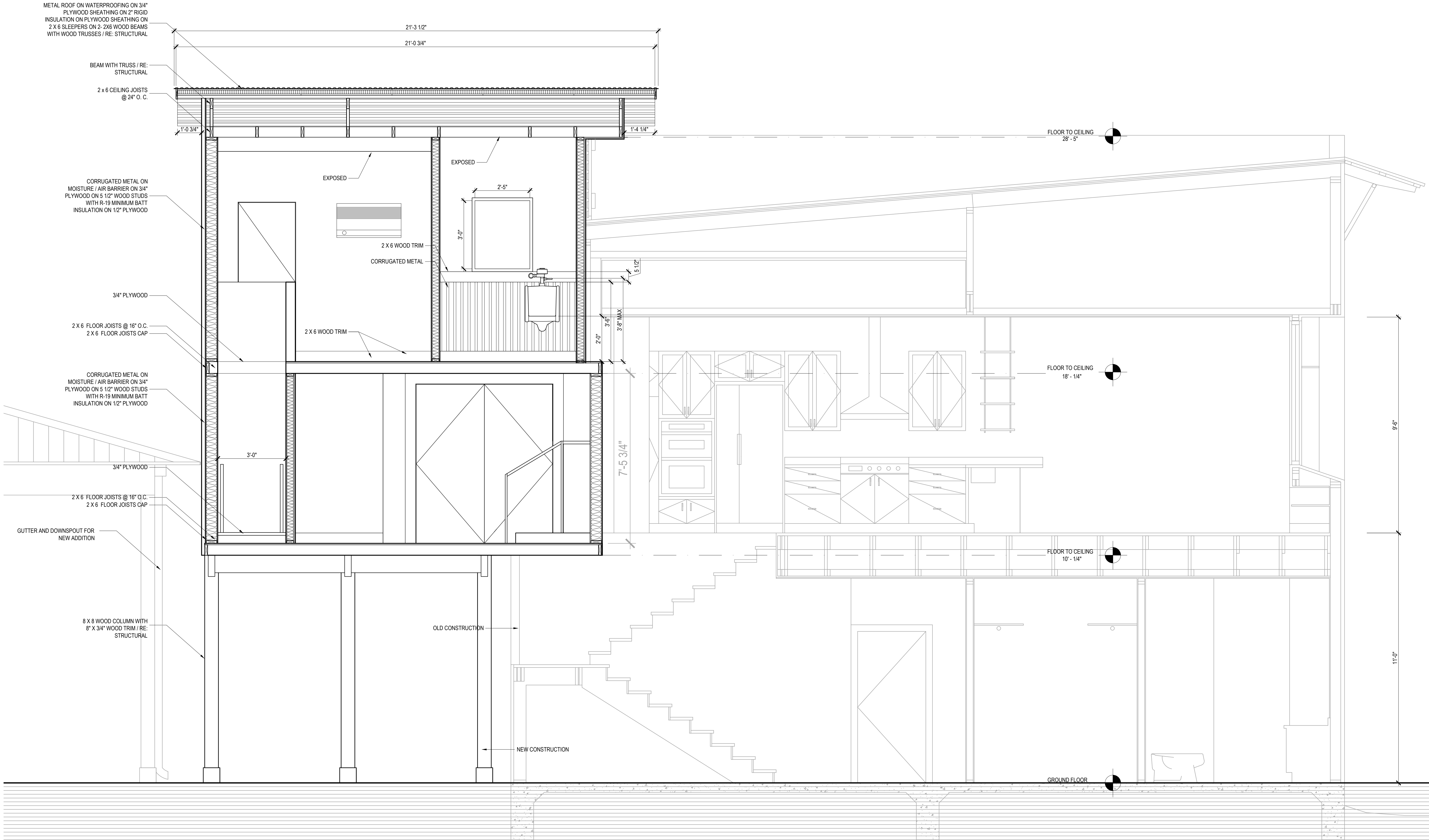
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East Building Section
C.1

27 June 2017



2 BUILDING SECTION
1/2" = 1'-0"

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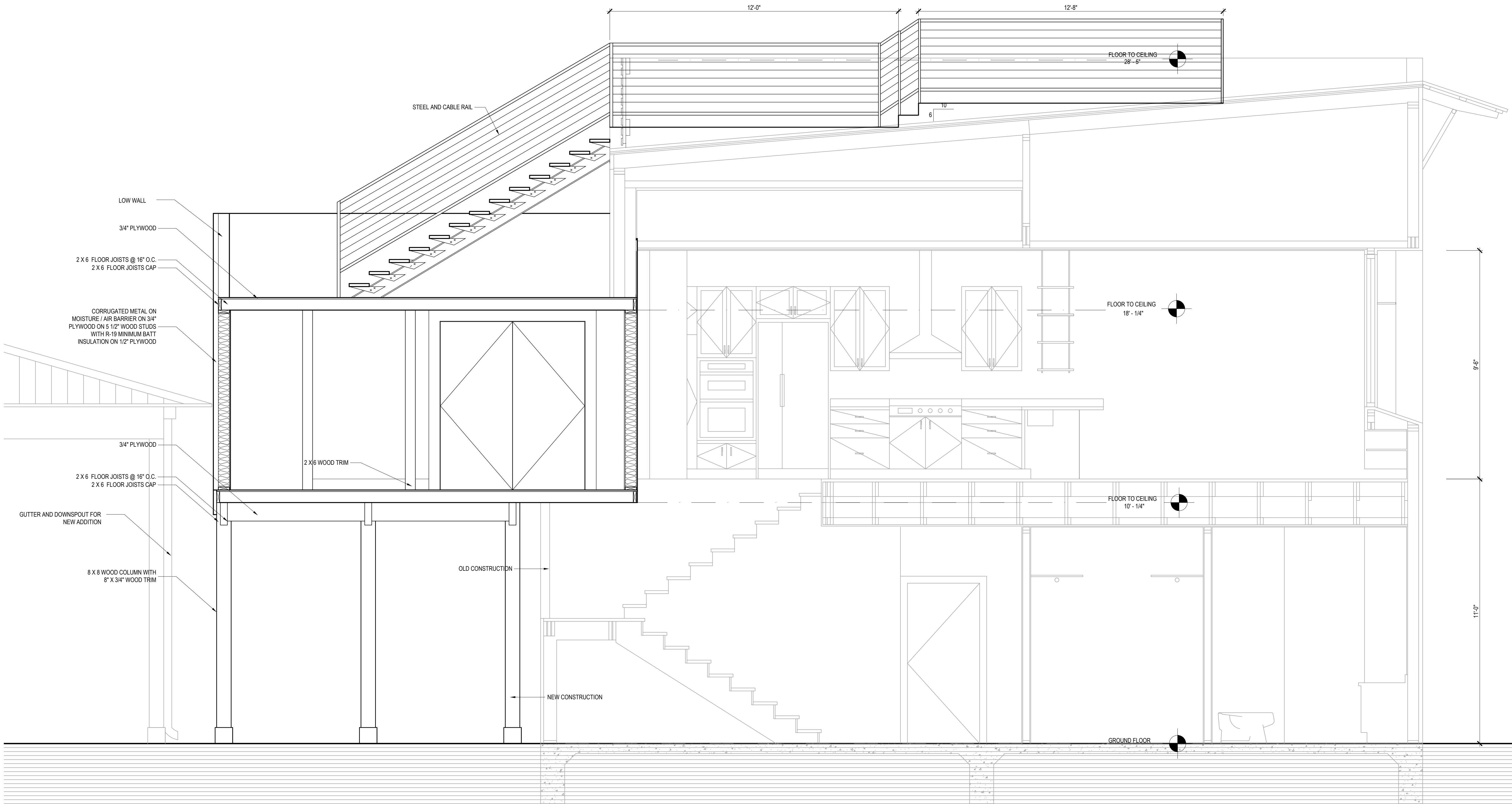
North Building Section
2.1

DATE
27 June 2017

SHEET NUMBER

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

A4.02



3 BUILDING SECTION
1/2" = 1'-0"



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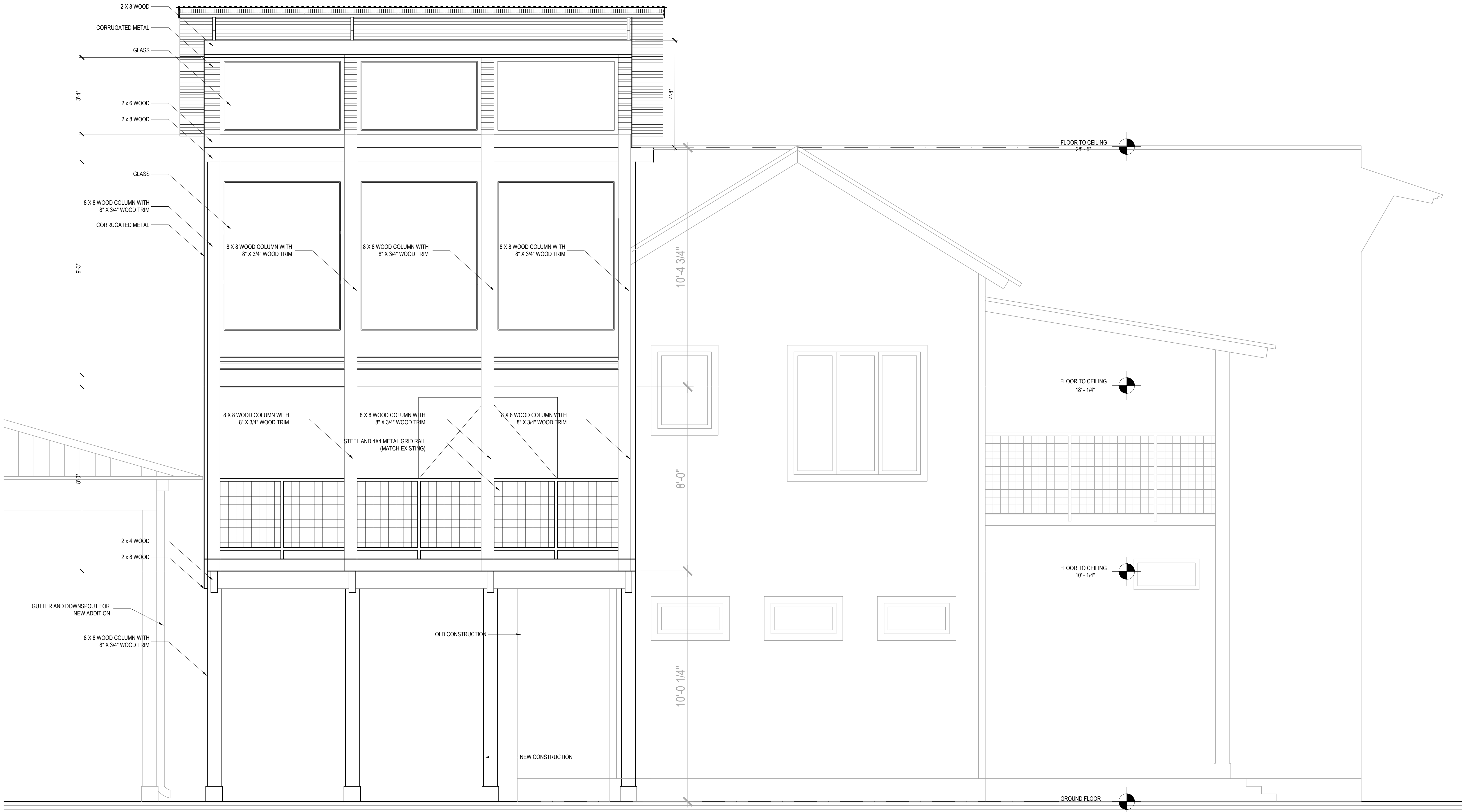
North Building Section
2.2

DATE
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A4.03



1 NORTH ELEVATION
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North Elevation

DATE

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A4.04