

# HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2017

**HDRC CASE NO:** 2017-414  
**ADDRESS:** 115 BROADWAY  
**LEGAL DESCRIPTION:** NCB 417 BLK 19 LOT 3 ARB A-6  
**ZONING:** D,HS  
**CITY COUNCIL DIST.:** 1  
**LANDMARK:** Lockwood Bank  
**APPLICANT:** Ann McGlone/Ann Benson McGlone LLC  
**OWNER:** Craig Lannom/Maverick Whiskey, LLC  
**TYPE OF WORK:** Exterior alterations, construction of rear loading dock  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove existing awning brackets from front façade windows.
2. Remove non-historic planters from the front of the lot.
3. Clean and re-point the façade where required.
4. Remove an existing rear fire escape.
5. Remove three existing rear stairwell doors and enclose the openings.
6. Remove an existing rear window and install a large overhead door.
7. Construct a new loading dock at the rear of the structure.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Façade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

### 2. Materials: Masonry and Stucco

#### A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition.

when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.

iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.

iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

## B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Replacement*—Replace missing or significantly damaged metal features in-kind or with a substitute compatible in size, form, material, and general appearance to the historical feature when in-kind replacement is not possible.

ii. *Rust*—Select replacement anchors of stainless steel to limit rust and associated expansion that can cause cracking of the surrounding material such as wood or masonry. Insert anchors into the mortar joints of masonry buildings.

iii. *New metal features*—Add metal features based on accurate evidence of the original, such as photographs. Base the design on the architectural style of the building and historic patterns if no such evidence exists.

## 6. Architectural Features: Doors, Windows, and Screens

### A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.

iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

iv. *Screens and shutters*—Preserve historic window screens and shutters.

v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

viii. *Security bars*—Install security bars only on the interior of windows and doors.

ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.

x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

## 10. Commercial Facades

### A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

### 11. Canopies and Awnings

#### A. MAINTENANCE (PRESERVATION)

- i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.
- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building facade to which they will be attached. See UDC Section 35-609(j).
- iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
- iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
- v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.
- vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the facade.

### *Historic Design Guidelines, Chapter 6, Guidelines for Signage*

#### 1. General

##### A. GENERAL

- i. *Number and size*—Each building will be allowed one major and two minor signs. Total requested signage should not exceed 50 square feet.
- ii. *New signs*—Select the type of sign to be used based on evidence of historic signs or sign attachment parts along the building storefront where possible. Design signs to respect and respond to the character and/or period of the area in which they are being placed. Signs should identify the tenant without creating visual clutter or distracting from building features and historic districts.
- iii. *Scale*—Design signage to be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of window and door openings. Scale signage (in terms of its height and width) to be subordinate to the overall building composition.

##### B. HISTORIC SIGNS

- i. *Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.
- ii. *Maintenance*—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

## **FINDINGS:**

- a. The structure located at 115 Broadway is a locally designated historic landmark, with the common name Lockwood Bank. The 3-story structure was constructed in 1918 in the Neoclassical style. The front façade features a dominant central entryway, four two-story fluted Doric pilasters, and four carved wreaths located above the pilasters in the frieze. The building was designated on October 27, 1988 as part of a comprehensive ordinance that landmarked nearly 1,100 structures in San Antonio.
- b. **AWNING REMOVAL** – The applicant is proposing to remove two non-original metal awning structures above the first floor windows on the front façade. Historic photos reveal that no awnings of any kind were featured on the façade originally. The awning structures are made of a lightweight metal and do not serve a functional purpose. Staff finds their removal acceptable.
- c. **PLANTER REMOVAL** – The applicant has proposed to remove four non-historic planters from the front of the lot. The planters are made of concrete and feature carved faces of lions. The planters are located beneath the first floor windows behind an existing wrought iron fence. Historic photos reveal that no planters were included in this location, or elsewhere on the property, originally. Staff finds their removal acceptable.
- d. **FAÇADE REPAIR** – The applicant has proposed to clean and re-point the façade where required. The applicant has stated that the cleaning procedure will use low-pressure hot water and a mild detergent if required. According to the Historic Design Guidelines for Exterior Maintenance and Alterations 2.A.iv, the gentlest means possible should be utilized when cleaning masonry. Any abrasive, strong chemical, sandblasting, or high-pressure cleaning method should be avoided. Guideline 2.B.ii states that any repointing of historic masonry should use mortar that matches the original in color, profile, and composition, as incompatible mortar can exceed the strength of historic masonry and cause deterioration. Staff finds the proposal consistent with the Guidelines with the stipulations listed in the recommendation.
- e. **FIRE ESCAPE REMOVAL** – The applicant has proposed to remove a fire escape and railing from the rear façade of the structure. The fire escape is constructed of metal and originally provided alley access from three rear doors. Currently, the structure does not serve a dedicated purpose and has fallen into disrepair. The fire escape is not a character defining feature of this structure and is not visible from the public right-of-way. Staff finds its removal acceptable based on these considerations.
- f. **REAR STAIRWELL DOOR REMOVAL** – The applicant has proposed to remove three existing doors on the rear façade. These doors lead out onto the rear fire escape to be removed. The applicant has proposed to infill these doors. According to the Historic Design Guidelines for Maintenance and Alterations, historic openings should be preserved, especially when viewable from the public right-of-way. However, these doors cannot be seen from the public right-of-way and look out onto a service alley. These openings are not character defining elements of the original design and their removal will not affect the significance of the property. The doors themselves are also not original. Staff finds the removal of the doors acceptable based on these considerations.
- g. **REAR WINDOW REMOVAL** – The applicant has proposed to remove an existing window opening on the rear façade. The opening will be partially infilled and a new sliding overhead door will be installed to accommodate new loading dock access for the building's new tenant. The existing window is a nine over nine configuration and made of wood. According to the Historic Design Guidelines for Maintenance and Alterations, historic openings should be preserved, especially when viewable from the public right-of-way. However, this window cannot be seen from the public right-of-way and look out onto a service alley. This window is not character defining element of the original design, and its configuration is not stylistically compatible. Staff finds its removal acceptable based on these considerations with the stipulations listed in the Guidelines.
- h. **INSTALLATION OF LOADING DOCK** – The applicant has proposed to construct a new loading dock at the rear of the structure. New concrete will be poured to provide adequate required access for vehicles entering the loading dock off of the existing alley. According to the Historic Design Guidelines for Maintenance and Alterations 10.B.i, new facade elements that alter or destroy the historic building character should not be introduced. The proposed loading dock is a minimal alteration and will accommodate the modern needs of the new tenant without significantly altering the property. The loading dock will also not be viewable from the public right-of-way. Staff finds the proposal consistent with the Guidelines.

## **RECOMMENDATION:**

Item 1, Staff recommends approval of the removal of existing awning brackets based on finding b.

Item 2, Staff recommends approval of the removal of existing planters based on finding c.

Item 3, Staff recommends approval of the façade cleaning and repointing with the following stipulations:

- i. That the applicant uses a low-pressure wash and mild detergent where necessary as listed in the application.
- ii. That the applicant uses a mortar compatible to the original in color, profile, and composition as noted in finding d.

Item 4, Staff recommends approval of the removal of an existing rear fire escape and railing based on finding e.

Item 5, Staff recommends approval of the removal of three rear doors based on finding f.

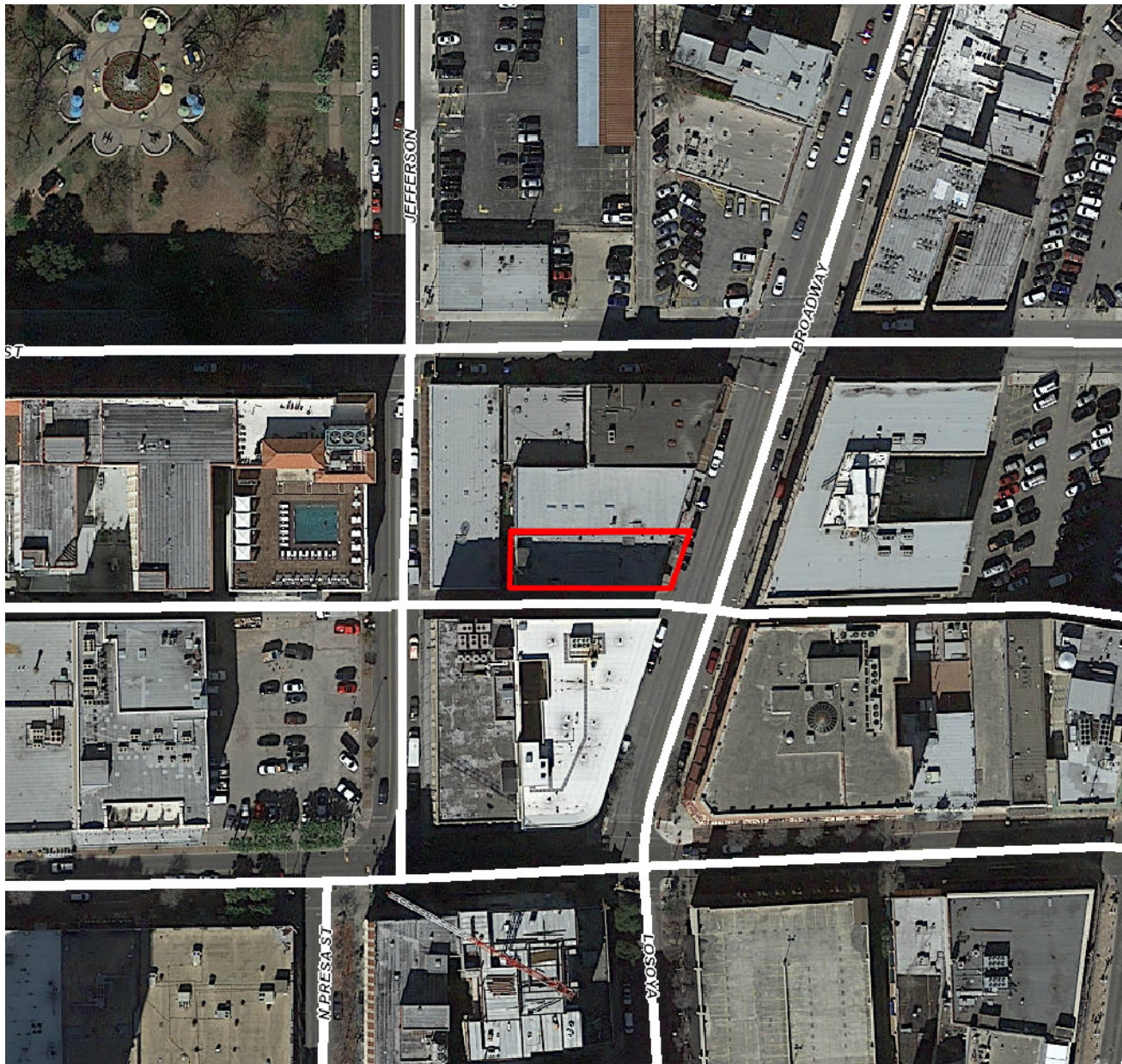
Item 6, Staff recommends approval of the removal of a rear window based on finding g with the stipulation that the applicant salvage the window and store it safely on site in the event that a future tenant would like to utilize it.

Item 7, Staff recommends approval of the installation of a rear loading dock based on finding h.

The applicant will return with a separate request for final approval of a signage package for the complex.

**CASE MANAGER:**

Stephanie Phillips



## Flex Viewer

Powered by ArcGIS Server

Printed: Aug 03, 2017

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Maverick Whiskey- Lockwood Bank  
115 Broadway Street, San Antonio, TX



Aerial View of the Maverick Whiskey- Lockwood Bank

## Maverick Whiskey- Lockwood Bank



Front Elevation of the Maverick Whiskey- Lockwood Bank

## Maverick Whiskey- Lockwood Bank



Alley of building looking West

HDRC Application 115 BROADWAY  
DETAILED DESCRIPTION OF WORK

The Lockwood Bank is a City of San Antonio Landmark. The new owner Maverick Whiskey, LLC is converting the building into a whiskey distillery, bar and event center.

The work on the exterior is minimal. The front façade will have the non-historic window awning brackets removed, as well as non-historic planters. The façade will be cleaned and re-pointed as required. The cleaning will use low pressure hot water and a mild detergent if necessary.

All historic windows and doors on the front and side alley elevations will remain. Modifications to the rear alley include removal of a window on the ground floor and the addition of a larger overhead door; removal of existing fire escape; removal of stairwell doors and walling up of door openings; removal of stoop and stairs; addition of a new loading dock.



PHOTOGRAPH OF 115 BROADWAY IN THE LATE 1920'S WITH A MODEL T TYPE CAR IN THE ALLEY.

-UNKNOWN SOURCE-

## Maverick Whiskey- Lockwood Bank



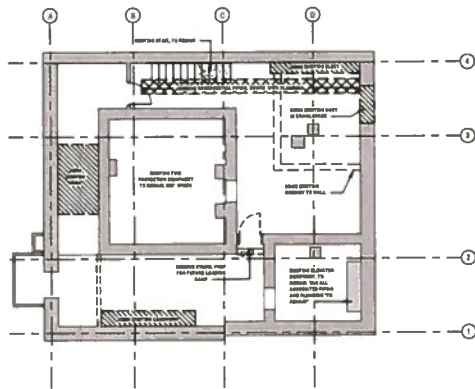
Alley of building looking East

## Maverick Whiskey- Lockwood Bank

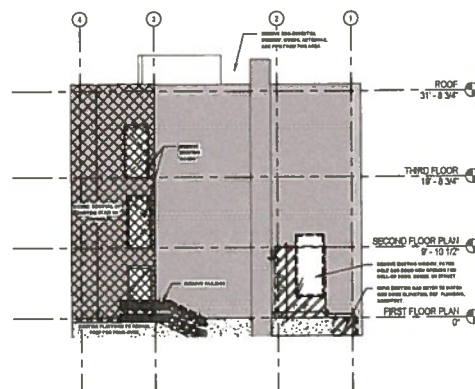


Rear elevation showing fire escape, rear windows and doors

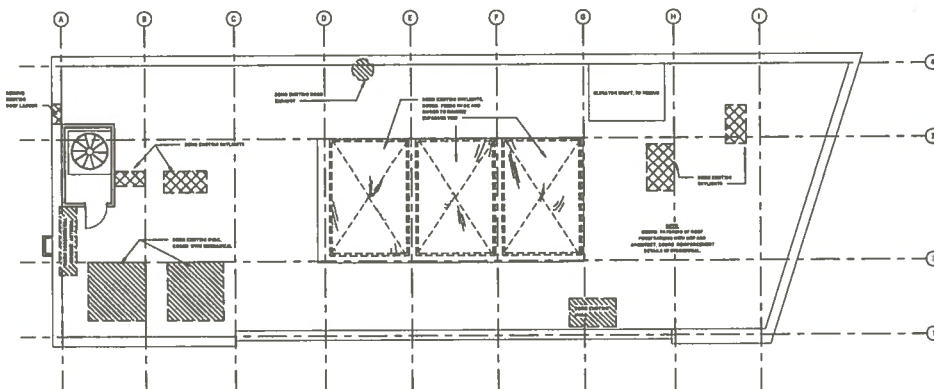
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1 BASEMENT - DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



3 DEMO ELEVATION  
SCALE: 1/8" = 1'-0"



2 DEMO PLAN - ROOF  
SCALE: 1/8" = 1'-0"

# DEMOLITION GENERAL NOTES:

1. REFER TO NEW CONSTRUCTION PLANS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
2. WHERE M.E.P. ITEMS ARE REMOVED, REPAIR THE OPENING THRU WALLS, FLOORS, ROOFS, ETC. TO MATCH THE EXISTING SURROUNDING SURFACES.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, EQUIPMENT AND FURNITURE THAT IS TO BE LEFT IN PLACE.
4. WHERE CEILING ARE REMOVED ALL ASSOCIATED ITEMS, SUCH AS LIGHTS, GRID, DIFFUSERS, SUSPENSION WEARS, ETC. SHALL ALSO BE REMOVED.
5. ALL M.E.P. SYSTEMS AND MATERIALS THAT ARE ABANDONED SHALL BE REMOVED.
6. THE GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN SATISFACTORY BARICADES AND OR OTHER SUITABLE BARRIERS AS REQUIRED TO PROVIDE PROTECTION TO THE PUBLIC AND WORKERS DURING ALL DEMOLITION ACTIVITIES.
7. CUT, REMOVE, PATCH AND SEAL AS REQUIRED, WALLS AND FLOORS FOR INSTALLATION OF PIPING, CONDUIT, DUCT WORK, ETC.
8. ALL NON-REMOVED, EXISTING ELECTRICAL CONDUCTORS ASSOCIATED WITH REMOVED AND/OR RELOCATED EQUIPMENT, DEVICES, FIXTURES, ETC. ARE TO BE REMOVED COMPLETELY BACK TO THE PANELED OR BOXED OUTLET REMAINING IN SERVICE. REMOVE ALL CONDUIT TO BELOW FINISHED SURFACE AND PROVIDE BLANK COVER PLATE OR PROPERLY SEAL AS APPLICABLE. MAKE NECESSARY PROVISIONS TO MAINTAIN UNINTERRUPTED OPERATION OF REMAINING OUTLET DEVICES ON AFFECTED CIRCUITS.
9. PROVIDE ALL NECESSARY JUNCTION BOXES, RACEWAY EXTENSIONS, CONDUCTORS, SUPPORTS, FASTENERS, TERMINATIONS, ETC. REQUIRED TO PROPERLY INSTALL NEW AND RELOCATED EQUIPMENT, DEVICES, FIXTURES, ETC. PROVIDE CONCEALED RACEWAY WHENEVER POSSIBLE.
10. SUPPORT ALL NEW AND RELOCATED LIGHTING FIXTURES FROM BUILDING STRUCTURES, NOT FROM CEILING SYSTEMS.
11. RELOCATE EXISTING OUTLET BOXES, CONDUIT, CONDUCTORS, ETC. AS REQUIRED TO CLEAR NEW CONSTRUCTION OPENINGS CUT THRU WALLS, FLOORS, CEILING AND ROOFS, AND AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW SYSTEMS. ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
12. WHERE PARTITION REMOVAL EXPOSES EXISTING FACILITIES TO REMAIN, RELOCATED EXPOSED FACILITIES OR SERVICES, ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
13. REMOVE ALL FOUNDATION, SUPPORTS AND PADS SERVING REMOVED EQUIPMENT.
14. COORDINATE REPAIRS OF ALL DAMAGED/UNFINISHED WALLS, FLOORS, CEILING AND ROOF SURFACES AND PENETRATIONS WITH ARCHITECT.
15. PATCH, REPAIR AND/OR PREPARE ALL INTERIOR WALL SURFACES IN REMODELED AREAS TO RECEIVE NEW PAINT AND/OR OTHER FINISHES AS SCHEDULED.
16. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION EQUIPMENT AND FURNITURE THAT IS TO BE LEFT IN PLACE.
17. ALL DEMOLITION ACTIVITIES MUST BE COORDINATED WITH THE CONSTRUCTION PHASING PLANS.
18. SEE M.E.P. DEMOLITION PLANS FOR ALL M.E.P. ITEMS. SEE STRUCTURAL DEMOLITION PLANS FOR ALL STRUCTURAL ITEMS. SEE CIVIL DEMOLITION PLANS FOR ALL SITE RELATED ITEMS.
19. WHERE NEW PIPING, CONDUIT OR DUCTWORK PENETRATES EXISTING RATED WALLS, THE PENETRATIONS SHALL BE SEALED AS REQUIRED TO MAINTAIN THE FIRE RATING OF THE CONDITION.
20. THE OWNER HAS THE RIGHT TO SALVAGE ANY AND ALL DEMOLISHED MATERIALS THAT ARE SCHEDULED FOR DEMOLITION BY THE CONTRACTOR.
21. ITEMS OR MATERIALS THAT ARE TO REMAIN, SHALL BE PATCHED, CLEANED, RUBBED, BANDED, FLOATED, ETC. TO A "LIKE NEW" CONDITION, AS TO MATCH ADJACENT NEW SCHEDULED MATERIALS.
22. WHERE A WALL IS KEYED TO BE REMOVED, ALL ITEMS ASSOCIATED WITH THAT WALL SHALL ALSO BE REMOVED, SUCH AS, DOORS, WINDOWS, CABINETS, ETC.
23. WHERE CEILING GRID AND TILES ARE TO BE REMOVED, THE CONTRACTOR SHALL REMOVE ANY BATT INSULATION THAT IS INSTALLED ABOVE THE EXISTING CEILING.
24. REMOVE EXISTING ROOFING, ROOF FLASHING AND ROOF TOP EQUIPMENT AS REQUIRED FOR NEW CONSTRUCTION.
25. CONTRACTOR SHALL PROPERLY REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS. ANY HAZARDOUS MATERIALS ARE TO BE PROPERLY REMOVED AND DISPOSED OF ACCORDING TO OSHA, CITY, COUNTY, STATE AND FEDERAL GUIDELINES.
26. WHERE MATERIALS ARE REMOVED FOR THE PURPOSE OF RELOCATION ELSEWHERE IN THE PROJECT, CONTRACTOR SHALL PROTECT MATERIALS FROM DAMAGE DURING TRANSPORT TO NEW LOCATION AND SHALL PROPERLY STORE MATERIALS, IF REQUIRED, UNTIL INCORPORATED IN THE WORK.
27. CONTRACTOR SHALL PATCH AND REPAIR AREAS WHERE TRENCHING WILL OCCUR THROUGH CONCRETE AND/OR ASPHALT SURFACES, CURBS, WALLS, ETC. THAT ARE TO REMAIN INTACT DURING DEMOLITION.
28. CONCRETE SURFACES MUST BE CLEAN AND SOUND. ALL OIL, DIRT, DEBRIS, PAINT AND UNBOUND CONCRETE MUST BE REMOVED. THE SURFACE MUST BE PREPARED MECHANICALLY USING A SCABBLER, BRUSH HAMMER, CHIPPING HAMMER, BRITSLANT OR SCABBLER, WHICH WILL GIVE A SURFACE A PROFILE OF A MINIMUM 1/8" (3 MM) AND EXPOSE THE COARSE AGGREGATE OF THE CONCRETE. THE FINAL STEP IN CLEANING, SHALL BE THE COMPLETE REMOVAL OF ALL OIL, DIRT AND RESIDUE BY PRESSURE WASHING AND/OR VACUUM. MINIMUM TOPPING DEPTH SHALL BE 1/2".

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Revisions		
Number	Description	Date

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MAVERICK WHISKEY

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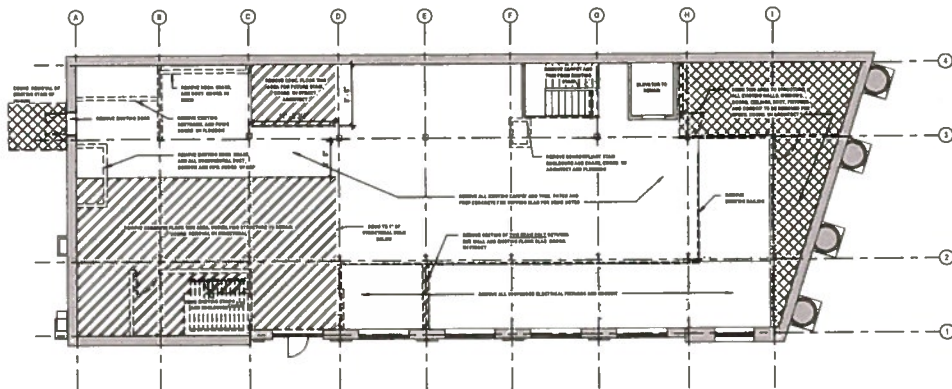
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drawn by:	Author
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drawing title:	BASEMENT AND ROOF - DEMOLITION PLAN
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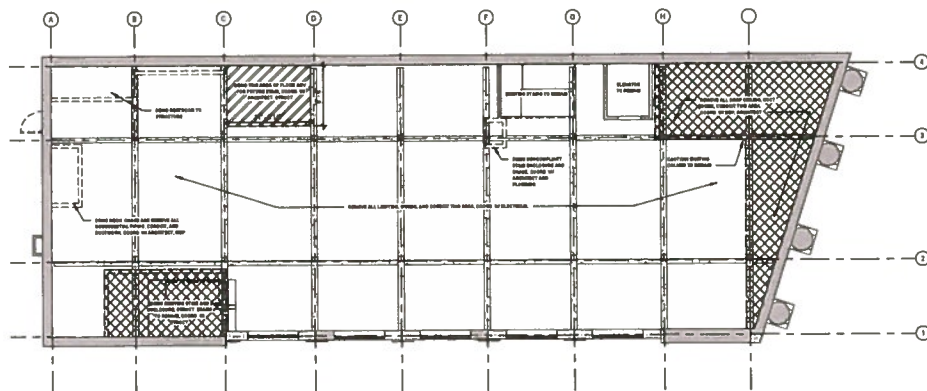
# 1 SECOND FLOOR - DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



# 2 SECOND FLOOR - DEMOLITION RCP

SCALE: 1/8" = 1'-0"



## DEMOLITION GENERAL NOTES

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2. WHERE M.E.P. ITEMS ARE REMOVED, REPAIR THE OPENING THRU WALLS, FLOORS, ROOFS, ETC., TO MATCH THE EXISTING SURROUNDING SURFACES.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, EQUIPMENT AND FURNITURE THAT IS TO BE LEFT IN PLACE.
4. WHERE CEILING ARE REMOVED ALL ASSOCIATED ITEMS, SUCH AS LIGHTS, GRID SUPPLIES, SUBSTANCES, ETC., SHALL ALSO BE REMOVED.
5. ALL M.E.P. SYSTEMS AND MATERIALS THAT ARE ABANDONED SHALL BE REMOVED.
6. THE GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN SATISFACTORY BARRETTING AND OTHER SAFETY BARRIERS AS REQUIRED TO PROVIDE PROTECTION TO THE PUBLIC AND WORKERS DURING ALL DEMOLITION ACTIVITIES.
7. CUT, REMOVE, PATCH AND SEAL, AS REQUIRED, WALLS AND FLOORS FOR INSTALLATION OF PIPING, CONDUIT, DUCT WORK, ETC.
8. ALL NON-REMOVED EXISTING ELECTRICAL CONDUCTORS ASSOCIATED WITH REMOVED AND/OR RELOCATED EQUIPMENT, DEVICES, PICTURES, ETC., ARE TO BE REMOVED COMPLETELY BACK TO THE PANELBOARD OR NEXT OUTLET REMAINING IN SERVICE. REMOVE ALL CONDUIT TO BELOW FINISHED SURFACE AND PROVIDE BLANK COVER PLATE OR PROPERLY SEAL AS APPLICABLE. MAKE NECESSARY PROVISIONS TO MAINTAIN UNINTERRUPTED OPERATION OF REMAINING OUTLET DEVICES ON AFFECTED CIRCUITS.
9. PROVIDE ALL NECESSARY JUNCTION BOXES, RACEWAY EXTENSION, CONDUCTORS, SUPPORTS, FASTENERS, TERMINATIONS, ETC. REQUIRED TO PROPERLY INSTALL NEW AND RELOCATED EQUIPMENT, DEVICES, PICTURES, ETC. PROVIDE CONCEALED RACEWAY WHENEVER POSSIBLE.
10. SUPPORT ALL NEW AND RELOCATED LIGHTING FIXTURES FROM BUILDING STRUCTURES, NOT FROM CEILING SYSTEMS.
11. RELOCATE EXISTING OUTLET BOXES, CONDUIT, CONDUCTORS, ETC., AS REQUIRED TO CLEAR NEW CONSTRUCTION OPENINGS CUT THRU WALLS, FLOORS, CEILING AND ROOFS, AND AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW SYSTEMS. ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
12. WHERE PARTITION REMOVAL EXPOSES EXISTING FACILITIES TO REMAIN, RELOCATED EXPOSED FACILITIES OR SERVICES, ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
13. REMOVE ALL FOUNDATION, SUPPORTS AND PADS SERVING REMOVED EQUIPMENT.
14. COORDINATE REPAIRS OF ALL DAMAGED/UNFINISHED WALLS, FLOORS, CEILING AND ROOF SURFACES AND PENETRATIONS WITH ARCHITECT.
15. PATCH, REPAIR AND/OR PREPARE ALL INTERIOR WALL SURFACES IN REMODELED AREAS TO RECEIVE NEW PAINT AND/OR OTHER FINISHES AS SCHEDULED.
16. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION EQUIPMENT AND FURNITURE THAT IS TO BE LEFT IN PLACE.
17. ALL DEMOLITION ACTIVITIES MUST BE COORDINATED WITH THE CONSTRUCTION PHASING PLANS.
18. SEE M.E.P. DEMOLITION PLANS FOR ALL M.E.P. ITEMS.
19. SEE STRUCTURAL DEMOLITION PLANS FOR ALL STRUCTURAL ITEMS.
20. SEE CIVIL DEMOLITION PLANS FOR ALL SITE RELATED ITEMS.
21. WHERE NEW PIPING, CONDUITS OR DUCTWORK PENETRATES EXISTING RATED WALLS, THE PENETRATIONS SHALL BE SEALED AS REQUIRED TO MAINTAIN THE FIRE RATING OF THE CONSTRUCTION.
22. THE OWNER HAS THE RIGHT TO SALVAGE ANY AND ALL DEMOLISHED MATERIALS THAT ARE SCHEDULED FOR DEMOLITION BY THE CONTRACTOR.
23. ITEMS OR MATERIALS THAT ARE TO REMAIN, SHALL BE PATCHED, CLEANED, RUBBED, SANDED, FLATTED, ETC. TO A LIKE NEW CONDITION, AS TO MATCH ADJACENT NEW SCHEDULED MATERIALS.
24. WHERE A WALL IS KEPT TO BE REMOVED, ALL ITEMS ASSOCIATED WITH THAT WALL SHALL ALSO BE REMOVED, SUCH AS, DOORS, WINDOWS, CABINETS, ETC.
25. WHERE CEILING GRID AND TILES ARE TO BE REMOVED, THE CONTRACTOR SHALL REMOVE ANY BATT INSULATION THAT IS INSTALLED ABOVE THE EXISTING CEILING.
26. REMOVE EXISTING ROOFING, ROOF FLASHING AND ROOF TOP EQUIPMENT AS REQUIRED FOR NEW CONSTRUCTION.
27. CONTRACTOR SHALL PROPERLY REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS. ANY HAZARDOUS MATERIALS ARE TO BE PROPERLY REMOVED AND DISPOSED OF ACCORDING TO, OHIA, CITY, COUNTY STATE AND FEDERAL GUIDELINES.
28. WHERE MATERIALS ARE REMOVED FOR THE PURPOSE OF RELOCATION ELSEWHERE IN THE PROJECT, CONTRACTOR SHALL PROTECT MATERIALS FROM DAMAGE DURING TRANSPORT TO NEW LOCATION AND SHALL PROPERLY STORE MATERIALS, IF REQUIRED, UNTIL INCORPORATED IN THE WORK.
29. CONTRACTOR SHALL PATCH AND REPAIR AREAS WHERE TRENCHING WILL OCCUR THROUGH CONCRETE AND/OR ASPHALT SURFACES, CURBS, WALLS, ETC., THAT ARE TO REMAIN INTACT DURING DEMOLITION.
30. CONCRETE SURFACES MUST BE CLEAN AND ROUGH. ALL OIL, DIRT, DEBRIS, PAINT AND UNBOUND CONCRETE MUST BE REMOVED. THE SURFACE MUST BE PREPARED MECHANICALLY USING A SCRAPER, BUSH HAMMER, CHIPPING HAMMER, HYDRAULIC OR SCRAMBLER, WHICH WILL GIVE A SURFACE A PROFILE OF A MINIMUM .08" (2 MM) AND EXPOSE THE CONCRETE AGGREGATE TO A DEPTH OF A MINIMUM .08" (2 MM). THE FINAL STEP IN CLEANING, SHALL BE THE COMPLETE REMOVAL OF ALL DIRT, GRIT AND RESIDUE BY PRESSURE WASHING AND/OR VACUUM. UNBOUND TOPPING DETH SHALL BE 1/2"

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Revisions		
Number	Description	Date

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AD102





1. REPAIR TO HOW CONSTRUCTION PLANS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
2. WHERE ALL MEP ITEMS ARE REMOVED, REPAIR THE OPENING THRU WALLS, FLOORS, ROOF, ETC. TO MATCH THE EXISTING SURROUNDING SURFACE.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, EQUIPMENT AND MATERIALS THAT ARE TO REMAIN.
4. WHERE CEILING ARE REMOVED ALL ASSOCIATED ITEMS, SUCH AS LIGHT, GRID, DIFFUSERS, SUSPENSION WIRE, ETC. SHALL ALSO BE REMOVED.
5. ALL MEP SYSTEMS AND MATERIALS THAT ARE ABANDONED SHALL BE REMOVED.
6. THE GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN SATISFACTORY BARRIERS AND OR OTHER ABANDON BARRIERS AS REQUIRED TO PROVIDE PROTECTION TO THE PUBLIC AND WORKERS DURING ALL DEMOLITION ACTIVITY.
7. CUT, REMOVE, PATCH AND SEAL, AS REQUIRED, WALLS AND FLOORS FOR INTERIOR REMOVAL OF PRING, CONDUITS, AND WORK.
8. ALL NON-REMOVED, EXISTING ELECTRICAL CONDUIT OR ASSOCIATED WITH REMOVED OR/AND RELOCATED EQUIPMENT, DEVICES, FITTINGS, ETC. ARE TO BE REMOVED COMPLETELY. BARE CONDUIT SHALL BE CUT TO BELOW FINISHED BURNING AND PROVIDE SLAB COVER PLATE OR PROPERLY SEAL AS APPLICABLE. MAKE CONNECTIONS TO EXISTING OR NEW UNTERMINATED OPERATION OF REMAINING OUTLET DEVICES ON ASSPECTED CIRCUITS.
9. PROVIDE ALL NECESSARY JUNCTION BOXES, RACEWAY EXTENSIONS, CONDUIT, SUPPORTS, ETC. TO BE REMOVED OR RELOCATED. REFERENCED TO PROPERLY INSTALL NEW AND RELOCATED EQUIPMENT, DEVICES, FITTINGS, ETC. PROVIDE CONCEALED RACEWAY WHENEVER POSSIBLE.
10. SUPPORT ALL NEW AND RELOCATED LIGHTING FIXTURES FROM BUILDING STRUCTURES, NOT FROM CEILING SYSTEMS.
11. RELOCATE EXISTING OUTLET BOXES, CONDUIT, CONDUCTORS, ETC. AS REQUIRED TO CLEAR NEW CONSTRUCTION OPENINGS CUT THRU WALLS, FLOORS, CEILING AND ROOF AND AS REQUIRED TO PROVIDE PROTECTION TO THE NEW SYSTEMS. ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
12. WHERE PARTITION REMOVAL EXPOSES EXISTING FACILITIES TO REMAIN, RELOCATED EXPOSED FACILITIES OR SERVICES, ROUTE CONCEALED RACEWAY WHENEVER POSSIBLE.
13. REMOVE ALL FOUNDATION, SUPPORTS AND PASS SERVING REMOVED EQUIPMENT.
14. COORDINATE REPAIRS OF ALL DAMAGE/DAMAGED/FINISHED WALLS, FLOORS, CEILING AND ROOF SURFACES AND PENETRATIONS WITH ARCHITECT.
15. PATCH, REPAIR AND/OR PREPARE ALL INTERIOR WALL SURFACES IN RELOCATED AREAS TO RECEIVE NEW PAINT AND/OR OTHER FINISHES AS SCHEDULED.
16. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION EQUIPMENT AND MATERIALS THAT ARE TO REMAIN.
17. ALL DEMOLITION ACTIVITIES MUST BE COORDINATED WITH ALL DEMOLISHED MATERIALS (CONSTRUCTION PHASED PLANS).
18. OBEY M.S.P. DEMOLITION PLANNER FOR ALL M.S.P. ITEMS.
19. REMOVE ALL REMOVED MATERIALS, SUCH AS CONCRETE, METALLIC MATERIALS, SEE CIVIL DEMOLITION PLANNER FOR ALL SITE RELATED ITEMS.
20. WHERE NEW PRING, CONDUITS OR DUCTWORK PENETRATES EXISTING RATED WALLS, THE PENETRATIONS SHALL BE SEALED AS REQUIRED TO MAINTAIN THE FIRE RATING OF THE WALL.
21. THE OWNER HAS THE RIGHT TO VALUATE ANY AND ALL DEMOLISHED MATERIALS THAT ARE SCHEDULED FOR DEMOLITION BY THE CONTRACTOR.
22. ITEMS OR MATERIALS THAT ARE TO REMAIN, SHALL BE PROTECTED, CLEANED, RELOCATED OR/AND RELOCATED TO THE NEW CONSTRUCTION, AS TO MATCH ADJACENT NEW SCHEDULED MATERIALS.
23. WHERE A WALL IS REQUIRED TO BE REMOVED, ALL ITEMS ASSOCIATED WITH THAT WALL SHALL ALSO BE REMOVED, SUCH AS, DOORS, WINDOWS, CABINETS, ETC.
24. WHERE CEILING GRIDS AND TILES ARE TO BE REMOVED, THE CONTRACTOR SHALL REMOVE ANY SILL INSTALLATION THAT IS INSTALLED ABOVE THE EXISTING CEILING.
25. REMOVE EXISTING ROOFING, ROOF FLOORING AND ROOF TOP EQUIPMENT AS REQUIRED FOR NEW CONSTRUCTION.
26. CONTRACTOR SHALL PROPERLY REMOVE FROM THE SITE AND LEGALLY DISPOSAL OF ALL REMOVED MATERIALS. REMOVED MATERIALS ARE TO BE PROPERLY REMOVED AND DISPOSED OF ACCORDING TO, DELA. CITY, COUNTY, STATE OR FEDERAL, JURISDICTION.
27. WHERE MATERIALS ARE REMOVED FOR THE PURPOSE OF RELOCATION ELSEWHERE IN THE PROJECT, CONTRACTOR SHALL PROTECT MATERIALS FROM DAMAGE DURING TRAVEL TO NEW LOCATION AND SHALL PROPERLY STORE MATERIALS IF REQUIRED, UNTIL INCORPORATED IN THE WORK.
28. CONTRACTOR SHALL PATCH AND REPAIR AREAS WHERE TRENCING WALL OR CUT THROUGH CONCRETE AND/OR ASPHALT SURFACE, CURBS, WALLS, ETC. SHALL BE REPAIR TO MATCH EXISTING.
29. CONCRETE SURFACES MUST BE CLEAN AND ROUGH. ALL OIL, DIRT, DEBRIS, PAINT AND UNBAND CONCRETE MUST BE REMOVED. THE SURFACE MUST BE PREPARED MECHANICALLY USING A BRUSH, BRUSH, OR OTHER MEANS, LEAVING AN ALTERNATE OR SCALLOP, WHICH WILL HAVE A SURFACE A PROFILE OF A MINIMUM 1/8" SINCE AND EXPOSE THE COARSE AGGREGATE OF THE CONCRETE. REPAIR WITH CLEAN, FRESH CONCRETE. REPAIR SHALL BE TO MATCH EXISTING SURFACE AND BE PRESURE WASHING AND/OR VACUUM. MINIMUM FINISH SHALL BE: