

HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2017

HDRC CASE NO: 2017-407
ADDRESS: 305 LAMAR ST
LEGAL DESCRIPTION: NCB 519 BLK 24 LOT 12
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Michelle McKenna
OWNER: Michelle McKenna
TYPE OF WORK: Construction of a rear addition
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a rear addition at 305 Lamar.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a

building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

4. Architectural Details

A. GENERAL

i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The structure at 305 Lamar was constructed circa 1910 in the Folk Victorian style and is first found on the 1912 Sanborn Map. At this time, the applicant has proposed to construct a rear addition. The applicant has received administrative approvals in the past for door opening restoration, wood window opening restoration, façade restoration and roof repair. There was an existing addition at this location featuring similar massing and dimensions that was structurally unsound. The applicant removed this addition and began reframing prior to receiving a Certificate of Appropriateness.
- b. **REAR ADDITION** – The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. The applicant has proposed to locate the addition at the rear of the historic structure. The applicant has proposed a shed roof, which is not consistent with the hipped and gabled roof of the primary historic structure. The applicant has proposed an inset on east façade to transition from the historic structure to the proposed addition.
- c. **SCALE, MASSING & FORM** – Regarding scale, massing and form, the applicant has proposed for the addition to feature an overall height and roof form that will be subordinate to that of the primary historic structure. This is consistent with the Guidelines for Additions 1.B.i.
- d. **MATERIALS** – The applicant has noted materials that are to include wood siding, an overhead rolling glass door, fixed windows and an asphalt shingle roof to match that of the historic structure. Staff finds that staff finds that one-over-one wood windows or aluminum-clad wood windows should be used and that the proposed wood siding should match that of the primary historic structure. Staff does not find the proposed overhead rolling door appropriate.
- e. **TRANSITION** – As noted in finding b, the applicant has proposed a transition on the west side of the rear addition; however, that addition should also feature a transition on the east side of the addition that insets it from the wall plane of the primary historic structure.
- f. **ARCHITECTURAL DETAILS** – While the proposed location and overall scale of the addition is appropriate, staff finds that a similar roof form as well as similar window and door openings should be incorporated into the addition to ensure that architectural details are consistent with the Guidelines for Additions.

RECOMMENDATION:

Staff does not recommend approval at this time. Staff recommends the applicant address the inconsistencies with the Guidelines which are noted below prior to receiving final approval.

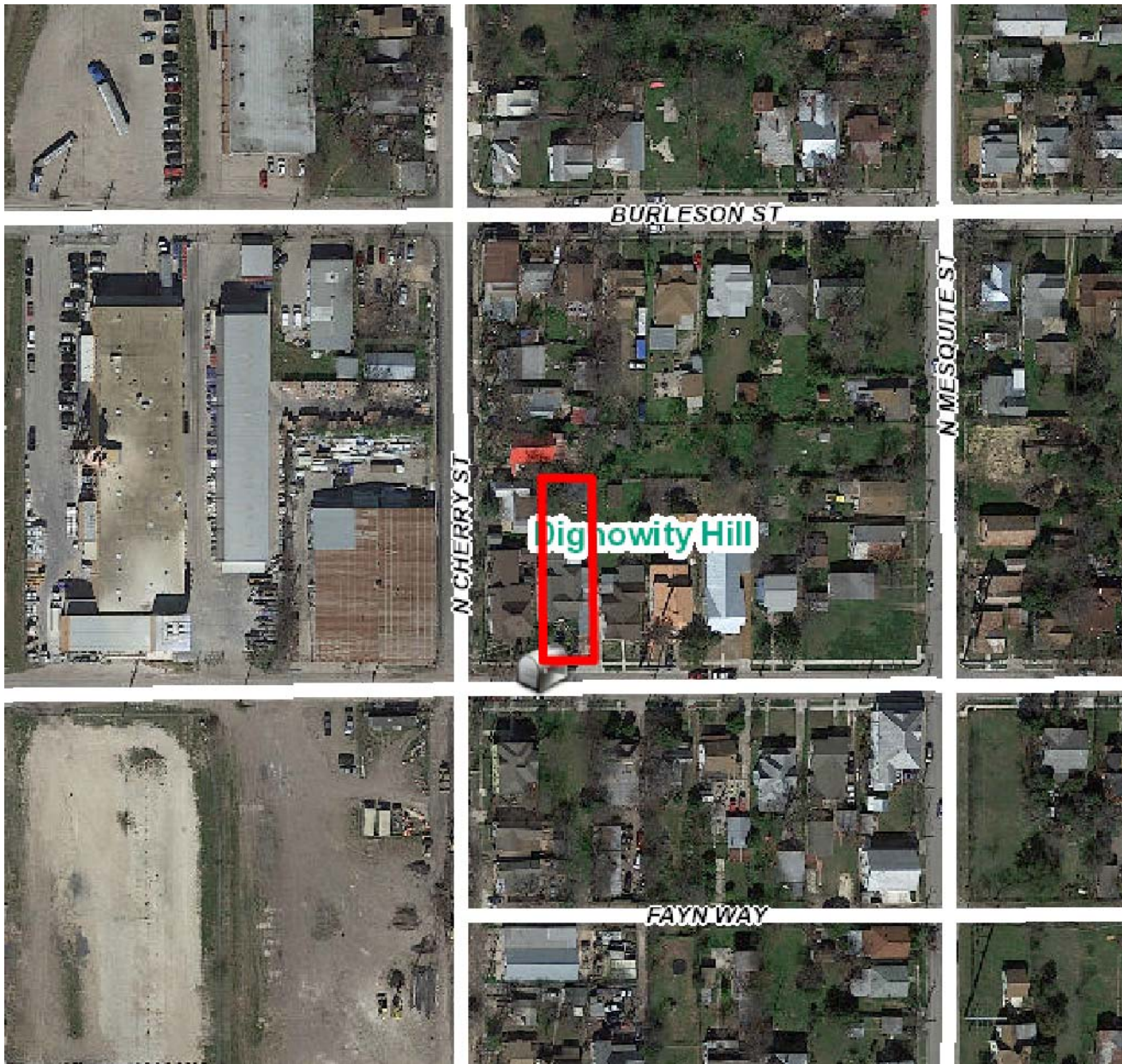
- i. That the applicant install a hipped or gabled roof to relate to those of the primary historic structure as noted in finding f.
- ii. That the applicant install a double-hung, one-over-one wood windows or aluminum-clad wood windows be used based on finding d. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail (need to add detail here). Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- iii. That the applicant install an inset on the east façade to differentiate the addition from the primary historic structure as noted in finding e.

CASE MANAGER:

Edward Hall

CASE COMMENT:

The demolition of the existing, rear addition and construction of the proposed rear addition began prior to receiving a Certificate of Appropriateness.



Flex Viewer

Powered by ArcGIS Server

Printed: Aug 11, 2017

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13300 Old Blanco Rd #301
San Antonio, TX 78216
(210)369-9509

Borrower/Owner: RICKY G CASIAS

Address: 305 LAMAR

GP No. _____

SAN ANTONIO, TX 78202

This survey is hereby accepted with all encroachments, overlaps, conflicts, and discrepancies in improvements, boundary lines, and/or land area.

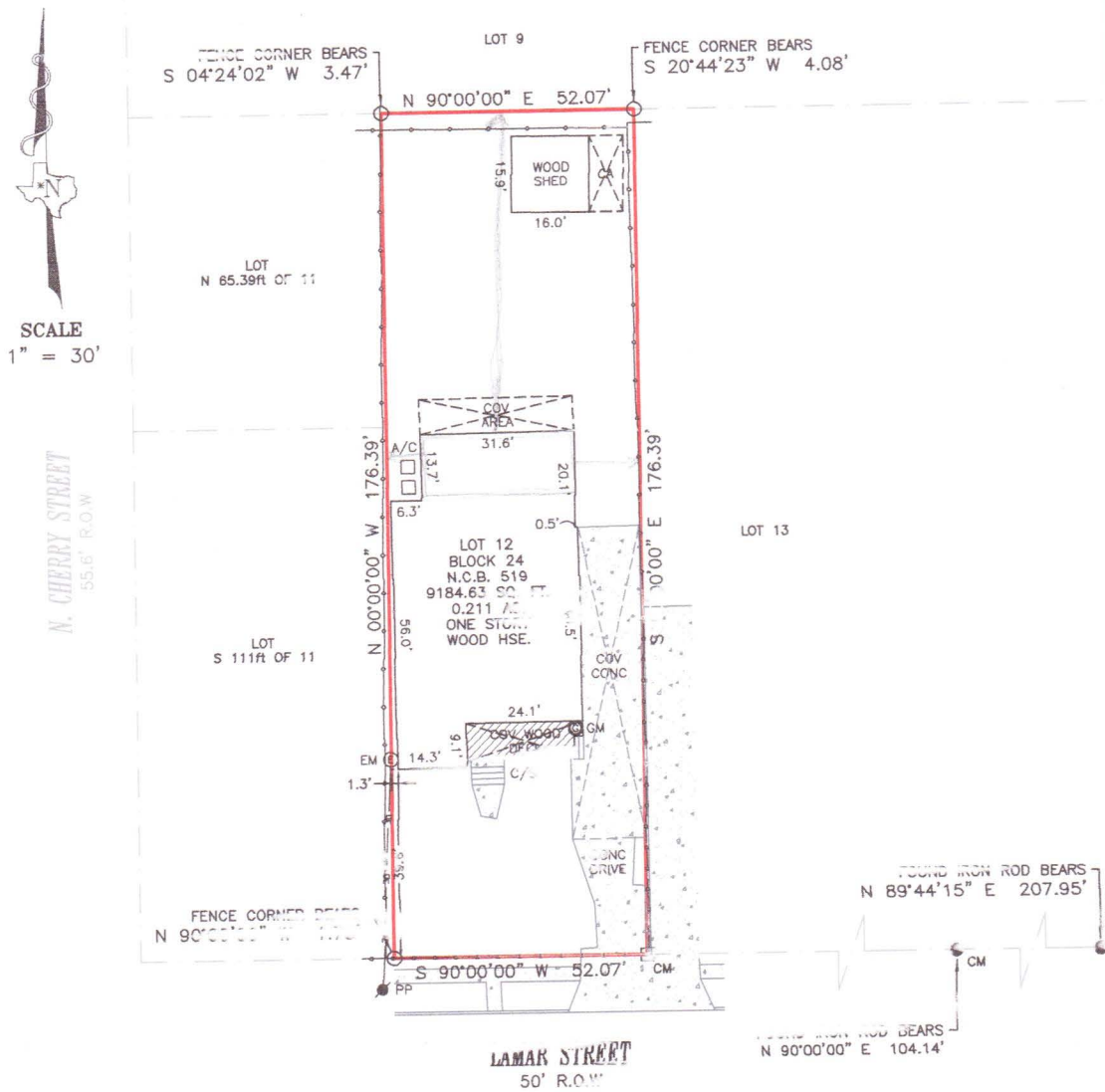
X

X



LEGAL DESCRIPTION

Lot 12, Block 24, NEW CITY BLOCK 519, City of San Antonio, Bexar County, Texas.



SCALE
1" = 30'

N. CHERRY STREET
55.6' R.O.W.

LAMAR STREET
50' R.O.W.

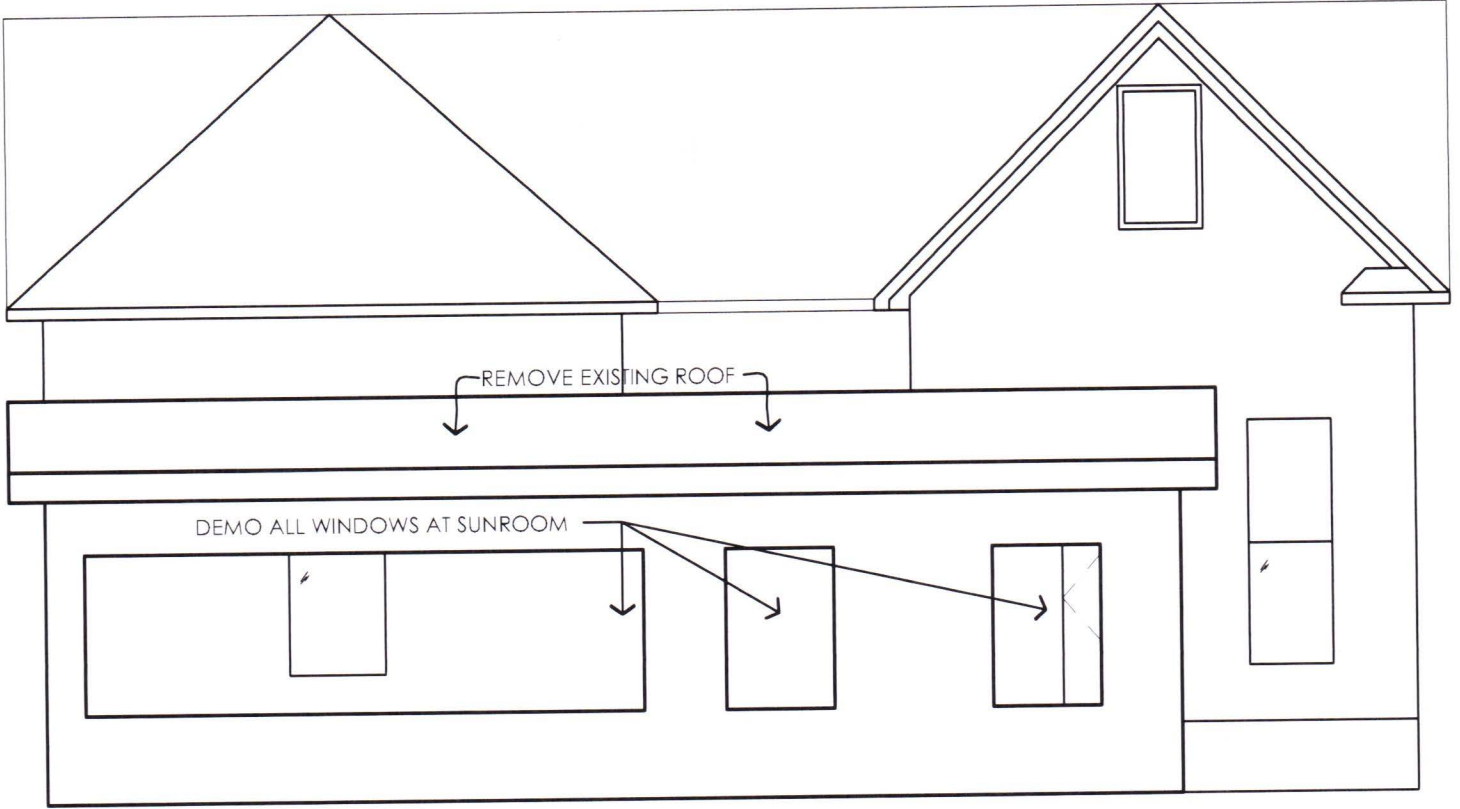
- LEGEND
- BNDRY.
 - EASEMENT
 - OVERHEAD ELECTRIC
 - ELECTRIC METER

NOTES

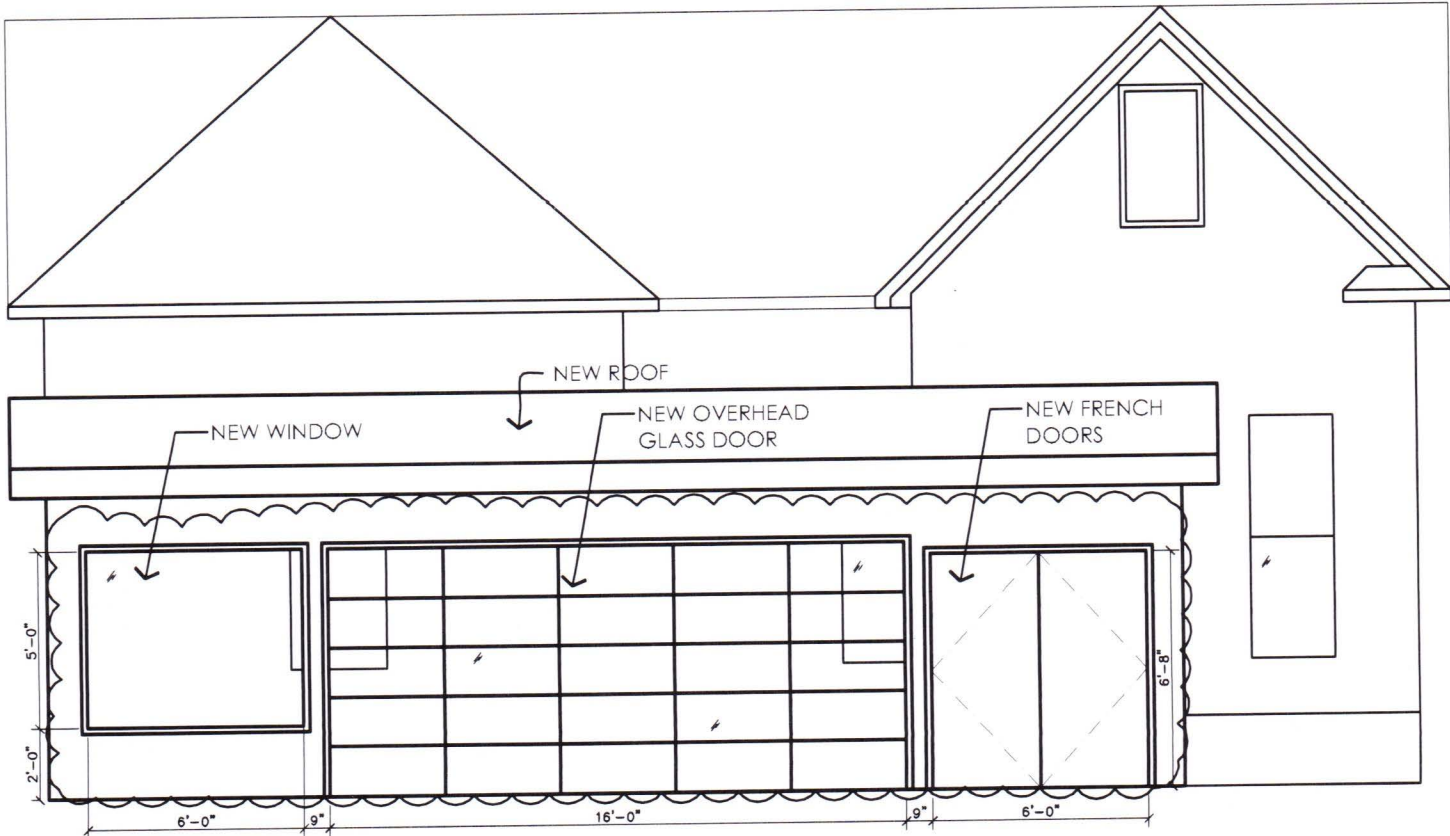
2. THIS SURVEY WAS PREPARED BY THE SURVEYOR AS A PROFESSIONAL SERVICE.

Surveyor's seal and signature area.

Joe B. Crockett



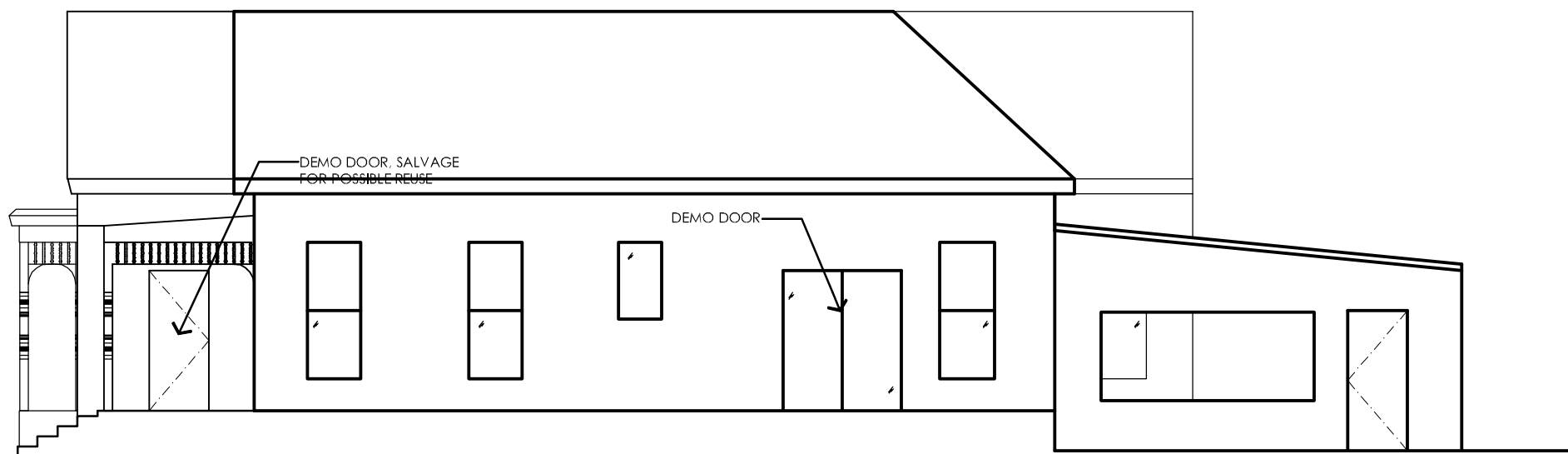
1
1 **EXISTING BACK ELEVATION**
SCALE: 3/16" = 1'-0"



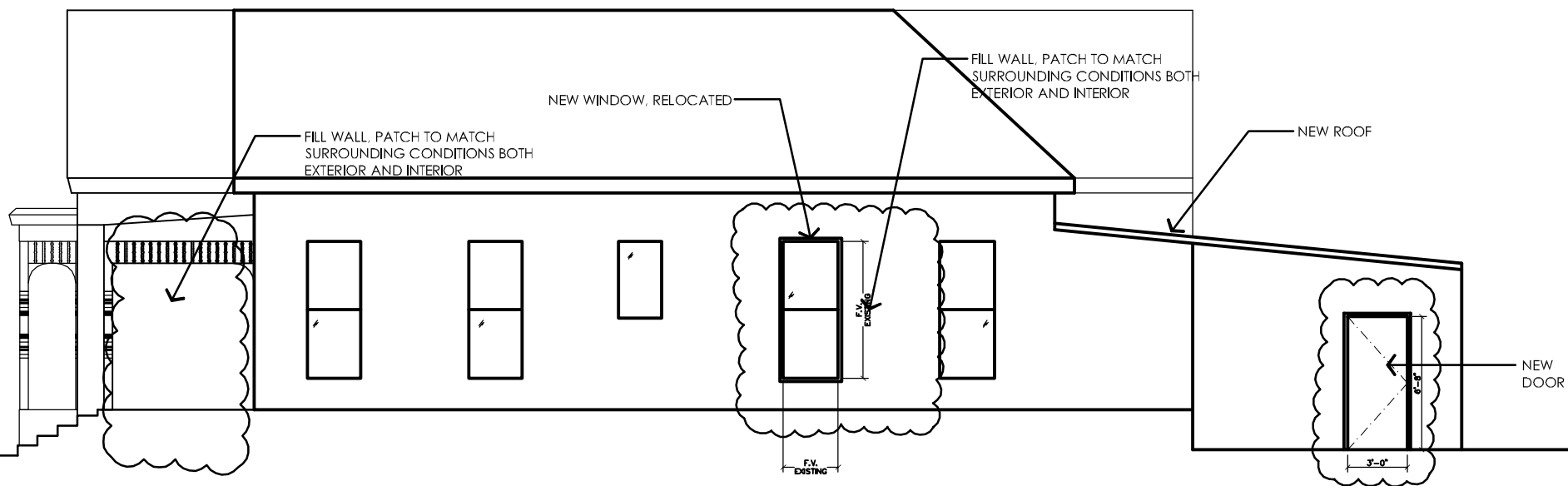
2
1 **NEW BACK ELEVATION**
SCALE: 3/16" = 1'-0"

07.18.2017

LAMAR HOUSE



1
EXISTING SIDE ELEVATION
SCALE: 3/16" = 1'-0"



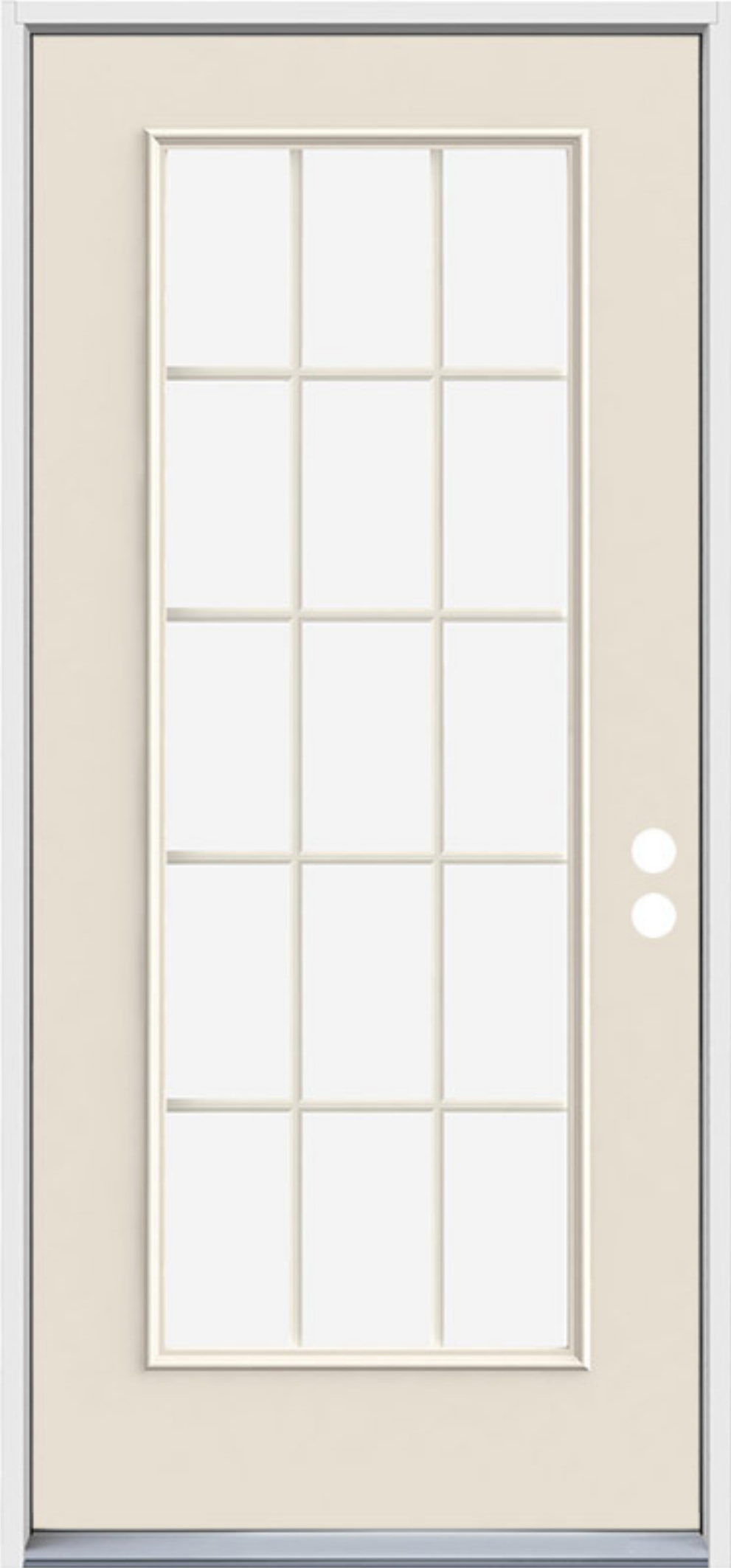
2
NEW SIDE ELEVATION
SCALE: 1/8" = 1'-0"













Aluminum Full-View Series

Modern Perfection.

Expertly engineered of aluminum and glass, our premium full-view garage doors will give your contemporary home the perfect blend of industrial and ultra modern.

ALUMINUM FULL-VIEW SERIES



C.H.I. Aluminum Full-View Series - Options

MODEL DESIGN



PANEL CONSTRUCTION



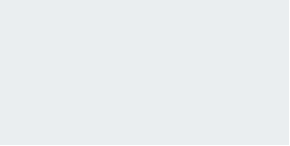
GLASS²



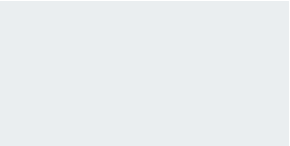
Plain



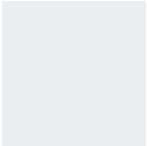
Tinted



Frosted



White Laminated



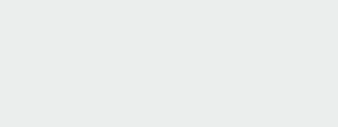
COLORS¹

Anodized



STOCK POWDER COAT COLORS¹

White



Dark Bronze



Black



SPECIFICATIONS

Product	3295
Section Joint	Tongue and groove
Section Thickness	2"
Section Material	Aluminum
Options	
Glass ²	1/8" plain, tinted or frosted (DSB), 1/4" white laminated, 1/8" (polycarbonate), 1/4" (tempered) or 1/2" (insulated, tempered or non-tempered) glass
Colors ¹	Stock colors are anodized, white, dark bronze, and black; optional in-house powder coating available in 188 additional colors
Warranty	
Sections	Limited Lifetime Warranty
Hardware	6-years
Springs	3-years for doors up to 8' high

¹ Refer to your local C.H.I. dealer for exact color match. ² Textured or tinted glass lets in light while obscuring vision and improves the natural beauty of your home.

In-House Powder Coating

188 distinctive colors to choose from for your garage door while adding another layer of protection from the elements.



Tempered Glass Options

Tempered glass adds both safety and strength to an already solid door. Choose 1/8" non-insulated, 1/4" tempered, or 1/2" insulated (tempered or non-tempered).



C.H.I. Overhead Doors | 1485 Sunrise Drive | Arthur, IL 61911 | USA | chiold.com