

## HISTORIC AND DESIGN REVIEW COMMISSION

September 06, 2017

**HDRC CASE NO:** 2017-425  
**ADDRESS:** 1108 S FLORES ST  
**LEGAL DESCRIPTION:** NCB 2556 BLK A LOTS 3 TO 7  
**ZONING:** C-3NA, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Nathan Historic District  
**APPLICANT:** Scott Glenn  
**OWNER:** Jeremy Jessop/Tobin Equity Real Estate, LLC  
**TYPE OF WORK:** Exterior modifications, roof top addition, fenestration modifications and signage  
**REQUEST:**

The applicant is a Certificate of Appropriateness to:

1. Perform exterior modifications including the installation of garage doors on the alley (east) elevation and S Flores (west) elevation.
2. Perform exterior modifications including the removal of existing window openings and the installation of new openings.
3. Construct a one story rooftop addition.
4. Install signage on S Flores.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

#### 10. Commercial Facades

##### A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

*Historic Design Guidelines, Chapter 3, Guidelines for Additions*

#### 2. Massing and Form of Non-Residential and Mixed-Use Additions

##### A. GENERAL

- i. Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact

on the original structure from the public right of way. An addition to the front of a building is inappropriate.

*iii. Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.

*iv. Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.

*v. Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

## B. SCALE, MASSING, AND FORM

*i. Height*—Limit the height of side or rear additions to the height of the original structure. Limit the height of rooftop additions to no more than 40 percent of the height of original structure.

*ii. Total addition footprint*—New additions should never result in the doubling of the historic building footprint. Full-floor rooftop additions that obscure the form of the original structure are not appropriate.

## 3. Materials and Textures

### A. COMPLEMENTARY MATERIALS

*i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

*ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

*iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

### B. INAPPROPRIATE MATERIALS

*i. Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

### C. REUSE OF HISTORIC MATERIALS

*i. Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

## 4. Architectural Details

### A. GENERAL

*i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

## 5. Mechanical Equipment and Roof Appurtenances

## A. LOCATION AND SITING

- i. Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way. Where service areas cannot be located at the rear of the property, compatible screens or buffers will be required.

## B. SCREENING

- i. Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

## FINDINGS:

- a. The historic structure located at 1108 S Flores was constructed circa 1950 and is found on the 1951 Sanborn Map, listed as repair facility for tractors and agricultural equipment. Photos from circa 1990 show the Flores façade with no window openings. At this time, the applicant has proposed exterior modifications, a rooftop addition and signage.
- b. EXTERIOR MODIFICATIONS (S Flores)— The applicant has proposed exterior modifications that includes the installation of a rolling garage door on the S Flores façade. A smaller rolling garage door would be installed in an existing pedestrian door opening. The applicant has proposed this location for automobiles to exit the structure on S Flores. Staff finds the removal of the non-original façade opening appropriate. The applicant has noted the installation of a stainless steel garage door with a satin finish. Staff finds this installation appropriate.
- c. EXTERIOR MODIFICATIONS (S Flores) – The applicant has proposed to removal all street level window openings and install a combination of both small, 24x36 inch window openings and 10x10 foot greenscreen landscaping walls. The existing window openings are not original to the structure. Staff finds the removal of the non-original window openings and the installation of the proposed new openings to be appropriate. Staff finds that the applicant should provide additional information regarding the proposed greenscreen walls including proposed materials including landscape materials.
- d. WINDOW REPLACEMENT – The applicant has proposed to replace the upper four windows on the S Flores façade. Staff finds that an aluminum or metal clad window should be installed that features in installation consistent with the existing. The proposed replacement windows should be inset within the wall and feature a recess of at least two inches.
- e. EXTERIOR MODIFICATIONS (Alley) – On the alley façade, the applicant has proposed the modifications that include the removal of one pedestrian door opening and the installation of two overhead rolling doors, a new pedestrian door opening and three windows. Given the location of this façade at an alley and not visible from S Flores, staff finds these modifications appropriate. The proposed window openings should feature windows with a profile consistent with those of industrial structures of this era. The proposed rolling doors should feature high quality materials to match the proposed steel door on the S Flores façade. The proposed windows should feature an inset of at least two inches within the existing walls.
- f. EXTERIOR MODIFICATIONS (Daniel) – On the Daniel elevation, the applicant has proposed to remove six existing window openings, one pedestrian door and its associated side lights and an overhead rolling door and install three pedestrian entrances and overhead canopies. Staff finds the proposed modifications to be appropriate and consistent with the overall architectural character of the building. Additionally, the proposed entrance canopies are simple in nature, consistent with the architecture of the existing structure.
- g. ROOFTOP ADDITION – At the rooftop of the historic structure, the applicant has proposed to construct a one story addition. The Guidelines for Additions 1.B.ii. notes that rooftop additions should be limited to rear facades to preserve the historic scale and form of the building from the street and minimize visibility from the public right of way. Full-floor second story additions that obscure the form of the original structure are not appropriate. The Guidelines for Additions 2.A.i. notes that new additions should be designed to be in keeping with the existing historic context of the block, should be located near a side or rear façade, should utilize a similar roof form, should be subordinate to the principle façade and should feature a transition between the old and new.
- h. ROOFTOP ADDITION – The proposed rooftop addition is proposed to feature an overall height of 9' – 6", less than the height of the existing structure and a width of 15' – 7". The applicant has proposed a parapet wall on the S Flores façade to read as a flat roof. The applicant has proposed materials that include a plaster finish, a parapet

wall detail to match that of the original structure, metal cladding, and a hand crimped standing seam metal roof. Staff finds the form and massing of the proposed addition appropriate and consistent with the Guidelines.

- i. **SIGNAGE** – The applicant has proposed a blade sign on S Flores to read “SoFlo” to feature metal construction, internal illumination and be mounted at the building corner. The sign will feature a total of approximately 36 square feet, included both sides. Staff finds the size, materials and general location of the sign appropriate; however, staff finds that if internal illumination is used, the sign should be back lit. A plastic or vinyl cabinet face should not be used.

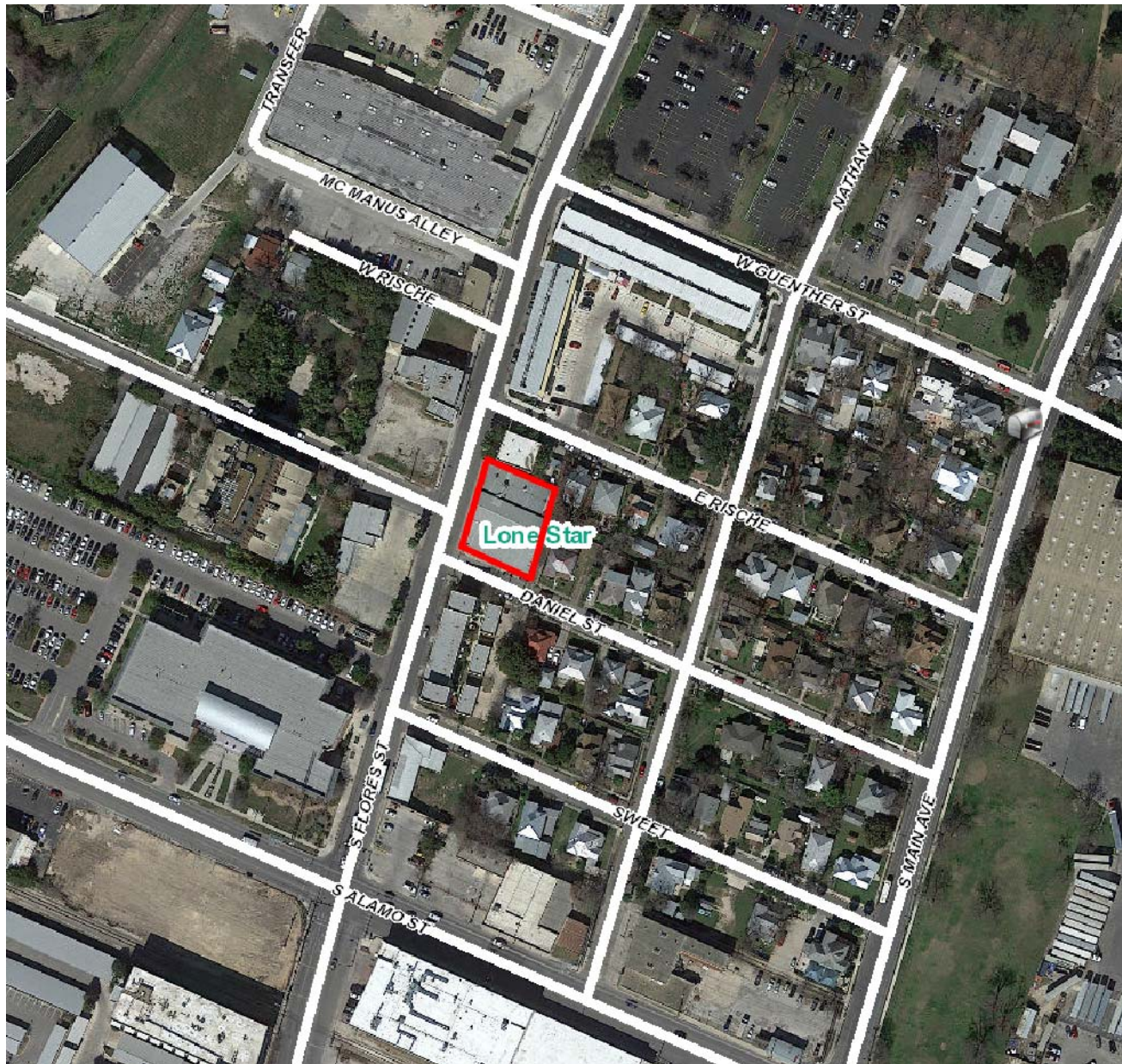
**RECOMMENDATION:**

Staff recommends approval of items #1 through #4 based on findings a through i with the following stipulations:

- i. That proposed window openings should feature windows with a profile consistent with those of this structure. The windows should feature an inset of at least two inches and should feature aluminum or metal frames that are colored in a dark color.
- ii. That the applicant provide staff with a color selections for all stucco, plaster and façade material colors.
- iii. That the proposed signage feature indirect or back lighting and that vinyl or plastic sign faces are not used.

**CASE MANAGER:**

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Aug 29, 2017

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## SCOPE OF WORK

We are pleased to present this Residential Adaptive Reuse Project for your review. The existing building is a 12,000 sf industrial warehouse which we intend to transform into three high end condominiums. Originally constructed in 1940 as a manufacturing facility for electric fans known as the Seabreeze Fan Company. Unoccupied for the past several years, it's time for this building to receive a makeover. The building is steel framed with ribbed industrial metal roofing panels and 14" thick structural clay tile walls at perimeter. Exterior faces of existing exterior walls are painted plaster at all sides except at Alley Elevation which is exposed painted clay tile.

Zoning is IDZ MF-18, Occupancy Type is R-2 since we have more than two units. The Historic Districts are Nathan and Rio-7.

We intend to retain all existing exterior walls as they exist, adding or subtracting openings as necessary. All exterior walls to receive finish coat of integral color cement plaster with smooth hard trowel finish. No control joints allowed. Existing metal roofing panels to be removed leaving steel framing exposed along Daniel Street between grid lines 1 and 2 to provide for open air room/courtyard at Entry side of Residences.

Another continuous strip of metal roofing to be removed between grid lines 5 and 6 wall to wall.

Industrial exposed steel framed canopies to afford weather protection for Entry Doors to have standing seam roofing. Stainless steel rod support struts at 45 degrees and 4' oc provide support from above.

Existing ribbed metal roofing to be removed and replaced with galvanized hand crimped standing seam roof with 16" wide pans max. Gutters to be replaced with half round galvanized and downspouts to be round galvanized. Windows at existing clerestory to be replaced with operable awning type metal clad wood windows with low "e" insulated glass. Gates/doors along Daniel Street to be solid with metal cladding, 4' wide by 8' tall. Overhead doors at Parking to be insulated with wood cladding at exterior faces. Existing access easement to be regraded and resurfaced. All existing interior partitions, ductwork, fixtures etc. to be removed.

Signage is internally illuminated two sided vertical sliver extended from the building corner at 45 degree angle at corner of Daniel and Flores.

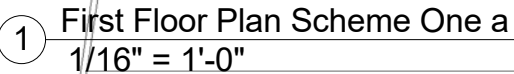
Finally, the crowning element of the Project is a Sky Deck at roof level to allow residents to enjoy an impressive view of the City Skyline.

Daniel Street

Scott Glenn Architects 210.496.5050



1 Existing First Floor Plan 1/16  
1/16" = 1'-0"

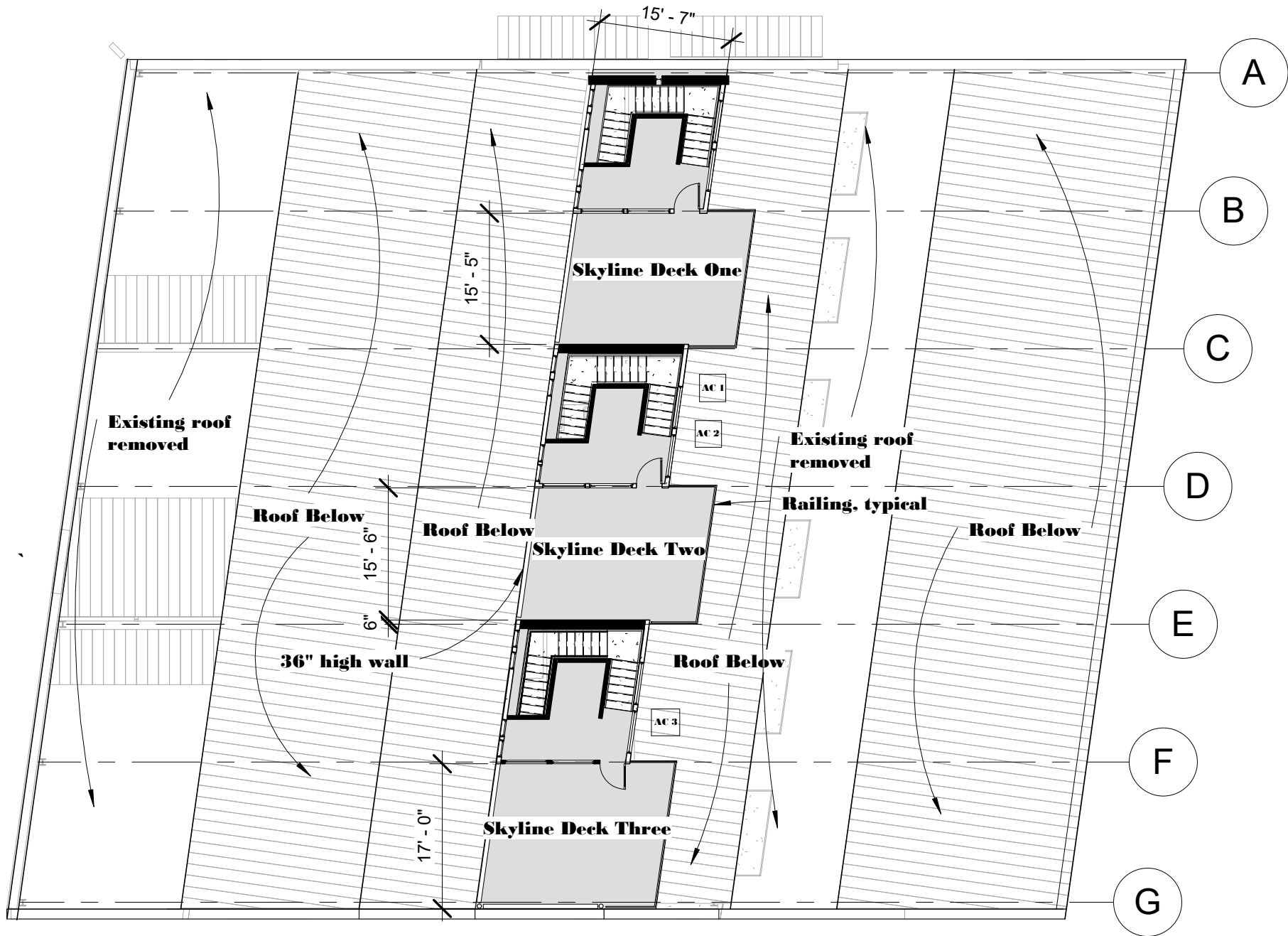




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1 Loft Level Plan A  
1/16" = 1'-0"



1 Skyline Deck Plan Scheme One  
 1/16" = 1'-0"

**New Penthouse to Skyline Deck.**  
Addition is set back from face of existing parapet and limited in height to less than 40% of existing per Design Guidelines, finish to be integral color plaster

**New 5' deep metal canopies above existing window openings with standing seam roofing on exposed steel framing and exposed to below**

**Top of parapet wall detail to match existing**

**New slit window**

9' - 6"

**New hand crimped standing seam roofing at all roofs**

**New sign extended from building corner at 45 degrees**

**New louvered openings at Courtyard One, 24 x 36**

**New integral color plaster at exterior walls**

**Belt line at 2' - 4" high continuous around perimeter, rougher texture and darker color**

**New "Greenscreen" landscaping walls, 3 equal panels, 10' x 10' each**

**New opening for sectional overhead door, 16' w x 8' h, finished face to be satin finish stainless steel**

12' - 0"  
8' - 0"  
2' - 4"

**New 24 x 36 louvered openings at Garage**

**New windows at existing high openings**

① **South Flores Elevation Scheme One**  
1/16" = 1'-0"

**New Penthouse to Skyline Deck, walls to be clad with paint grip galvanized metal typical**

**New metal canopies above existing high window openings**

**New sign at corner**

**New paint grip galvanized hand crimped metal roof at canopies above doors, typical**

**New integral color plaster at exterior walls**

**Skyline Deck One**

**Skyline Deck Two**

**Skyline Deck Three**

**New hand crimped standing seam paint grip galvanized roofing, typical**

**6" diameter steel column**

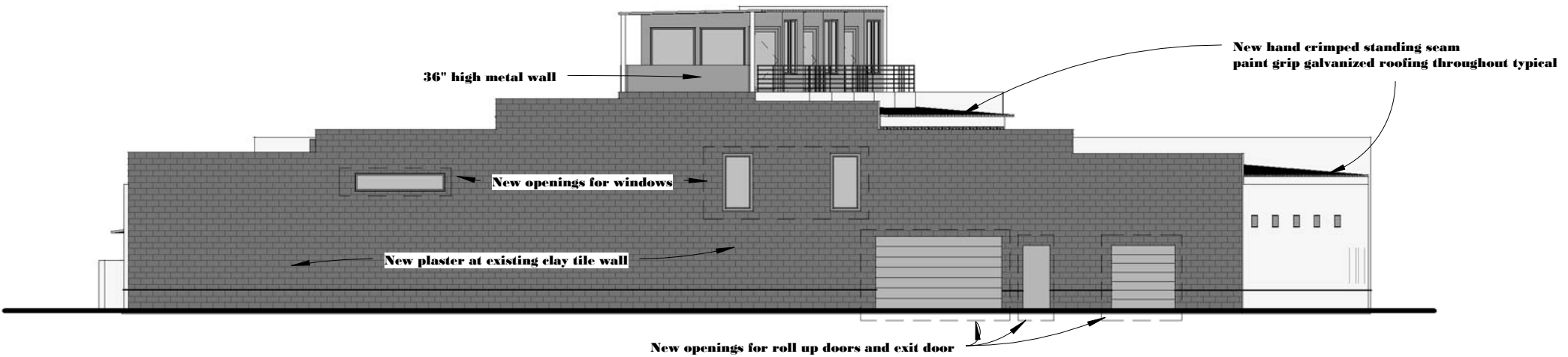
**36" high plaster walls**

**New awning windows at Clerestory, typical**

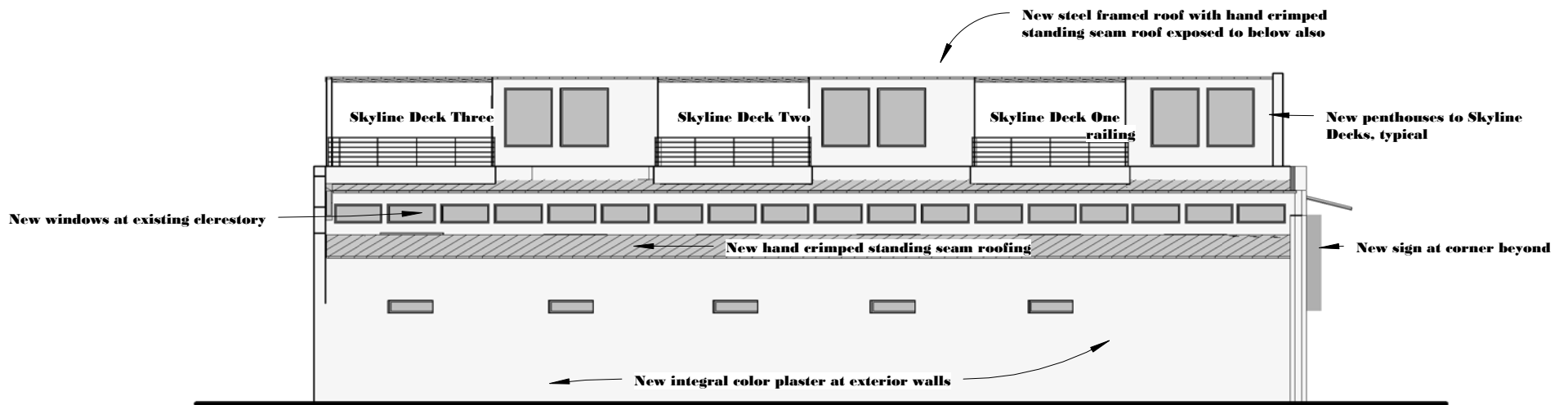
**Remove portion of existing roof at first structural bayall along Daniel Street perimeter**

**New openings for Entry Doors to individual Units**

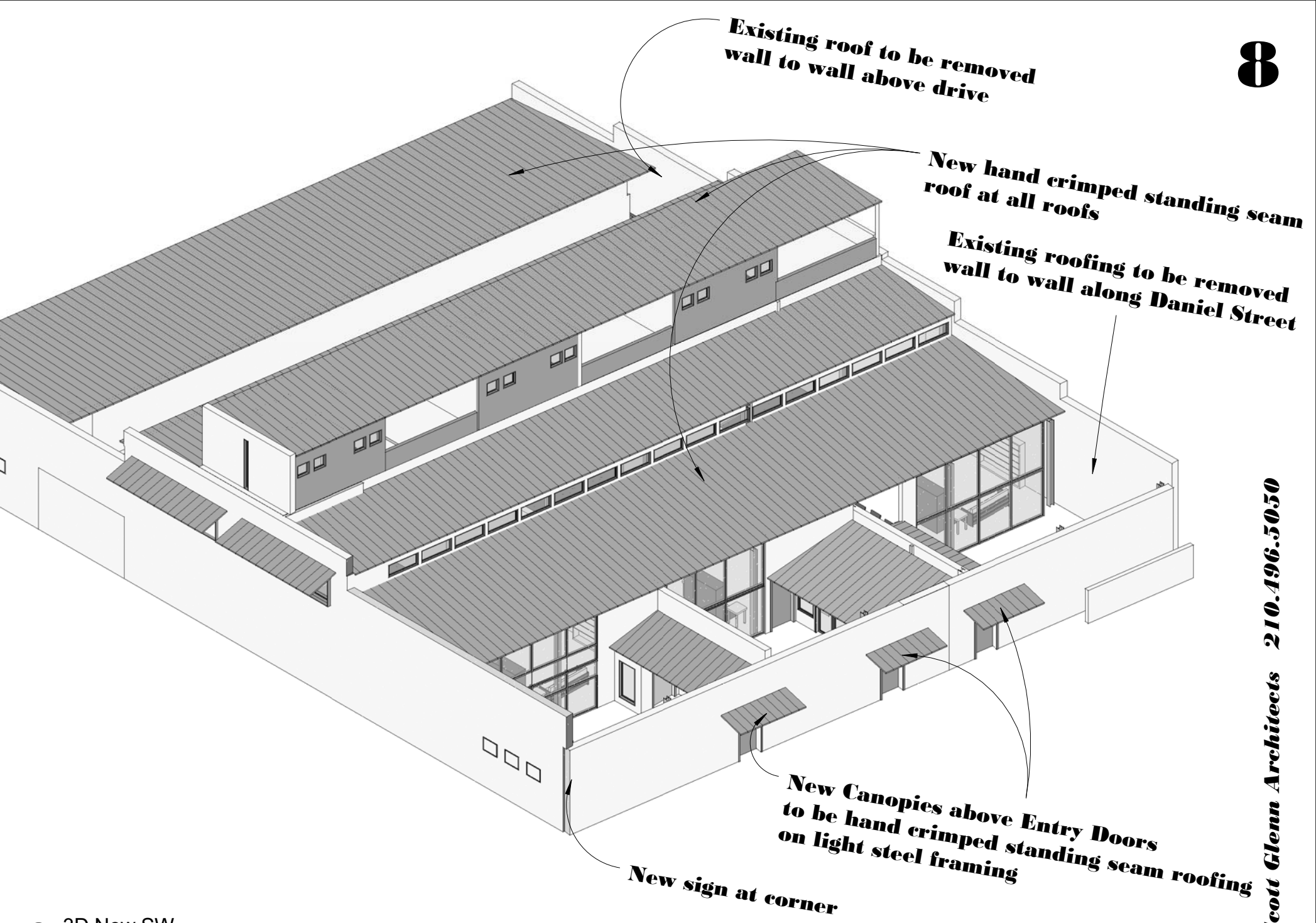
② **Daniel Street Elevation Scheme One**  
1/16" = 1'-0"



1 Alley Elevation Scheme One  
1/16" = 1'-0"



2 Side Elevation Scheme One  
1/16" = 1'-0"





SEA-BREEZE  
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