

# HISTORIC AND DESIGN REVIEW COMMISSION

September 20, 2017

**HDRC CASE NO:** 2017-450  
**ADDRESS:** 2059 W WOODLAWN  
**LEGAL DESCRIPTION:** NCB 1963 BLK 1 LOT W 49.2 FT OF 15  
**ZONING:** R-6 H  
**CITY COUNCIL DIST.:** 7  
**DISTRICT:** Monticello Park Historic District  
**APPLICANT:** Zamaira Velazquez  
**OWNER:** Zamaira Velazquez  
**TYPE OF WORK:** Stucco replacement, window replacement, enclosure of side porch  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove the existing stucco and install smooth stucco.
2. Remove 14 wood windows and install vinyl windows.
3. Enclose an existing side porch on the east elevation.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

### 2. Materials: Masonry and Stucco

#### A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

### 6. Architectural Features: Doors, Windows, and Screens

#### A. MAINTENANCE (PRESERVATION)

- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.

## B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

## 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

### A. MAINTENANCE (PRESERVATION)

i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.

ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.

iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

## B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.

ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.

## FINDINGS:

- a. The structure located at 2059 W Woodlawn is a 1-story single family home designed in the Mission style. The home features several quintessential elements of the style, including a textured stucco finish, arched entryways, and a flat roof with parapet details. The home also features a front gable roof with composition shingles. The house is a contributing structure in the Monticello Park Historic District.
- b. **STUCCO FINISH** – The applicant has proposed to remove the existing textured stucco and replace all facades with new stucco with a smooth finish. According to the Historic Design Guidelines, stucco should be repaired by patching or replacing it with in-kind materials whenever possible. Similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail should be used when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco. Staff finds the proposal to install smooth stucco inconsistent with the Guidelines.
- c. **WINDOW REPLACEMENT** – According to the Guidelines for Exterior Maintenance and Alterations 6.A.iii., and 6.B.iv., in kind replacement of windows is only appropriate when the original windows are beyond repair. Staff finds several existing windows to be either missing or deteriorated beyond repair, but has not seen a final window schedule indicating which windows are beyond a repairable threshold. Replacement of all windows in an existing historic structure with vinyl windows is not consistent with the Guidelines.
- d. **PORCH ENCLOSURE** – The applicant has proposed to enclose an existing side porch to create additional conditioned space. The Historic Design Guidelines encourage retaining existing porches; however, the existing porch on this home is not architecturally or historically significant. The proposal will not obscure any character-defining features. Staff finds the proposal consistent with the Guidelines.

## RECOMMENDATION:

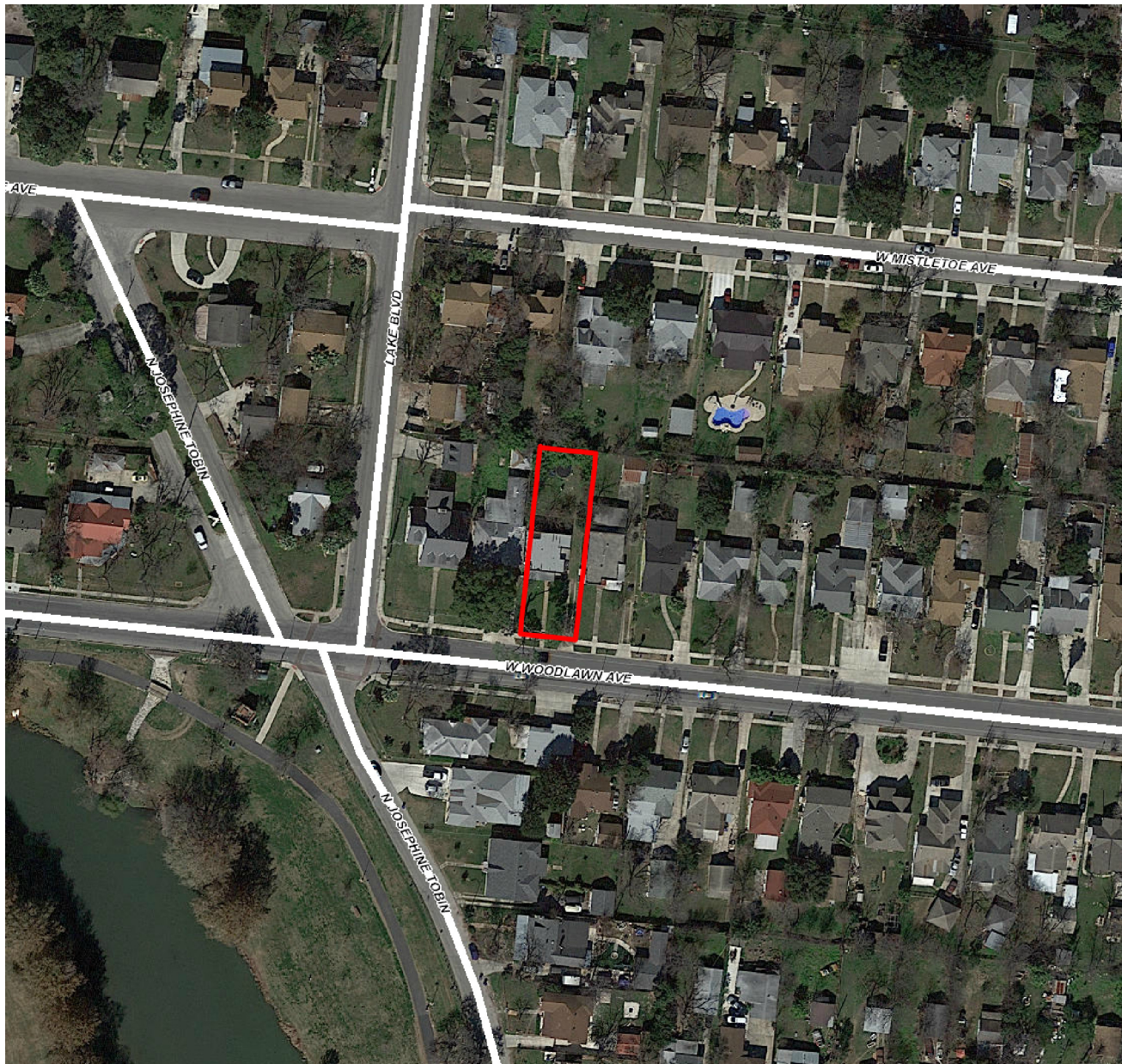
Item 1, Staff recommends approval of the removal of the existing stucco with the stipulation that the applicant install stucco with a finish that matches the texture of the existing. EIFS shall not be used in lieu of stucco.

Item 2, Staff does not recommend approval of the removal of existing wood windows and installation of vinyl windows based in finding c. Staff recommends that the applicant restore the salvageable wood windows in place and propose a wood window to staff for the replacement of the windows that are deteriorated beyond repair. The applicant must furnish visual evidence that the window is deteriorated beyond repair to staff prior to replacement. The new windows much match the existing in profile, inset, and configuration.

Item 3, Staff recommends approval of the rear porch enclosure based on finding d.

**CASE MANAGER:**

Stephanie Phillips



## Flex Viewer

Powered by ArcGIS Server

Printed: Sep 11, 2017

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OWNER: FOURRICAN INVESTMENT LLC

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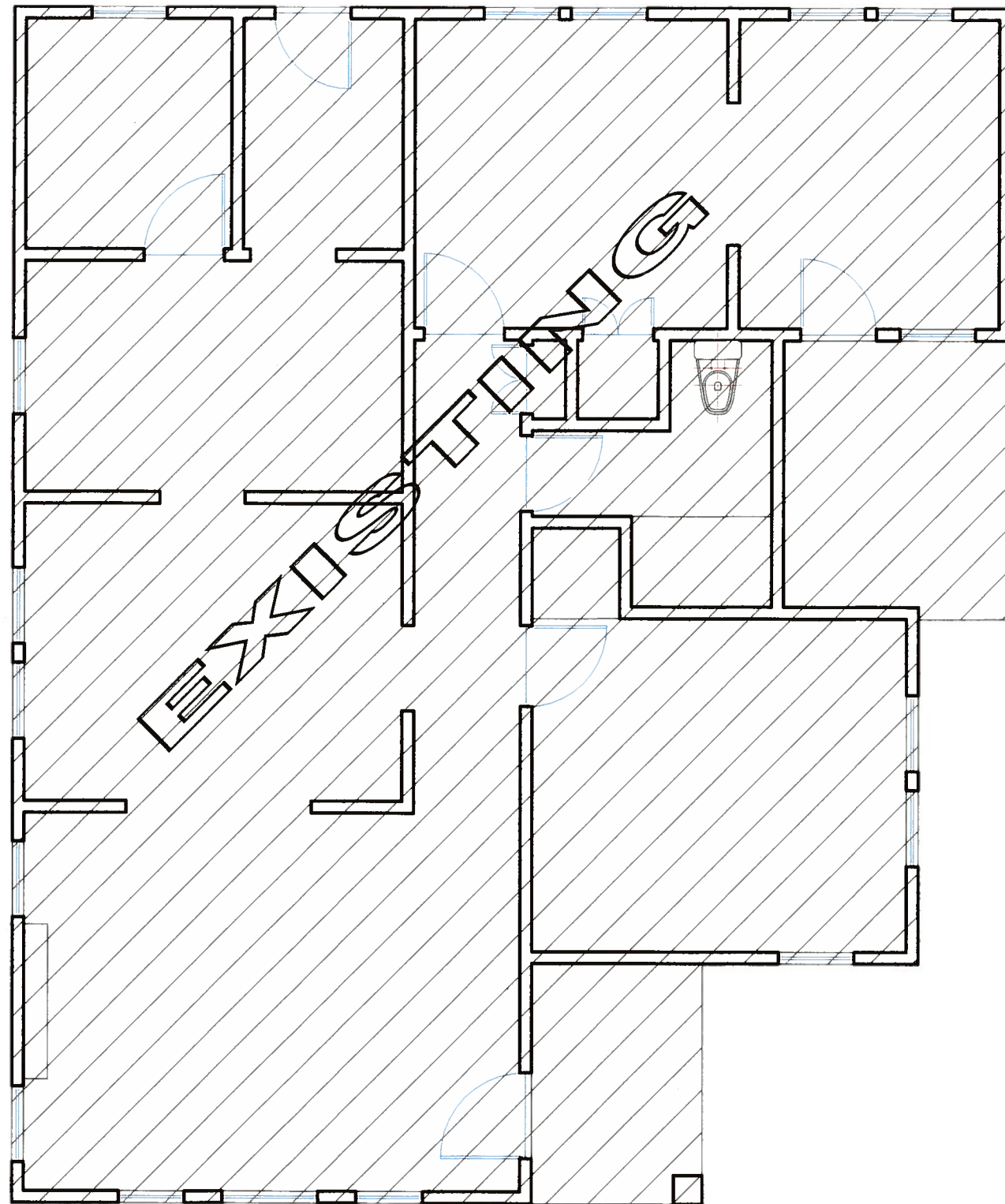
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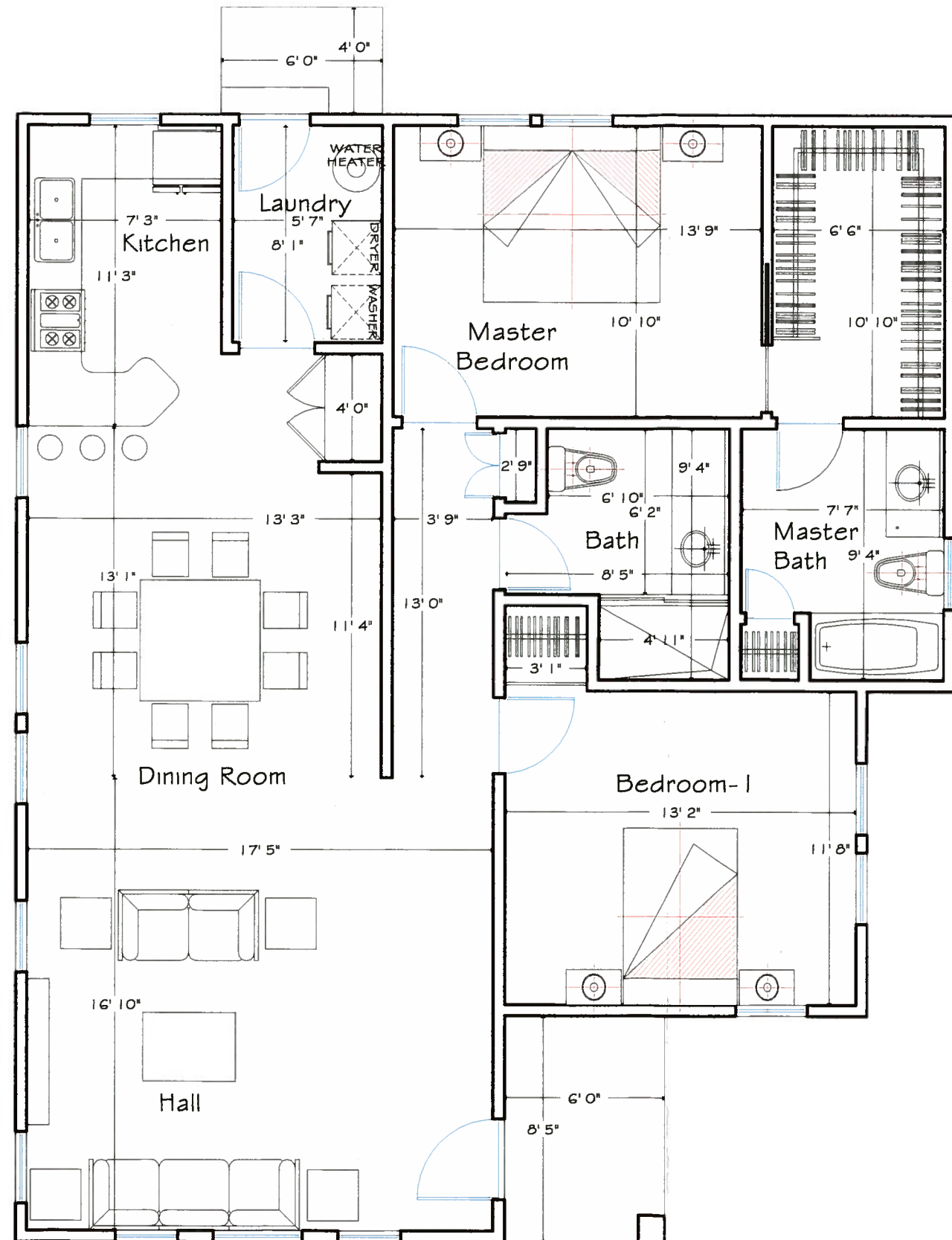
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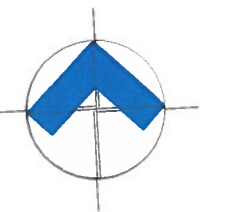




EXISTING FLOOR PLAN



ARCHITECTURAL FLOOR PLAN



OWNER  
FOURRICAN INVESTMENT LLC

EXISTING FLOOR PLAN, ARCHITECTURAL FLOOR PLAN.  
2059 W Woodlawn Ave.

ENGINEER

DRAWING  
Rene Mancilla

THE DESIGNER ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR ANY ERRORS IN THE DESIGN OF THIS DRAWING. IT IS RECOMMENDED THAT A CONSULTANT, WITH CERTIFIED AND PROFESSIONAL LICENCE REVIEW AND APPROVE THIS DRAWING TO COMPLY WITH LOCAL BUILDING ORDINANCES AND PERMITTING PRIOR TO COMMENCEMENT OF WORK.

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DESIGNER:  
CHECKED:  
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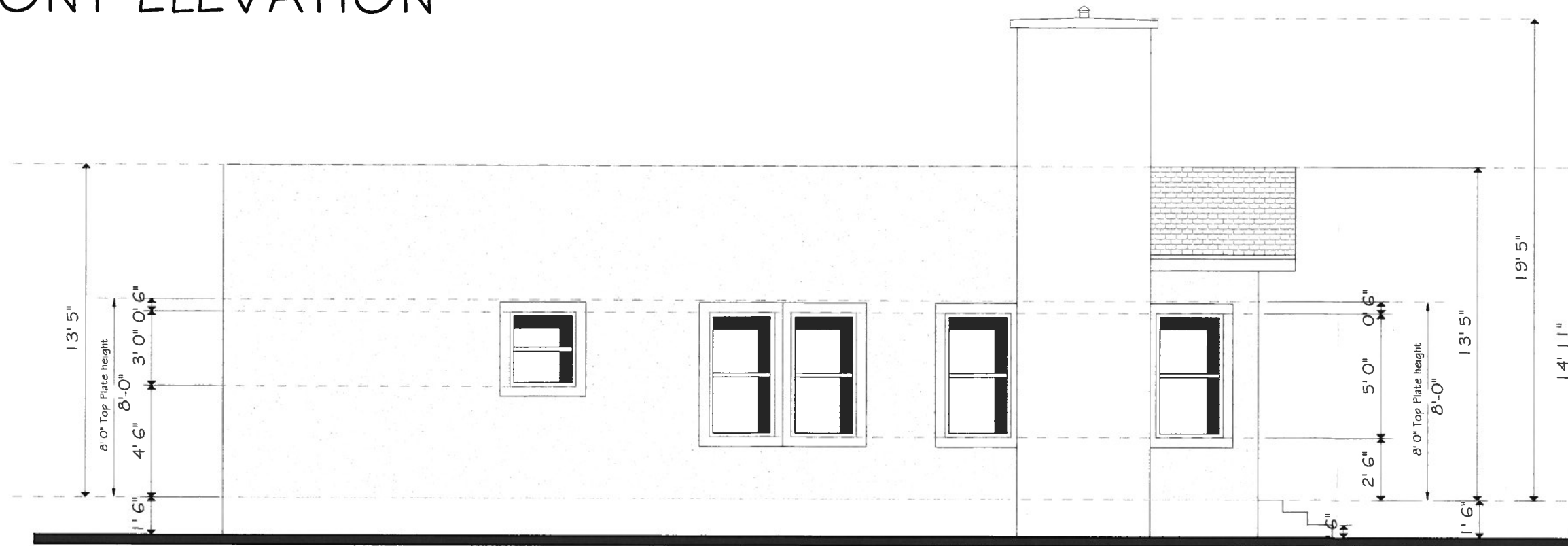
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A-002

GRAPE LINE

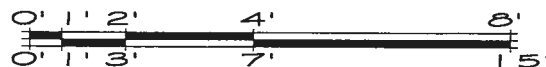


FRONT ELEVATION

| MATERIAL SCHEDULE      |   |
|------------------------|---|
| EXTERIOR WALL FINISHES |   |
| EFS-1                  | STUCCO                                  |
| EFS-2                  | BRICK                                   |
| EFS-3                  | STONE                                   |
| EFS-4                  | HARDIEPLANK LAP SIDING                  |
| EFS-5                  | HARDIETRIM BOARDS                       |
| EFS-6                  | RECLAIMED CORRUGATED METAL              |
| EFS-7                  | FIBER CEMENT SIDING                     |
| ROOFING                |   |
| R-1                    | STANDING SEAM METAL ROOFING - GALVALUME |
| R-2                    | COMPOSITION SINGLE ROOF                 |
| R-3                    | CORRUGATED METAL ROOFING                |
| MISC. EXTERIOR         |   |
| CONC-1                 | PRE-CAST CONCRETE CAP                   |



LEFT ELEVATION



GRAPHIC SCALE

SCALE 3/16"=1'-0" PRINT 11"X 17"

OWNER: FOURRICAN INVESTMENT LLC

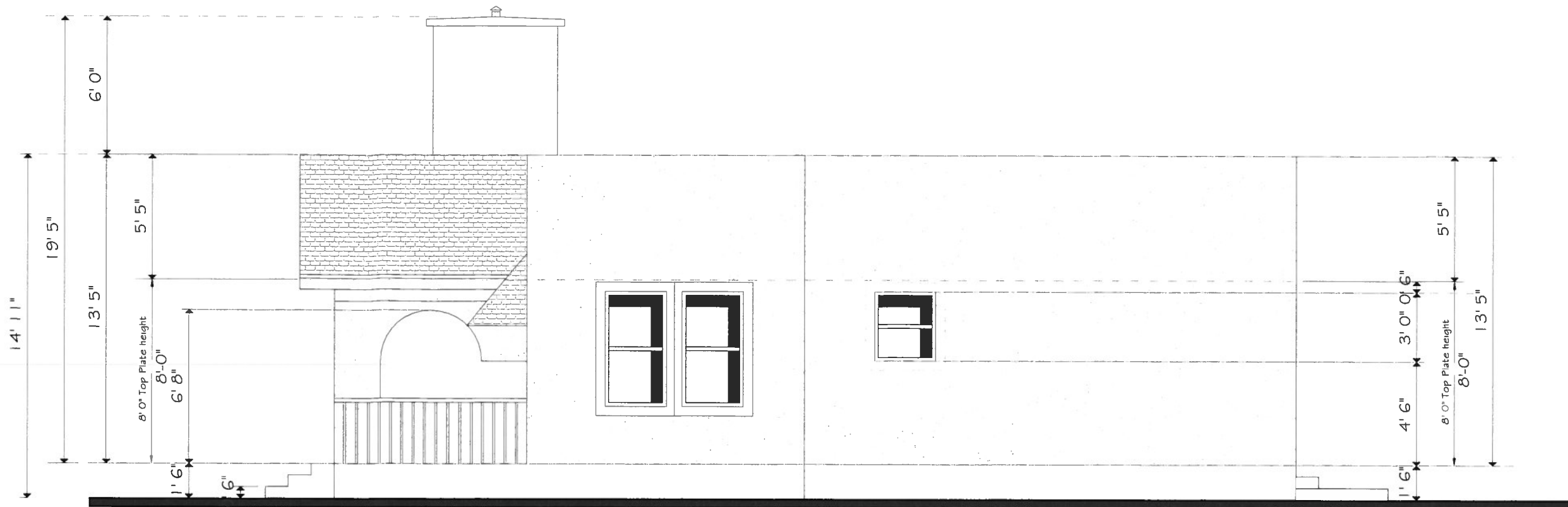
ELEVATIONS  
2059 W Woodlawn Ave.

DRAWING  
Rene Mandlla  
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JOB NO.  
DATE: 08/25/2017  
DESIGNER:  
CHECKED:  
DRAWN:

SHEET NUMBER:  
A-003

GRADE LINE



RIGHT ELEVATION

### MATERIAL SCHEDULE

#### EXTERIOR WALL FINISHES

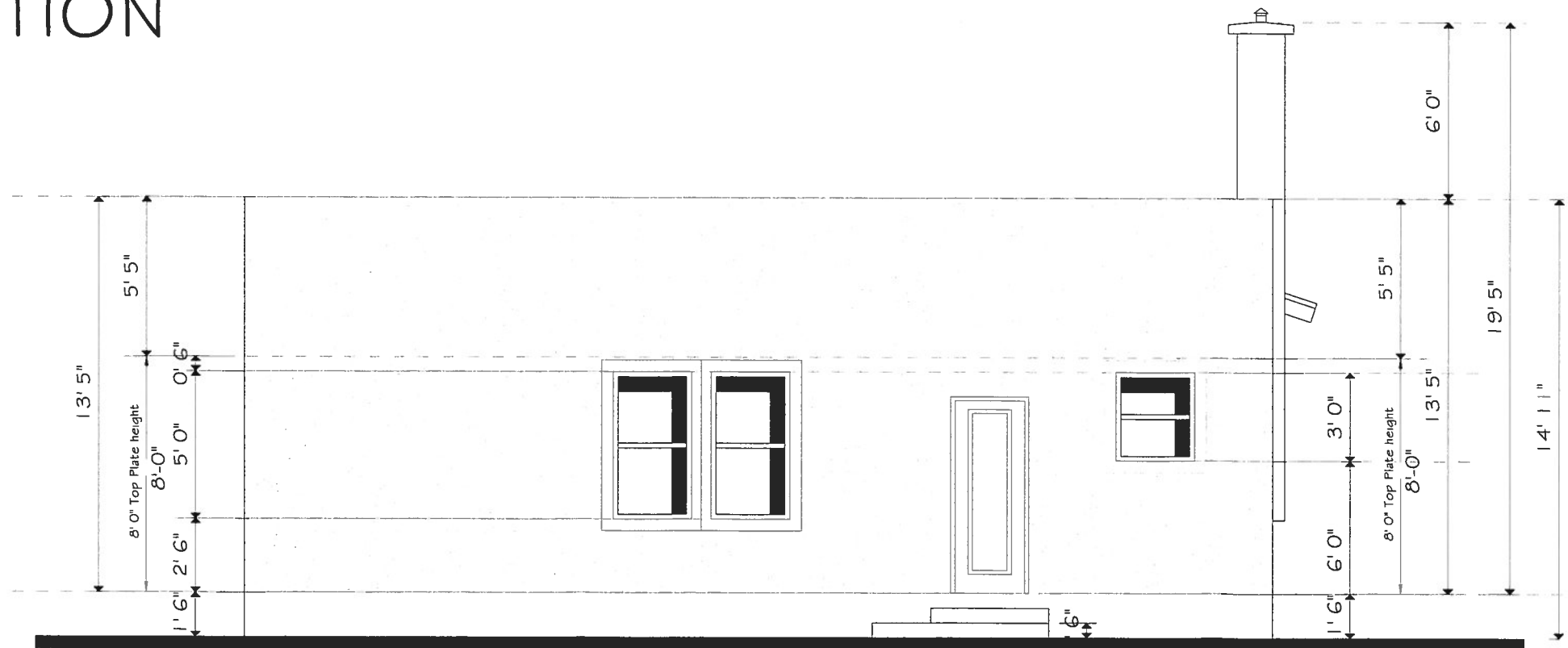
|       |                            |
|-------|----------------------------|
| EFS-1 | STUCCO                     |
| EFS-2 | BRICK                      |
| EFS-3 | STONE                      |
| EFS-4 | HARDIEPLANK LAP SIDING     |
| EFS-5 | HARDIETRIM BOARDS          |
| EFS-6 | RECLAIMED CORRUGATED METAL |
| EFS-7 | FIBER CEMENT SIDING        |

#### ROOFING

|     |   |
|-----|---|
| R-1 | STANDING SEAM METAL ROOFING - GALVALUME |
| R-2 | COMPOSITION SINGLE ROOF                 |
| R-3 | CORRUGATED METAL ROOFING                |

#### MISC. EXTERIOR

|        |                       |
|--------|-----------------------|
| CONC-1 | PRE-CAST CONCRETE CAP |
|--------|-----------------------|



REAR ELEVATION

OWNER  
FOURRICAN INVESTMENT LLC

| NO. | DESCRIPTION | DATE | APPR. | NO. | DESCRIPTION | DATE | APPR. |
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ELEVATIONS  
2059 W Woodlawn Ave.

DRAWN  
Rene Mandila

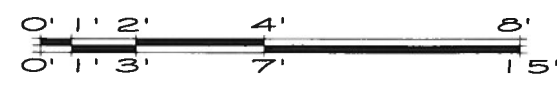
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SHEET NUMBER:  
**A-004**

GRADE LINE



GRAPHIC SCALE

SCALE 3/16"=1'-0" PRINT 11"X 17"