

HISTORIC AND DESIGN REVIEW COMMISSION

September 20, 2017

HDRC CASE NO: 2017-475
ADDRESS: 1010 BURNET ST
LEGAL DESCRIPTION: NCB 1660 BLK H LOT E 25 FT OF 3 & W 12.5 FT OF 4
ZONING: R-6, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Markus Lopez
OWNER: Ruben and Rebecca Lopez
TYPE OF WORK: Column Replacement, Addition, Roof Modification, Window Installation and Replacement, Rear Porch Reconstruction, Paint, Tax Certification

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Modify the existing front porch columns
2. Construct a rear-side addition to feature approximately 60 square feet.
3. Demolish rear flat roof and secondary gable roof.
4. Extend existing primary gable roof over existing rear and proposed addition.
5. Install four (4) new window openings
6. Relocate two (2) window openings
7. Replace four (4) non-historic windows with historic wood windows.
8. Demolish existing rear porch, steps, and doorway to construct a new porch, steps, and doorway in respect to the proposed addition.
9. Repaint the structure
10. Receive Historic Tax Certification

APPLICABLE CITATIONS:

2. Guidelines for Exterior Maintenance and Alterations

1. Materials: Woodwork

A. MAINTENANCE

iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.

iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See General Paint Type Recommendations in Preservation Brief #10 listed under Additional Resources for more information.

6. Architectural Features: Doors, Windows, and Screens

B. ALTERATIONS

ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

B. ALTERATIONS

iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should

be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.

iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.

ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.

iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.

ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.

iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The structure at 1010 Burnet was constructed circa 1910 in the Craftsman style and is a contributing structure to the Dignowity Hill Historic District. The structure features gable, shed, and flat roofs with standing seam metal as roofing material, wood and aluminum windows, wood siding, a front porch, and a rear porch.
- b. COLUMN REPLACEMENT – The applicant proposed to modify/replace the existing columns in the front porch with column details consistent with the historic character of the era in which the structure was built. The applicant has proposed to use tapered wood columns with brick masonry supports where linear wood columns currently exist. The Guidelines for Exterior Maintenance and Alterations 2.B.iii. requires designs to be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish when in-kind replacement not feasible. Guidelines 2.B.iv. notes that new elements and details should not create a false historic appearance. While staff finds that in-kind replacement of the linear wood columns feasible, the applicant's proposed design is appropriate given the context of the neighboring structures. Staff recommends conceptual approval until the applicant provides measured drawings of column alterations.
- c. ADDITION – The applicant has proposed to construct a rear-side addition to feature approximately 60 square feet. The Guidelines for Additions 3.1.A.i requires residential addition to be sited at the side or rear whenever possible. Guide lines 3.1.B.iv requires additions to respond to the size of the lot and to not double the existing building footprint. This is consistent with the Guidelines.
- d. TRANSITION BETWEEN OLD AND NEW – According to the Guidelines, new additions should utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms. The currently-proposed footprint of the addition with uniform roof plane is not consistent with this requirement. Staff finds that the addition should utilize a similar roof form that is subordinate or set below the existing rear gable, and a more narrow width which would allow the addition to be inset from the existing exterior wall planes.
- e. ROOF FORM – The applicant has proposed to demolish the secondary gable roof and flat roof over the rear of the structure and to expand the existing primary gable roof over the existing rear and the proposed addition. The Guidelines for Additions 3.1.A.iii requires the utilization of similar roof pitch, form, overhang, and orientation as the historic structure for additions. Staff finds the demolition of the secondary roofs and the expansion of the primary roof in respect to the proposed addition appropriate.
- f. WINDOWS OPENINGS – The applicant has proposed to install four windows where no window openings exist on the rear of the buildings: two on the south elevation and two on the east elevation. The applicant also proposed to relocate two window openings, one on each side elevation. The applicant has proposed to use matching materials and design to match existing historic windows for the four (4) new window opening and the four (4) non-historic window replacements. The Guidelines for Exterior Maintenance and Alterations 2.6.B.iv. notes that new windows are to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair. Guidelines 2.6.B.vii requires non-historic incompatible windows to be replaced with windows that are typical of the architectural style of the building. Staff finds the proposed installation of new windows, the relocation of two window openings, and the replacement of non-historic windows appropriate. Staff finds the proposal for new and relocated window openings appropriate and recommends conceptual approval at this time. Final approval may be sought provided measured drawings from the applicant.
- g. REAR PORCH – The applicant has proposed to demolish the existing rear porch including the gable roof, wood columns, and concrete steps. The applicant proposed to construct a new porch offset to the right side of the original porch. The Guidelines for Exterior Maintenance and Alterations 2.7.B.iii. and iv. requires porch replacements to be in-kind or compatible, while porch elements, such as stairs, are to be simple so as to not distract from the historic character of the building. Staff finds the proposed demolition of the existing porch and the construction of the new porch in respect to the proposed addition appropriate.

- h. **MATERIALS** – The applicant has proposed to use matching materials for all new elements introduced to the site including wood windows, wood siding, and metal standing seam roof. Staff finds the proposed materials appropriate and recommends conceptual approval at this time. Final approval may be sought provided measured drawings that include specifications for new windows, siding, and roofing materials and design.
- i. **PAINT REMOVAL** – The applicant proposed to remove paint on the wood siding by pressure washing. The Guidelines for Exterior Maintenance and Alterations 2.1.A.iii prohibits the use of sand or water blasting as a method of paint removal. Staff recommends approval of paint removal with the stipulation that the applicant only uses the following acceptable methods: scraping, sanding, thermal removal, and only when necessary, mild chemical removals.
- j. **REPAINTING** – The applicant proposes to prime and repaint the structure with color “Chelsea Gray” by Benjamin Moore. Staff finds the paint selection appropriate and recommends approval.
- k. **HISTORIC TAX CERTIFICATION** - The applicant has requested Historic Tax Certification. Per UDC Section 35-618, the applicant has not provided complete plans for the proposed work and therefore has not met the application document requirements.

RECOMMENDATION:

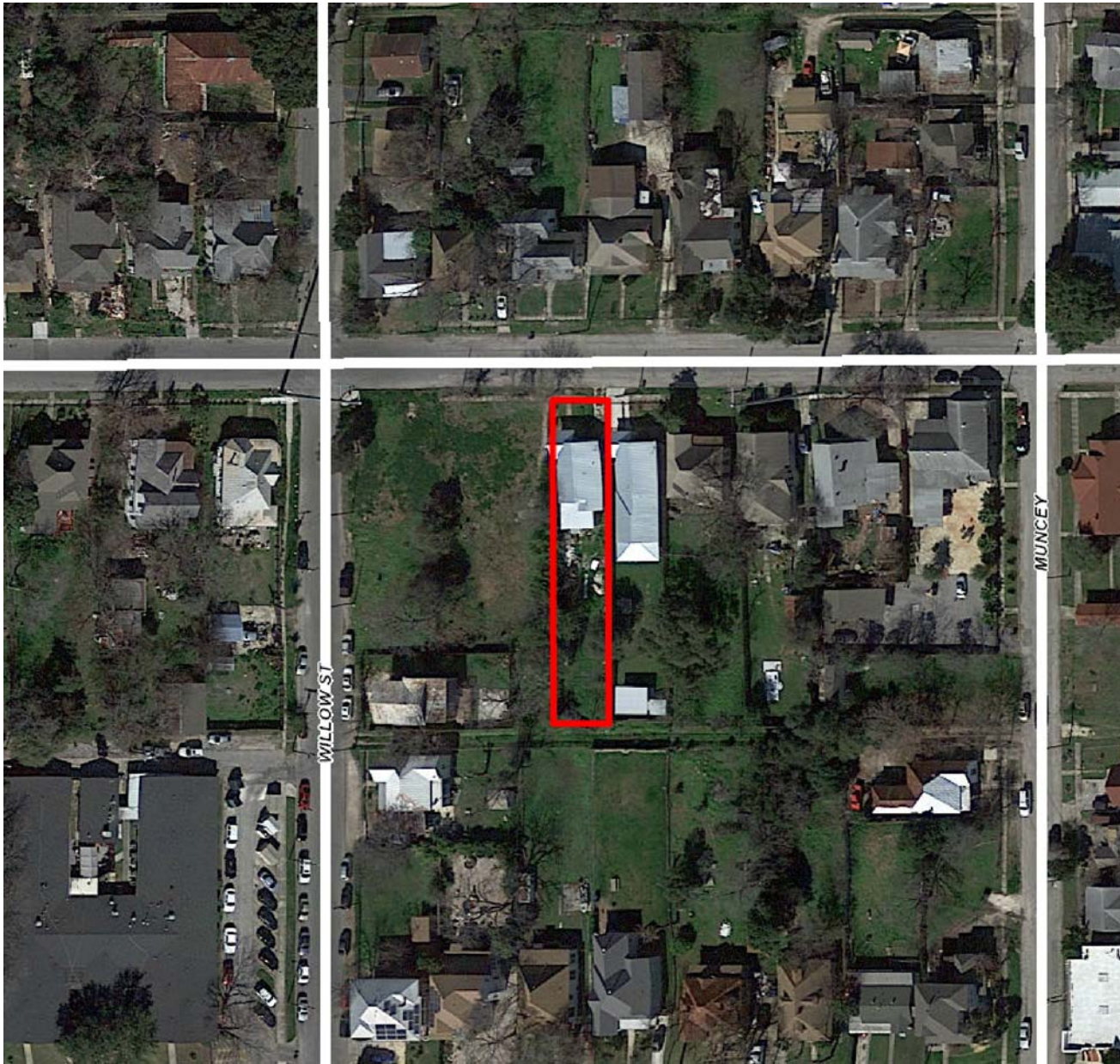
Staff does not recommend final approval of a Certificate of Appropriateness at this time. Staff recommends conceptual approval of items #1 through 9 based on findings b through i with the following stipulation:

- 1. The new roof form must be offset and subordinate to the historic structure’s primary gable roof.
- 2. That the proposed addition be more narrow than the existing house and be inset from the existing exterior wall planes.
- 3. Paint removal may only be performed by scraping, sanding, thermal removal, and only when necessary, mild chemical removals – and is prohibited from sand or water blasting.
- 4. The proposed window replacements are to feature an installation that is consistent with those of the primary historic structure and matches the details noted in finding d. The proposed windows feature meeting rails that are no taller than 1.25” and stiles no wider than 2.25”. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- 5. Measured drawings and material specifications must be submitted for all details including column alterations, new roof with offset, windows, elevations, and site plan with setback – in pursuit of final approval.

Staff does not recommend Historic Tax Certification based on findings f. Complete plans including measured drawings must be submitted for HDRC to consider Historic Tax Certification.

CASE MANAGER:

Huy Pham



1010 Burnet Map

Powered by ArcGIS Server

Printed: Sep 15, 2017

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.



Expected Renovation cost: 50,000

Expected completion February 28, 2018

1010 Burnet St

Markus Lopez

Historic & Review Commission Application
Package

August 31, 2017

San Antonio, Texas

Detailed Description of Project

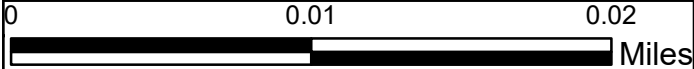
The owners of 1010 Burnet St hope to begin the renovation process on their historic home per City of San Antonio guidelines and the Historic Preservation office. The proposed work includes the following items:

Ordinary Repairs –

- Repairs of some rotten wood siding using the same material (See Exhibit 5.1 and Exhibit 7.1)


Exterior Alterations –

- Doors/Entrances
 - Replacement of non-historic door to one keeping with the character and era which home was built. (See Exhibit 1.2 and 7.3)
 - Removal of burglar bars on door (See Exhibit 1.2)
 - Slight modification to porch supports to ones keeping with the character and era which the home as built. (See Exhibit 1.1 and Exhibit 7.3)
- Windows
 - Removal of non-historic window (See Exhibit 2.3 and Exhibit 2.12) to replace with window that match original windows as closely as possible.
 - Repairing original window framing (See Exhibits 2.1 thru 2.12)
 - Replace original non-framed window openings with windows that match the original as closely as possible (See Exhibit 2.11 and Exhibit 2.12)
 - Removal of burglar bars (See Exhibits 2.1 thru 2.12)
 - For window repair, owner is reaching out to “My Three Sons” Window company for repairs.
- Siding
 - See Ordinary Repairs above.
 - If addition is approved, the siding will be the historic siding #117 wood siding to match existing. (See Exhibit 7.1)
- Roofing
 - If addition is approved, the owners hope to remove back part of roof, (See Exhibit 3.1) and bring existing gable all the way to the rear of the house for uniformity throughout home. The finished product will be similar to the neighbor next door (See Aerial on page)
 - Roofing will remain the same, metal roofing (See exhibit 7.1)
- Additions
 - Plans to add a small 60 sqft addition in rear of house to square off home (See Exhibit 4.1)
 - Addition will have same historic wood siding #117 to match existing.
 - Where currently there is a window that does not have framing or glass (See Exhibit 2.11 and Exhibit 2.12), the owners plan, if addition is approved, to replace window with one that matches the existing. The window replaced will be side by side with existing (See Architecture plans)
- Painting
 - Paint removal/pressure washed wood siding for priming and repaint.
 - Paint color will be Chelsea gray by Benjamin Moore, similar to nearby historic homes (See Exhibit 7.2)
- New Construction
 - Rear porch with stairs for rear exit (See Architecture plans)



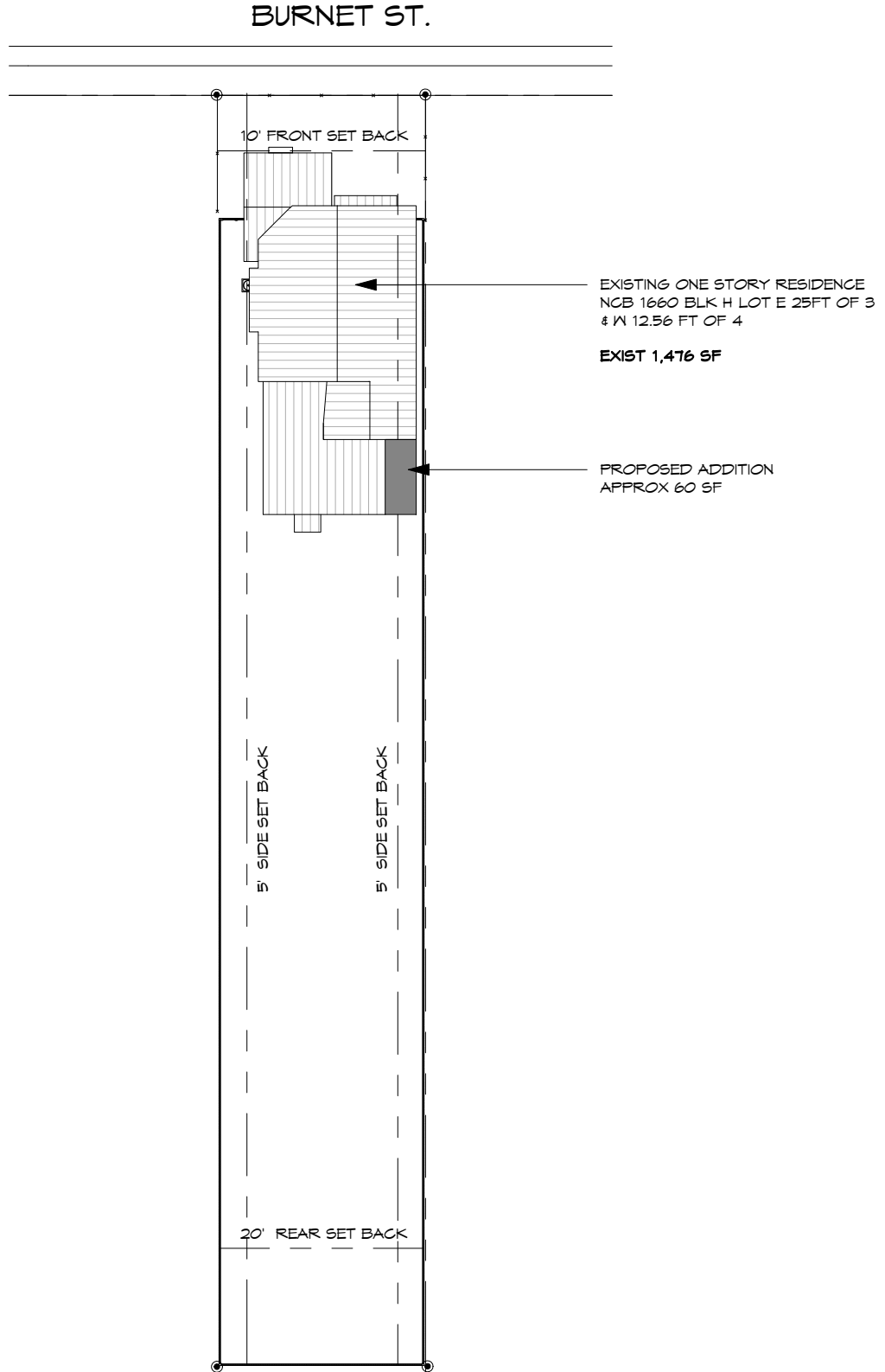
Imagery ©2017 , CAPCOG, DigitalGlobe, Texas General Land Office, Texas Farm Service Agency

Legend

 1010 Burnet St

1010 BURNET ST

EXISTING SITE PLAN



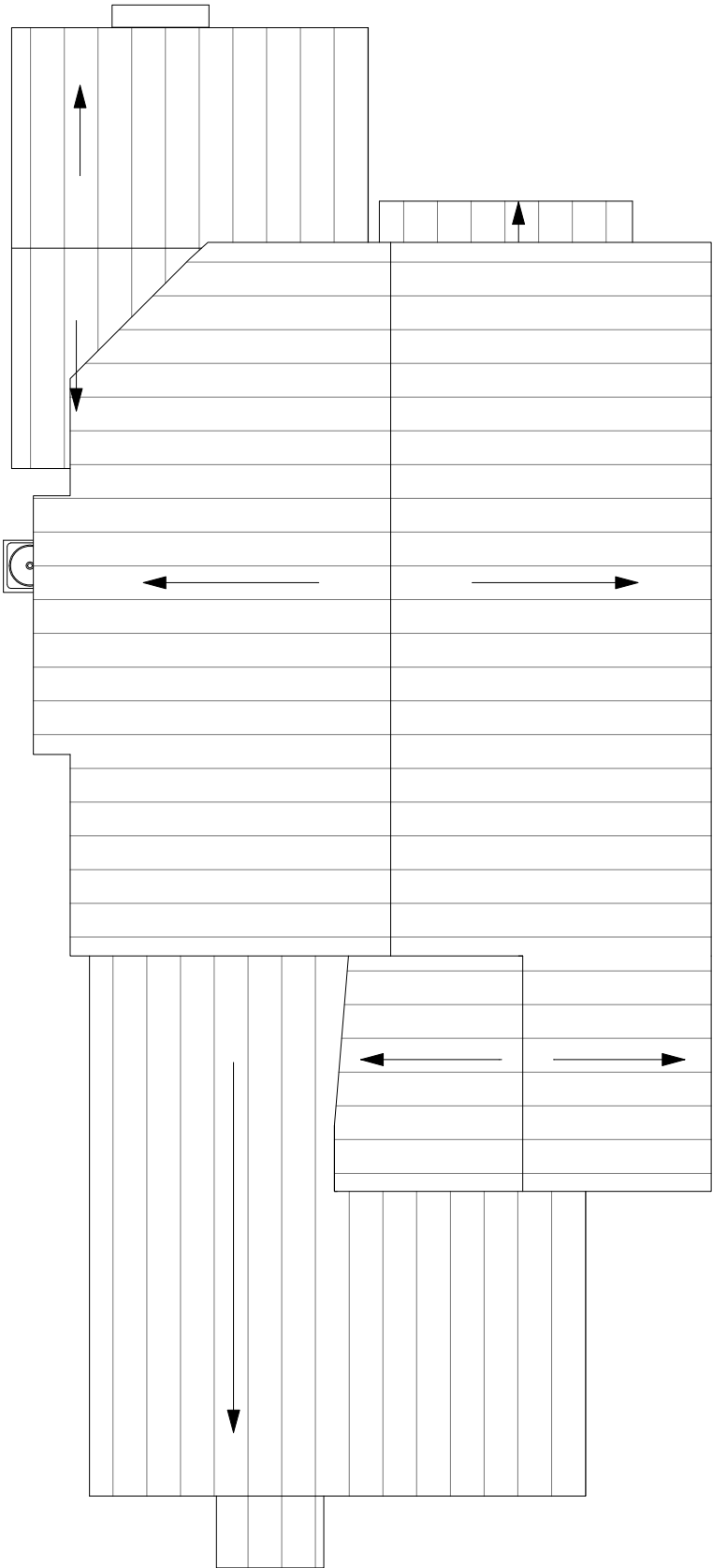
1 EXISTING SITE PLAN

1" = 30'-0"

*NOTE: PROPOERTY DIMENSIONS ARE APPROXIMATE. AND WERE OBTAINED FROM FIELD MEASUREMTNS. NO SURVEY WAS PROVIDED

- DIMENSIONS INDICATED ARE APPROXIMATE
- TREE LOCATIONS INDICATED ARE APPROXIMATE
- FENCE LOCATION = ASSUMED PROPERTY LINE

1010 BURNET ST
EXISTING ROOF PLAN



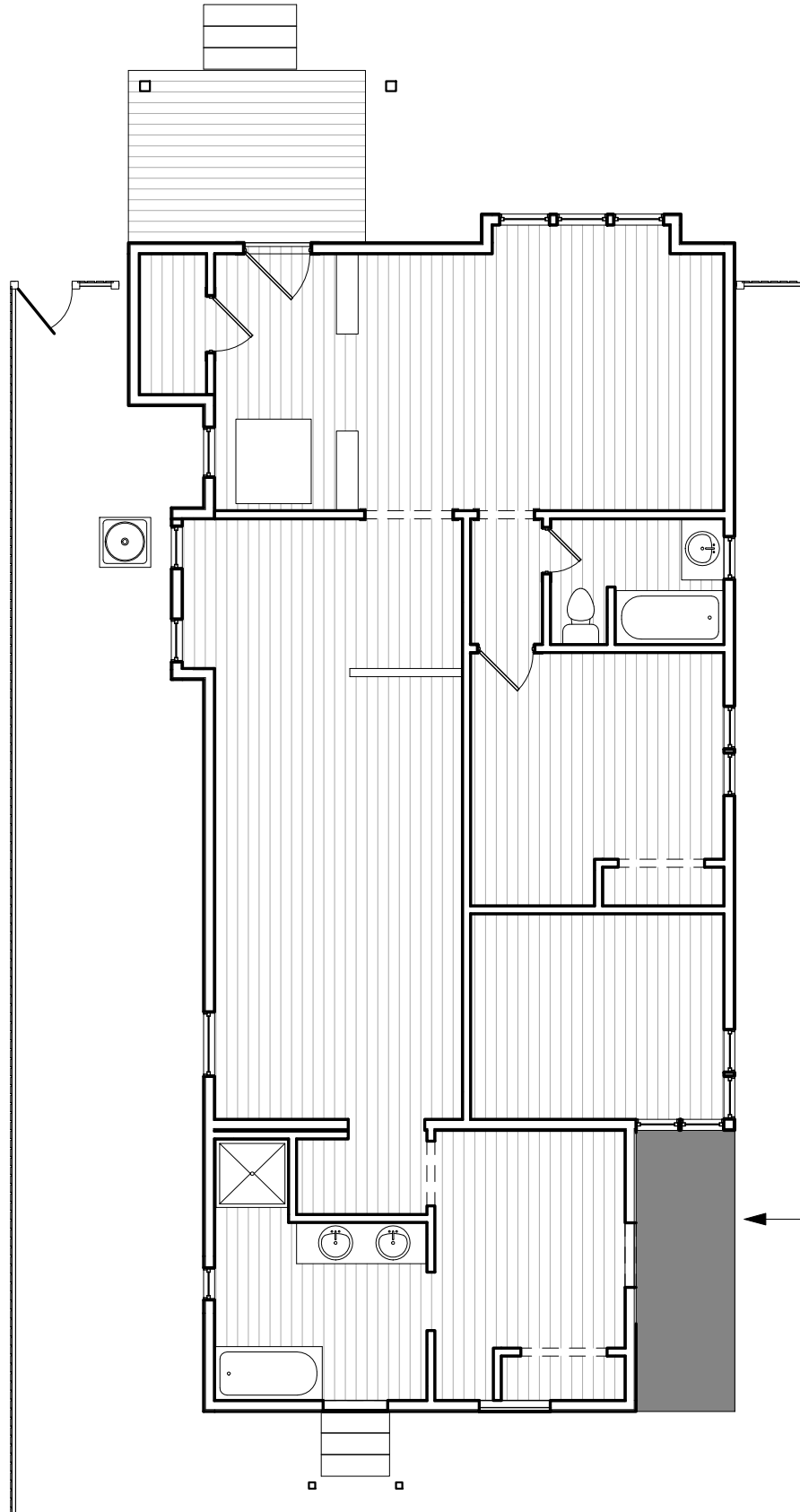
1 ROOF PLAN
1/8" = 1'-0"



JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

EXISTING FLOOR PLAN



PROPOSED ADDITION
APPROX. 60 SF



1 FLOOR PLAN
1/8" = 1'-0" 1,476 SF



JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

EXISTING ELEVATIONS



1 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 EXISTING - SOUTH ELEVATION
1/8" = 1'-0"

1010 BURNET ST

EXISTING ELEVATIONS



1 EXISTING WEST ELEVATION
1/8" = 1'-0"



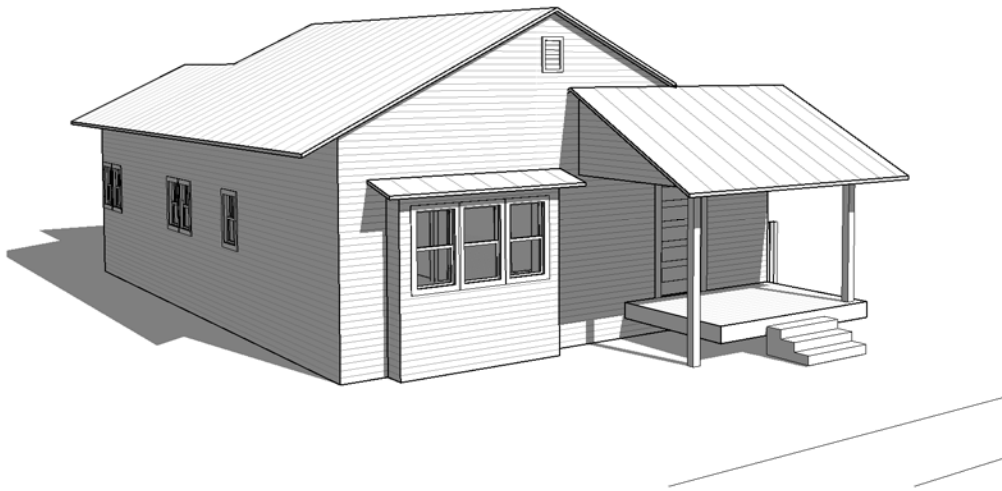
2 EXISTING EAST ELEVATION
1/8" = 1'-0"



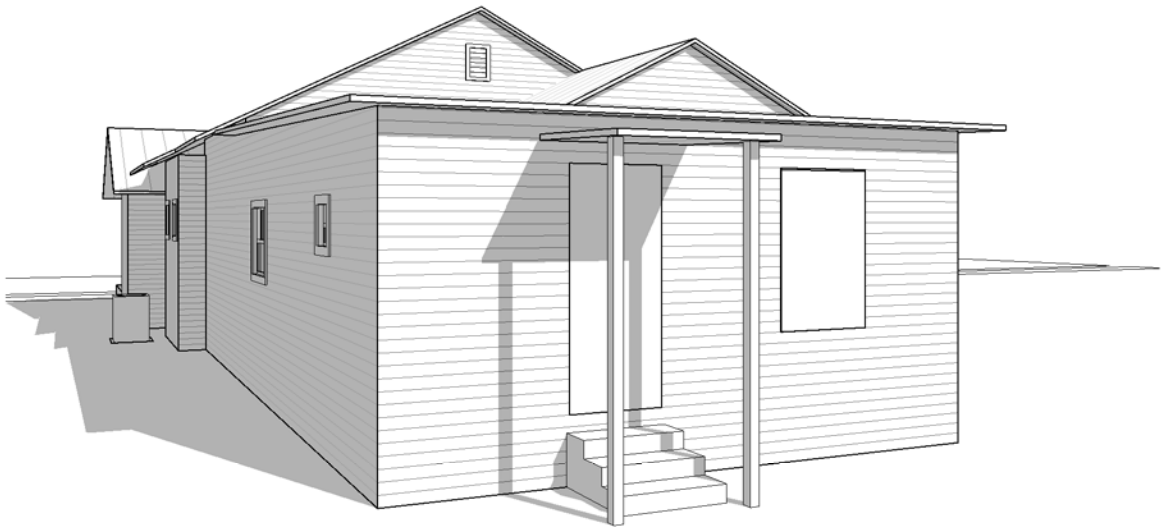
JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

PERSPECTIVES



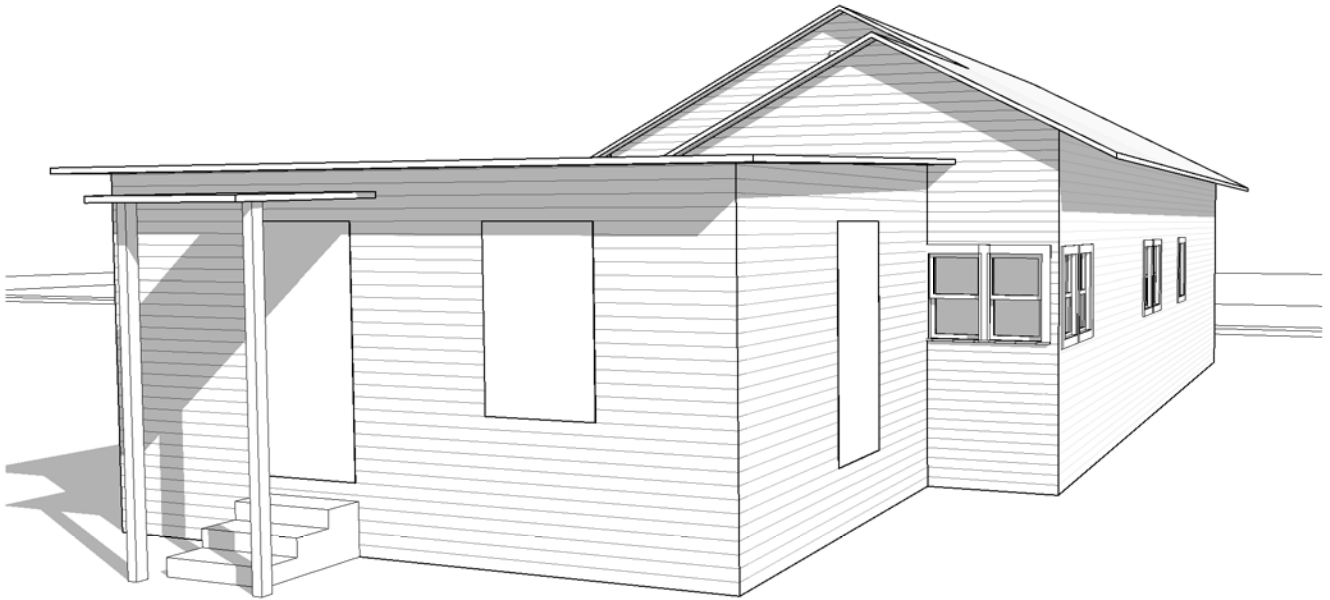
1 PERSPECTIVE FRONT



2 PERSPECTIVE REAR

1010 BURNET ST

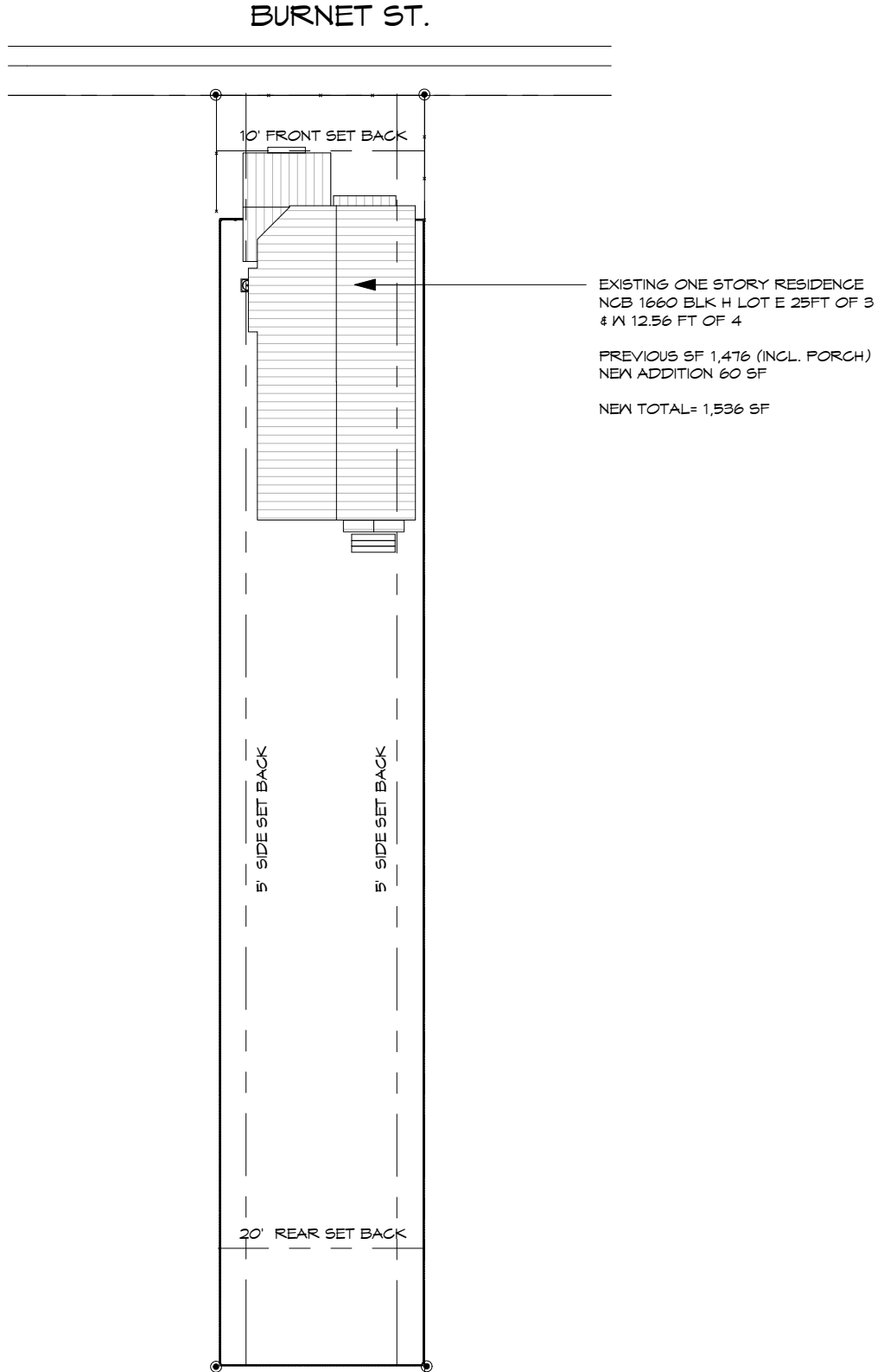
PERSPECTIVE



1 PERSPECTIVE REAR

1010 BURNET ST

EXISTING SITE PLAN



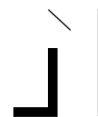
1 EXISTING SITE PLAN

1" = 30'-0"

1,536 SF

*NOTE: PROPOERTY DIMENSIONS ARE APPROXIMATE. AND WERE OBTAINED FROM FIELD MEASUREMENTS. NO SURVEY WAS PROVIDED

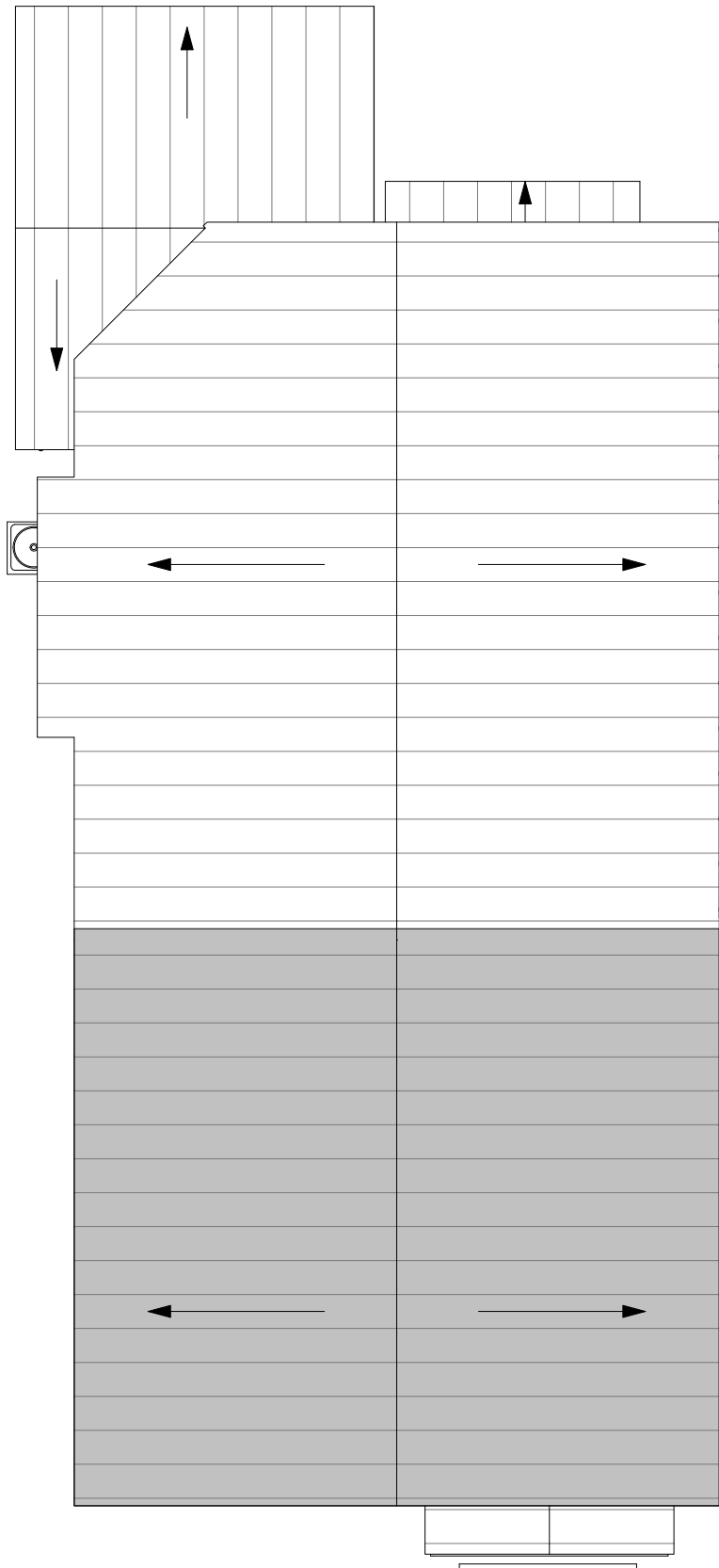
- DIMENSIONS INDICATED ARE APPROXIMATE
- TREE LOCATIONS INDICATED ARE APPROXIMATE
- FENCE LOCATION = ASSUMED PROPERTY LINE



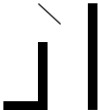
JASON MORAN
COLLABORATIVE DESIGNER

08.09.2017

1010 BURNET ST
PROPOSED ROOF
PLAN



1 ROOF PLAN
1/8" = 1'-0"

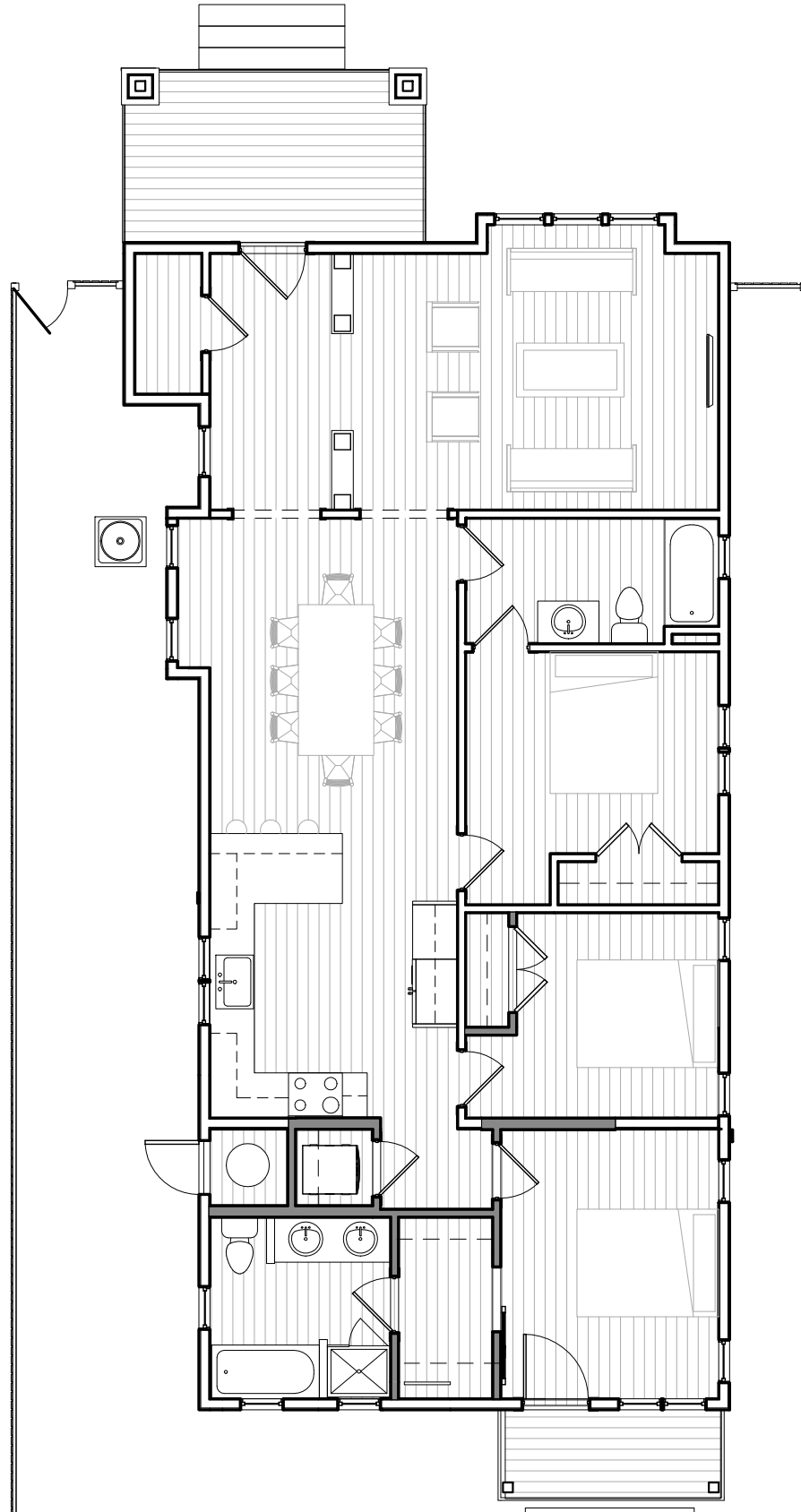


JASON MORAN
COLLABORATIVE DESIGNER

08.09.2017

1010 BURNET ST

PROPOSED FLOOR PLAN



1 FLOOR PLAN
1/8" = 1'-0" 1,536 SF

08.09.2017



JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

PROPOSED
ELEVATIONS



1 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 EXISTING - SOUTH ELEVATION
1/8" = 1'-0"

08.09.2017



JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

PROPOSED ELEVATIONS



1 EXISTING WEST ELEVATION
1/8" = 1'-0"



2 EXISTING EAST ELEVATION
1/8" = 1'-0"



JASON MORAN
COLLABORATIVE DESIGNER

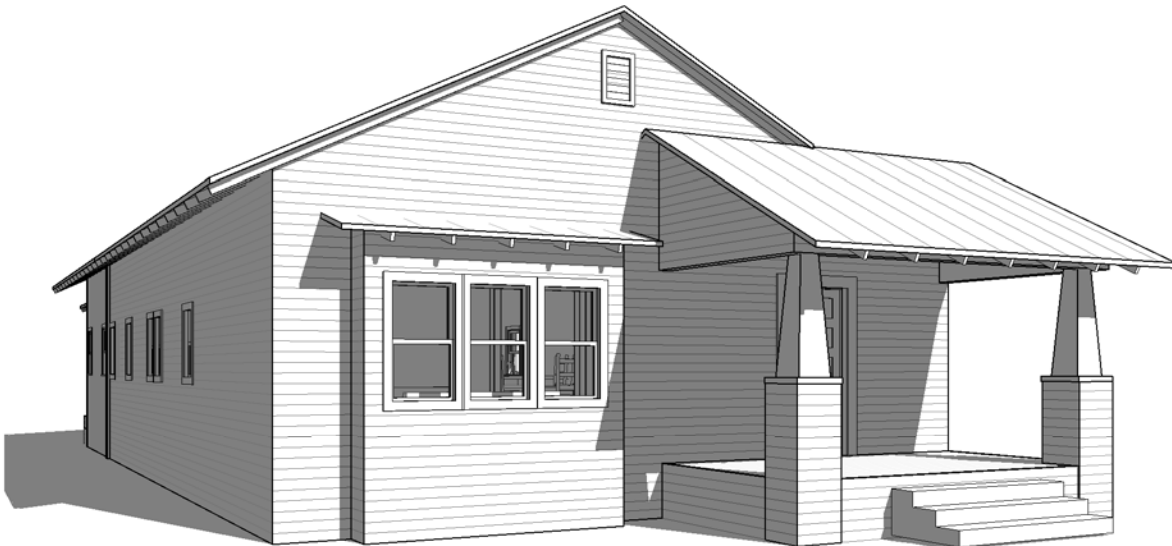
08.09.2017

1010 BURNET ST

PERSPECTIVES



1 PERSPECTIVE VIEW A



2 PERSPECTIVE VIEW B

08.09.2017



JASON MORAN
COLLABORATIVE DESIGNER

1010 BURNET ST

PERSPECTIVE



1 PERSPECTIVE AT ADDITION



JASON MORAN
COLLABORATIVE DESIGNER

08.09.2017

1010 Burnet St

Historic & Design Review

Photos - Map – Materials

Markus Lopez

Exhibit 1.1



Exhibit 1.2



Exhibit 2.1 (Windows)



Exhibit 2.2 (Windows)



Exhibit 2.3 (Windows)



Exhibit 2.4 (Windows)



Exhibit 2.5 (Windows)



Exhibit 2.6 (Windows)

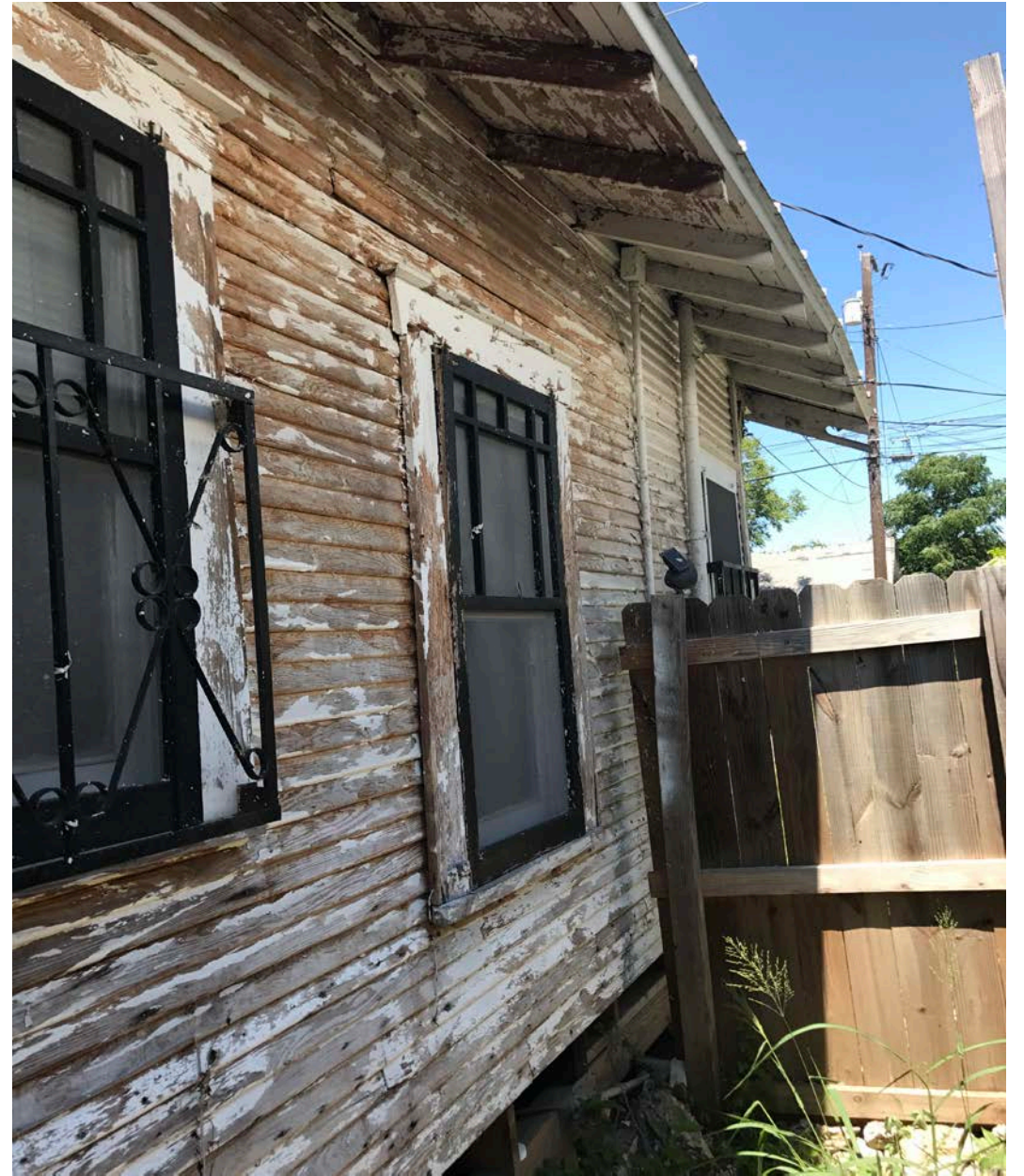


Exhibit 2.7 (Windows)

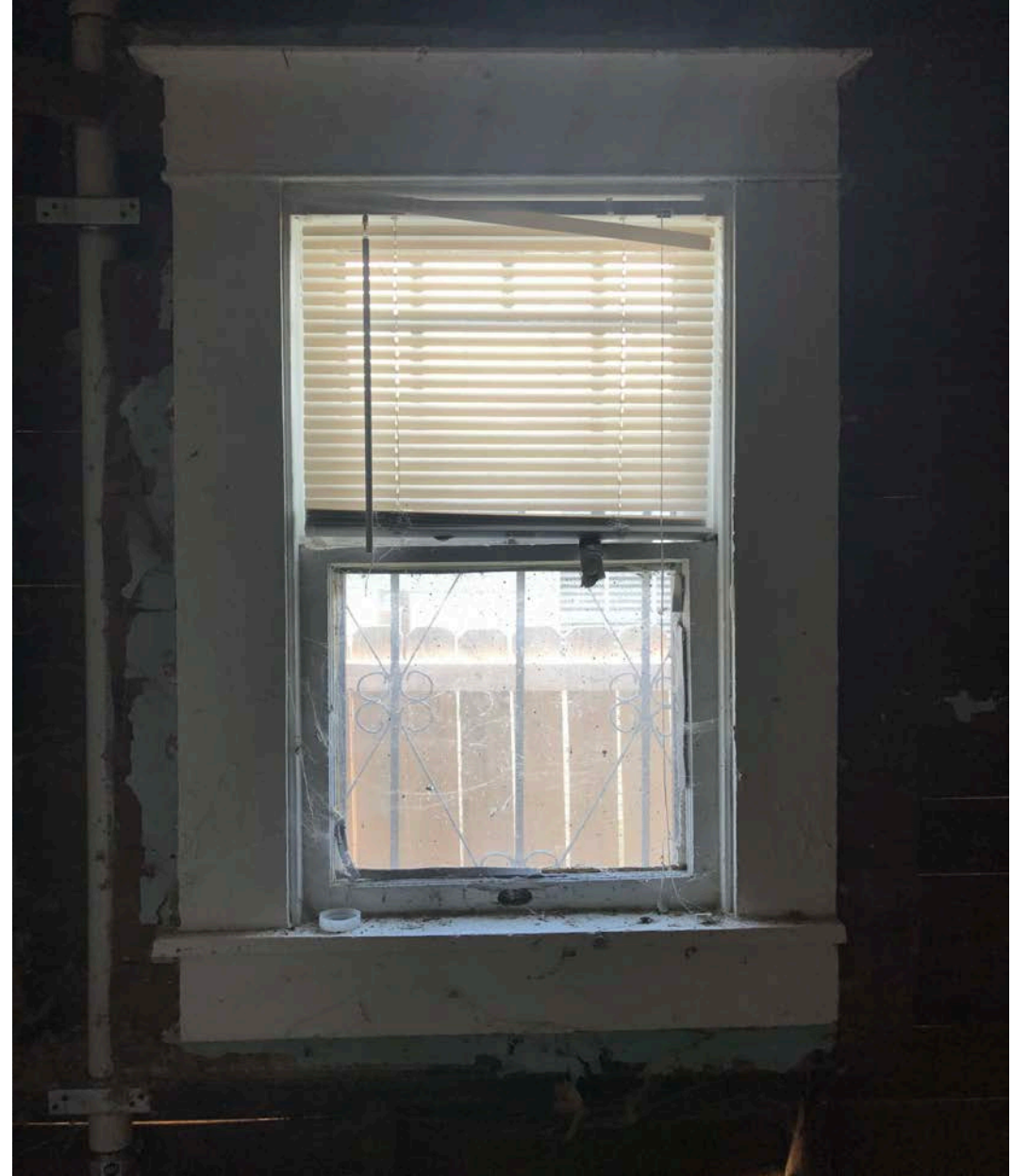


Exhibit 2.8 (Windows)



Exhibit 2.9 (Windows)



Exhibit 2.10 (Windows)



Exhibit 2.11 (Windows)



Exhibit 2.12 (Windows)



Exhibit 3.1 (Gable Extension)



Exhibit 4.1 (60 sqft Addition)



Exhibit 5.1 (Siding)



Exhibit 6.1 (Nearby Homes)



Exhibit 6.2 (Nearby Homes)

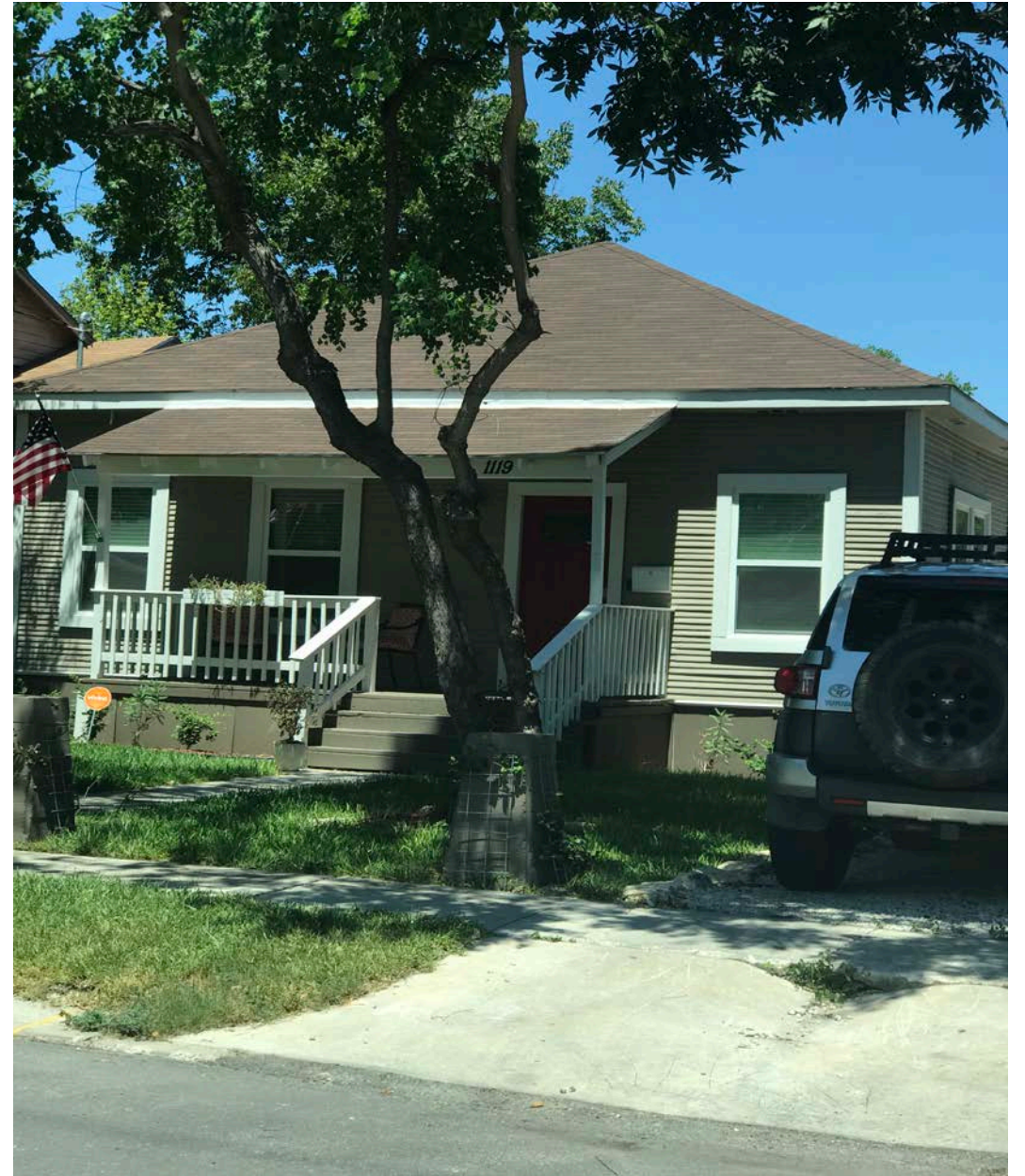


Exhibit 7.1 (Material)

#117 Yellow Pine wood siding



Classic Rib Steel Roof Panel
Galvalume 3' x 6"



Exhibit 7.2 (Material)

Benjamin Moore Chelsea Gray Exterior
Paint (Exterior Example)



Exhibit 7.3 (Material)

- Example exterior front door replacement
- Example porch column guidance

