

HISTORIC AND DESIGN REVIEW COMMISSION

September 20, 2017

HDRC CASE NO: 2017-462
ADDRESS: 228 LAVACA ST
LEGAL DESCRIPTION: NCB 713 BLK 10 LOT E 3.7 OF N 95.1 OF 14, W 9 OF N 91.5 OF 15 & W 45.1 OF E 49.1 OF 15
ZONING: RM-4 H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Clint Belew
OWNER: Clint Belew/ SA Rental Group
TYPE OF WORK: Rear Addition; Front Fence; Metal Roof
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform rehabilitative scopes of work including the repair of the existing foundation and painting.
2. Install a standing seam metal roof.
3. Construct a rear addition to feature approximately 400 square feet.
4. Install a concrete mailbox.
5. Replace the existing, chain link fence with a metal cattle panel fence.
6. Install a driveway on the east side of the historic structure.
7. Modify the existing, front yard sidewalk.
8. Receive Historic Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

vi. Materials: metal roofs—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from

the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.

iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

C. PRIVACY FENCES AND WALLS

i. Relationship to front facade—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

FINDINGS:

- a. The historic structure at 228 Lavaca was constructed circa 1910 and is found on the 1912 Sanborn Map. The structure was constructed in the Folk Victorian style and features both gabled and hipped roofs, a front facing window bay and two brick chimneys.
- b. **REHABILITATION** – The applicant has proposed rehabilitative scopes of work to the exterior that include foundation repair and painting. Staff finds both to be appropriate and consistent with the Guidelines. At this time, the applicant has not proposed a modification to the foundation skirting.
- c. **ROOF REPLACEMENT** –The structure currently features an asphalt shingled roof which the applicant has proposed to replace with a standing seam metal roof. The Guidelines for Exterior Maintenance and Alterations 3.B.vi. notes that metal roofs should be used on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds the installation of a standing seam metal roof on this Folk Victorian structure to be appropriate. The new standing seam metal roof should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a standard galvalume finish and a crimped ridge seam.
- d. **REAR ADDITION** –At the rear of the primary historic structure, the applicant has proposed to construct a rear addition to feature one story and approximately 400 square feet. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. The applicant has proposed a rear addition with a flat roof, insets on the both facades from the wall planes of the historic structure. The proposed flat roof is not consistent with the Guidelines; however, staff finds that the proposed form may be appropriate if reduced in width as to not be greater in width or massing that the roof slopes of the primary historic structure.
- e. **SCALE, MASS AND FORM** – Regarding scale, massing and form, the applicant has proposed an addition that generally features a footprint and height that is appropriate and consistent with the Guidelines. As noted in finding d, the proposed roof form should be altered.
- f. **MATERIALS** – The applicant has proposed materials that include metal siding, metal columns and fixed windows. Staff finds that the proposed metal siding may be appropriate if installed and dimensioned similarly to historic wood siding. Staff finds that the metal columns, if featuring a profile and dimensions similar to those of the historic structure may be appropriate. Staff does not find the proposed fixed windows to be appropriate. Staff

finds that wood or aluminum clad wood windows should be installed. White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Details on each should be submitted to staff for review.

- g. ARCHITECTURAL DETAILS – As noted in finding d, staff does not find the proposed roof form to be appropriate. Additionally, the proposed window openings are not consistent with the Guidelines for Additions 4.A. Staff finds that window openings that are grouped and sized similar to those found historically in the district should be used.
- h. FENCING – The property currently features a chain link fence which the applicant has proposed to replace with a metal cattle panel fence. Staff finds the proposed replacement to be appropriate; however, staff does not find the proposed solid base to be consistent with examples found throughout the district. The proposed fence shall not exceed four (4) feet in height beyond the front façade of the historic structure.
- i. DRIVEWAY – The property currently does not feature a driveway. The applicant has proposed to install a driveway on the east side of the property. The applicant has not noted materials or specific dimensions. Driveways on this block consist of various materials and profiles. Staff finds that the proposed driveway should be consistent with the Guidelines and be no wider than ten (10) feet in height. Concrete, decomposed granite and gravel are all appropriate materials.
- j. SIDEWALK – The property currently features a damaged, concrete sidewalk. The applicant has proposed to remove this sidewalk and install a concrete paver sidewalk. The Guidelines for Site Elements 5.A. notes that historic sidewalks should be repaired. Staff finds that the applicant should install a new sidewalk to match the profile of the historic.
- k. CONCRETE MAILBOX – The applicant has proposed a concrete mailbox at the public right of way. Staff does not find this installation, in location or design to be appropriate for the Lavaca Historic District.
- l. HISTORIC TAX CERTIFICATION – HISTORIC TAX CERTIFICATION – The requirements for Tax Certification outlined in UDC Section 35-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs and an itemized list of costs.

RECOMMENDATION:

Staff recommends approval of items #1 and #2, rehabilitation and standing seam metal roof installation based on findings b and c with the following stipulation:

- i. The new standing seam metal roof should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a standard galvalume finish and a crimped ridge seam. The applicant must schedule an inspection with OHP Staff prior to installation as noted in finding c.

Staff does not recommend approval of item #3, the construction of a rear addition based on finding d. Staff recommends that the proposed roof form should be modified to a form that is subordinate to that of the primary historic structure in regards to an overall height that protrudes into the area of the exiting roof slope. Additionally, staff recommends the following:

- i. That the proposed metal siding may be appropriate if installed and dimensioned similarly to historic wood siding.
- ii. That the metal columns, if featuring a profile and dimensions similar to those of the historic structure may be appropriate. Staff does not find the proposed fixed windows to be appropriate.
- iii. That wood or aluminum clad wood windows should be installed. White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Details on each should be submitted to staff for review.

Staff does not recommend approval of item #4, the installation of a concrete mailbox.

Staff recommends approval of items #5 and #6, the replacement of fencing and driveway repair with the following stipulations:

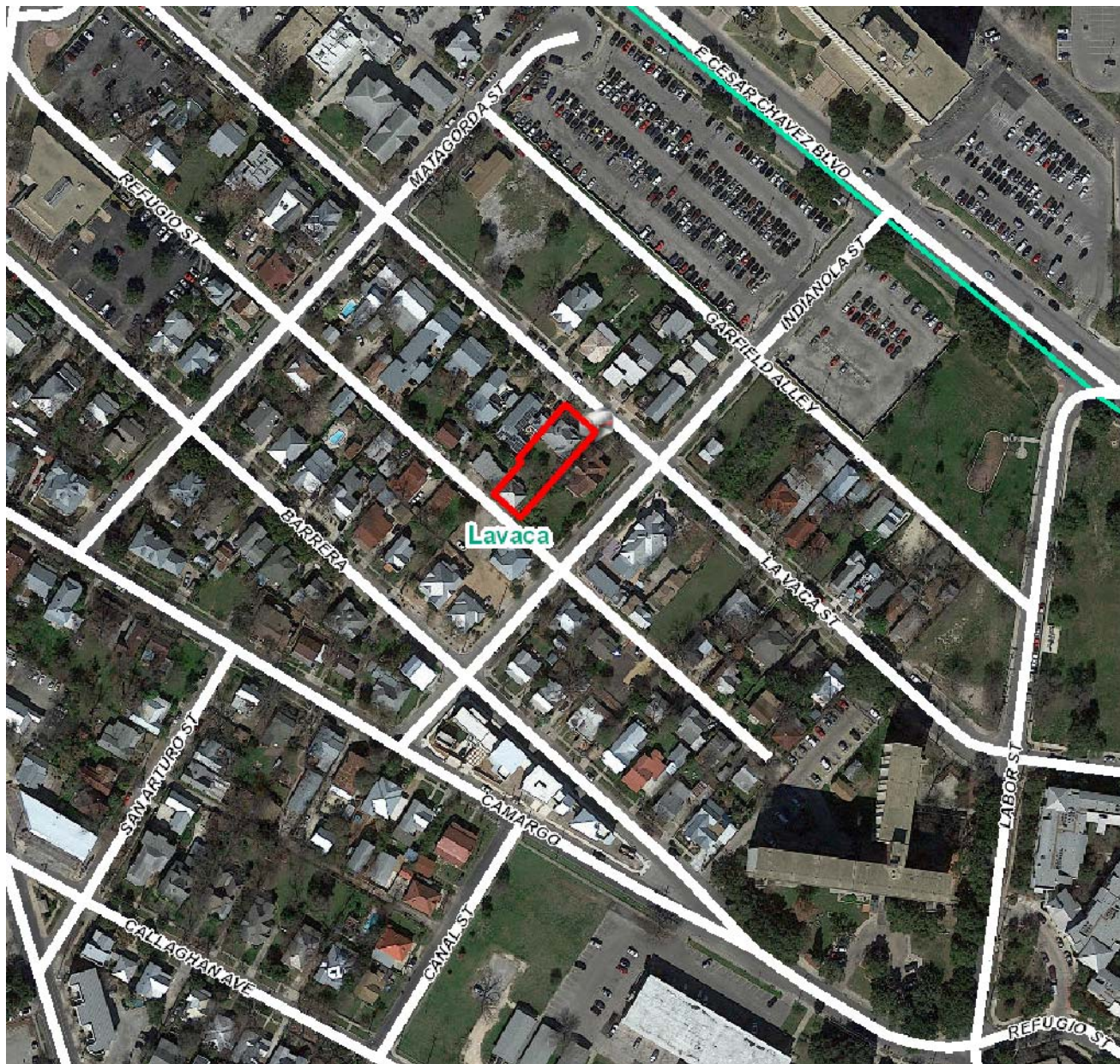
- i. That the proposed fence shall not exceed four (4) feet in height beyond the front façade of the historic structure as noted in finding i. Additionally, the proposed fence should not feature a solid base as proposed. The fence should feature mesh from the top rail to the bottom rail.
- ii. That the proposed driveway not exceed ten feet in width that either concrete, gravel or decomposed granite be used as noted in finding i.

Staff does not recommend approval of item #7, the replacement of the existing concrete sidewalk based on finding j. Staff recommends the applicant repair or replace the existing concrete sidewalk in kind.

Staff recommends approval of item #8, Historic Tax Certification.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 14, 2017

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228 Lavaca Street

243

244

VICTORIA

706

MT. ZION

LAMAR PUBLIC SCHOOL N°6

LAVACA

238

712

REFUGIO

BARRERA

716

228

249

MATAGORDA

INDIANOLA

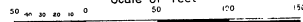
713

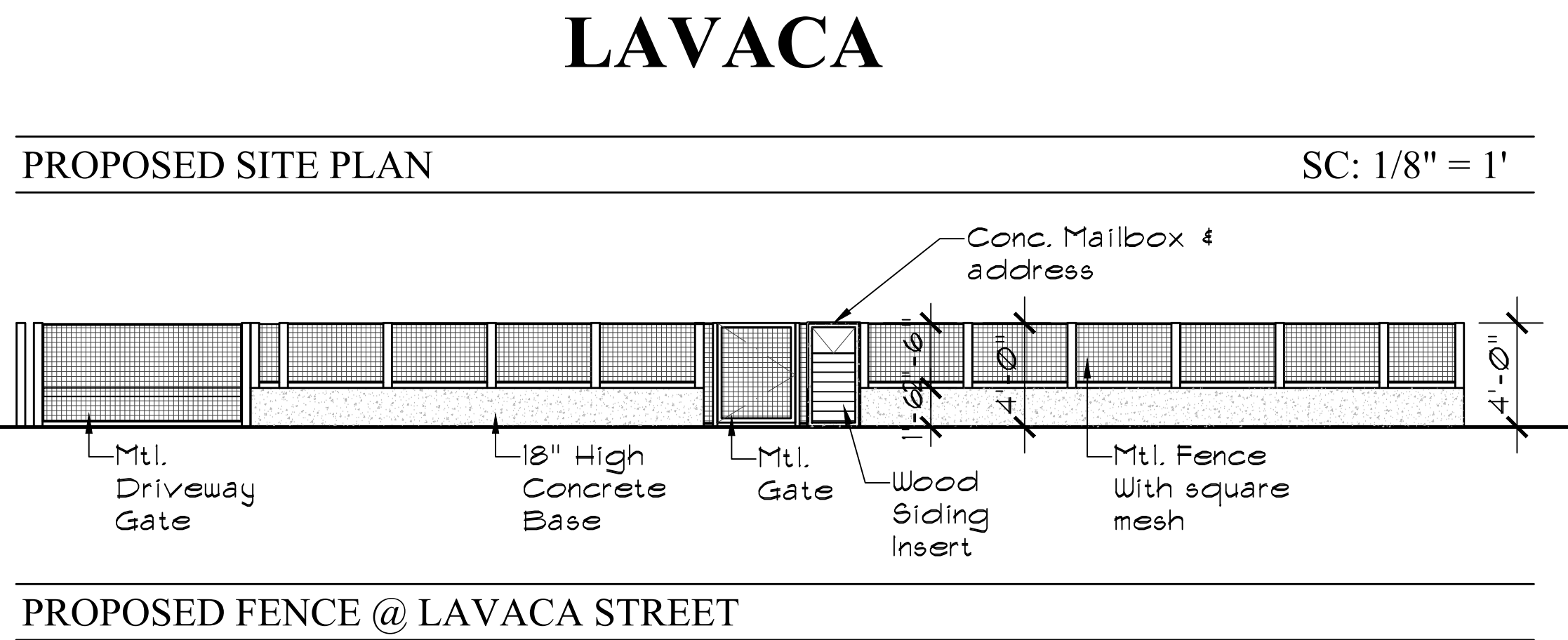
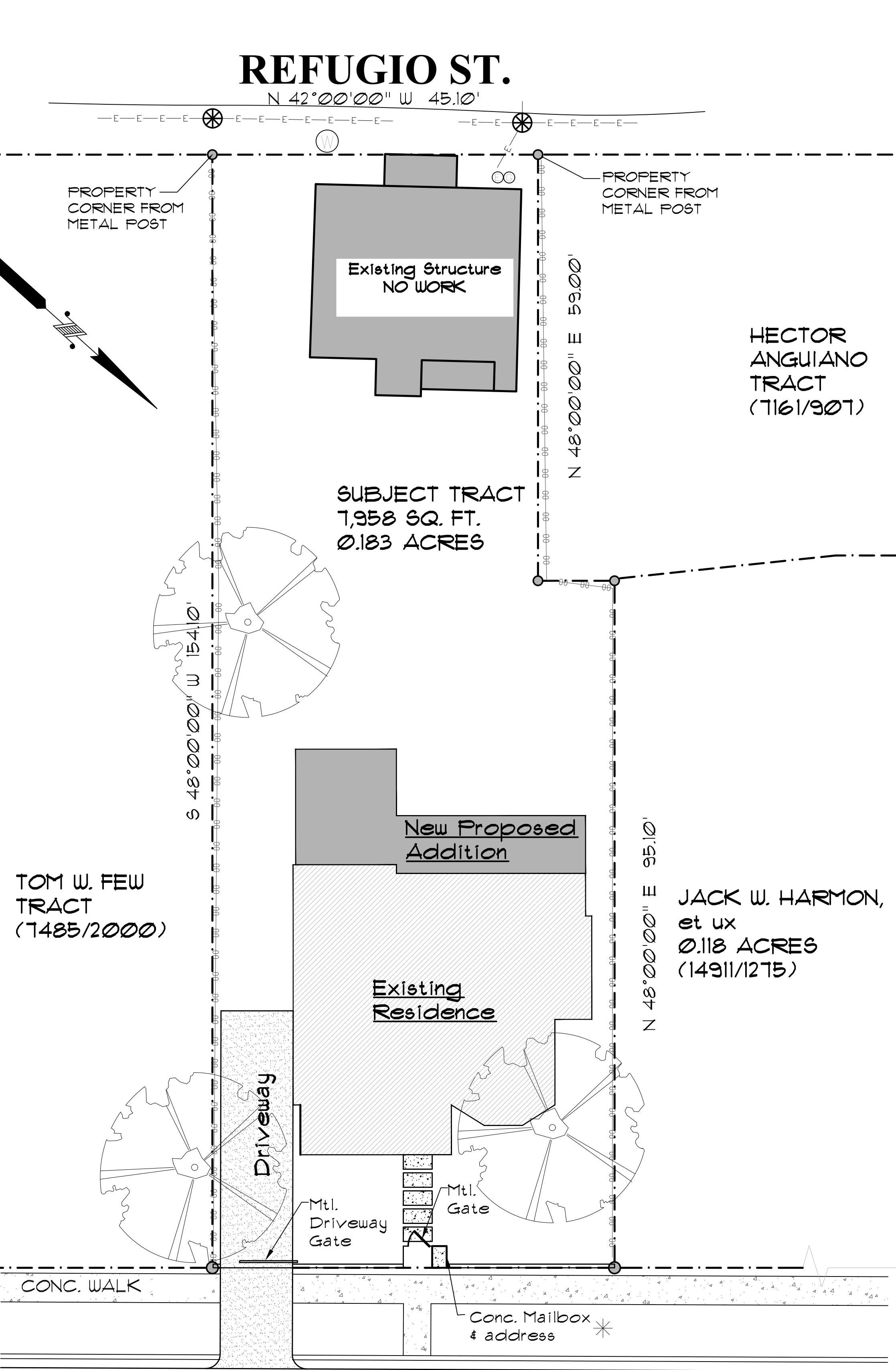
CAMARGO

251

San Juan St

Scale of Feet

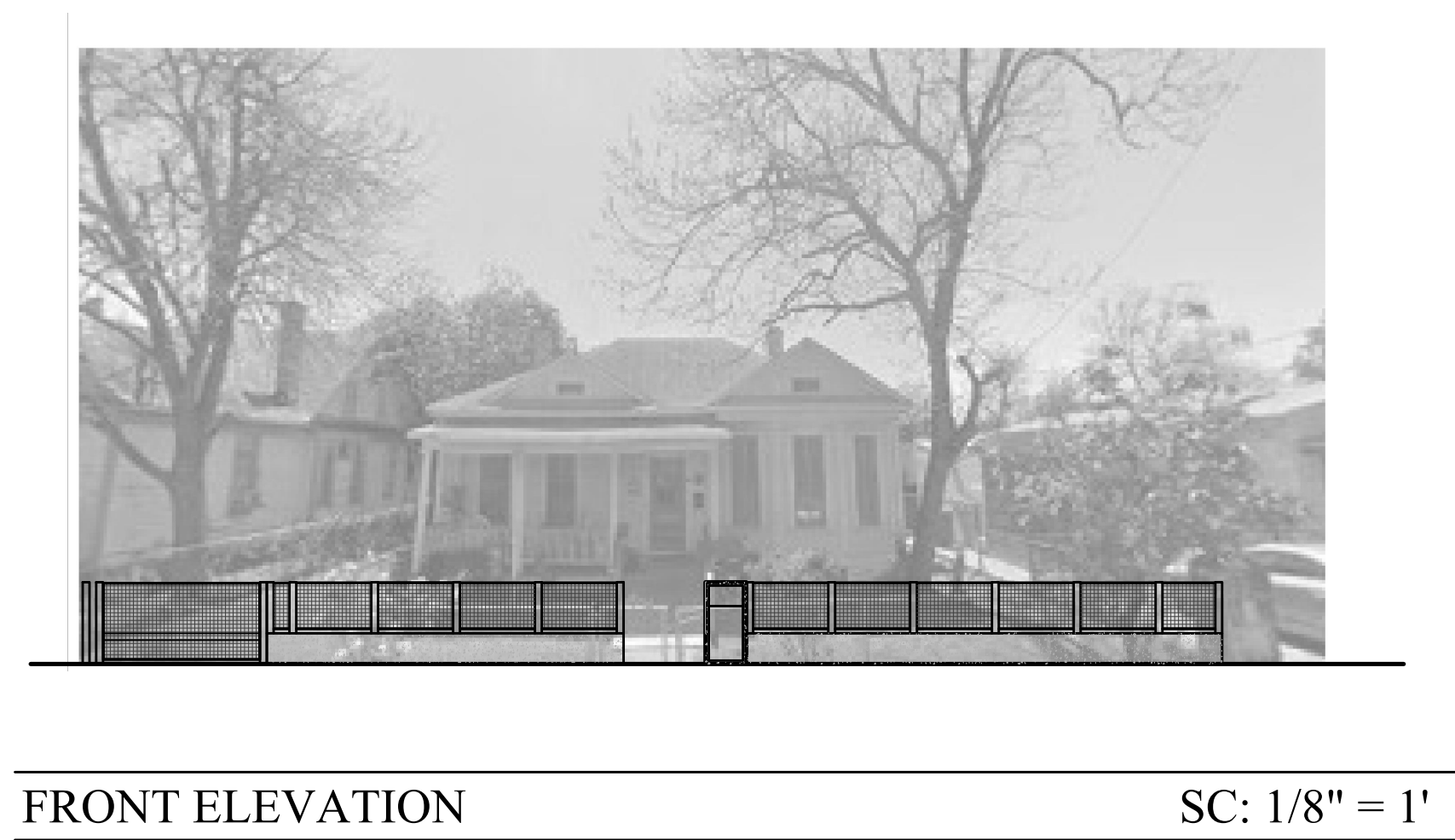
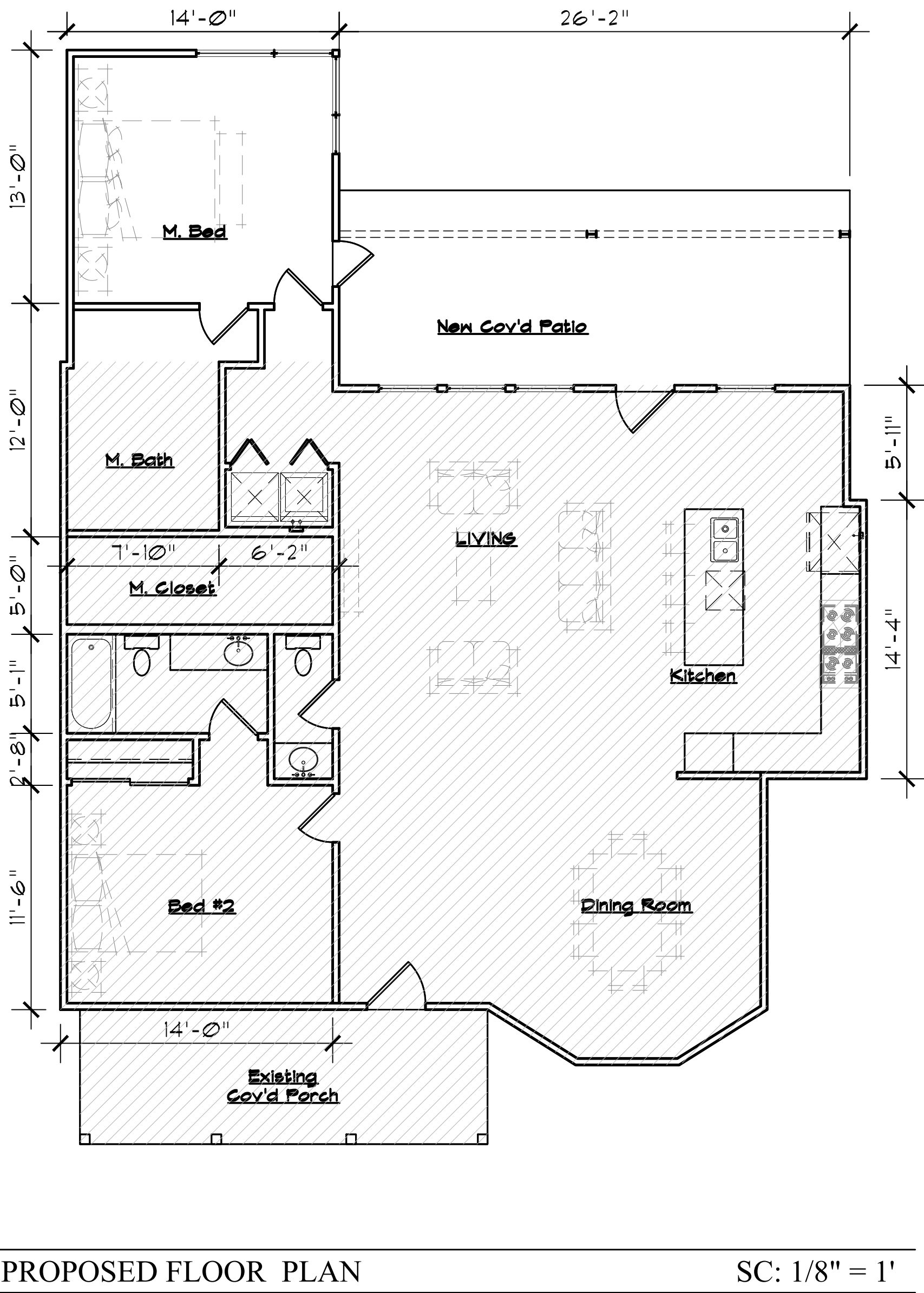




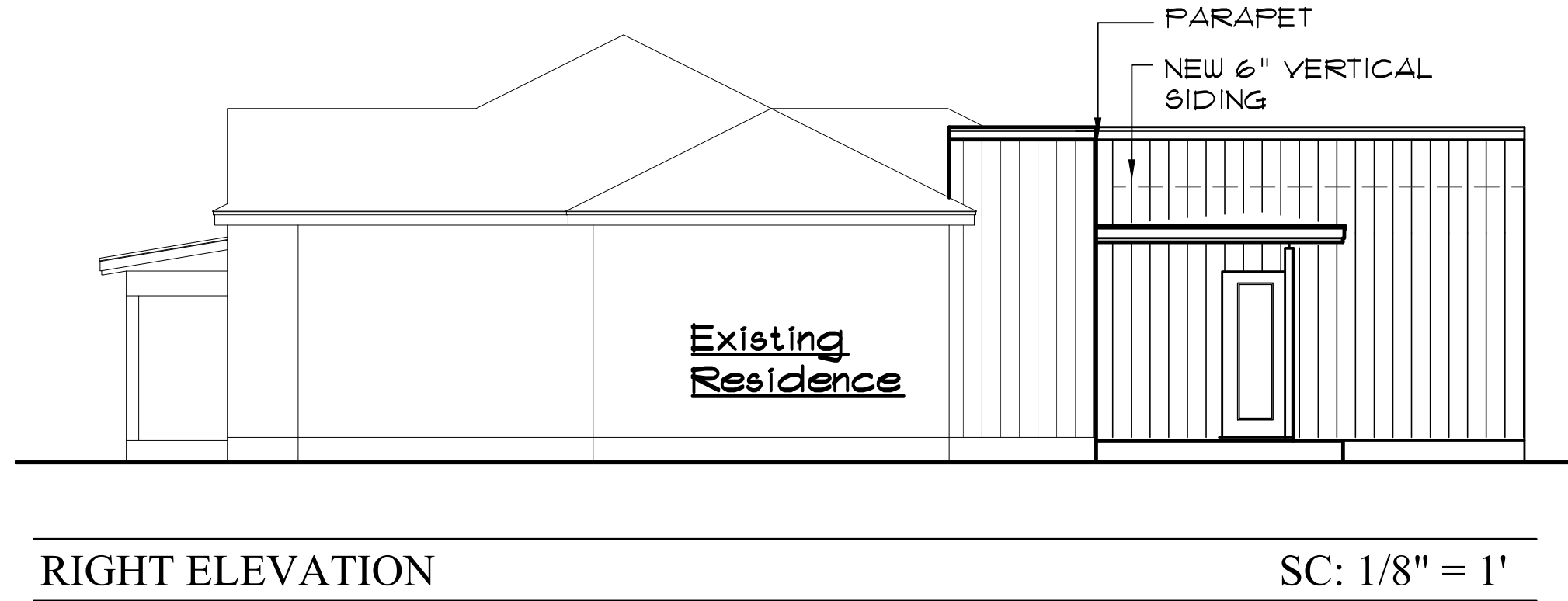
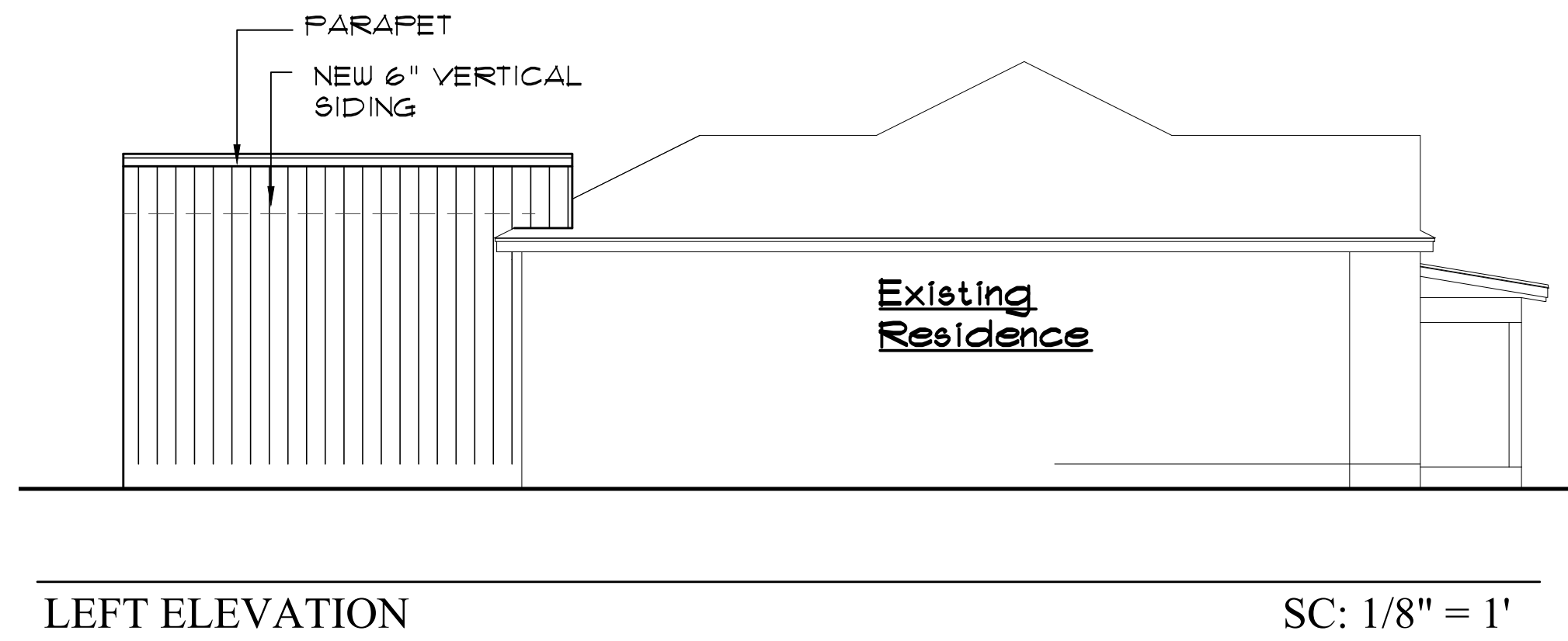
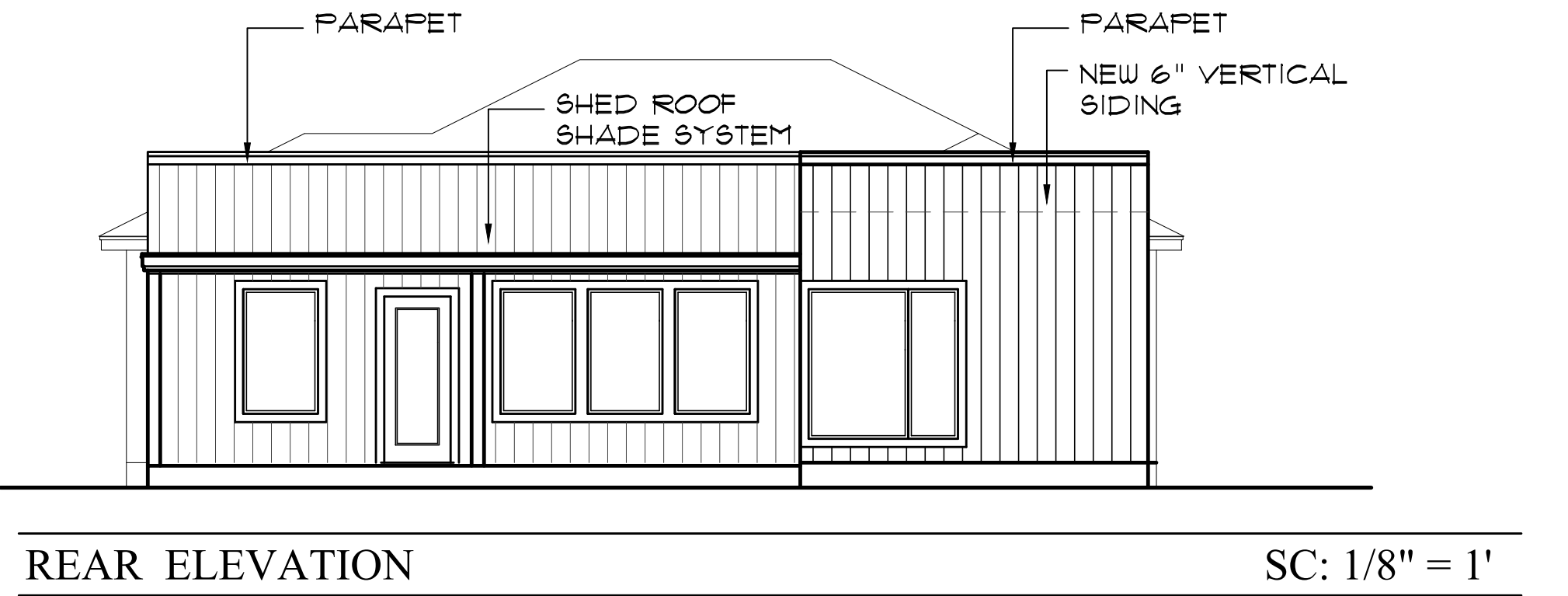
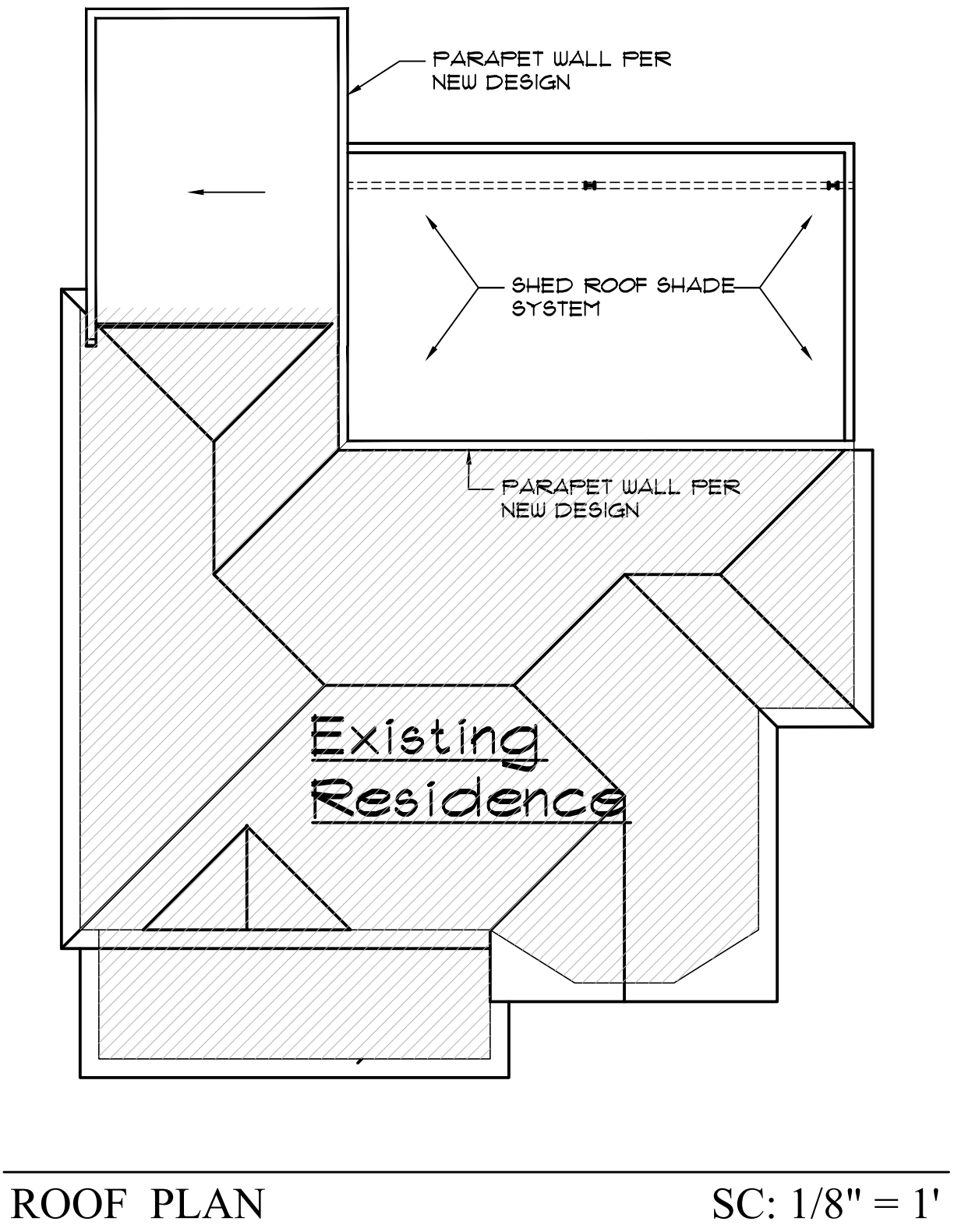
228 LAVACA
SAN ANTONIO, TEXAS 78210

GENERAL NOTES

1. EXISTING RESIDENCE TO REMAIN COMPLETE.
2. ANY NEW WORK AND ADDITIONS WILL HAPPEN AT REAR OF RESIDENCE AND WILL NOT BE VISIBLE FROM LAVACA STREET
3. ALL EXISTING MATERIALS ON RESIDENCE THAT MAY NEED TO BE REPLACED DUE TO MAINTENANCE WILL MATCH EXISTING SPECIES, SIZE, AND TYPE
4. FRONT AND SIDE FENCE TO BE REPLACED WITH PROPOSED METAL AND CONCRETE SUBMITTAL.



EXISTING AREA TABULATIONS	
LIVING	1251 S.F.
FRONT PORCH	144 S.F.
REAR PATIO	155 S.F.
TOTAL FOUNDATION	1450 S.F.
NEW AREA TABULATIONS	
LIVING	1529 S.F.
FRONT PORCH	144 S.F.
REAR PATIO	262 S.F.
TOTAL FOUNDATION	1935 S.F.



Historic Tax Certification Form

Scope of Work:

Rear addition
New front fence with gates
New front driveway
Metal roof
Completely update the electrical and plumbing
New HVAC system
Kitchen and baths
New concrete pier foundation
Repaint the interior and exterior

Cost: \$120,000.00

Time Schedule: Starting work Aug. 2017 and finishing work on or before Aug. 2018





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210 Lavaca St



232 Lavaca St



228 Lavaca St



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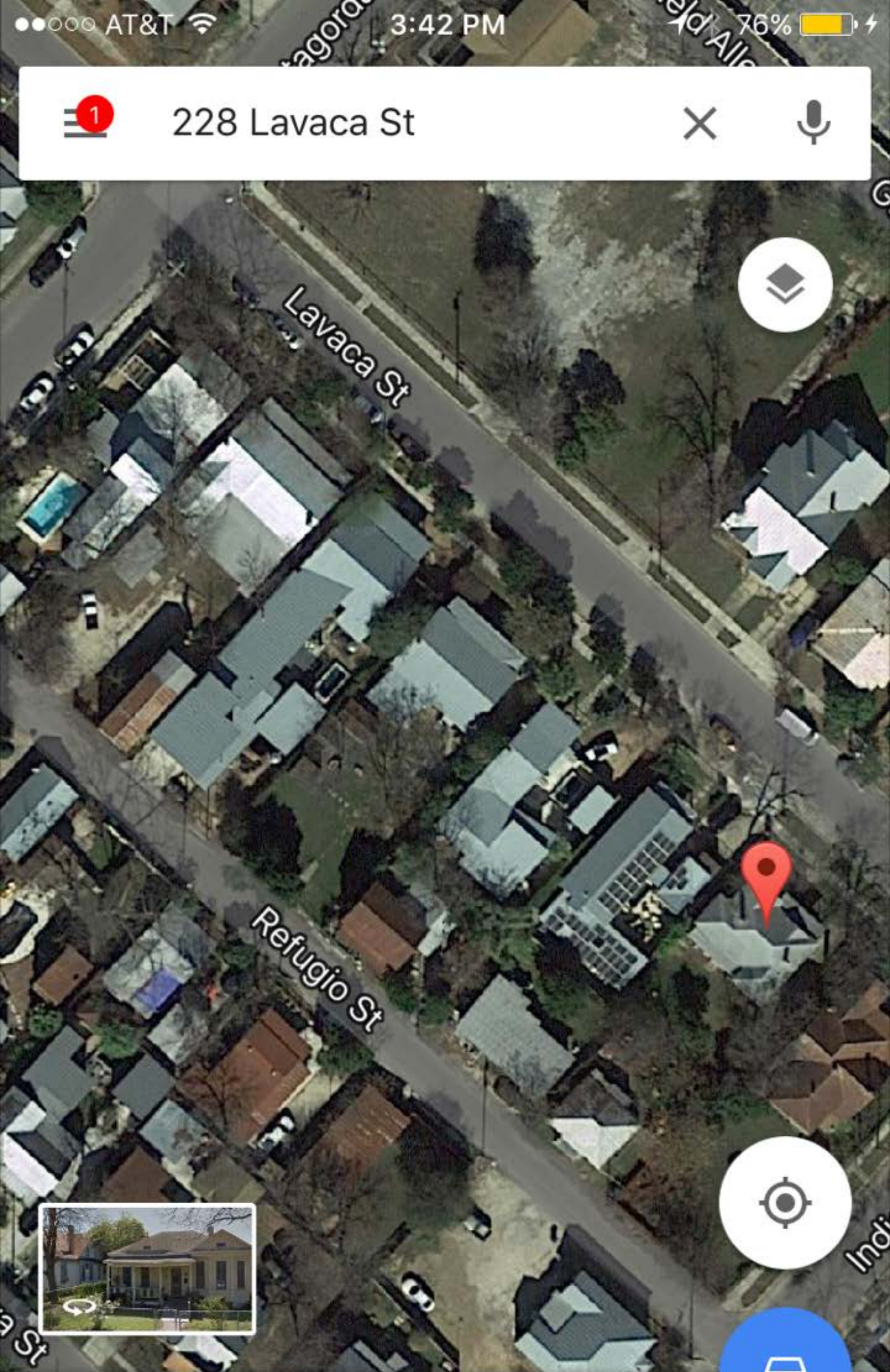
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Q modern metal fence panels





1244



224















1842