

HISTORIC AND DESIGN REVIEW COMMISSION

October 18, 2017

HDRC CASE NO: 2017-526
ADDRESS: 228 LAVACA ST
LEGAL DESCRIPTION: NCB 713 BLK 10 LOT E 3.7 OF N 95.1 OF 14, W 9 OF N 91.5 OF 15 & W 45.1 OF E 49.1 OF 15
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Clint Belew
OWNER: Clint Belew
TYPE OF WORK: Construction of a rear addition, fencing
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a rear addition to feature approximately 400 square feet.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The historic structure at 228 Lavaca was constructed circa 1910 and is found on the 1912 Sanborn Map. The structure was constructed in the Folk Victorian style and features both gabled and hipped roofs, a front facing window bay and two brick chimneys. The applicant has received Certificates of Appropriateness for porch repairs and stabilization and foundation repair.
- b. At the September 20, 2017, HDRC hearing, the applicant received approval to perform rehabilitative scopes of work, install a standing seam metal roof, install front yard fencing, install a driveway on the east side of the property and received Historic Tax Certification. The applicant's request for approval of a rear addition, a concrete mailbox and the installation of front yard sidewalk pavers in place of a solid concrete sidewalk were denied.
- c. **REAR ADDITION** –At the rear of the primary historic structure, the applicant has proposed to construct a rear addition to feature one story and approximately 400 square feet. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. The applicant has proposed an addition with an inward sloping shed roof and insets from the wall planes of the historic structure. At the September 20, 2017, HDRC hearing, staff's concerns centered around the proposed roof form extending above that of the primary historic structure. As currently proposed, the roof form still extends above that of the primary historic structure.
- d. **SCALE, MASS AND FORM** – Regarding scale, massing and form, the applicant has proposed an addition that generally features a footprint and height that is appropriate and consistent with the Guidelines; however, staff finds that the proposed roof form should be completely subordinate to that of the primary historic structure.
- e. **MATERIALS** – The applicant has proposed materials that include metal siding, metal columns and fixed windows. Staff finds that the proposed metal siding may be appropriate if installed and dimensioned similarly to historic wood siding. Staff finds that the metal columns feature a profile and dimensions similar to those of the historic structure may be appropriate. Staff does not find the proposed fixed windows to be appropriate. Staff

finds that wood or aluminum clad wood windows should be installed. White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Details on each should be submitted to staff for review.

- f. ARCHITECTURAL DETAILS – As noted in finding c, staff does not find the proposed roof form to be appropriate. Additionally, the applicant has proposed for the addition to feature a wall that is void of window openings. Staff finds that additional fenestration should be added to the left elevation and that window openings that are grouped and sized similarly to those found historically in the district be used.
- g. ARCHITECTURAL DETAILS – Staff finds that the proposal of both an addition that does not feature a traditional roof form and the proposed metal siding is a large departure from the Guidelines for Additions. Staff recommends that the applicant amend the proposal to address staff's concerns as noted in findings c, regarding the proposed roof form and finding e, regarding the proposed metal siding.
- h. FENCING – The applicant has proposed to construct a front yard fence to feature metal cattle panels and metal posts. Front yard fencing is appropriate in the Lavaca Historic District. Staff finds the proposed materials and location to be appropriate and consistent with the Guidelines.

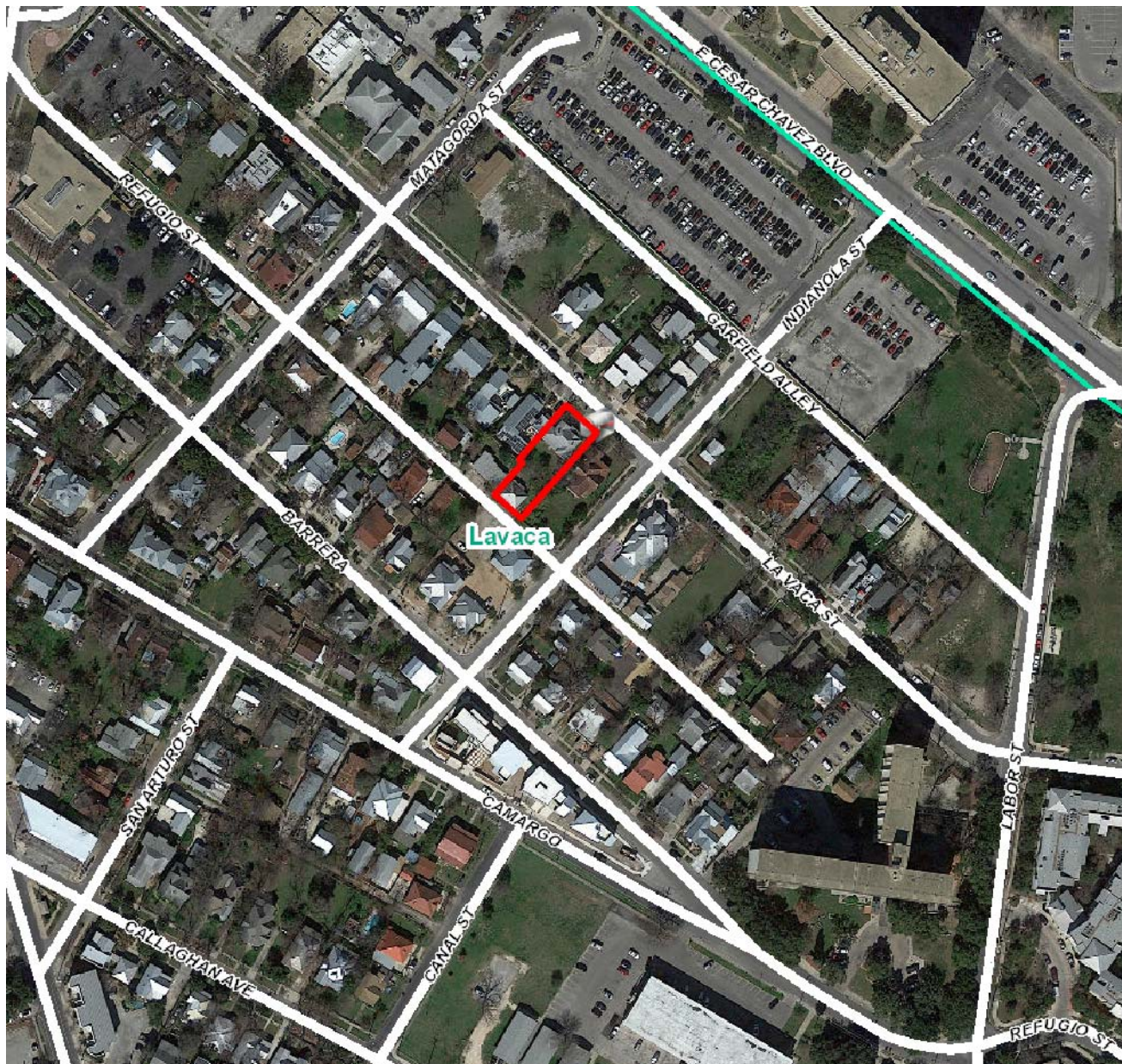
RECOMMENDATION:

Staff does not recommend approval based on findings c through. Staff recommends the applicant address the following items prior to receiving a Certificate of Appropriateness:

- i. That the proposed addition's roof form be completely subordinate to that of the primary historic structure.
- ii. That the proposed metal siding feature a profile that is similar to historic wood siding found throughout the district (a four inch exposure).
- iii. That the metal columns feature a profile and dimensions similar to those of the historic structure.
- iv. That additional fenestration should be added to the left elevation and that window openings that are grouped and sized similarly to those found historically in the district be used.
- v. That wood or aluminum clad wood windows should be installed. White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Details on each should be submitted to staff for review.
- vi. That additional fenestration should be added to the left elevation and that window openings that are grouped and sized similarly to those found historically in the district be used.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 14, 2017

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.



228 Lavaca Street

243

244

VICTORIA

706

MT. ZION

LAMAR PUBLIC SCHOOL N°6

LAVACA

238

712

REFUGIO

BARRERA

716

ALLEY NOT DRYED

707

228

MATAGORDA

713

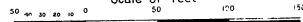
CAMARGO

251

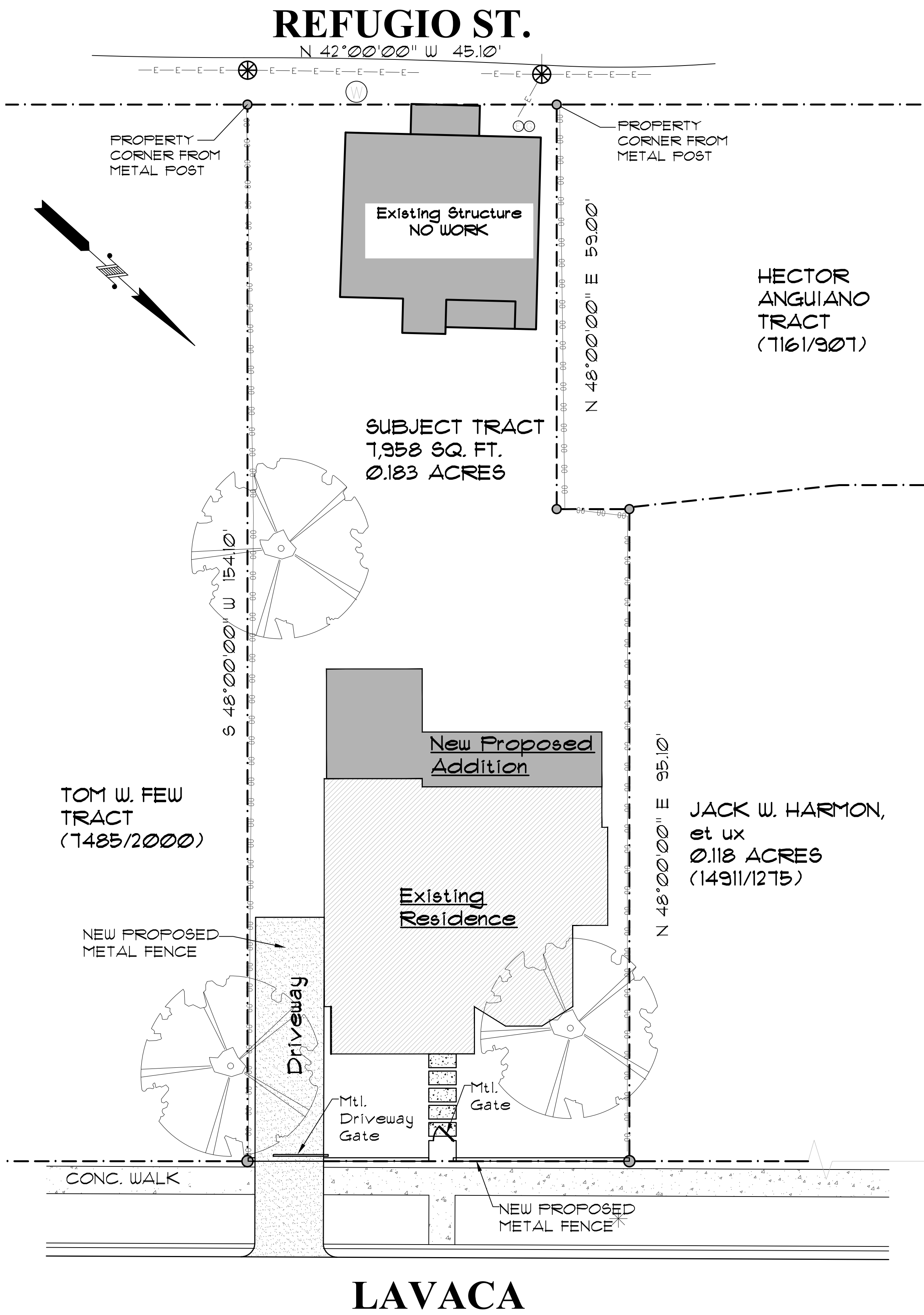
249

INDIANOLA

Scale of Feet



228 LAVACA
SAN ANTONIO, TEXAS 78210



SITE PLAN SC: 1/8" = 1'

GENERAL NOTES

1. EXISTING RESIDENCE TO REMAIN COMPLETE.
2. ANY NEW WORK AND ADDITIONS WILL HAPPEN AT REAR OF RESIDENCE AND WILL NOT BE VISIBLE FROM LAVACA STREET
3. ALL EXISTING MATERIALS ON RESIDENCE THAT MAY NEED TO BE REPLACED DUE TO MAINTENANCE WILL MATCH EXISTING SPECIES, SIZE, AND TYPE
4. FRONT AND SIDE FENCE TO BE REPLACED WITH PROPOSED METAL AND CONCRETE SUBMITTAL.



PROPOSED REAR ELEVATION No Scale

SCOPE:

ADDITION TO EXISTING RESIDENCE TO INCLUDE A NEW COVID PATIO AND MASTER BEDROOM AT THE REAR.

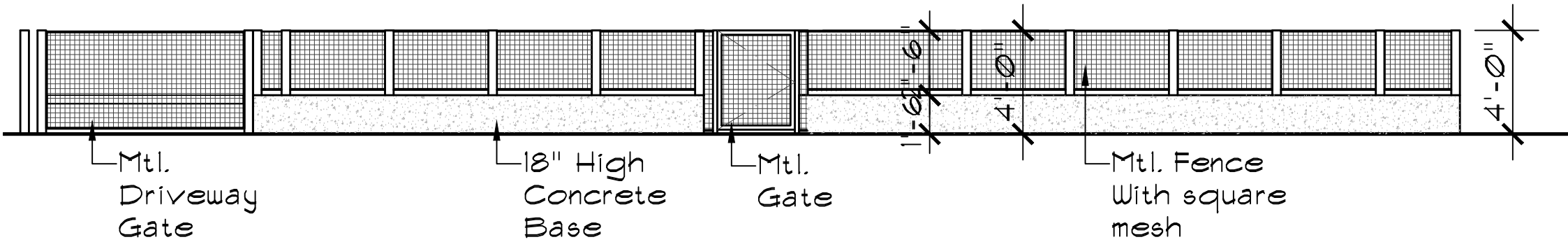
EXISTING AREA TABULATIONS

	TOTAL
LIVING	1251 S.F.
FRONT PORCH	144 S.F.
REAR PATIO	155 S.F.

NEW AREA TABULATIONS

	TOTAL
LIVING	1529 S.F.
FRONT PORCH	144 S.F.
REAR PATIO	262 S.F.

TOTAL FOUNDATION	1955 S.F.
------------------	-----------



PROPOSED FENCE @ LAVACA STREET No Scale

Contractor Notes:
Working drawings shall not be scaled. Before proceeding with any work or ordering materials, the contractor and/or subcontractor shall verify all notes and measurements. Contractor shall report any discrepancies in or omissions from the working drawings. Details and drawings are builders' type and the designer of this set of plans hereby notifies both the owner and contractor that he, the "designer" relieves himself of liabilities to said working drawings. It is the responsibility of the general contractor to insure that the construction of this project meets all local structural codes.

REVISIONS:

228 LAVACA ST.
SAN ANTONIO, TEXAS 78210

Issue Date:
09/19/2017

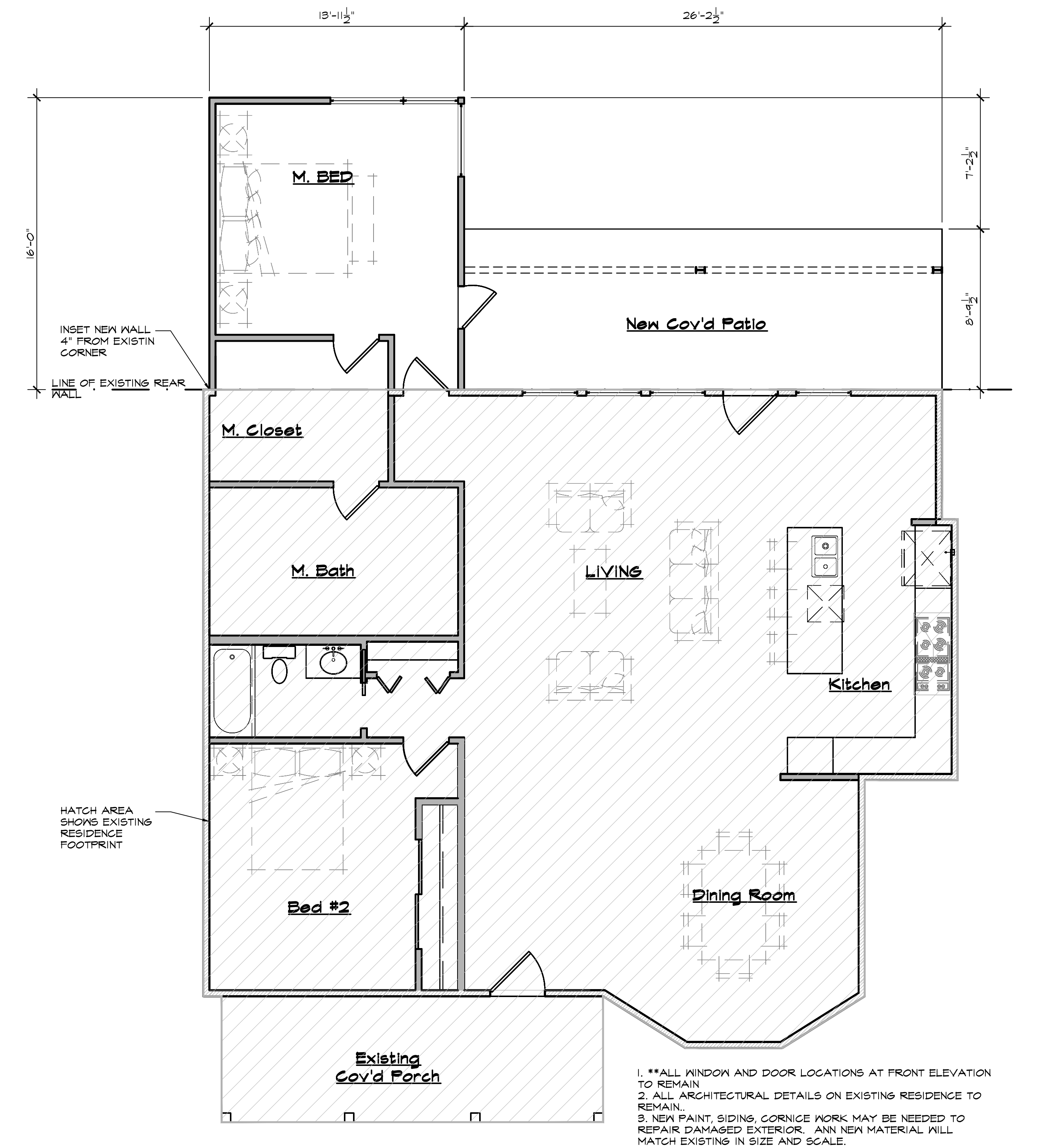
Drawn By:
NV

samod
1927 Crossgate Park
San Antonio TX 78247
210.373.5363

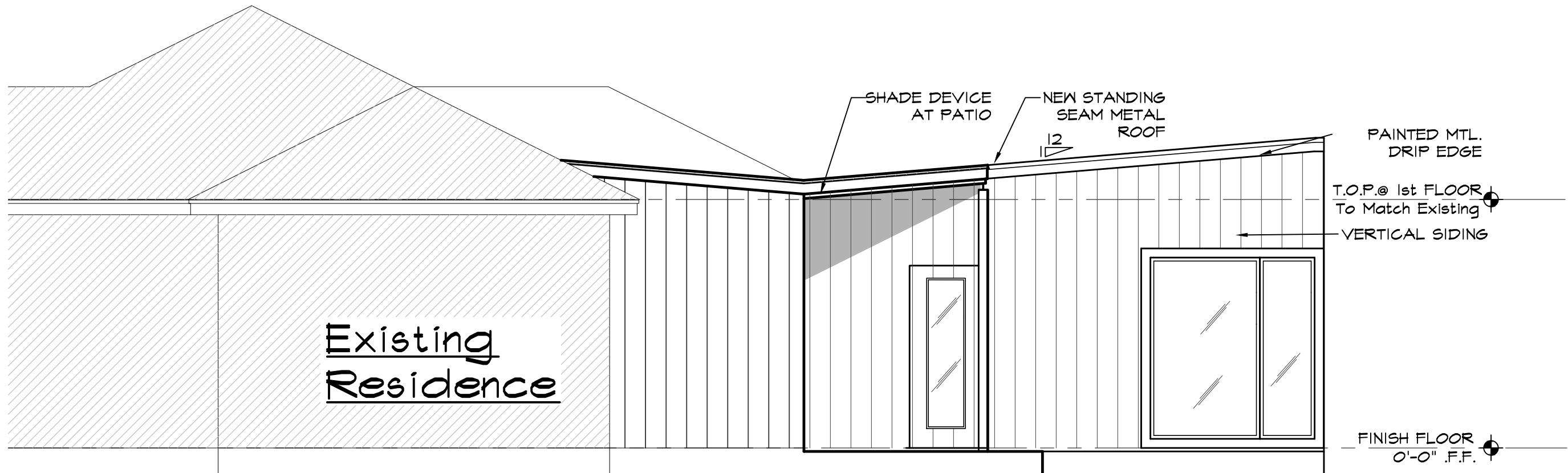
Plan Number:

CS

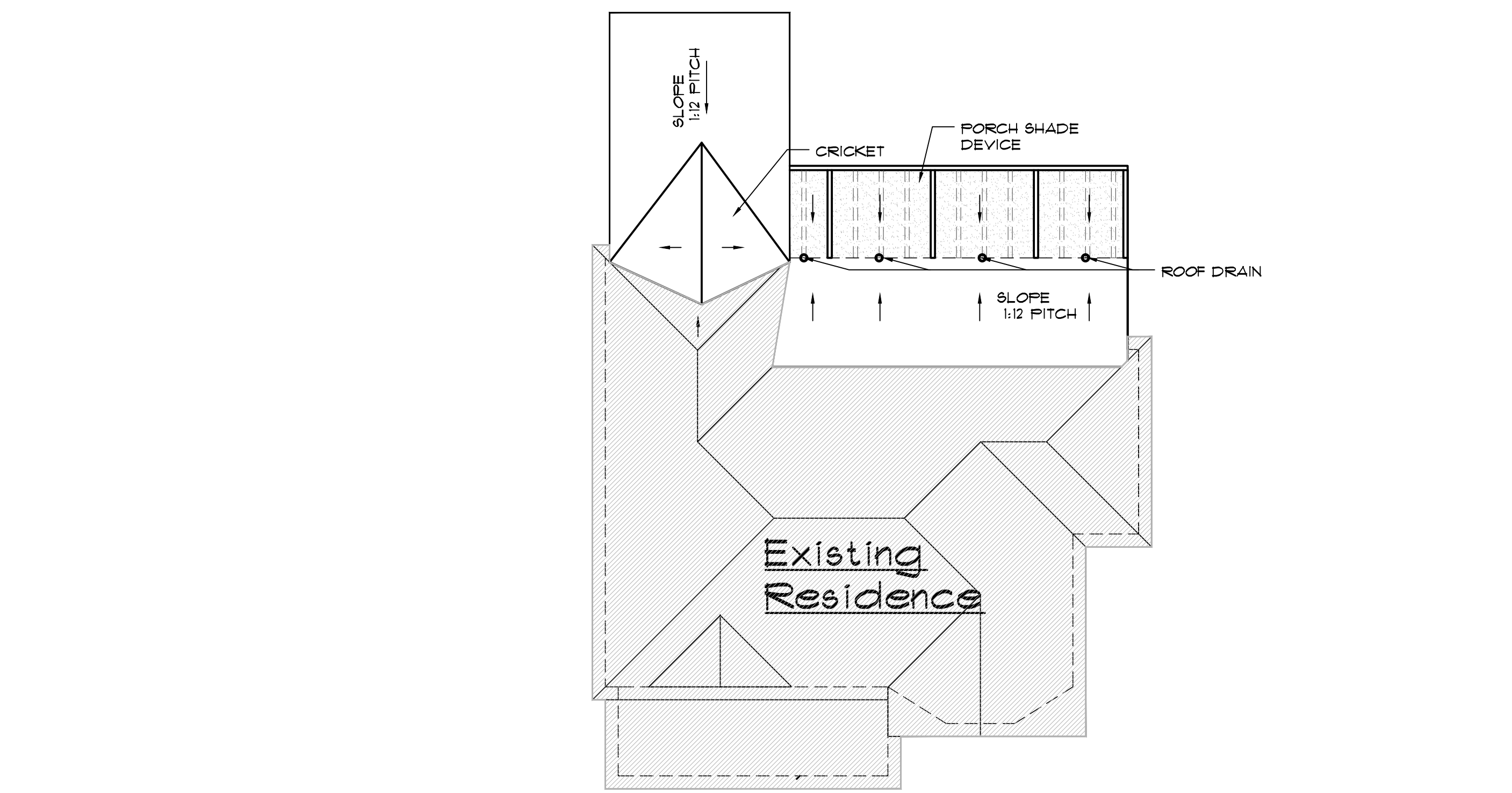
Sheet Number:



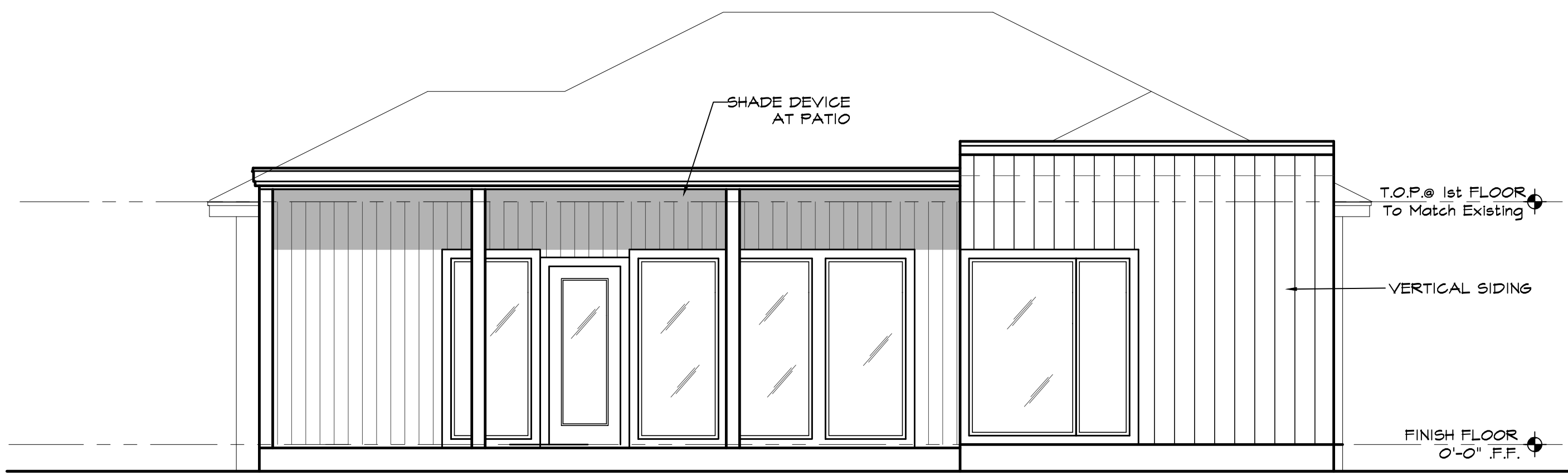
ROOF TOP PLAN SC : 1/4" = 1'-0"



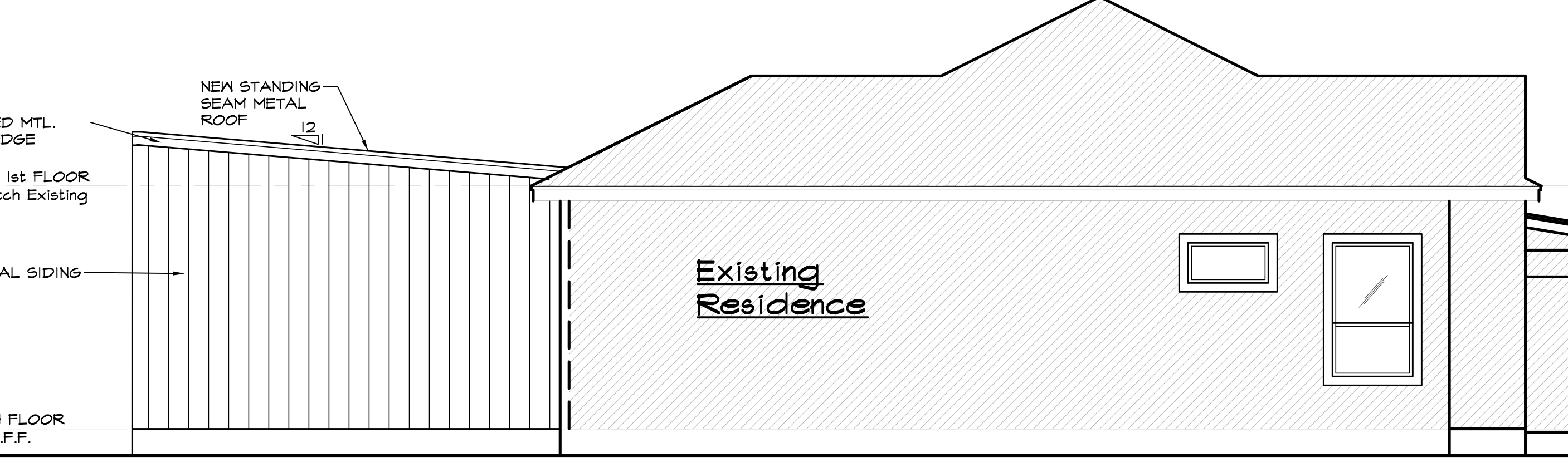
RIGHT ELEVATION SC : 1/4" = 1'-0"



ROOF TOP PLAN SC : 1/4" = 1'-0"



REAR ELEVATION SC : 1/4" = 1'-0"



LEFT ELEVATION SC : 1/4" = 1'-0"

Contractor Notes:
Working drawings shall not be scaled. Before proceeding with any work or ordering materials, the contractor and/or subcontractor shall verify all notes and measurements. Contractor shall report any discrepancies in or omissions from the working drawings. Details and drawings are builders' type and the designer of this set of plans hereby notifies both the owner and contractor that he, the "designer" relieves himself of liabilities to said working drawings. It is the responsibility of the general contractor to insure that the construction of this project meets all local structural codes.

REVISIONS:

228 LAVACA ST.
SAN ANTONIO, TEXAS 78210

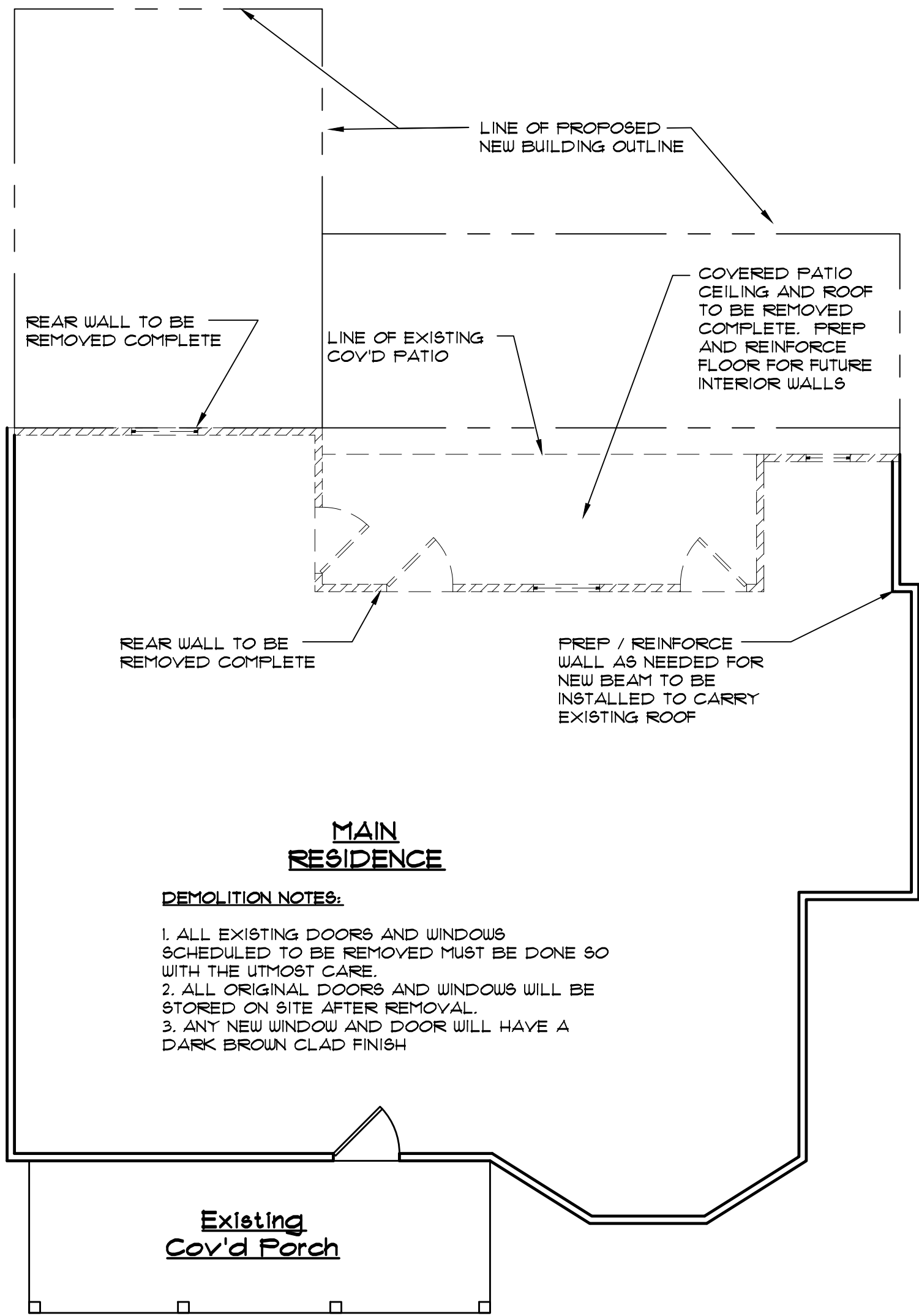
Issue Date:
09/19/2017

Drawn By:
NV

samod
1927 Crossgate Park
San Antonio TX 78247
210.373.5363

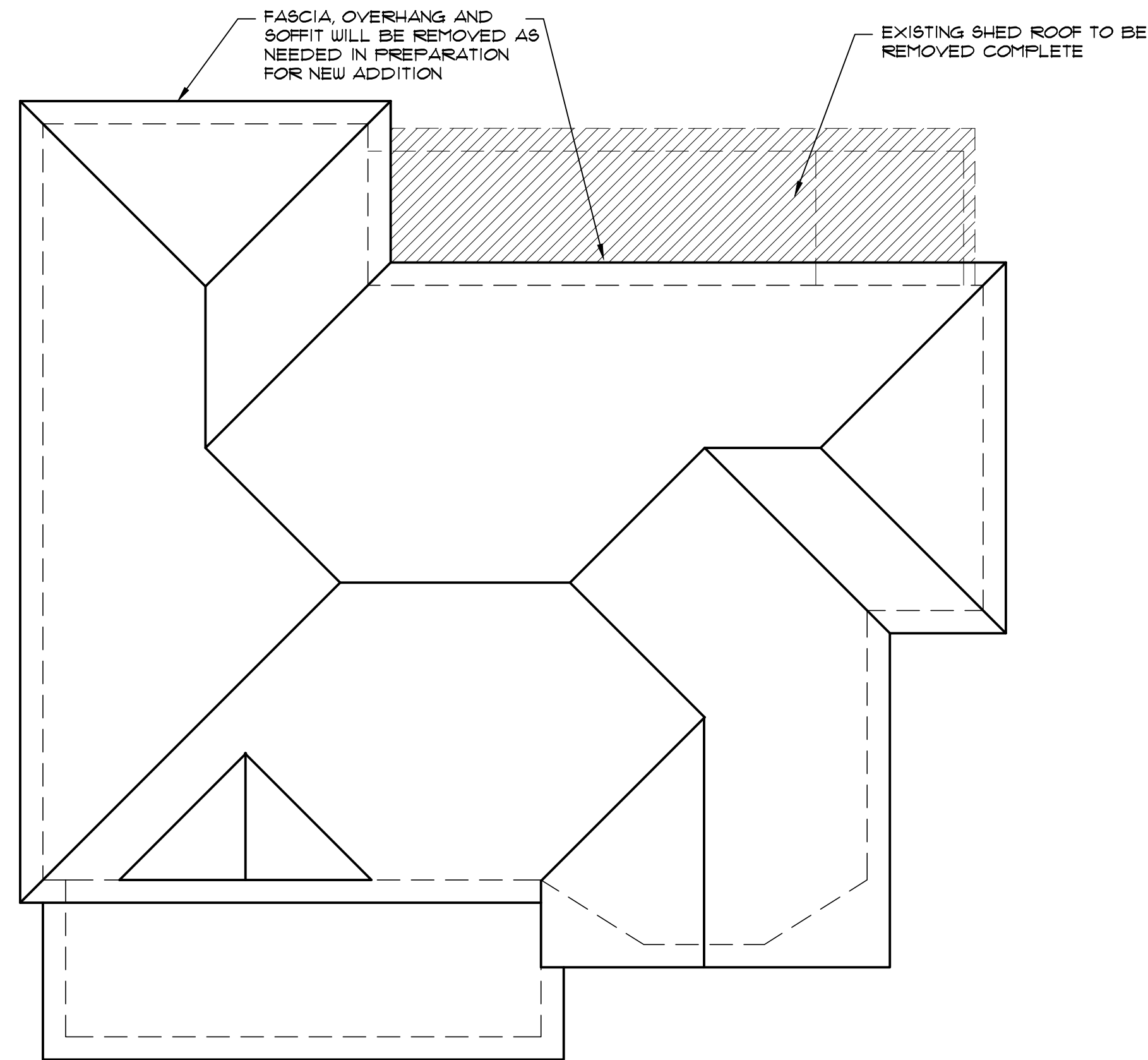
Plan Number:

A-1
Sheet Number:



DEMO FLOOR PLAN

SC : 3/16" = 1'-0"



DEMO ROOF PLAN

SC : 3/16" = 1'-0"

FASCIA, OVERHANG AND SOFFIT WILL BE REMOVED AS NEEDED IN PREPARATION FOR NEW ADDITION

EXISTING SHED ROOF TO BE REMOVED COMPLETE

COVERED PATIO CEILING AND ROOF TO BE REMOVED COMPLETE. PREP AND REINFORCE FLOOR FOR FUTURE INTERIOR WALLS

REAR WALL TO BE REMOVED COMPLETE



EXISTING REAR ELEVATION

Contractor Notes:

Working drawings shall not be scaled. Before proceeding with any work or ordering materials, the contractor and/or subcontractor shall verify all notes and measurements. Contractor shall report any discrepancies in or omissions from the working drawings. Details and drawings are builders' type and the designer of this set of plans hereby notifies both the owner and contractor that he, the "designer" relieves himself of liabilities to said working drawings. It is the responsibility of the general contractor to insure that the construction of this project meets all local structural codes.

REVISIONS:

228 LAVACA ST.
SAN ANTONIO, TEXAS 78210

Issue Date:
09/19/2017

Drawn By:
NV

samod
1927 Crossgate Park
San Antonio TX 78247
210.373.5363

Plan Number:

D-1

Sheet Number:













 Photos



Learn More

+ Save

Siding option





Next door
224 Lavaca