

HISTORIC AND DESIGN REVIEW COMMISSION

November 01, 2017

HDRC CASE NO: 2017-531
ADDRESS: 9396 HUEBNER RD
LEGAL DESCRIPTION: NCB 15656 (HUEBNER & VALLEY GREEN TRACT), BLOCK 1 LOT 4
ZONING: C-2,HS
CITY COUNCIL DIST.: 8
LANDMARK: House
APPLICANT: James Griffin/Brown and Ortiz, P.C.
OWNER: DAG Diagnostic Pavilion, Ltd
TYPE OF WORK: Construction of a commercial structure, site modifications
APPLICATION RECEIVED: October 12, 2017
60-DAY REVIEW: December 11, 2017
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a new retail building to total approximately 12,716 square feet.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

- i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space

as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Facade configuration*—The primary facade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new facade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. *Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS

Salvaged materials—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. *Building size*—New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

- i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

- i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

7. Designing for Energy Efficiency

A. BUILDING DESIGN

- i. *Energy efficiency*—Design additions and new construction to maximize energy efficiency.
- ii. *Materials*—Utilize green building materials, such as recycled, locally-sourced, and low maintenance materials whenever possible.
- iii. *Building elements*—Incorporate building features that allow for natural environmental control – such as operable windows for cross ventilation.
- iv. *Roof slopes*—Orient roof slopes to maximize solar access for the installation of future solar collectors where compatible with typical roof slopes and orientations found in the surrounding historic district.

B. SITE DESIGN

- i. *Building orientation*—Orient new buildings and additions with consideration for solar and wind exposure in all seasons to the extent possible within the context of the surrounding district.
- ii. *Solar access*—Avoid or minimize the impact of new construction on solar access for adjoining properties.

C. SOLAR COLLECTORS

- i. *Location*—Locate solar collectors on side or rear roof pitch of the primary historic structure to the maximum extent feasible to minimize visibility from the public right-of-way while maximizing solar access. Alternatively, locate solar collectors on a garage or outbuilding or consider a ground-mount system where solar access to the primary structure is limited.
- ii. *Mounting (sloped roof surfaces)*—Mount solar collectors flush with the surface of a sloped roof. Select collectors that are similar in color to the roof surface to reduce visibility.
- iii. *Mounting (flat roof surfaces)*—Mount solar collectors flush with the surface of a flat roof to the maximum extent feasible. Where solar access limitations preclude a flush mount, locate panels towards the rear of the roof where visibility from the public right-of-way will be minimized.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way.

Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.

ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.

iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

3. Landscape Design

A. PLANTINGS

i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

i. *Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

- i. *Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.
- ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

B. STREET TREES

- i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

C. PAVING

- i. *Maintenance and alterations*—Repair stone, masonry, or glass block pavers using in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, color, and detail, when in-kind replacement is not possible.

D. LIGHTING

- i. *General*—See UDC Section 35-392 for detailed lighting standards (height, shielding, illumination of uses, etc.).
- ii. *Maintenance and alterations*—Preserve historic street lights in place and maintain through regular cleaning and repair as needed.
- iii. *Pedestrian lighting*—Use appropriately scaled lighting for pedestrian walkways, such as short poles or light posts (bollards).
- iv. *Shielding*—Direct light downward and shield light fixtures using cut-off shields to limit light spill onto adjacent properties.
- v. *Safety lighting*—Install motion sensors that turn lights on and off automatically when safety or security is a concern. Locate these lighting fixtures as discreetly as possible on historic structures and avoid adding more fixtures than necessary.

7. Off-Street Parking

A. LOCATION

- i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.
- ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
- iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal

streets whenever possible.

B. DESIGN

- i. *Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
- ii. *Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
- iii. *Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

- i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

- i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

- a. The property located at 9396 Huebner Rd is a 1.545 acre tract of land, of which 0.068 acres received historic landmark designation on April 29, 2007. The landmark designation is associated with a 2-story single family home constructed in the late 1920s out of limestone. On January 6, 2012, the HDRC approved a request for the demolition of the structure. The applicant is requesting approval for the replacement plans for the property. Approval and permitting of the current request will authorize the issuance of a demolition permit for the existing landmark.
- b. The request for demolition was approved on January 6, 2012. In accordance with the requirements of UDC Section 35-618, the HDRC found that retaining the existing structures presented an economic hardship on the owner and approved the proposal for demolition. The motion included the following stipulations:
 1. **That the property owner provides a full set of replacement plans and provides financial proof of his ability to complete the project;** this stipulation has been met.
 2. **That the applicant makes every effort to preserve the trees on the property;** this stipulation has been met.
- c. **FOOTPRINT & ORIENTATION** – The proposed structure is placed upon the 0.068 acre landmarked portion of the 1.545 acre tract of land. The new structure will measure approximately 12,716 square feet and be oriented towards Huebner Rd. Staff finds the footprint and orientation appropriate.
- d. **SCALE, MASS & FORM** – According to the Guidelines for New Construction 2. A. and B., new construction height and scale should be consistent with nearby historic buildings and roof forms should be similar with those found on the block. In this case, the surrounding context is highly vehicular and has no remaining historic context

from the development period. Staff finds the structure appropriate for its environment.

- e. **MATERIALS** – The proposed retail building will feature metal awnings, a metal signage structure, concrete parapets, metal storefront windows, and stone veneer. The applicant has stated that the use of stone is directly in response to the materiality of the landmarked structure. The applicant noted in their application that an effort was made to identify and reuse salvageable limestone blocks on the historic structure, but that the stone was in too poor of condition to be utilized in the new construction. The use of stone veneer is to honor the materiality of historic structure. Staff finds the proposal appropriate.
- f. **EXISTING TREES** – The applicant has proposed to retain as many of the existing trees on the site as possible, per stipulation #2 from the 2012 HDRC hearing. The applicant has noted that several of the existing trees are non-heritage and invasive, primarily hackberries. Staff finds the proposed existing tree retention plan appropriate for the site.
- g. **ADDITIONAL LANDSCAPING** – The applicant has proposed additional landscaping for the site, to include a heavy plantings on the rear lot line to provide a buffer between adjacent properties, as well as a landscape buffer along Huebner Rd. The new plantings include Bermuda grass, Texas mountain laurels, shumard red oak, bur oak, and several shrubs, including flame acanthus, grey-leaf cotoneaster, double knockout red rose, new gold latana, and firecracker plant. Staff finds the proposal appropriate.
- h. **SITE ELEMENTS** – The proposed structure will incorporate both front and rear parking. According to the Historic Design Guidelines for Site Elements, rear parking should be incorporated whenever possible to avoid introducing additional front parking to the streetscape. The proposal minimizes the front parking and places a majority of the spaces in the rear of the property. The proposed front parking is also buffered by landscape elements. Staff finds the proposal appropriate given the setting and context of the site.

RECOMMENDATION:

Staff recommends final approval based on findings a through h with the following stipulation:

- i. That the applicant submits a salvage plan to staff for the landmark structure prior to receiving a Certificate of Appropriateness. The salvage plan should indicate the deconstruction method of the limestone structure and the destination of the limestone blocks. The applicant should make every effort to salvage the stone.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Oct 23, 2017

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PAUL M. JUAREZ
OF COUNSEL

Copy

October 9, 2017

Mrs. Shanon Shea Miller, AICP
Director, Office of Historic Preservation
1901 South Alamo Street
San Antonio, Texas 78204

VIA Hand Delivery

Re: Application for Historic and Design Review Commission review of replacement plans associated with previously-approved demolition of historic landmark structure on a 1.545-acre tract of land located at the corner of Huebner Road and Valley Green Road, in San Antonio, Texas; *Our File No. 9629.003*

Dear Mrs. Miller:

Please find enclosed an application for Historic and Design Review Commission ("HDRC") review of replacement plans for the 1.545-acre tract of land described above and more formally described as Lot 4, Block 1, New City Block 15656 in the Huebner and Valley Green Tract Subdivision Plat No. 150586 (the "Subject Property;" *see Exhibit "1"* for the plat and Bexar Appraisal District property detail). A portion of the Subject Property – 0.068 acres – received landmark designation on April 29, 2007, which is associated with the original two-story home structure. On January 6, 2012, the HDRC approved a Certificate of Appropriateness ("CoA") to allow for demolition of the structure (*see Exhibit "2"*). The purpose of this request for approval of replacement plans is to allow for demolition and new construction to occur on the Subject Property. Only the 0.068-acre historic landmark portion is subject to OHP and HDRC review; however, to provide context and otherwise assist with the review of this request, plans for the entire project on the Subject Property are being provided. Approval of the replacement plans by HDRC will allow for the construction of a new 12,716 square foot retail building on the Subject Property, which is located along the busy commercial corridor of Huebner Road between Babcock Road and Fredericksburg Road (*see Exhibit "3"* for aerial maps showing the location of the Subject Property). The Subject Property is zoned "C-2" with the 0.068-acre portion described above also carrying the "HS" zoning designation (*see Exhibit "4"* for zoning map).

As described in the attached CoA approved by HDRC in 2012, several factors supported the demolition of the structure on the Subject Property. In preparing replacement plans for the proposed commercial structure, care was taken by the local property owner/developer and his local team of architects to honor and incorporate the historic aspects to the extent possible. However, as further described in the CoA, there was not a specific feature or features of the structure that

contributed to the landmark designation (the primary focus being that the structure represented the large homes on large estate lots in San Antonio at the time). Regardless, the owner and development team carefully reviewed the potential for incorporating elements of the structure or salvaged materials from the structure. Unfortunately, the structure and structural components/materials are in extremely poor shape and cannot be incorporated into a new building (see **Exhibit “5”** for pictures of the existing structure). Nonetheless, as illustrated in the elevation renderings and permit set plans¹ (see **Exhibit “6”**), stone elements have been incorporated into the façade of the proposed building to honor the style of the existing structure and the architectural elements of the era and surrounding community. Moreover, significant attention has been given to the landscaping and tree canopy for the proposed project on the Subject Property. As a stipulation to approval of the CoA in 2012, HDRC and OHP staff requested that ever effort be made to preserve trees on the Subject Property. As detailed in the attached plans, there exist several trees on the Subject Property, although the vast majority of such trees are not of preferred species (the majority being Hackberry, followed in number by Ash trees). Every effort was made to preserve the quality trees existing on site (e.g. preserving the largest of the trees on the Subject Property, a 37” Ash tree, as well as the only Pecan tree, measuring at 19”). Furthermore, significant attention was given to the new landscape plan, focusing on heavy planting along the rear property line to serve as a buffer with the adjacent property as well as along Huebner Road to serve as a buffer between the proposed parking area and Huebner Road.

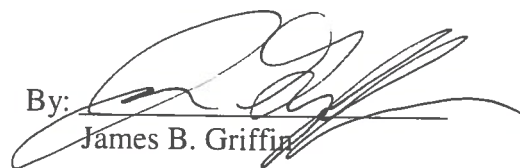
For the above reasons as well as those detailed in the CoA previously approved for the Subject Property, we respectfully request that the HDRC approve the replacement plans included with this request. Included with this correspondence are the following exhibits and documents to assist with OHP and HDRC review:

1. Completed HDRC Application;
2. Check, payable to CoSA, for \$100 review fee;
3. Subdivision Plat and BCAD information (Exhibit 1);
4. Certificate of Appropriateness (Exhibit 2);
5. Aerial/location maps (Exhibit 3);
6. Zoning map (Exhibit 4);
7. Pictures of the structure to be demolished (Exhibit 5);
8. Elevation rendering and full permit set plans on 8.5” x 11” (Exhibit 6);
9. Compact disc containing the above items;

Sincerely,

BROWN & ORTIZ, P.C.

By:



James B. Griffin

¹ Note that 100% plans are being provided rather than the 80% plans required.

Blumberg No. 5208

5 EXHIBIT













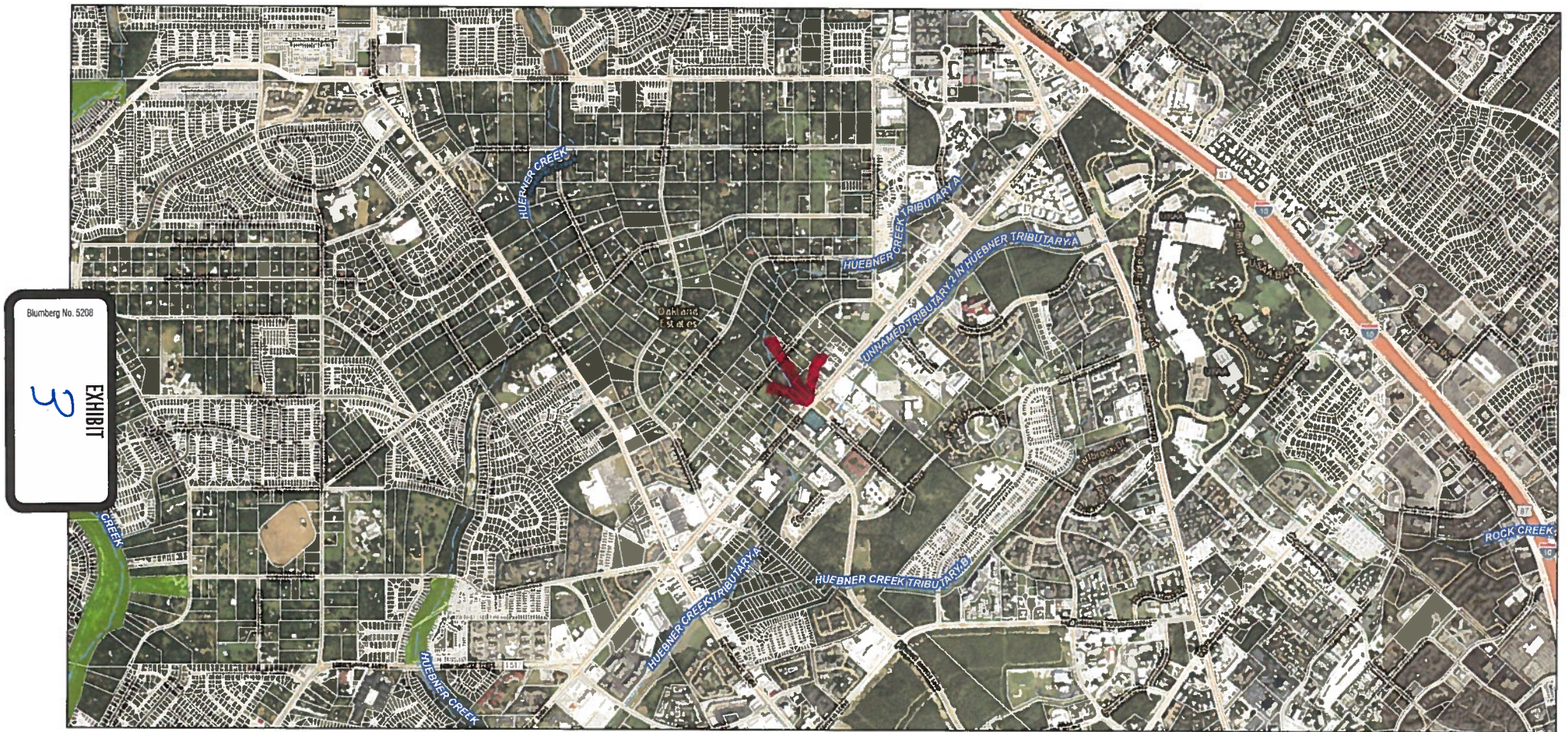








9396 Huebner Road



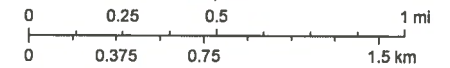
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EXHIBIT
3

October 9, 2017

- Boundary
- Creeks
- Parks
- 2017 BCAD Parcels
- Cities and Towns Boundary

1:20,392



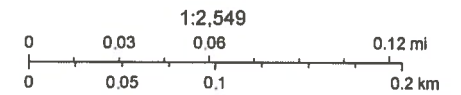
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9396 Huebner Road



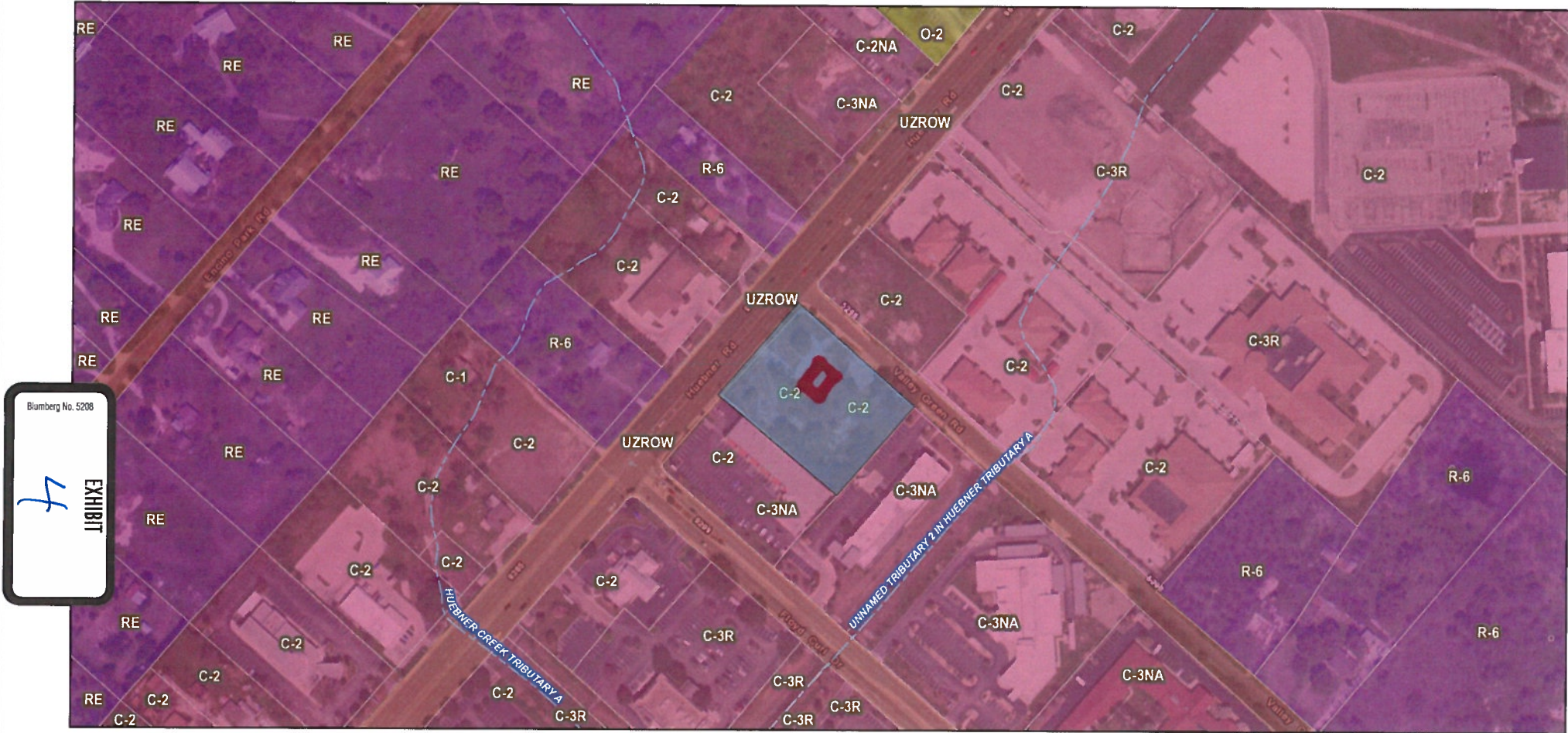
October 9, 2017

- Boundary
- Creeks
- Parks
- 2017 BCAD Parcels
- Cities and Towns Boundary



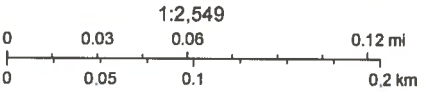
KLara
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9396 Huebner Road



October 9, 2017

- | | | |
|-------------------|------------------------|------------------------------|
| Boundary | Industrial | Resource Protection District |
| Creeks | Multi-Family District | Rural Development |
| Parks | Office District | Urban Development |
| Commercial | Other | Unzoned Right of Way |
| Downtown District | Outside of City Limits | 2017 BCAD Parcels |
| Farm and Ranch | Residential | Cities and Towns Boundary |



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CITY OF SAN ANTONIO

HISTORIC AND DESIGN REVIEW COMMISSION CERTIFICATE OF APPROPRIATENESS

January 06, 2012

HDRC CASE NO: 2011-181
ADDRESS: 9396 Huebner Rd
LEGAL DESCRIPTION: NCB: 15656 LOT: NE PT OF 13 ARB P-13A
LANDMARK DISTRICT: ca. 1925 House
APPLICANT: Michael Lawrence 510 S Congress, Suite 108
OWNER: APT JV, Ltd., c/o ASPEC Holdings
TYPE OF WORK: Demolition of Historic Landmark

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

Demolish historic landmark structure to allow for commercial development of the surrounding lot.

RECOMMENDATION:

This case was heard at the December 7, 2011 meeting. Additional information was requested by the Commission and was provided at the HDRC meeting on December 21, 2011. On December 7, the Commission advised that the applicant had not yet fully demonstrated that the site would be developed if the structure were not in place. They requested evidence that it is the structure that is impeding the sale of the property; that there is a pending sale without the structure; that the property will sell without the structure; and/or that it is exclusively this structure and not the generally bad economy (demonstrate recent sales of other similar properties). The applicant submitted on December 21 a number of sales comps, evidence that they had appealed the increased in assessed value, and letters indicating of interest from prospective purchasers if the structure were removed. The applicant has demonstrated that several properties were sold in 2011 in the general area of the subject property and that there is sufficient interest in the property for development if the structure were removed.

9396 Huebner Road is a 1.7 acre tract of land. A portion of the property received landmark designation on April 29, 2007. The designation applies only to the original two-story structure which measures 0.068 acres and is legally described in the designation ordinance. There are additions to the structure which are not designated including a porte-cochere, a family room, and a covered porch, all of which could be removed or altered outside the purview of the OHP or HDRC. Any new construction on the remainder of the site is also outside the purview of the OHP and could obstruct the view of the landmark portion from the right-of-way without any HDRC approval.

The house is two-story with pyramidal roof and constructed of dressed limestone and dates to the late 1920's. When this site was to be designated as a local landmark the emphasis was on the development pattern this suburban estate represented. There was a movement in the 1920's and 1930's for wealthy families to develop country estates of multi acres. These visible reminders of this type of country estate have been subject to development pressures and very few remain especially in this area of San Antonio. The original intent of the designation was to preserve the structure and the large lot upon which it is situated. However, the designation that was granted allows redevelopment of the site without consideration of the existing historic structure. The designated structure represents 11% of the total site. The designation was approved after the current owner purchased the property.



Had the owner known that the original structure was to be designated he may have reevaluated the initial purchase given the constraints presented by its location on the lot and other aspects. The character of the surrounding area is very different than the structure on this site. It is largely commercial and office uses.

The historic context is lost, including the opportunity to preserve the large lot context as intended because the designation only applies to the original two-story structure. The applicant is making an argument for economic hardship, stating that this structure is impeding the redevelopment of the site due to its central location in the site that restricts the accommodation of different uses and parking.

The criteria for establishing unreasonable economic hardship are listed in 35-614 (b) (3). The text in its entirety of section 35-614 is below for your use. In order for an applicant to establish an economic hardship argument, he or she must demonstrate the inability of the owner to obtain a reasonable return or a reasonable beneficial use from the property as required and discussed by the United States Supreme Court in Penn Central Transportation Company vs. New York City, 438 U.S. 104 (1978), and subsequent cases.

In the UDC it states that when a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that: a. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

[Documentation submitted by applicant shows a modest potential return possible (up to 3%); some decrease in value from 2006 (height of market) to today is inevitable and not unique to this property so should not factor into the economic hardship determination; Evidence does indicate several attempts to reuse the structure by various potential buyers. In particular Dye Development attempted to reuse the structure and created a site plan to that end that was ultimately determined infeasible; this and other evidence demonstrates legitimate difficulty in making reasonable use of the structure];

b. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return

[The applicant has reported that several potential buyers have attempted various uses on the site with the structure in place with no luck; individuals presented as evidence will attend the HDRC hearing to answer questions]; and

c. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.

[Applicant has documented good-faith attempts to market the property over the past several years between \$800,000 and \$900,000; Staff finds that applicant has demonstrated a good-faith effort to market the Property in the last two years.]

These are the issues and standards the HDRC must consider when reviewing a request to demolish a historic landmark property in light of an economic hardship argument.

The applicant has submitted plans from APA Construction regarding the rehabilitation of the structure. Staff notes that no plans have been submitted for review and so these numbers cannot be confirmed to be accurate given that several of the items would not likely be recommended or approved, such as painting the exterior of the building. The applicant is prepared to respond to questions regarding these plans as needed during the public hearing. Additionally, some costs that are listed would be required for new construction as well (interior fixtures, etc.) so cannot be seen as tied exclusively to the rehabilitation. Staff also notes that the structure would be eligible for the Substantial Rehabilitation Tax incentive if it were rehabilitated and figures should be added to the pro forma to show the City tax incentive if applied.

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Staff finds that the applicant has made a compelling claim for economic hardship given the evidence that shows that extensive attempts to sell the property with the structure in place have failed even though other properties in the area have sold.

If the Commission, after considering all the evidence, finds that these conditions apply and recommends approval of the request for demolition, a demolition permit will not be issued until replacement plans for the new construction are approved and all applicable fees are collected. The UDC states that permits for demolition and new construction shall be issued simultaneously if requirements of section 35-609, new construction, are met, and the property owner provides financial proof of his ability to complete the project.

The following section of the UDC describes the requirements.
Sec. 35-614-Demolition:

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners.

(a) Applicability. The provisions of this section apply to any application for demolition of a historic landmark (including those previously designated as historic exceptional or historic significant) or a historic district.

(1) Historic Landmark. No certificate shall be issued for demolition of a historic landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant. In the case of a historic landmark, if an applicant fails to prove unreasonable economic hardship, the applicant may provide to the historic and design review commission additional information regarding loss of significance as provided in subsection (c)(3) in order to receive a historic and design review commission recommendation for a certificate for demolition.

(2) Entire Historic District. If the applicant wishes to demolish an entire designated historic district, he has to provide clear and convincing evidence of economic hardship on the applicant if the application for a certificate is to be approved.

(3) Property Located in Historic District and Contributing to District Although Not Designated a Landmark.

No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided in subsection (c)(3) in order to receive a certificate for demolition of the property.

(b) Unreasonable Economic Hardship.

(1) Generally. The historic and design review commission shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular landmark or eligible landmark against the special merit of the proposed replacement project. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate).

(2) Burden of Proof. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate). When a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that:

A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the Current owner or by a purchaser, which would result in a reasonable rate of return; and

C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so.

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1/6/12

The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.

(3) Criteria. The public benefits obtained from retaining the cultural resource must be analyzed and duly considered by the historic and design review commission. As evidence that an unreasonable economic hardship exists, the owner may submit the following information to the historic and design review commission by affidavit:

A. For all structures and property:

- i. The past and current use of the structures and property;
- ii. The name and legal status (e.g., partnership, corporation) of the owners;
- iii. The original purchase price of the structures and property;
- iv. The assessed value of the structures and property according to the two (2) most recent tax assessments;
- v. The amount of real estate taxes on the structures and property for the previous two (2) years;
- vi. The date of purchase or other acquisition of the structures and property;
- vii. Principal balance and interest rate on current mortgage and the annual debt service on the structures and property, if any, for the previous two (2) years;
- viii. All appraisals obtained by the owner or applicant within the previous two (2) years in connection with the owner's purchase, financing or ownership of the structures and property;
- ix. Any listing of the structures and property for sale or rent, price asked and offers received;
- x. Any consideration given by the owner to profitable adaptive uses for the structures and property;
- xi. Any replacement construction plans for proposed improvements on the site;
- xii. Financial proof of the owner's ability to complete any replacement project on the site, which may include but not be limited to a performance bond, a letter of credit, a trust for completion of improvements, or a letter of commitment from a financial institution; and
- xiii. The current fair market value of the structure and property as determined by a qualified appraiser.
- xiv. Any property tax exemptions claimed in the past five (5) years.

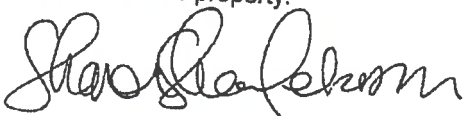
B. For income producing structures and property:

- i. Annual gross income from the structure and property for the previous two (2) years;
- ii. Itemized operating and maintenance expenses for the previous two (2) years; and
- iii. Annual cash flow, if any, for the previous two (2) years.

C. In the event that the historic and design review commission determines that any additional information described above is necessary in order to evaluate whether an unreasonable economic hardship exists, the historic and design review commission shall notify the owner. Failure by the owner to submit such information to the historic and design review commission within fifteen (15) days after receipt of such notice, which time may be extended by the historic and design review commission, may be grounds for denial of the owner's claim of unreasonable economic hardship. When a low-income resident homeowner is unable to meet the requirements set forth in this section, then the historic and design review commission, at its own discretion, may waive some or all of the requested information and/or request substitute information that an indigent resident homeowner may obtain without incurring any costs. If the historic and design review commission cannot make a determination based on information submitted and an appraisal has not been provided, then the historic and design review commission may request that an appraisal be made by the city.

COMMISSION ACTION:

Approval based on staff stipulation with an additional stipulation that the applicant make every effort to preserve the trees on the property.



Shanon Peterson
Historic Preservation Officer

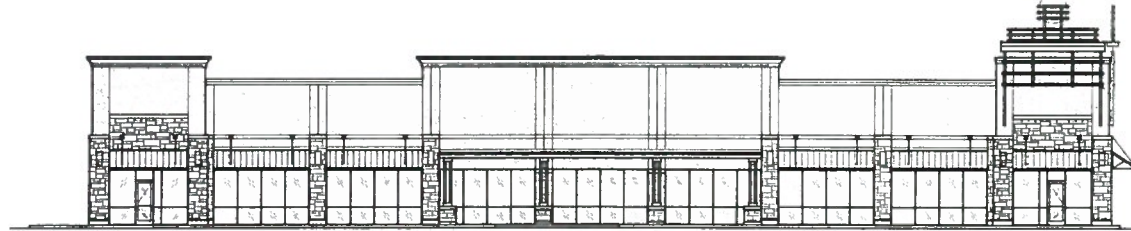


L3
3 OF 6 SHEETS

HUEBNER AND VALLEY GREEN RETAIL

12,716 S.F. SPECULATIVE SHELL BUILDING

9396 HUEBNER ROAD
SAN ANTONIO, TEXAS



INDEX OF DRAWINGS (ISSUE DATE MAY NOT MATCH DRAWING DATE OR SIGNATURE SEAL DATE)

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C2	EROSION AND SEDIMENTATION PLAN	09/22/17												
C3	SITE DIMENSIONAL CONTROL PLAN	09/22/17												
C4	FINE PROTECTION	09/22/17												
C5	UTILITY PLAN	09/22/17												
C6	GRADING PLAN	09/22/17												
C7	DETAILS	09/22/17												
C8	PROFILE SAN SEWER	09/22/17												
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L1	TREE PRESERVATION PLAN	09/22/17												
L2	TREE PRESERVATION DETAILS AND NOTES	09/22/17												
L3	LANDSCAPE PLAN	09/22/17												
L4	LANDSCAPE DETAILS AND NOTES	09/22/17												
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ARCHITECTURAL														
A001	ARCHITECTURAL SITE PLAN	09/22/17												
A002	SITE DETAILS	09/22/17												
A01	FLOOR PLAN	09/22/17												
A02	ROOF PLAN	09/22/17												
A03	ELEVATIONS	09/22/17												
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A06	WALL SECTIONS	09/22/17												
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S3	FOUNDATION DETAILS	09/15/17												
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S41	FRAMING DETAILS	09/15/17												
S42	FRAMING DETAILS	09/15/17												
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MEP6	ELECTRICAL ONE-LINE DIAGRAM	09/18/17												
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MEP8	PLUMBING FLOOR PLAN	09/18/17												

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN ANTONIO AND THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN ANTONIO AND THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) PRIOR TO THE START OF CONSTRUCTION.
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PROJECT TEAM

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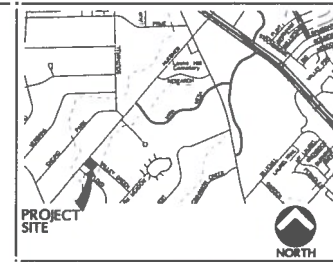
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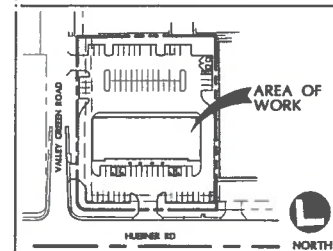
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Email: cledwards@hji.com

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MRG Engineering
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Corpus Christi, Texas 78401
Tel: (361) 882-1700
Contact: John Rodriguez
Email: jrodriguez@mrge.com

VICINITY MAP



KEY PLAN



BUILDING CODE SUMMARY

1. BUILDING CODE - IBC	2009 IBC
2. BUILDING CODE - IBC	2009 IBC
3. BUILDING CODE - IBC	2009 IBC
4. BUILDING CODE - IBC	2009 IBC
5. BUILDING CODE - IBC	2009 IBC
6. BUILDING CODE - IBC	2009 IBC
7. BUILDING CODE - IBC	2009 IBC
8. BUILDING CODE - IBC	2009 IBC
9. BUILDING CODE - IBC	2009 IBC
10. BUILDING CODE - IBC	2009 IBC

REQUIRED SPECIAL INSPECTIONS

SECTION	SPECIAL INSPECTIONS	APPLICABLE	NOT APPLICABLE	QUALIFICATION OF INSPECTOR
MEP1	SPECIAL CARES			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP2	STEEL CONSTRUCTION			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP3	CONCRETE CONSTRUCTION			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP4	PLASTER CONSTRUCTION			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP5	WOOD CONSTRUCTION			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP6	SOILS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP7	DRIVEN DEEP FOUNDATIONS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP8	CAST-IN-PLACE DEEP FOUNDATIONS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP9	HELICAL PILE FOUNDATIONS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP10	SPECIAL INSPECTION FOR WIND RESISTANCE			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP11	SPECIAL INSPECTION FOR SEISMIC RESISTANCE			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP12	TESTING & QUALIFICATION OF SEISMIC RESISTANCE			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP13	SPRAYED FIRE-RESISTANT MATERIALS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP14	PLASTIC AND INTERESTING FIRE-RESISTANT COATINGS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP15	EPS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP16	PREFORMED PENETRATION AND JOINT			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP17	SPECIAL INSPECTION FOR BRICK CONTROL			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP18	CRACK REPAIRS OF MATERIALS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP19	ALTERNATIVE TEST PROCEDURES			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP20	TEST AREA LOAD			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP21	IN-SITU LOAD TEST			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP22	PREFORMED CONSTRUCTION TESTS			REGISTERED PROFESSIONAL ENGINEER/TEST
MEP23	MATERIAL AND TEST STANDARDS			REGISTERED PROFESSIONAL ENGINEER/TEST

REVISION	DATE	DESCRIPTION
1	09/22/17	ISSUED FOR PERMIT

300 W. MILITARY ROAD, SUITE 204
SAN ANTONIO, TX 78203
VOICE: (210) 344-4900
FAX: (210) 344-4240
WWW.VILLAPARK-ARCH.COM

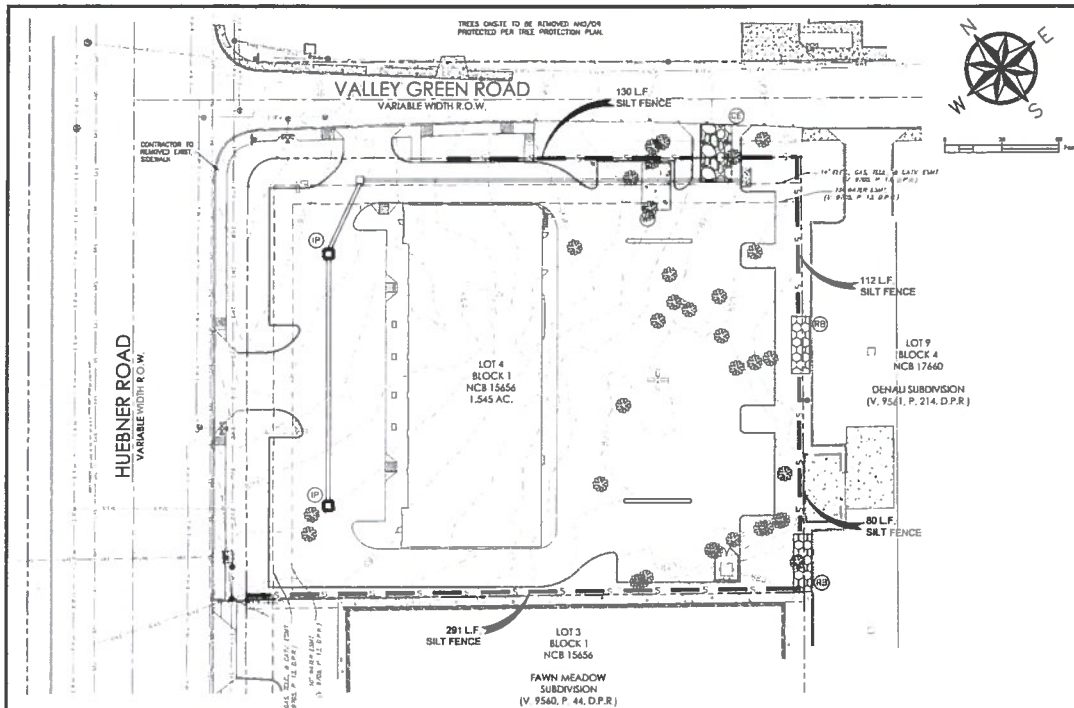


TITLE PAGE
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDING
9396 HUEBNER RD., SAN ANTONIO, TEXAS

DESIGN BY
CHECKED BY
DATE
09/22/17
PROJECT
HUEBNER AND VALLEY GREEN
JOB NO.
15-112
SHEET
TP1
1 OF 10 SHEETS

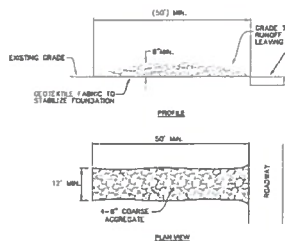
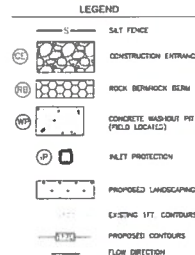


EXHIBIT
6
Blumberg No. 5208



- LANDSCAPE CONTROL NOTES**
- CONTRACTOR SHALL INSTALL SEDIMENT AND EROSION CONTROLS PRIOR TO ANY SITE PREPARATION WORK.
 - CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE AND REPAIR OF THE CONTROLS DURING CONSTRUCTION.
 - CONTRACTOR SHALL COMPLY WITH THE LATEST TEST AND TIGHT STANDARDS, DETAILS, MATERIALS AND INSTALLATION REQUIREMENTS FOR SEDIMENT AND EROSION CONTROLS.
 - SOIL STABILIZATION PRACTICES ARE EXPECTED TO OCCUR AT ALL OPEN AREAS. DESIGNATE FOR OPEN SPACE/PAVING. BANK SOILS SHALL BE SEED WITHIN 14 CALENDAR DAYS AFTER FINAL DRAINING.
 - CONTRACTOR TO NOTIFY THE CITY INSPECTOR TO INSPECT ALL SOIL DESIGN/CONSTRUCTION CONTROL STANDARDS.

- EROSION AND SEDIMENTATION CONTROL SCHEDULE**
- PRIOR TO CONSTRUCTION**
- INSTALL CONSTRUCTION ENTRANCE/EXIT, GRAVEL FILTER BAGS, AND SILT FENCE.
- DURING CONSTRUCTION**
- MAINTAIN CONSTRUCTION ENTRANCE/EXIT, GRAVEL FILTER BAGS, AND SILT FENCE.
- FINAL EROSION/SEDIMENTATION CONTROL**
- ALL DISTURBED AREAS ON THE SITE SHALL BE STABILIZED PER LANDSCAPE PLAN.



CONSTRUCTION ENTRANCE
N.T.S.

- SOIL STABILIZATION PRACTICES:**
- HYDROSEEDING
 - TEMPORARY SEEDING
 - PERMANENT PLANTING, SEEDING, OR SEEDING
 - MULCHING
 - SOIL RETENTION BLANKET
 - BAFFLE ZONES
 - PRESERVATION OF NATURAL RESOURCES

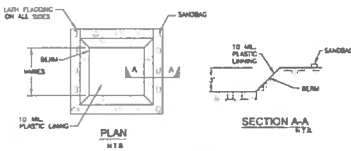
- STRUCTURAL PRACTICES:**
- NET FENCES
 - ROCK BERM
 - OVERSEED, INTERCEPTOR, OR PERIMETER DITCHES
 - OVERSEED, INTERCEPTOR, OR PERIMETER DITCHES
 - OVERSEED DITCH AND SHALE COMBINATIONS
 - PIPE SLOPE DITCHES
 - PAVED FLAMES
 - ROCK BEDDING AT CONSTRUCTION EXIT
 - FASTER BATTING AT CONSTRUCTION EXIT
 - CHANNEL LAYERS
 - SEDIMENT TRAPS
 - STORM INLET SEDIMENT TRAP
 - STONE GULCH STRUCTURES
 - CURBS AND GUTTERS
 - STORM SEWERS
 - VELOCITY CONTROL DEVICES

OTHER: GRAVEL GRATE INLET PROTECTIONS

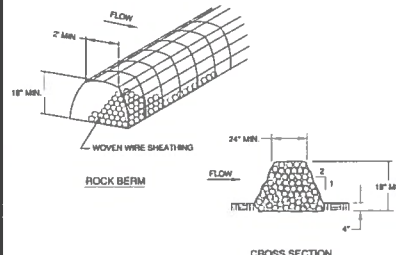
QUANTITIES	
(1) CONSTRUCTION ENTRANCE/EXIT	
81.5' TOTAL L.F. SILT FENCE	
(2) ROCK BERM	
(2) INLET PROTECTIONS	

NOTES:

- STONE SIZE: 4"-8" OPEN GRADED ROCK.
- LENGTH: AS EFFECTIVE BUT NOT LESS THAN 50'
- THICKNESS: NOT LESS THAN 8"
- WIDTH: MINIMUM 12" BUT NOT LESS THAN FULL WIDTH OF ALL PORTS OF ACCESS/EXITS.
- STABILIZE FOUNDATION WITH GEOTEXTILE FABRIC DESIGNED SPECIFICALLY FOR USE AS A SOIL RETENTION MEDIA WITH AN APPROXIMATE WEIGHT OF 8 OZ./YD². A WALLS BURET NOTING OF 140 LB./YD² AND AN EQUIVALENT DRAINAGE SIZE GREATER THAN A NUMBER 50 SIEVE.
- WASHING WHEN NECESSARY: VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRACKED STONE AND DRAINING INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE. SEEDS APPROVED WITHIN.
- DRAINAGE ENTRANCE MUST BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE. GRADE TO ALLOW DRAINAGE TO SEDIMENT TRAPPING DEVICE.
- CONTRACTOR MUST INSURE THAT THE CITY'S HIGH-OF-WAY MUST BE CLEAR OF ALL CONSTRUCTION DEBRIS AT THE END OF EVERY DAY.
- THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT.
- ALL SEDIMENT THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
- WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRACKED STONE THAT DRAINAGE INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY LEGAL APPROVED METHODS.

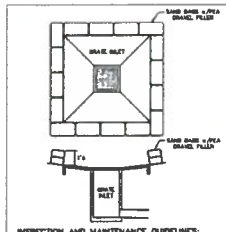


CONCRETE WASHOUT PIT
N.T.S.



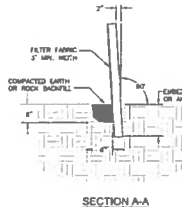
ROCK BERM
N.T.S.

- NOTES:**
- USE ONLY OPEN GRADED ROCK 4" TO 8" DIAMETER FOR STREAM FLOW CONDITIONS. USE OPEN GRADED ROCK 3" TO 5" DIAMETER FOR OTHER CONDITIONS.
 - THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 1" OPENING AND MINIMUM WIRE DIAMETER OF 30 GAUGE. ROCK BERMS IN CHANNEL APPLICATIONS SHALL BE ANCHORED PRIMARILY INTO THE SUBSTRATE A MINIMUM OF 8" WITH T-POSTS OR WITH #5 OR #6 REBAR, WITH MAXIMUM SPACING APART OF 48" ON CENTER.
 - THE ROCK BERM SHALL BE INSPECTED WEEKLY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE WOVEN SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 - WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 8", WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SILTATION PROBLEM.
 - DAILY INSPECTION SHALL BE MADE ON REVERSE SERVICE ROCK BERMS, SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 8".
 - WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.



GRAVEL GRATE INLET PROTECTION
N.T.S.

- INSPECTION AND MAINTENANCE GUIDELINES:**
- INSPECTION SHOULD BE MADE WEEKLY OR AFTER EACH RAIN, TOP SOIL SHOULD REMAIN STABLE IN SOME PROPERTY AS NEARLY AS POSSIBLE.
 - REVERSE SERVICE ROCK BERMS SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 - WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 8", WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SILTATION PROBLEM.
 - DAILY INSPECTION SHALL BE MADE ON REVERSE SERVICE ROCK BERMS, SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 8".
 - WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.



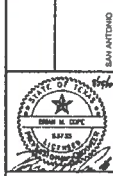
SECTION A-A
N.T.S.

TEMPORARY SEDIMENT CONTROL FENCE
N.T.S.

CONSTRUCTION NOTES:

- PREPARE ALL FENCING WEEKLY, NO AFTER ANY RAINFALL.
- REMOVE SEDIMENT WHEN BUILDUP REACHES 1 INCHES.
- REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
- REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY.
- WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE RESTORED. THE FENCING SHALL BE DISPOSED OF IN AN APPROVED LANDFILL.

EROSION & SEDIMENTATION CONTROL PLAN

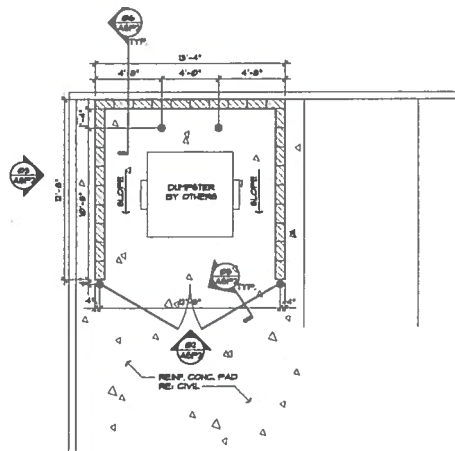


KLEIN & COPE
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1515 W. UNIVERSITY AVE. SUITE 1000, ARLING, TEXAS 76010
TEL: 817.462.1111 FAX: 817.462.1112
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JOB NO.:
DATE: 9/22/2017
DESIGNED BY: BMC
DRAWN BY: AJM
CHECKED BY: BMC
GRT: C2

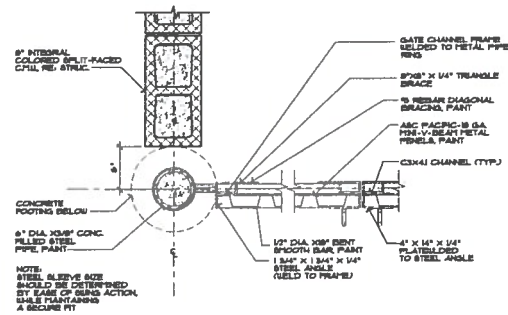
9386 HUEBNER ROAD
SAN ANTONIO, TX

SAN ANTONIO



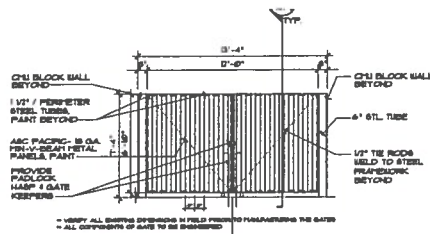
01 TRASH ENCLOSURE PLAN

SCALE 1/8" = 1'-0"



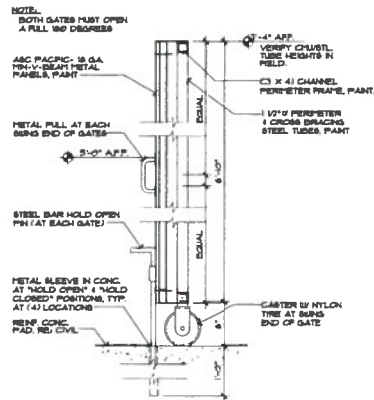
02 TRASH ENCLOSURE DETAIL

SCALE 1/2" = 1'-0"



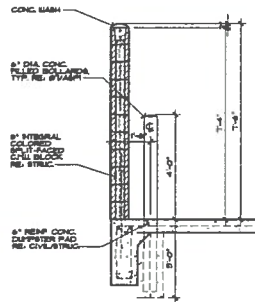
03 TRASH ENCLOSURE ELEVATION

SCALE 1/8" = 1'-0"



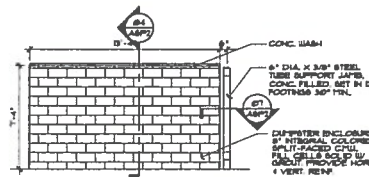
04 TRASH ENCLOSURE SECTION

SCALE 1/8" = 1'-0"



05 TRASH ENCLOSURE SECTION

SCALE 1/2" = 1'-0"



06 TRASH ENCLOSURE ELEVATION

SCALE 1/8" = 1'-0"

REVISION	DATE	BY

Notes:
1. All work shall be in accordance with the latest edition of the Texas Department of Transportation Standard Specifications for Construction.
2. All materials shall be of the highest quality and shall be tested and approved by the Engineer before use.
3. All work shall be completed within the specified time frame.
4. All work shall be done in a safe and sound manner.
5. All work shall be done in accordance with the latest edition of the Texas Department of Transportation Standard Specifications for Construction.

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ARCHITECTURE/ENGINEERING/PLD

VILLA PARK



SITE DETAILS

HUEBNER & VALLEY GREEN RETAIL
12716 S.F. RETAIL BUILDING
9396 HUEBNER RD., SAN ANTONIO, TEXAS

DRAWN	SP
CHECKED	SP
DATE	07/27/17
PROJECT	HUEBNER/VALLEY GREEN
SHEET	15-102

ASP2

3 of 10 SHEETS

LANDSCAPE NOTES

NOTE: THE CONTRACTOR IS RESPONSIBLE FOR PLANTING AND INSTALLING ALL ITEMS SHOWN ON THE PLANS.

EXISTING UTILITIES: PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY LOCAL UTILITY LOCATION SERVICE TO IDENTIFY ANY UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE APPLICABLE AGENCIES OF ANY POTENTIAL DISRUPTIONS OF UTILITIES. RETAIN ANY EXISTING UTILITIES TO REMAIN UNDISTURBED. CALL 1-800-4-A-UTILITY FOR UNDERGROUND UTILITY LOCATION DATA 10 DAYS PRIOR TO EXCAVATION.

NOTE: LANDSCAPE MATERIALS: ALL MATERIALS SHALL BE OF A QUALITY ACCEPTABLE TO THE HOBBY AND THE LANDSCAPE ARCHITECT. LANDSCAPE MATERIALS SHALL BE NEW AND UNDEGRADED. TREE MATERIALS ARE TO BE FREE FROM DISEASE, INJURY, AND OTHER DEFECTS. MATERIALS SHALL BE SECURELY PACKAGED FROM VEHICULAR DAMAGE AND WILL BE RESPONSIBLE FOR THE QUALITY OF ALL MATERIALS INSTALLED. MATERIALS INSTALLED THAT ARE FOUND TO BE INCONCLUSIVE WITH THE SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

LANDSCAPE AREA PREPARATION: PRIOR TO INSTALLATION OF LANDSCAPE MATERIALS, REMOVE ALL EXISTING VEGETATION BY APPLYING TWO INCHES OF NON-SELECTIVE HERBICIDE. APPLY SECOND APPLICATION 7 TO 10 DAYS AFTER INITIAL APPLICATION. AFTER FULL PASTURE, MECHANICALLY REMOVE ALL VEGETATION AND GRASS TO REMOVE ROOTS 4" TO 6" BELOW THE SURFACE.

PLANTING MIX: PLANTING MIX SHALL BE A BLEND OF TOPSOIL, COMPOST, RED SAND, AND AGED KYLE PELLETS, WITH AN IDEAL PH BETWEEN 6.0 AND 7.0. MIXTURES SHOULD BE COMPOSTED AND NEW EARTH.

PLANTING BED: REMOVE EXISTING MATERIAL TO A DEPTH OF 4" AND REPLACE WITH THE SPECIFIED PLANTING MIX. PLANTING BED AREA TO A MINIMUM DEPTH OF 6" IN PLANTING OF SHRUBS IS ONLY ALLOWED WHEN SERVICES ARE 7" OR DEEPER. DEPTH OF EXCAVATED MATERIAL, IF ANY, SHALL BE SPECIFIED. PLANTING BED: DO NOT VIBRATE AROUND EXISTING TREES, ROOTS, SOIL, AND MIX BY HAND SHOVEL.

ASPEL: INSTALL 4" (6" WIDTH) UNCOMPRESSED, INTERLOCKED ASPHALT PAVING, COVER ALL PLANTING BEDS AFTER SOIL PREPARATION. FABRIC SHALL BE EQUAL TO LEAST ASPHALT PAVING, 20 MPa, SECURE WITH ANCHORS, PINS, AND UNDERLAP EDGES BY 12". AFTER PLANTING, COVER ALL FABRIC WITH SPECIFIED DEPTH OF MULCH.

PLANTING: EXCAVATE PIT SUFFICIENTLY SMALLER AND 2 TO 3 TIMES THE WIDTH OF THE POTBALL OR CONTAINER. FILL PIT WITH WATER AND FLUSH DRAINAGE WITHIN 24 HOURS. PRIOR TO PLANTING, REMOVE CONTAINER AND/OR WIRE BASKET AND/OR LIGNER (WIRE BASKET) AND DISCARD FROM TOP OF POTBALL. CENTER TREE WITHIN PIT. FILL PIT WITH A BLEND OF EXCAVATED MATERIAL, TOPSOIL, AND PLANTING MIX. WATER AND TAMPER SOIL IN 12" LIFTS. INSERT ONE AEROSOL FERTILIZER TABLET PER CALIBER INCH OF TREE. PLANTING WITH SOIL INTO THE SURFACE IS DONE WITH THE FOLLOWING: GROUND, AND ADJUST AS NEEDED PRIOR TO DIGGING OPERATIONS. IN NEW TREES, PLANTING MIX SHALL BE 2" TO THE SAME DEPTH AS EXISTING AND TWO TIMES THE DEPTH OF THE EXISTING. PLANTING WITH APPROPRIATE PLANTING MIX AND WATER THROUGHOUT AFTER PLANTING. IN 2" TO 3" (2" TO 3" DEPTH) AFTER PLANTING, COVER WITH MULCH TO MATCH EXISTING GRADE.

SHRUB PLANTING: SPREAD PLANT MATERIAL AS SHOWN ON DRAWINGS AND ADJUST AS NEEDED PRIOR TO DIGGING OPERATIONS. IN NEW TREES, PLANTING MIX SHALL BE 2" TO THE SAME DEPTH AS EXISTING AND TWO TIMES THE DEPTH OF THE EXISTING. PLANTING WITH APPROPRIATE PLANTING MIX AND WATER THROUGHOUT AFTER PLANTING. IN 2" TO 3" (2" TO 3" DEPTH) AFTER PLANTING, COVER WITH MULCH TO MATCH EXISTING GRADE.

SHRUB & GROUND COVER PLANTING: SEE PLANTING BED PREPARATION. LAYOUT PLANT MATERIAL UNIFORMLY AND USE SPRINKLER STAKING FOR VARIOUS PLANTINGS. FILL PLANT MATERIAL WITH PLANTING MIX, FERTILIZER, AND WATER THROUGHOUT AFTER PLANTING.

FERTILIZER: APPLY ONE APPLICATION OF NITROGEN FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS AFTER PLANTING. APPLY A NITROGEN FERTILIZER 30% SOLUBLE NITROGEN FERTILIZER AS FOLLOWS: 3 LBS. PER TREE, 2% (3.0/100.0) 3" IN LBS. OF PLANTING BEDS IN SHRUBS AND GROUND COVER BEDS.

MULCH: AFTER PLANTING, MULCH ALL PLANTING BEDS AND TREES WITH 4" MINIMUM DEPTH OF COMPOSTED MULCH UNLESS NOTED OTHERWISE. ALLOW FOR 25% TO 30% COMPACTION. INSTALL MULCH FLUSH WITH TOP OF CURB, SIDEWALK, OR EDGE.

WARRANTY: GUARANTEE ALL LANDSCAPE MATERIALS AND TREES FOR ONE YEAR AND OTHER PLANT MATERIAL FOR 10 DAYS UPON COMPLETION AND FINAL ACCEPTANCE OF ALL WORK BY OWNER. FOR THAT PART, LANDSCAPE BUILDING OR PHASE BEFORE ALL LEAD AND UNHEALTHY PLANT MATERIALS AND PLANT MATERIALS THAT HAVE PARTIALLY DIED WHERE SHAPE, SIZE, OR CONTOUR HAS BEEN DAMAGED. THIS GUARANTEE DOES NOT APPLY WHERE PLANT MATERIAL, DUE TO AFTER-ACCOMPLISHMENT OF WORK, DUE TO BIRCH, OR UNHEALTHY, FILL, AND LIGHTNING, FIRE, PESTS, DROUGHT, INSECT, DISEASE, OR OTHER FACTORS, ARE NOT MAINTAINED.

TREE SOIL MIX: MINIMUM 5" DEPTH OF A MIX OF TOPSOIL AND 20% COMPOST BLEND SHALL BE REQUIRED IN ALL AREAS INCLUDING EXISTING SOIL AND GRASS SEED WHERE TYPED IS TO BE ESTABLISHED. SOIL TO BE FERTILE, SUFFICIENTLY CLASSIFICATION, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VEGETATION PLANT GROWTH, TYPICAL FROM A GRASSY SITE, FREE OF SOD, SOD, EXISTING GRASS, OR UNHEALTHY PLANTS, WEEDS, AND PESTS. SOIL SHALL BE BROWN IN COLOR, FREE OF ANY MATERIAL LARGER THAN 1" IN DIAMETER WITH A PH BETWEEN 6.0 AND 7.5. INSTALL WITHIN 1" OF TOP OF LAND SURFACE. USE SOIL WHERE SOD OR SEED IS TO BE INSTALLED.

TEMPERATURE PLANTING: MULCH PLANTING BEDS TO BE COVERED WITH AN ANTIFREEZE AND WITHIN TWENTY FOUR (24) HOURS AFTER PLANTING. AFTER PLANTING, OPERATING TEMPERATURES 32°F (0°F) DEGREES OR GREATER, ANTI-FREEZE SHALL BE EQUAL TO WATER.

CLEAN UP: ALL LEAD AND MULCH SURFACES SHALL BE LEFT CLEAN AND CLEAR OF MULCH AND DEBRIS AT ALL TIMES. AT COMPLETION OF WORK, REMOVE ALL TRASH, WASTE, AND CONTAINER. LEAVE THE SITE CLEAN.

TEMPORARY IRRIGATION: CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION AT ALL TREE AND LANDSCAPED AREAS NOT IRRIGATED WITH THE PERMANENT IRRIGATION SYSTEM. THE TEMPORARY SYSTEM SHALL REMAIN IN OPERATION FOR NOT LESS THAN 10 DAYS AND UNTIL TREE IS FULLY ESTABLISHED. ALL TEMPORARY COMPONENTS SHALL BE REMOVED NOT MORE THAN 7 DAYS AFTER WRITTEN NOTICE FROM THE OWNER.

MAINTENANCE: CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL LANDSCAPED AREAS UNTIL FINAL ACCEPTANCE BY OWNER. THIS SHALL INCLUDE BUT NOT BE LIMITED TO REPLACING DEAD OR UNHEALTHY PLANTS, KNOWING, WATERING, WEEDING, CULTIVATING, AND INSURING TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.

SOD NOTES

1. TREE SOIL MIX: MINIMUM 5" DEPTH OF A MIX OF TOPSOIL AND 20% COMPOST BLEND SHALL BE REQUIRED IN ALL AREAS INCLUDING EXISTING SOIL AND GRASS SEED WHERE TYPED IS TO BE ESTABLISHED. SOIL TO BE FERTILE, SUFFICIENTLY CLASSIFICATION, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VEGETATION PLANT GROWTH, TYPICAL FROM A GRASSY SITE, FREE OF SOD, SOD, EXISTING GRASS, OR UNHEALTHY PLANTS, WEEDS, AND PESTS. SOIL SHALL BE BROWN IN COLOR, FREE OF ANY MATERIAL LARGER THAN 1" IN DIAMETER WITH A PH BETWEEN 6.0 AND 7.5. INSTALL WITHIN 1" OF TOP OF LAND SURFACE. USE SOIL WHERE SOD OR SEED IS TO BE INSTALLED.

2. ADJUST CONTIGUOUS TO ADJUST EXISTING DRAINAGE AREA FROM BUILDING. PROVIDE UNIFORM FLOODING AT TOP AND BOTTOM OF SLOPES AND OTHER DRAINAGE IN GRASS. CURRENT PESTS, WEEDS, AND AREAS WHERE WATER MAY STAND.

3. THE GRADE AREAS TO ADJUST FINAL CONTIGUOUS INDICATED ON CIVIL PLANS. PART SOIL SLOPES, FREE FROM VIBRATION, BUILT, AND DEPRESSIONS TO FINISH GRADE 1" BELOW TOP OF RAFTS AND CURBS AFTER COMPACTION.

4. ALL LAWN AREAS TO BE FINE GRADE, IRRIGATION FERTILIZER COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY OWNER, CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO GRASS INSTALLATION.

5. ALL POTS, 1" DIAMETER AND LARGER, DIRT CLOS, STICKS, CONCRETE SPINDS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY GRASS INSTALLATION.

6. SOD AREAS TO BE COVERED WITH IMPERMEABLE SOD ROLLS OR PIECE UNITS THAT ARE NOT BROWN OR STYRENE. SOD SHALL BE FREE OF TYPICAL. SOD SHALL BE INSTALLED WITHIN 24 HOURS OF DELIVERY AT THE SITE AND WITHIN 48 HOURS OF STORING. REMOVE ALL PLASTIC VESSEL FROM SOD ROLLS PRIOR TO INSTALLATION.

7. SOD SHALL BE LAYED PARALLEL TO THE CONTIGUOUS AND SHALL HAVE STAGGERED JOINTS, OR SLOPES GREATER THAN 2% OR ON SLOPES GREATER THAN 2% SHALL BE A PROBLEM. SOD SHALL BE PINNED OR STAKED WITH WOODEN DOWELS 2" OR CENTER.

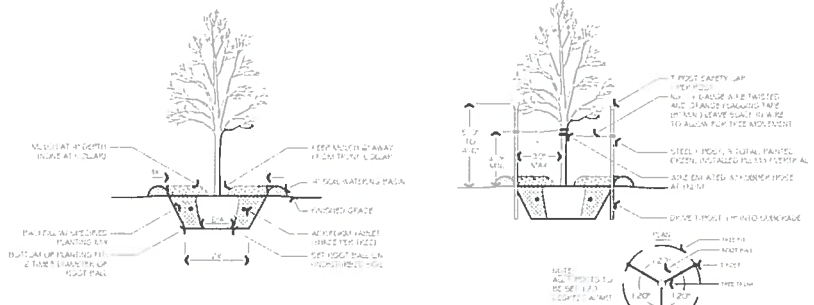
8. WITHIN ONE (1) HOUR OF SOD INSTALLATION WATER THOROUGHLY AND CONTINUE TO WATER DAILY TO ENSURE 5" TO 7" PENETRATION OF WATER INTO SOIL. SOIL SOD WITH ROLLER ENSURE GOOD CONTACT WITH SOIL.

9. FERTILIZER SOD WITH 1/2 1/2 1/2 STARTER FERTILIZER PER RATE RECOMMENDED BY MANUFACTURER OR SOIL TEST RESULTS. TYPICAL 1/2 1/2 1/2 FERTILIZER RATE IS 3 LBS. PER 1000 SQ. FT. OF SOD PER ACRE.

10. CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL SODDED AREAS IN A HEALTHY DURING GROWTH UNTIL FINAL ACCEPTANCE BY OWNER. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WEEDING, FLOODING, WATERING, WEEDING, CULTIVATING, FERTILIZING, AND REPLACING DEAD OR BARE AREAS.

11. IMPAIRMENT OF THE TREE MATERIAL AND INSTALLATION SHALL REMAIN IN EFFECT FOR A PERIOD OF 10 DAYS FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR WILL NOT BE LIABLE FOR DAMAGE DUE TO VANDALISM, USE, OR NATURAL DEATHS.

12. NO SOD SHALL BE PLACED WITHIN 4' TO 5' RADII AROUND THE BASE OF EXISTING TREES. INSTALL A 1/2" LAYER OF MULCH WITHIN THE 4' TO 5' RADII OF EXISTING TREES.

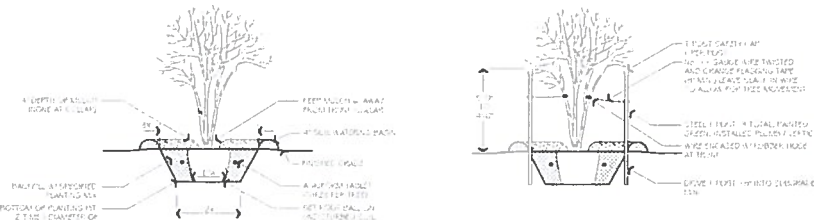


01 TREE PLANTING

N.T.S.

02 TREE STAKING

N.T.S.

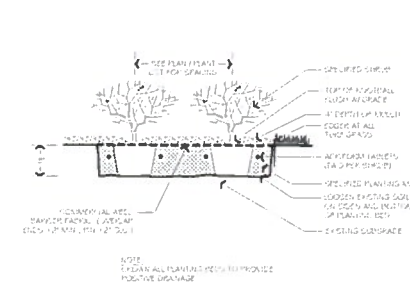


04 MULTI-TRUNK TREE PLANTING

N.T.S.

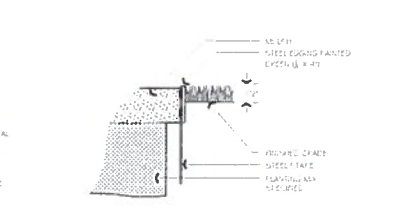
05 MULTI-TRUNK TREE STAKING

N.T.S.



03 SHRUB AND GROUND COVER PLANTING

N.T.S.



06 STEEL EDGING

N.T.S.

REVISION	DATE	BY

GOOPER
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LANDSCAPE DETAILS AND NOTES
HUEBNER & VALLEY GREEN RETAIL
12716 S.F. RETAIL BUILDINGS
NEW BRUNSWICK, NJ 08901

DESIGN BY	CHL/VID
DATE	9/22/2017
PROJECT	RETAIL BUILDINGS GREEN
LOCATION	12716 S.F.
SHEET	11-172
L4	
4 OF 6 SHEETS	

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EXPERTS OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THEIR PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH LOCATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEM, PROGRAM AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION THAT COMPLETES WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EXPERTS OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS CONTAINING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

THE EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. SOME OF THE LOCATIONS WERE DETERMINED FROM MAPS PROVIDED BY THE RESPECTIVE UTILITY OWNER AND ARE NOT GUARANTEED. UTILITIES NOT SHOWN ON THIS DRAWING MAY EXIST. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY OWNER FOR FIELD VERIFICATION AND IS RESPONSIBLE FOR ANY DAMAGES TO LAND FOR MAINTENANCE AND PROTECTION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH EACH UTILITY OWNER 72 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL CALL A UTILITY LOCATOR FOR GENERAL UTILITY LOCATIONS.

CALL AT LEAST 48 HOURS BEFORE DIGGING

AS OF OCT 1, 1998, IT IS TEXAS STATE LAW THAT YOU CONTACT A ONE-CALL SYSTEM BEFORE EXCAVATING:
ONE-CALL SYSTEM OF TEXAS 1-800-545-6003
DIG TEST 1-800-344-6377
LOWE STAR NOTIFICATION 1-800-668-8344
TEXAS ONE-CALL 1-800-243-4343

A FEDERAL LAW NOW IN EFFECT ALSO STATES THAT ANY PERSON WHO ENGAGES IN EXCAVATION ACTIVITIES WITHOUT FIRST USING AN AVAILABLE ONE-CALL NOTIFICATION SYSTEM TO DETERMINE LOCATIONS OF UNDERGROUND FACILITIES OR WITHOUT RECEIVING LOCATION INFORMATION OR WARNINGS AND SUBSEQUENTLY DAMAGES AN UNDERGROUND FACILITY SHALL BE SUBJECT TO A FINE, IMPRISONMENT OR BOTH. THE LAW ALSO STATES THAT OSHA MAY BE NOTIFIED OF ANY ACCIDENT CAUSED BY AN EXCAVATION.

LOCAL UTILITY AGENCIES:
CITY OF SAN ANTONIO PUBLIC WORKS WATER, SEWER 210-237-8000

LEGEND

- P-1 — PROPERTY LINE
- S-1 — EXISTING SANITARY SEWER
- S-2 — EXISTING WATER LINE
- S-3 — EXISTING OVERHEAD ELECTRIC
- S-4 — EXISTING STREET SIGN
- S-5 — EXISTING 30" MANHOLE
- S-6 — EXISTING FIRE HYDRANT
- S-7 — PROPOSED 6" SANITARY SEWER
- S-8 — PROPOSED 2" WATER SERVICE (DOMESTIC)

NOTES

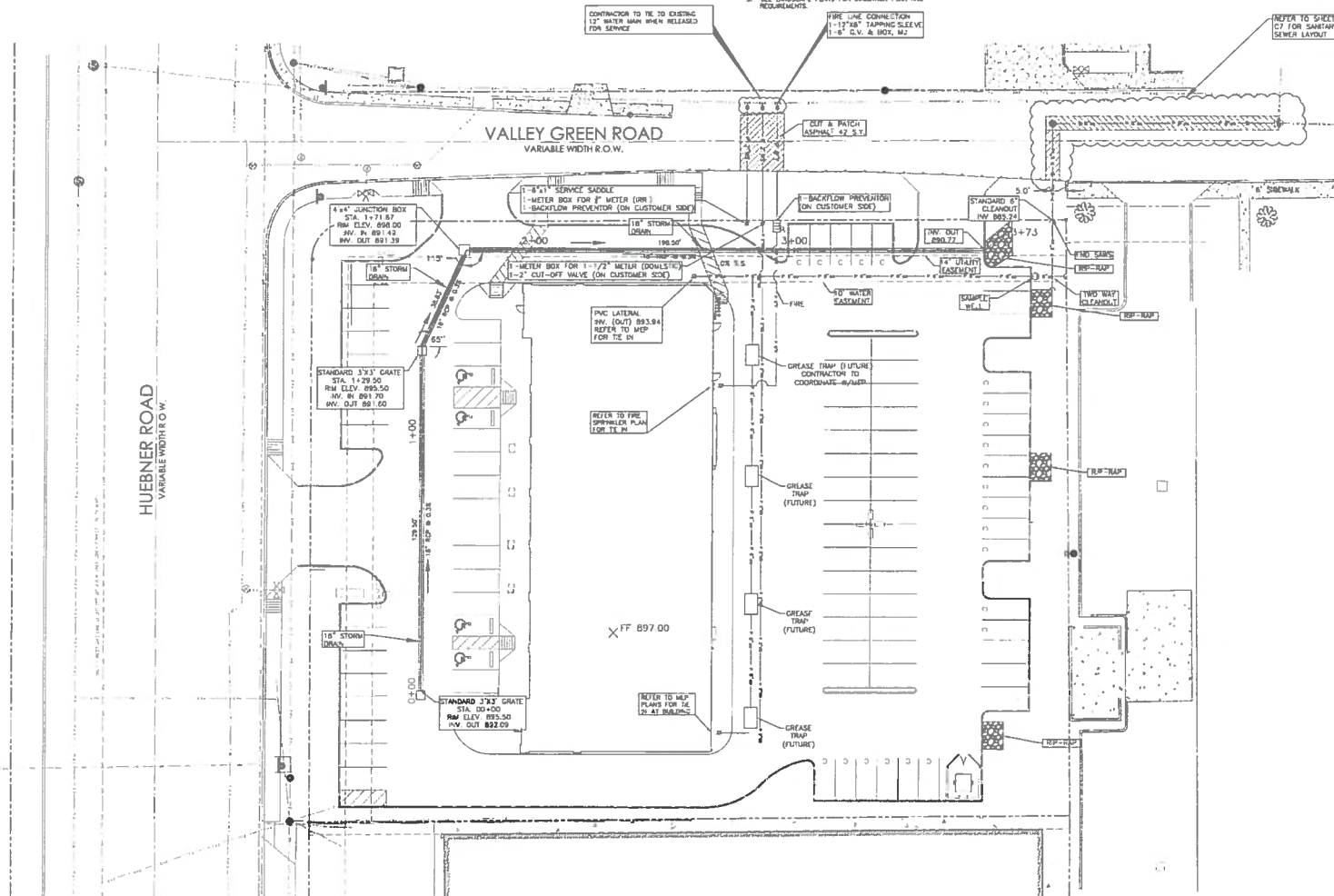
1. REFER TO MEP/PLUMBING PLANS FOR CONTINUATION OF UTILITY SERVICES (WATER AND SEWER) WITHIN 5 FEET OF BUILDING.
2. REFER TO MEP PLANS FOR GAS SERVICE REQUIREMENTS AND ELECTRIC LOAD REQUIREMENTS.
3. ELECTRIC, TELEPHONE, AND CABLE TV SERVICE TO BE REQUESTED BY OWNER/GENERAL CONTRACTOR.
4. SERVICE ALIGNMENT SHOWN ON THIS PLAN ARE TENTATIVE AND SUBJECT TO COORDINATION WITH AND APPROVAL BY THE UTILITY COMPANIES.
5. SEE LANDSCAPE PLANS FOR IRRIGATION PLAN AND REQUIREMENTS.

SEWER SERVICE NOTES:

ALL SANITARY SEWER LATERALS TO BE 4" PVC SCHEDULE 40 UNLESS OTHERWISE INDICATED.
ALL CLEANOUTS TO COMPLY WITH SANIS 00-854-02. CLEANOUTS LOCATED IN TRAFFIC-BEARING AREAS SHALL BE INSTALLED WITH A SLAB, EXTENDED AT LEAST 12" FROM THE PERIMETER OF THE CLEANOUT. THE SLAB SHALL BE NO LESS THAN 8 INCHES THICK. THE CONCRETE SHALL BE ON LESS THAN 3000 PSI.
PROVIDE AND INSTALL A 6" SANITARY SEWER LATERAL. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE SAN ANTONIO WATER SYSTEM AND THE REQUIREMENTS OF THE CURRENT CITY OF SAN ANTONIO PLUMBING CODE. COORDINATE THE LOCATION AND ELEVATION AT THE POINT OF CONNECTION WITH THE PLUMBING PLANS.

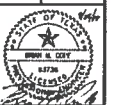
WATER SERVICE NOTES:

ALL MATERIALS AND CONSTRUCTION SHALL MEET THE STANDARDS OF SAN ANTONIO WATER SYSTEM.
INSTALL 2" PVC SCH 80 FROM METER TO A DISTANCE OF 5' FROM BUILDING.
CONTRACTOR TO COORDINATE WITH SAN ANTONIO WATER SYSTEM FOR LOCATION OF SERVICE CONNECTION AND WATER METER.



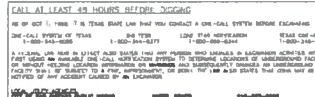
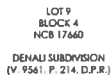
DATE	
REVISIONS	
DESCRIPTION	
NO.	

SITE UTILITY PLAN
9396 HUEBNER ROAD
SAN ANTONIO, TX



KLEIN & COPE
ENGINEERING
INC.
CITY & COUNTY ENGINEERS
10000 N. LOOP WEST, SUITE 1000
DALLAS, TEXAS 75243-1000

JOB NO.
DATE 08/22/2017
DESIGNED BY B.M.C.
DRAWN BY K.R.S.
CHECKED BY B.M.C.
PAGE C6



TRENCH EXCAVATION SAFETY PROTECTION

THE EXISTING UTILITY LOCATIONS SHOWN ARE APPROPRIATE ONLY SINCE THE LOCATIONS WERE DETERMINED FROM MAPS PROVIDED BY THE SUSPECTIVE UTILITY OWNER AND ARE NOT GUARANTEED. CONTRACTOR SHALL, ON THE EVENING MAY, EXIST THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY OWNER FOR FIELD VERIFICATION AND IS RESPONSIBLE FOR ANY DAMAGES TO AND FOR MAINTENANCE AND PROTECTIONS OF ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH EACH UTILITY OWNER 72 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL CALL A UTILITY LOCATOR FOR GENERAL UTILITY LOCATIONS.

8" SANITARY SEWER (OFF SITE)
STA. 0+00 TO STA. 0+87.17

9396 HUEBNER ROAD
SAN ANTONIO, TX

SAN ANTONIO



**KLEIN & COPE
ENGINEERING
INC.**

CIVIL • MECHANICAL • ENVIRONMENTAL ENGINEERS
8011 SUTHER LANE
DALLAS, TEXAS 75247
TEL: 972-361-1000
FAX: 972-361-1001
WWW.KCENGINEERING.COM

JOB No. _____
DATE : 09/22/2017
DESIGNED BY: BMC
DRAWN BY: AJM
CHECKED BY: BMC
SHT: C7

FLOW CALCULATIONS BASED ON CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE
RATIONAL METHOD: $Q = CA$

———— EXISTING 1FT. CONTOURS
 - - - - - PROPOSED CONTOURS
 ———— TIME OF CONCENTRATION PATH
 ———— FLOW DIRECTION
 XX ———— DRAINAGE AREA
 XXXX ———— ACREAGE (ACRES)

PROPOSED FLOWS - RATIONAL METHOD										
DRAINAGE AREA (AC)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (MINS.)	1 (c/100)	2 (c/100)	3 (c/100)	5-1% STORM FLOW	25-1% STORM FLOW	100-1% STORM FLOW	COLLECTION POINT	
P1	0.303	0.90	5	8.400	11.100	13.542	1.43	1.09	2.30	51.3" WHITE "HET"
P2	0.243	0.79	5	8.400	11.100	13.542	1.34	2.04	2.48	51.3" WHITE "HET"
P3	0.408	0.90	5	8.400	11.100	13.542	1.08	4.09	4.98	CURB CUT
P4	0.338	0.85	5	8.400	11.100	13.542	2.72	3.58	4.39	CURB CUT
P5	0.192	0.80	5	8.400	11.100	13.942	1.13	1.30	1.83	CURB CUT
P6	0.088	0.85	5	8.400	11.100	13.542	0.38	0.50	0.81	CURB CUTS ON ADJAC PROPERTY
P7	0.275	0.65	5	8.400	11.100	13.542	0.41	0.54	0.66	CURB CUTS ON ADJAC PROPERTY
P8	0.023	0.78	5	8.400	11.100	13.542	0.13	0.18	0.24	VALLEY CREEK RD.
P9	0.030	0.85	5	8.400	11.100	13.542	0.19	0.25	0.31	MEADOW RD.
FLOW CALCULATIONS BASED ON CITY OF SAN ANTONIO UNIFIED DEVELOPMENT			TOTAL		CODE	8.7800	11.8100	14.1800		
RATIONAL METHOD: Q = CA										

[illegible]

**A KLEIN & COPE
ENGINEERING
INC.**

JOB No :
DATE : 9/22/22 17
DESIGNED BY: BMC
DRAWN BY: KRS
CHECKED BY: BMC
SHT: C9

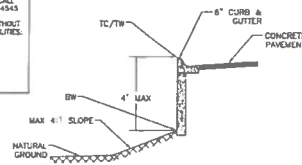
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TRENCH EXCAVATION SAFETY PROTECTION
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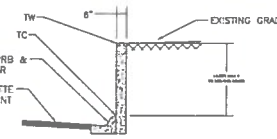
CALL AT LEAST 48 HOURS BEFORE DIGGING

AS OF OCT 1, 1996, IT IS TEXAS STATE LAW THAT YOU CONTACT A ONE-CALL SYSTEM BEFORE EXCAVATING.
ONE-CALL SYSTEM OF TEXAS DIAL 811 LONG BEAR NOTIFICATION TEXAS ONE-CALL
1-800-345-8005 1-800-344-8377 1-800-888-8344 1-800-243-6545
A FEDERAL LAW NOW IN EFFECT ALSO STATES THAT ANY PERSON WHO ENGAGES IN EXCAVATION ACTIVITIES WITHOUT FIRST USING AN AVAILABLE ONE-CALL NOTIFICATION SYSTEM TO DETERMINE LOCATIONS OF UNDERGROUND FACILITIES OR WITHOUT RECEIVING LOCATION INFORMATION OR MARKERS AND SUBSEQUENTLY DAMAGES AN UNDERGROUND FACILITY SHALL BE SUBJECT TO A FINE, IMPRISONMENT, OR BOTH. THE LAW ALSO STATES THAT OSHA MAY BE NOTIFIED OF ANY ACCIDENT CAUSED BY AN EXCAVATOR.

LOCAL UTILITY AGENCIES
CITY OF SAN ANTONIO PUBLIC WORKS WATER, SEWER 210-227-6000

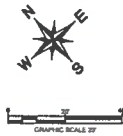


"A - A"



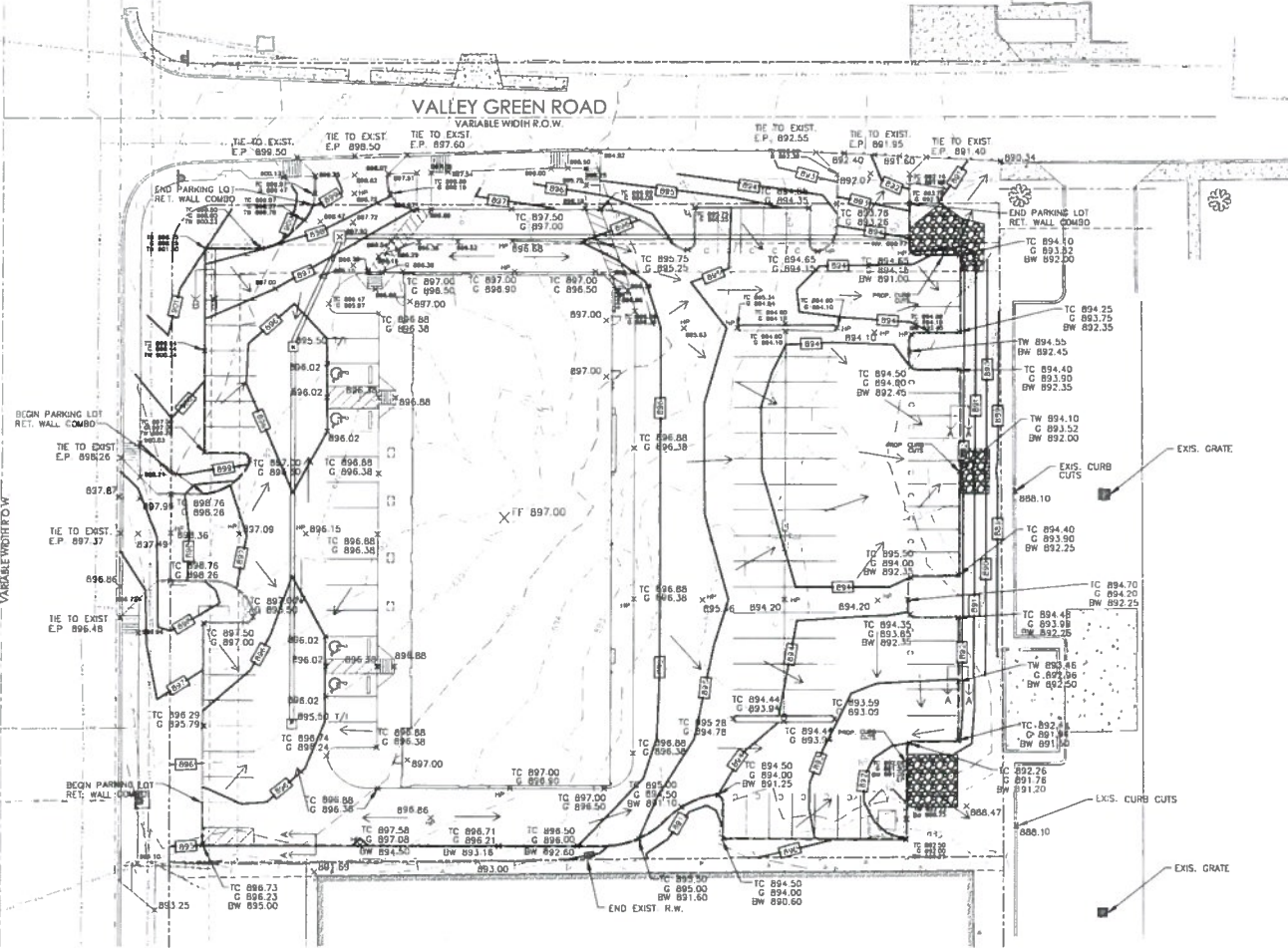
"B - B"

LEGEND
--- EXISTING CONTOURS
--- PROPOSED CONTOURS
--- PROPOSED SPOT ELEVATION
--- GUTTER
--- TOP OF CURB
--- SIDEWALK
--- FLOW LINE
--- TOP OF SLOPE
--- LOW POINT
--- HIGH POINT
--- TOP OF WALL
--- BOTTOM OF WALL
--- GRADE FLOW DIRECTION



HUEBNER ROAD
VARIABLE WIDTH R.O.W.

VALLEY GREEN ROAD
VARIABLE WIDTH R.O.W.



SITE GRADING PLAN
9386 HUEBNER ROAD
SAN ANTONIO, TX



KLEIN & COPE
ENGINEERING
INC.
2001 LANTANA BLVD. SUITE 100
SAN ANTONIO, TEXAS 78217
TEL: 512-348-1111
FAX: 512-348-1112

JOB No.
DATE 09/22/2017
DESIGNED BY B.M.C.
DRAWN BY K.R.S.
CHECKED BY B.M.C.
PAGE C10

TREE INVENTORY

TAG #	SPECIES	SIZE	LARGE SPECIES					SMALL SPECIES					DBH INCHES	COMMENTS
			NONCANT PRESERVED	NONCANT REMOVED	HERITAGE PRESERVED	HERITAGE REMOVED (1.5)	HERITAGE REMOVED (1.5)	NONCANT PRESERVED	NONCANT REMOVED	HERITAGE PRESERVED	HERITAGE REMOVED			
914	ASH	16		16										SIGNIFICANT
915	ASH	17										17		RIGHT OF WAY
917	ASH	18											18	POOR
918	HACKBERRY	19		19										SIGNIFICANT
919	HACKBERRY	12		12										SIGNIFICANT
920	ASH	16		16										SIGNIFICANT
921	ASH	28					28							
924	MESQUITE	7											7	EASEMENT
925	MESQUITE	14											14	EASEMENT
929	HACKBERRY	9											9	DEAD
931	ASH	24					24							HERITAGE
933	PEAR	10		10										SIGNIFICANT
934	PECAN	19	19											SIGNIFICANT
937	ASH	20											20	POOR
941	HACKBERRY	10		10										SIGNIFICANT
943	HACKBERRY	9											9	NONSIGNIFICANT
945	RED OAK	19		19										SIGNIFICANT
946	ASH	12											12	POOR
948	ASH	22		22										SIGNIFICANT
951	HACKBERRY	9											9	NONSIGNIFICANT
951	HACKBERRY	12											12	POOR
952	LIQUSTRUM	13											13	INVASIVE
953	HACKBERRY	8											8	NONSIGNIFICANT
954	HACKBERRY	9											9	NONSIGNIFICANT
956	HACKBERRY	7											7	NONSIGNIFICANT
960	HACKBERRY	8											8	POOR
961	HACKBERRY	11											11	POOR
962	HACKBERRY	8											8	NONSIGNIFICANT
964	HACKBERRY	10											10	POOR
966	HACKBERRY	7											7	NONSIGNIFICANT
968	MULBERRY	8											8	INVASIVE
969	HACKBERRY	13											13	POOR
970	HACKBERRY	12		12										SIGNIFICANT
971	ASH	15	15											SIGNIFICANT
972	HACKBERRY	8											8	NONSIGNIFICANT
973	HACKBERRY	9											9	NONSIGNIFICANT
974	ASH	25											25	DEAD
975	ASH	37			37									HERITAGE
978	ASH	12		12										SIGNIFICANT
977	HACKBERRY	10		10										SIGNIFICANT
980	HACKBERRY	10		10										SIGNIFICANT
982	LIQUSTRUM	27											27	INVASIVE
983	LIQUSTRUM	24											24	INVASIVE
986	HACKBERRY	17		17										SIGNIFICANT
987	HACKBERRY	12	12											SIGNIFICANT
988	HACKBERRY	19		19										SIGNIFICANT
989	HACKBERRY	13											13	POOR
990	LIQUSTRUM	13											13	DEAD
991	HACKBERRY	8											8	EASEMENT
992	HACKBERRY	23											23	RIGHT OF WAY
993	HACKBERRY	14											14	RIGHT OF WAY
994	HACKBERRY	18											18	RIGHT OF WAY
995	MESQUITE	13											13	RIGHT OF WAY
998	HACKBERRY	8											8	NONSIGNIFICANT
997	HACKBERRY	6											6	NONSIGNIFICANT
999	RETAMA	6	6											SIGNIFICANT
TOTALS		789	62	191	37	8	88	8	0	0	0	0	437	

TREE PRESERVATION SUMMARY

SIGNIFICANT LARGE DBH INCHES ON SITE	243
Significant Large DBH Inches Preserved	52
Significant Class Preservation Ratio	21.4%
Required Significant Preservation Ratio	40%
Significant Class Excess (Mitigation):	(48.2)
HORTAGE DBH INCHES ON SITE	80
Heritage DBH Inches Preserved	37
Heritage DBH Inches Required (1%)	1
Heritage DBH Inches Excess (Mitigation) (1%)	5.2
Heritage Class Preservation Ratio:	41.0%
Heritage Class Excess (Mitigation), 1	0.8
Heritage Class Excess (Mitigation), 1	(82.0)
Significant Class Excess (Mitigation)	1
Ratio of Very DBH Inches Preserved Mitigation 1	(43.2)
TOTAL EXCESS (MITIGATION)	(148)

MITIGATION TABLE

66.5' = REPLACEMENT TREES
(13) 6" AL. REPLACEMENT TREES
(10) 16" 57' CAL. LANDSCAPE TREES
(7) 12" 57' CAL. LANDSCAPE TREES
22' = PRESERVED NON-PROTECTED TREES
51.5' = RESTORATION FUND INCREASE (INCREASE \$12,000)

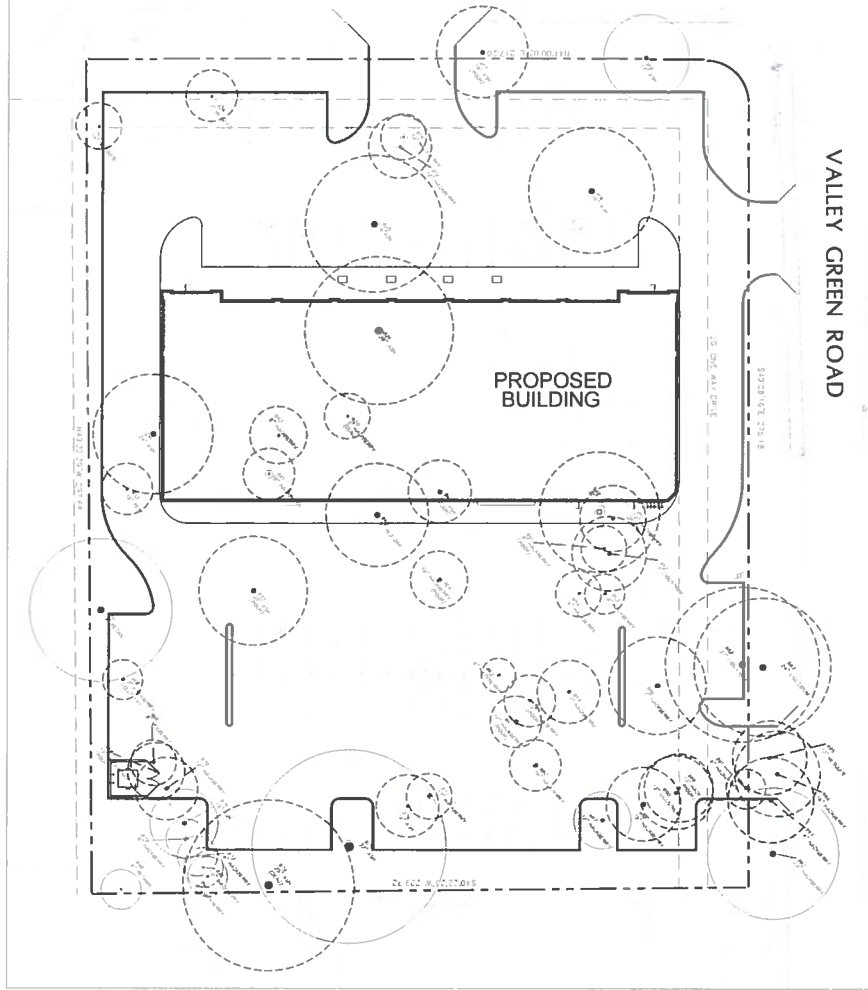
\$300.00 = BALANCE DUE



LOCATION MAP

SCALE NTB

HUEBNER ROAD



TREE PRESERVATION PLAN



TREE PRESERVATION LEGEND



TREE TO BE REMOVED

EXISTING TREE TO REMAIN

----- INVERTLINE / R.O.W. BOUNDARY
----- EASEMENT LINE

DRAWN
BY
CHECKED
JL
DATE
9/22/017
PROJECT
DEERHILL VALLEY GREEN
CLIA NO
12-122
SHEET

L1

1 OF 6 SHEETS |

TREE PROTECTION GENERAL NOTES

1. TREE PROTECTION TO BE ERECTED AROUND ALL PROJECTED SAFE TREES TO BE AFFECTED BY CONSTRUCTION ACTIVITY.

2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE CITY APPROVED PLANS.

3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND PROTECTION MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY THE CITY INSPECTOR.

4. TREE PROTECTION FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.

5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES (3") IN DIAMETER, WHEN EXCAVATING NEAR EXISTING TREES (EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IF ROOTS LARGER THAN THREE INCHES (3") WITHIN THE TREE FOOT (3'). ROOT PROTECTION ZONE NEED TO BE INSTALLED. ALL ROOTS LARGER THAN ONE INCH (1") IN DIAMETER SHALL BE CLEANLY CUT BY HAND WITH BYPASS TYPE PRUNING SHEARS.

6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY BE OPERATED OR BE STORED. THE REQUIRED RADIUS LENGTH IS ONE FOOT (1') PER DIAMETER INCH OF THE TREE. FOR EXAMPLE: A TEN INCH (10") DIAMETER TREE WOULD HAVE A TEN FOOT (10') RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONTACT WITH THE CONSTRUCTION SHALL BE CUT CLEARLY ACCORDING TO PROPER PRUNING METHODS. ALL GAF WOUNDS SHALL BE PAINTED OVER WITH AN ACRYLIC TREE WOUND SEALER, WITHIN TWENTY-FOUR HOURS TO PREVENT GUM RESIN.

7. NO DISTURBANCE SHALL OCCUR CLOSER TO THE TRUNK THAN HALF THE ROOT PROTECTION ZONE AREA.

8. TREES, SHRUBS, OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND.

9. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE REPLANTED ON A 1:1 BASIS FOR SIGNIFICANT TREES AND 3:1 BASIS FOR HERITAGE SAVED TREES TO SATISFY THE OWNER AND CITY TREE ORDINANCE VIOLATION REQUIREMENTS. I.E. LOSS OF A 30" DIAMETER TREE WILL REQUIRE 90" OF REPLANTING.

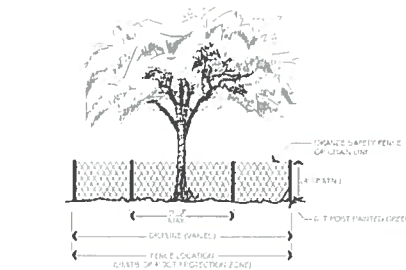
10. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH, OR WET DUMPS.

11. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST OFFICE PRIOR TO ITS REMOVAL.

12. ALL EXISTING TREES ARE TO BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR IS TO ESTABLISH A DAILY OR AS NEEDED WATERING ROUTINE FOR ALL EXISTING TREES IMPACTED BY CONSTRUCTION. PROVIDE ONE APPLICATION OF ROOT STIMULATOR TO EXISTING TREES PRIOR TO START OF WORK.

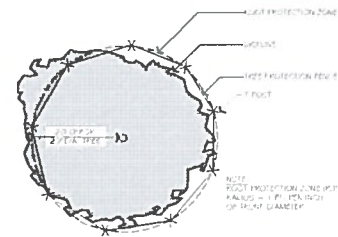
13. THE PROPOSED FENCED AREA WITHIN THE ROOT PROTECTION ZONE OF ANY TREE TO BE PRESERVED SHALL NOT BE PASSED OR UNPAVED MORE THAN THREE INCHES (3").

14. WHERE TREE FENCING WILL CONFLICT WITH NECESSARY CONSTRUCTION ACTIVITY THE FENCING SHALL BE ADJUSTED AND A 6" COARSE LAYER OF MULCH SHALL BE INSTALLED AND MAINTAINED OVER TREE ROOT PROTECTION ZONE WHERE FENCING WILL ENCROACH WITHIN FIVE FEET (5') OF EXISTING TREE. TREE MULCH IS TO BE INSTALLED.



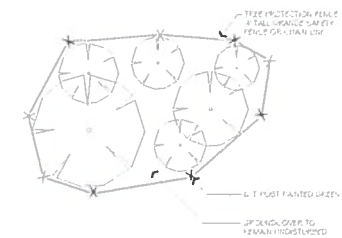
01 TREE PROTECTION - ELEVATION

NTB



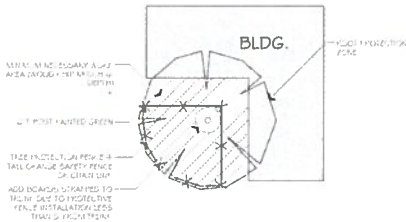
02 INDIVIDUAL TREE

NTB



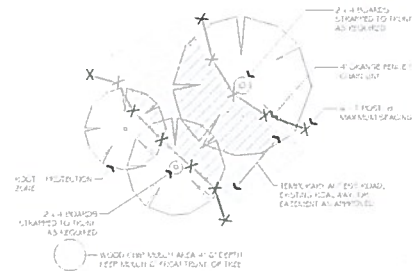
03 GROUP OF TREES

NTB



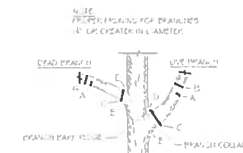
04 TREES NEAR CONSTRUCTION ACTIVITY

NTB



05 LINEAR CONSTRUCTION THROUGH TREES

NTB



06 TREE PRUNING

NTB

REVISIONS	DATE	BY

COOPER LOCHTE
LANDSCAPE ARCHITECTS, LLC
12716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS 78130
PH: 361.222.1234
WWW.COOPERLOCHTE.COM

VILLA PARK
ARCHITECTURAL INTERIORS, PLLC
12716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS 78130
PH: 361.222.1234
WWW.VILLAPARKARCHITECTS.COM



TREE PRESERVATION DETAILS AND NOTES
HUEBNER & VALLEY GREEN RETAIL
12716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

DESIGNED BY	
CHECKED BY	
DATE	07/27/2017
PROJECT	HUEBNER & VALLEY GREEN
CLIENT	CLLA TRU
SHEET	12-122

L2

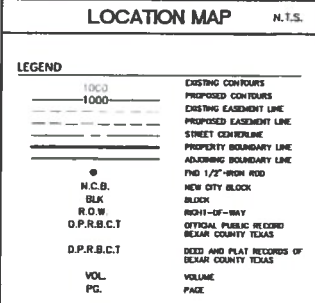
2 OF 6 SHEETS

RECORDED'S MEMORANDUM
AT THE TIME OF RECORDED THIS
DOCUMENT WAS FOUND TO BE INAGUATE
FOR THE RECORDING OF THE INSTRUMENT
BECAUSE OF ILLEGIBILITY, CANNOT BE RECORDED
DEEMED C. RECORDS COUNTY CLERK

Date: 2016/07/14, File: 152 08
39pgs Page 13

Book 9765 Page 13

12-261816761-3



- KEYNOTES - PROPOSED
- 1 14" ELECTRICAL, GAS, TELEPHONE, AND CABLE TELEVISION EASEMENT.
 - 2 10" WATER EASEMENT.
 - 3 VARIABLE WIDTH RIGHT-OF-WAY DEDICATION TO THE CITY OF SAN ANTONIO (0.095 ACRES)

- KEYNOTES - EXISTING
- 1 14" ELECTRICAL, GAS, TELEPHONE, AND CABLE TELEVISION EASEMENT. (A. 8580, PG. 44 D.P.R.B.C.T.)
 - 2 5" ELECTRICAL, GAS, TELEPHONE, AND CABLE TELEVISION EASEMENT (VOL. 9560, PG. 44 D.P.R.B.C.T.)
 - 3 14" ELECTRICAL, GAS, TELEPHONE, AND CABLE TELEVISION EASEMENT (VOL. 8561, PG. 214 D.P.R.B.C.T.)

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIST.	CHORD BEARING
C1	15.00	23.53	089°51'44"	21.19	S85°55'53"W
C2	15.00	23.53	089°51'42"	21.19	S85°55'54"W

STATE OF TEXAS
COUNTY OF BEAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

MOY TARI RAMIREZ ENGINEERS, LLC
STEPHANIE L. JAMES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5950
MOY TARI RAMIREZ ENGINEERS, LLC
12770 CHAMBERLAIN PARK, SUITE 100
SAN ANTONIO, TEXAS 78249
PH: (210) 688-5051

STATE OF TEXAS
COUNTY OF BEAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNITED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Rolando Ramirez, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 87870
MOY TARI RAMIREZ ENGINEERS, LLC
12770 CHAMBERLAIN PARK, SUITE 100
SAN ANTONIO, TEXAS 78249
PH: (210) 688-5051

- NOTES:
- EXCEPT AS SHOWN, PROPERTY CORNERS ARE MONUMENTED WITH A SET 1/2" IRON ROD WITH AN ORANGE PLASTIC CAP STAMPED "MTR ENG".
 - THE NEARINGS SHOWN HEREON ARE BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, AS ESTABLISHED BY THE NORTH AMERICAN DATUM OF 1983.
 - FRESHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8" ABOVE FINAL ADJACENT GRADE.
 - NO STRUCTURES, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPED DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS WHICH ALTHOUGH THE CROSS-SECTION OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANITO'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS.
 - THE DEVELOPER INDICATES THE OFF-LOT SANITARY SEWER MAINS UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM, THE SAN ANTONIO WATER SYSTEM WILL OWN AND MAINTAIN SAID SANITARY SEWER MAINS WHICH ARE INCLUDED WITH THIS SUBDIVISION PLAT.

MAINTENANCE NOTE:
THE MAINTENANCE OF DRAINAGE EASEMENTS, PUBLIC SANITARY SEWER AND IRREVOCABLE ACCESS EASEMENTS, CROSSLINGS, AND OTHER POTENTIAL SPACES SHOWN HEREON SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOMEOWNERS ASSOCIATION AND THEIR SUCCESSORS OR ASSIGNEES AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEAR COUNTY.

IMPACT FEE PAYMENT NOTE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

CLEAR VISION NOTE:
ALL ACCESS DRIVEWAYS AND INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION AREA, IN ACCORDANCE WITH LDC 39-508 (4)(5).

STANDARD MEASURE NOTE:
A PORTION OF THE PLAT IS BELOW THE GROUND ELEVATION OF 826 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 10 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT IN THE CUSTOMER'S SIDE OF THE WATER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

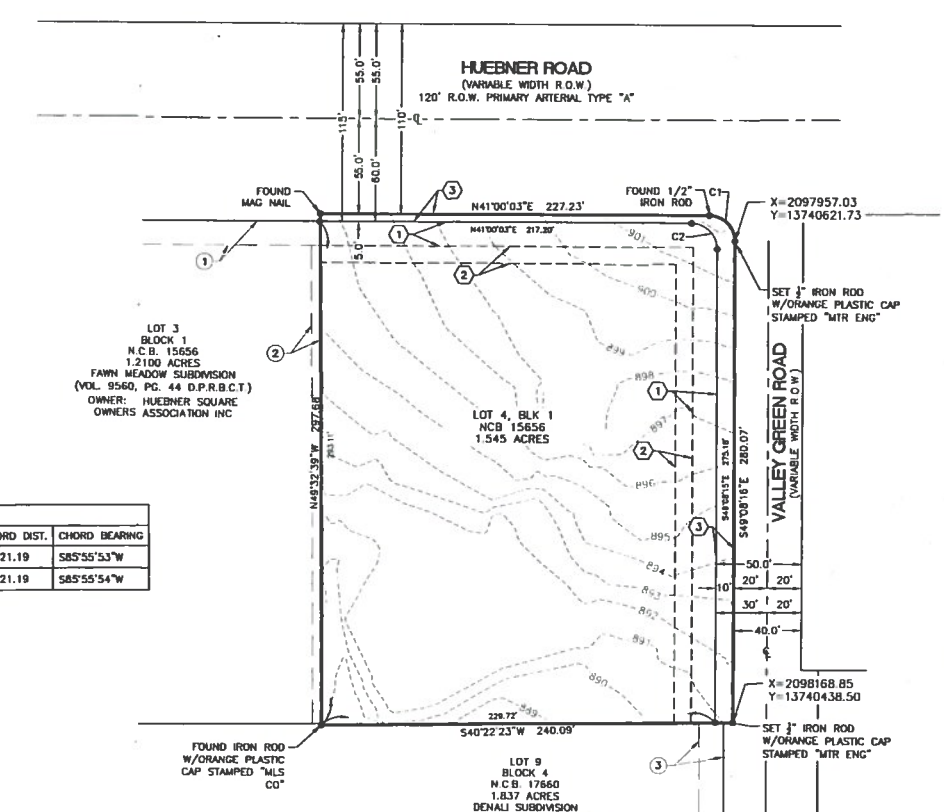
- DESIGNER'S NOTES:
- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS REFINISHED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND DIRECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANITO'S ADJACENT LOTS, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LOTS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENT OF SAID LINES OR APPURTENANCES HERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
 - ANY OPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF OPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
 - THIS PLAT DOES NOT AFFECT, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.

SAN ANTONIO NOTE:
THE SAN ANTONIO WATER SYSTEM IS HEREBY GRANTED THE RIGHT OF INGRESS AND EGRESS ACROSS GRANITO'S ADJACENT PROPERTY TO ACCESS THE WATER EASEMENT(S) SHOWN ON THIS PLAT.

SAN ANTONIO NOTE:
THE SAN ANTONIO WATER SYSTEM IS HEREBY GRANTED THE RIGHT OF INGRESS AND EGRESS ACROSS GRANITO'S ADJACENT PROPERTY TO ACCESS THE BASIC UTILITY EASEMENT(S) SHOWN ON THIS PLAT.

CONTRACTOR NOTE:
THE NUMBER OF EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY DEVELOPMENT SERVICES DEPARTMENT.

DETENTION DETENTION NOTE:
STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY. BUILDING PERMITS FOR THIS PROPERTY SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLID) IF CERTAIN DRAINAGE CONDITIONS ALLOW BUT ONLY IF APPROVED BY THE CITY OF SAN ANTONIO. MAINTENANCE OF AN ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE LOT OWNERS AND/OR PROPERTY OWNERS ASSOCIATION AND THEIR SUCCESSORS OR ASSIGNEES.



PLAT NO. 150586

SUBDIVISION PLAT
ESTABLISHING
**HUEBNER AND VALLEY
GREEN TRACT**

BEING A TOTAL OF 1.834 ACRE (71,415.28 SQUARE FEET) TRACT INCLUDING A 0.094 ACRE DEDICATION TO THE CITY OF SAN ANTONIO, IN THE CITY OF SAN ANTONIO, OUT OF THE MANUEL TEJADA SURVEY NO. 89, ABSTRACT NO. 741, NEW CITY BLOCK 15656, BEING OUT OF THE REMAINING PORTION OF A 1.7050 ACRE TRACT, AS CONVEYED TO APT. JV, LTD., AS RECORDED IN VOLUME 11334, PAGE 888 OF THE OFFICIAL PUBLIC RECORDS, BEAR COUNTY, TEXAS.

MTR
Moy Tarin Ramirez Engineers, LLC
FORM TYPE NO. F-5297 & TEMPLS NO. 10131500
12770 CHAMBERLAIN PARK, SUITE 100
SAN ANTONIO, TEXAS 78249
TEL: (210) 688-5051
FAX: (210) 688-5058

Engineers
Surveyors
Planners



STATE OF TEXAS
COUNTY OF BEAR

THE OWNER OF THE LAND SHOWN ON THIS PLAT, IN PERSON OR BY AUTHORIZED AGENT, DELEGATES TO THE USE OF THE PUBLIC AREAS, ENTERED AS PRIVATE, ON PART OF AN ENCLAVE ON DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATER EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE P-CORRELATION THEREIN IN EXHIBIT.

DAVID AGUILERA
Notary Public
My Commission Expires
June 30, 2020

STATE OF TEXAS
COUNTY OF BEAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED **ANTHONY E. SANSONE** known to me to be the PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND he acknowledged to me that he executed the same for the PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 2nd DAY OF AUGUST 2016

DAVID AGUILERA
Notary Public
My Commission Expires
June 30, 2020

STATE OF TEXAS
COUNTY OF BEAR

THIS PLAT OF HUEBNER AND VALLEY GREEN TRACT HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF LOCAL LAWS AND REGULATIONS IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS AS INDICATED BELOW.

DATED THIS 24th DAY OF August A.D. 16
BY Michael J. Ryan
DIRECTOR OF DEVELOPMENT SERVICES DEPARTMENT

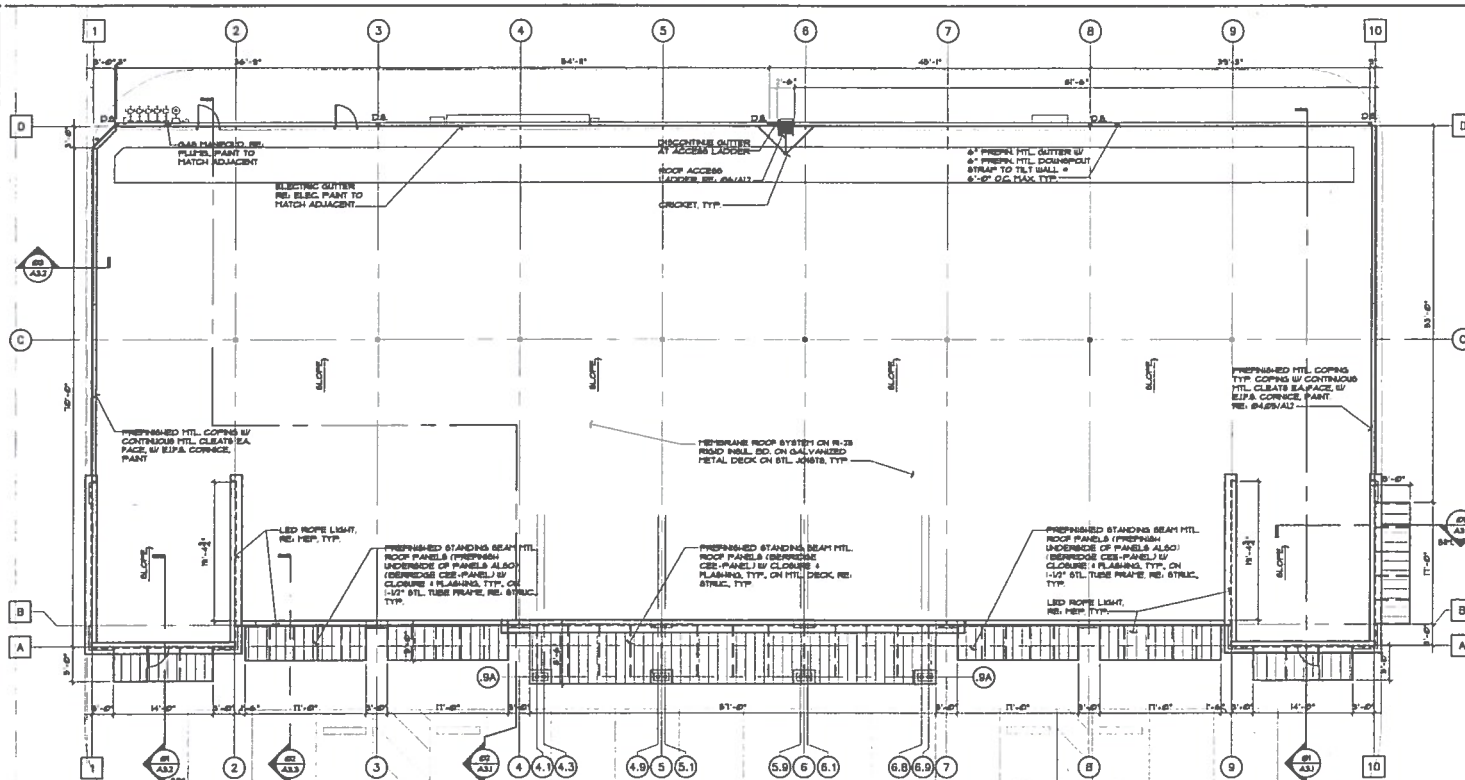
STATE OF TEXAS
COUNTY OF BEAR

Conrad Bickhoff COUNTY CLERK OF BEAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE 28th DAY OF August A.D. 16 AT 9:17 AM AND WAS RECORDED IN THE 2016 DAY OF August A.D. 16 AT 9:17 AM IN THE RECORDS OF Deeds AND Plats OF SAID COUNTY, IN BOOK VOLUME 9105 ON PAGE 13 IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS 26th DAY OF August A.D. 16

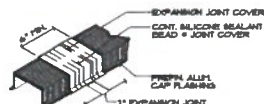
COUNTY CLERK, BEAR COUNTY, TEXAS

BY Crystal M. Lopez DEPUTY

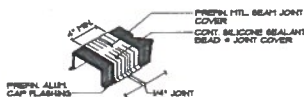
SHEET 1 OF 1



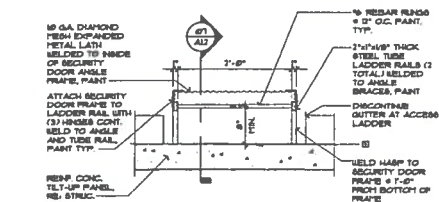
01 ROOF PLAN
SCALE: 1/4" = 1'-0"



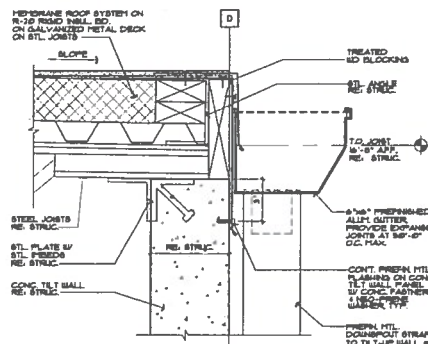
04 TYP. EXPANSION JOINT COVER @ CAP FLASHING
SCALE: N.T.S.



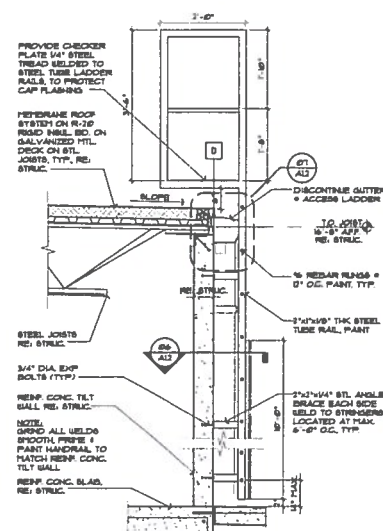
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SCALE: N.T.S.



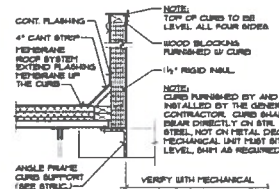
06 ROOF ACCESS LADDER
SCALE: 3/4\"/>



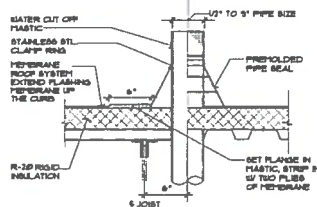
07 SECTION @ GUTTER
SCALE: 3/4\"/>



08 SECTION @ ACCESS LADDER
SCALE: 3/4\"/>



02 FOR TENANT TYP. ROOF CURB DETAIL
SCALE: 3/4\"/>



03 FOR TENANT TYP. ROOF PENETRATION DTL.
SCALE: 1/2\"/>

REVISION	DATE	BY

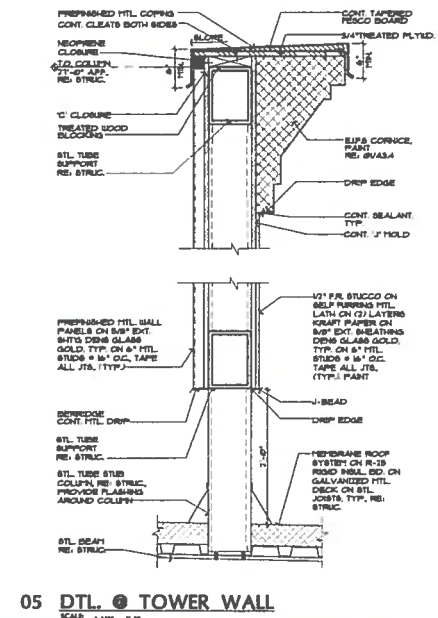
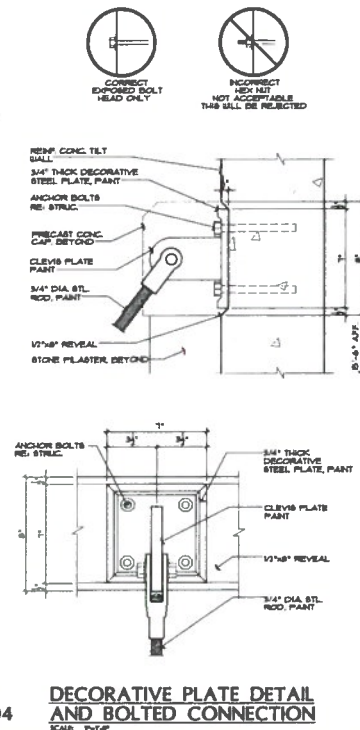
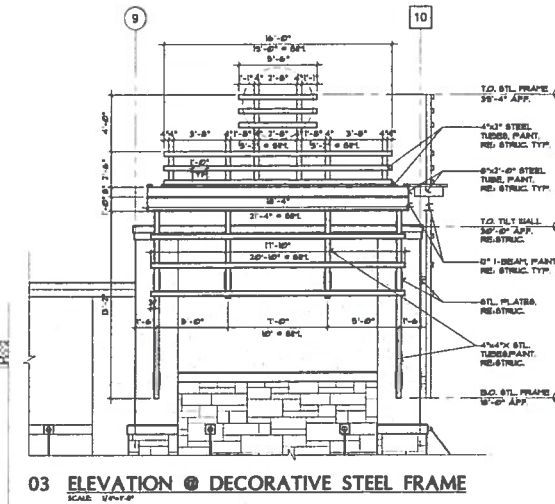
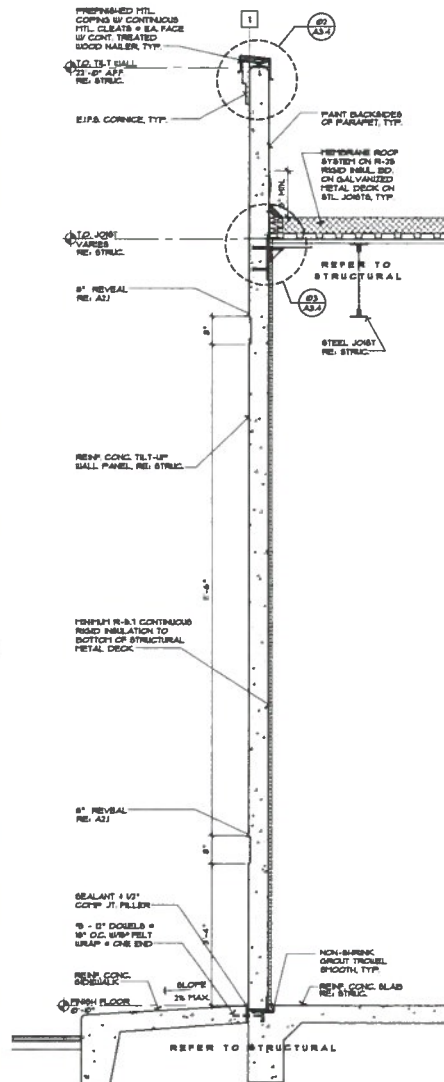
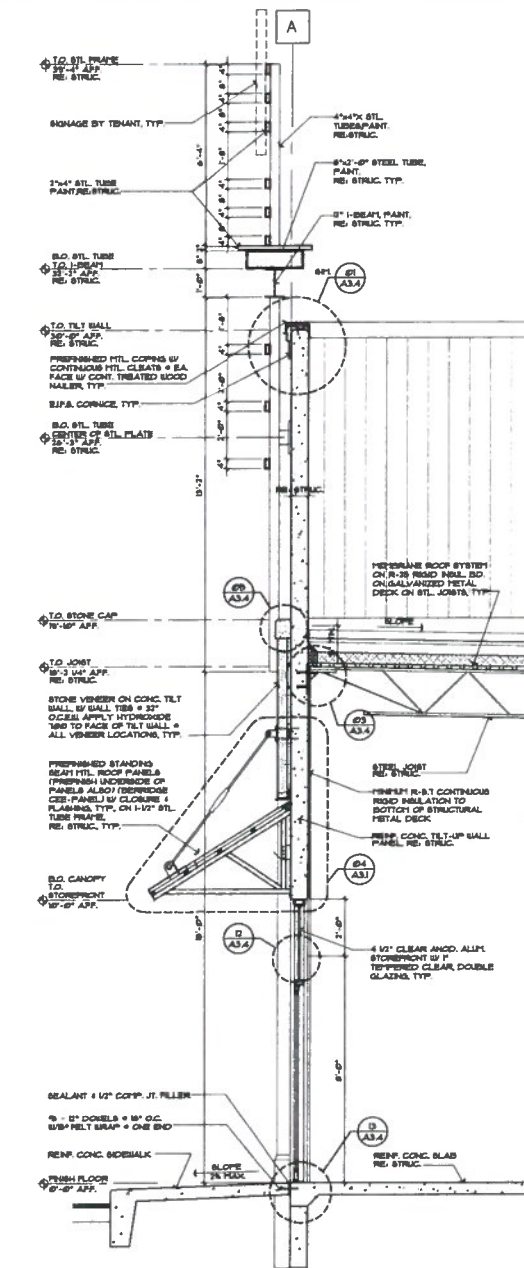
300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78216
VOICE (210) 344-8900
FAX (210) 344-8940
WWW.VILLAPARKARCHITECTS.COM
VILLA PARK
ARCHITECTS, PLLC
8/23/17



ROOF PLAN
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDING
9306 HUEBNER RD., SAN ANTONIO, TEXAS

DRAWN BY
CHECKED BY
DATE 08/23/17
PROJECT HUEBNER/VALLEY GREEN
JOB NO. 15-102
SHEET

A1.2
5 of 10 SHEETS



REVISIONS DATE	BY

300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78216
VOICE: (210) 344-8900
FAX: (210) 344-8240
WEB: www.villapark-usa.com
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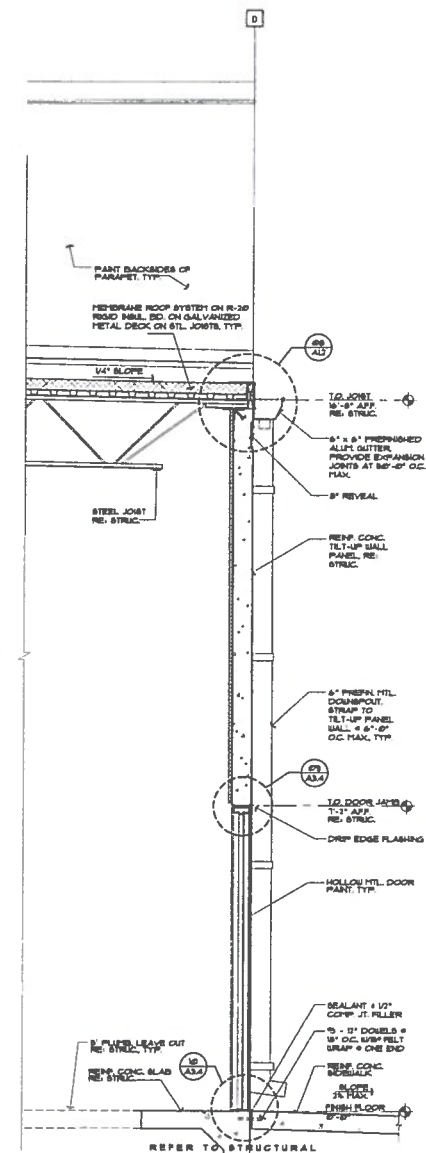
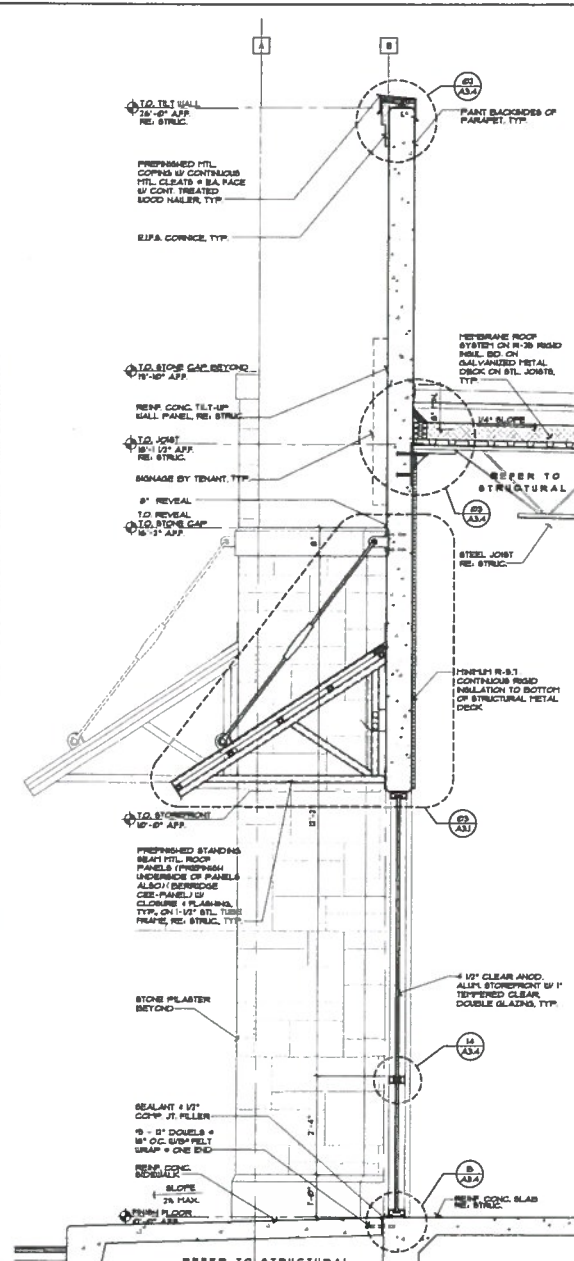
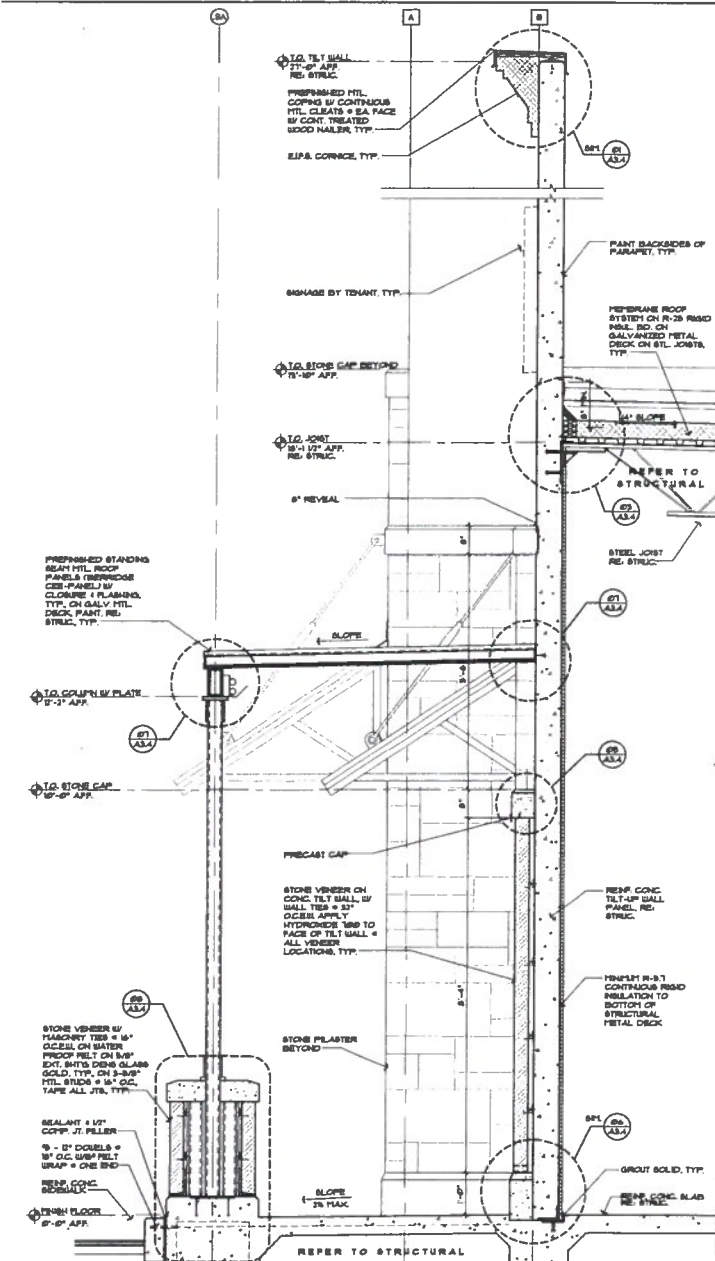


WALL SECTIONS

HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDING
9396 HUEBNER RD, SAN ANTONIO, TEXAS

DRAWN
BY
CHECKED
BY
DATE
09/22/17
PROJECT
MUEBNER/WALLEY GREEN
JOB. NO.
15-102
SHEET

A3.2
8 OF 10 SHEETS



REVISIONS DATE	BY

300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78216
VOICE: (210) 344-8900
FAX: (210) 344-8240
WEB: www.villapark-us.com
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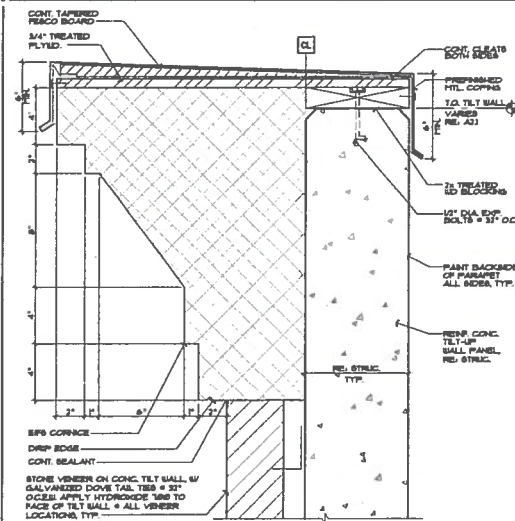


WALL SECTIONS

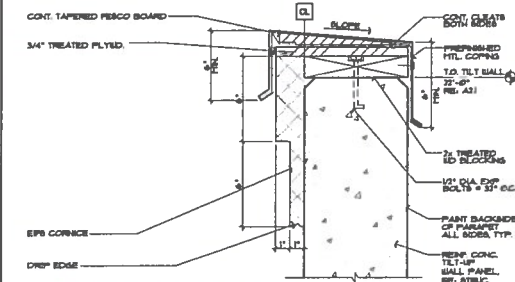
EBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDING
9396 HUEBNER RD., SAN ANTONIO, TEXAS

DRAWN
JF
CHECKED
JF
DATE
09/22/17
PROJECT
WEBSTER/WALLEY GREEN
JOB. NO.
15-102
SHEET

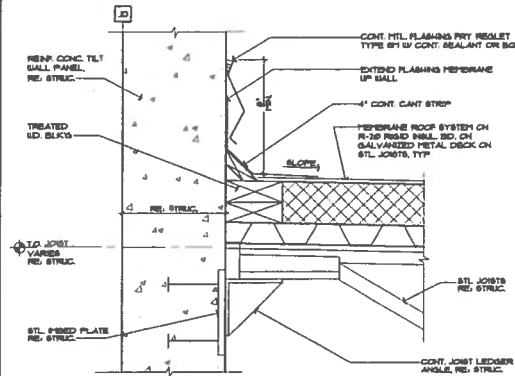
A3.3
9 OF 10 SHEETS



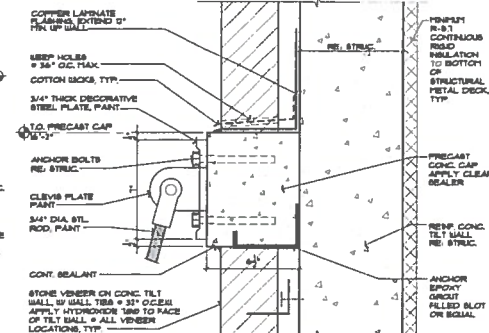
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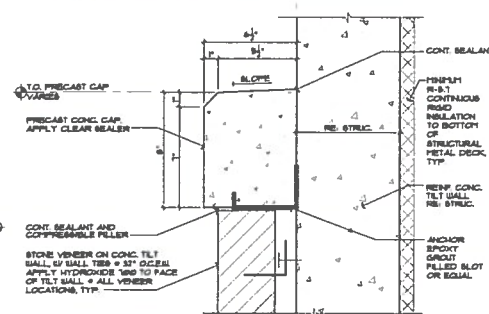
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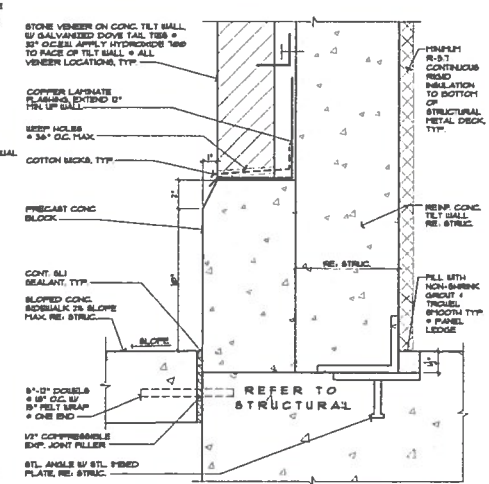
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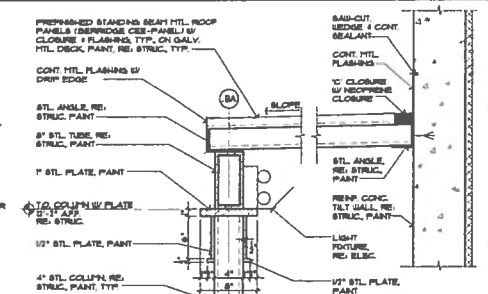
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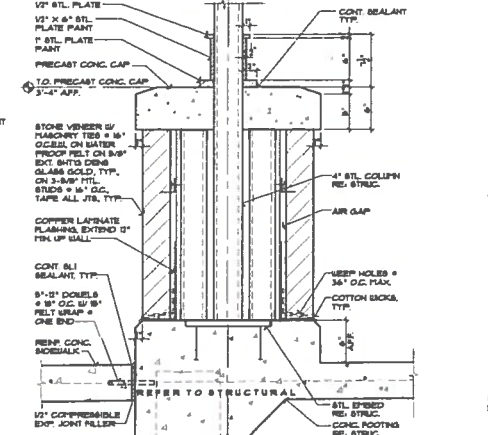
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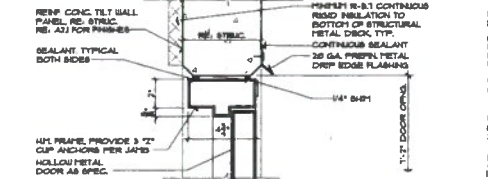
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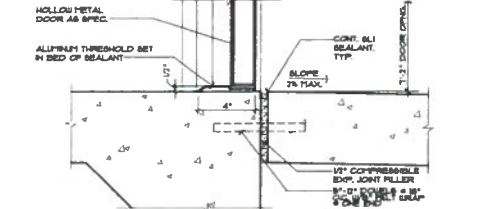
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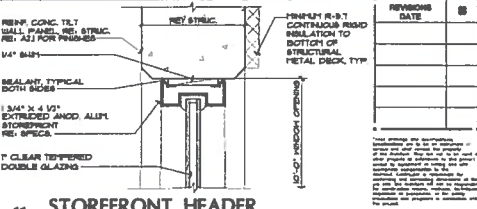
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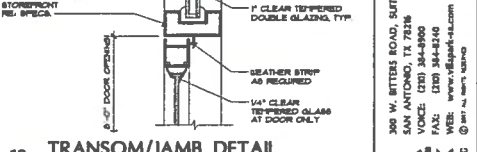
09 H.M. DOOR HEAD/IAMB
SCALE: 1/4"=1'-0"



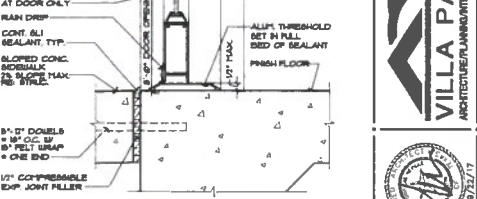
10 H.M. DOOR THRESHOLD
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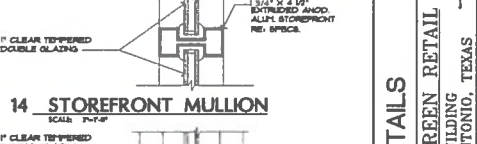
11 STOREFRONT HEADER
SCALE: 1/4"=1'-0"



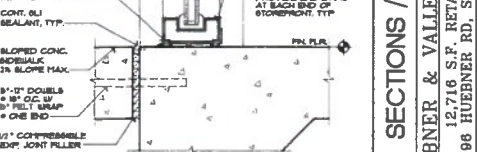
12 TRANSOM/IAMB DETAIL
SCALE: 1/4"=1'-0"



13 STOREFRONT DOOR THRESHOLD
SCALE: 1/4"=1'-0"



14 STOREFRONT MULLION
SCALE: 1/4"=1'-0"



15 STOREFRONT SILL
SCALE: 1/4"=1'-0"

REVISIONS	DATE	BY	CHKD
1	09/22/17	JD	JD

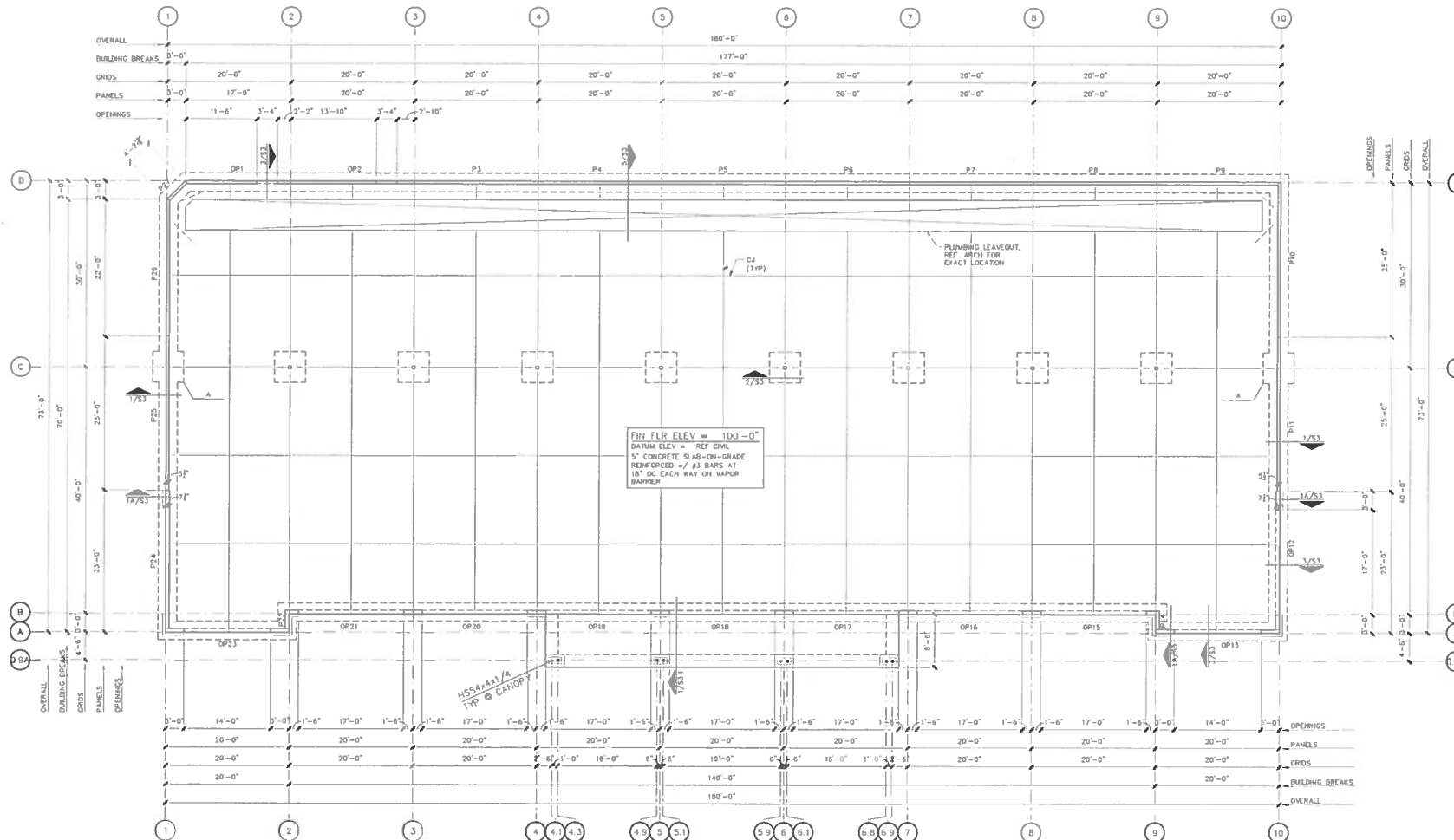
300 W. BITTERS ROAD, SUITE 204
SAN ANTONIO, TX 78208
VOICE: (214) 344-8800
FAX: (214) 344-8801
WWW: www.villapark.com
ARCHITECTURE/INTERIORS, PLLC
09/22/17



SECTIONS / DETAILS
HUEBNER & VALLEY GREEN RETAIL
12716 S.F. RETAIL BUILDING
9398 HUEBNER RD., SAN ANTONIO, TEXAS

DRAWN	DATE
JD	09/22/17

A3.4
10 of 10 SHEETS



1 FOUNDATION PLAN

1/8"=1'-0"

SPOT FOOTING TYPE
A (INTERIOR) (UND)
B (EXTENSIVE) (UND)
REF SCHEDULE
TOP OF FOOTING ELEV
= 95'-0" (INTERIOR)
= 98'-0" (EXTERIOR)
(TYP UNID)
COLUMN DIA
(UND)

FOOTING KEY

NOTES

1. ALL ELEVATIONS ARE BASED ON FIN FLR = 100'-0"
2. TOP OF FOOTING ELEVATIONS SHALL BE COORDINATED WITH THE LATEST CIVIL DRAWINGS PRIOR TO CONSTRUCTION
3. COORDINATE BUILDING DIMENSIONS & WALL OPENINGS WITH ARCHITECTURAL DRAWINGS
4. UNLESS NOTED OTHERWISE, PANELS SHALL BE 7 1/4"

FOOTING SCHEDULE

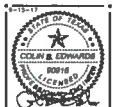
MARK	SIZE	REINFORCING
A	5'-0" x 5'-0" x 1'-0"	5-#5 EA WAY @ BOT
B	2'-8" x 1'-0" CONT	3-#5 CONT & #5 @ 12" O.C. TRANS @ BOT

DATE
9-15-17
PROJECT
HUEBNER/VALLEY GREEN
JOB NO
SHEET

S1
3 OF 15 SHEETS

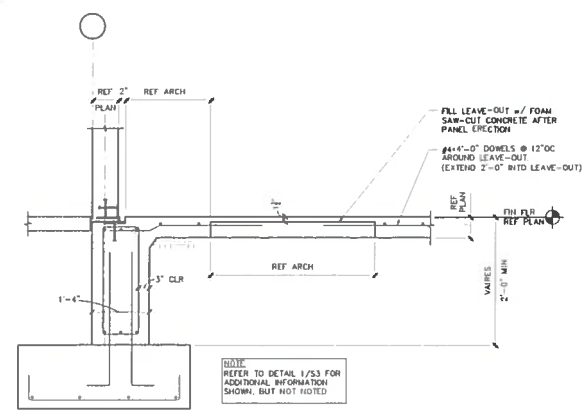
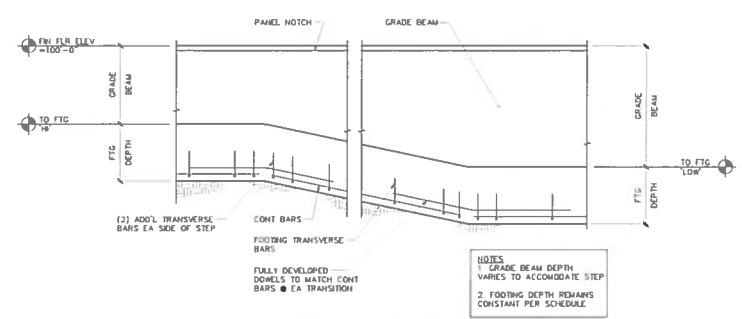
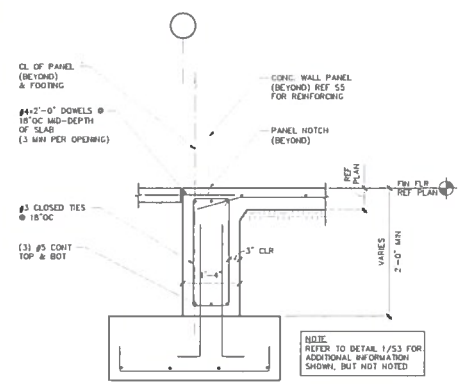
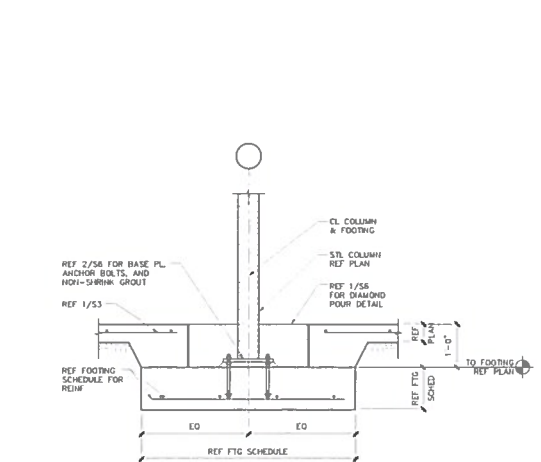
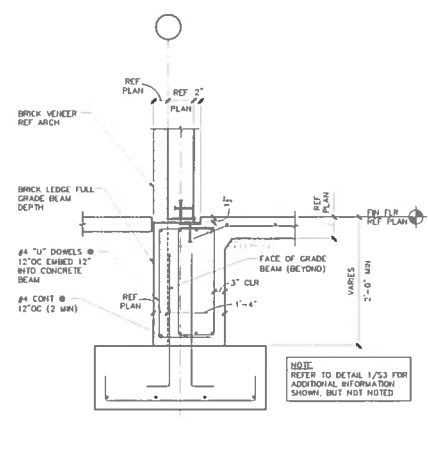
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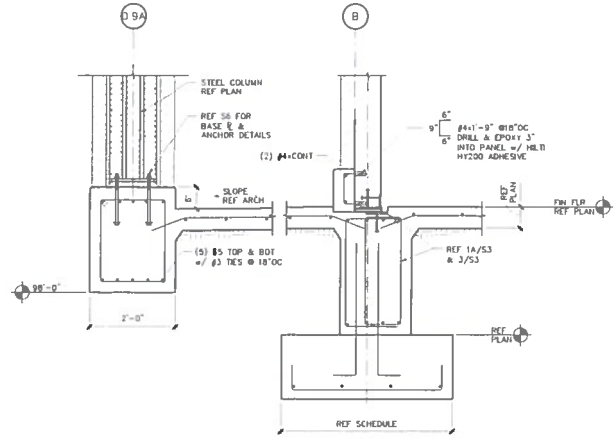


FOUNDATION PLAN
HUEBNER & VALLEY GREEN RETAIL
12,718 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS





REVISIONS DATE		11
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FOUNDATION DETAILS HUEBNER & VALLEY GREEN RETAIL 12,716 S.F. RETAIL BUILDINGS NEW BRAUNFELS, TEXAS		
DRAWING CHECKED BY DATE 9-15-17 PROJECT HUEBNER/VALLEY GREEN JOB NO. SHEET		
53		
5 of 15 SHEETS		



1 SECTION
SCALE: 3/4"=1'-0"

REVISIONS	DATE	BY

ALL DIMENSIONS ARE IN FEET AND INCHES. FRACTIONS SHALL BE SHOWN AS 1/8", 1/4", 3/8", 1/2", 5/8", 3/4", 7/8", 1", 1 1/8", 1 1/4", 1 3/8", 1 1/2", 1 5/8", 1 3/4", 1 7/8", 2", 2 1/8", 2 1/4", 2 3/8", 2 1/2", 2 5/8", 2 3/4", 2 7/8", 3", 3 1/8", 3 1/4", 3 3/8", 3 1/2", 3 5/8", 3 3/4", 3 7/8", 4", 4 1/8", 4 1/4", 4 3/8", 4 1/2", 4 5/8", 4 3/4", 4 7/8", 5", 5 1/8", 5 1/4", 5 3/8", 5 1/2", 5 5/8", 5 3/4", 5 7/8", 6", 6 1/8", 6 1/4", 6 3/8", 6 1/2", 6 5/8", 6 3/4", 6 7/8", 7", 7 1/8", 7 1/4", 7 3/8", 7 1/2", 7 5/8", 7 3/4", 7 7/8", 8", 8 1/8", 8 1/4", 8 3/8", 8 1/2", 8 5/8", 8 3/4", 8 7/8", 9", 9 1/8", 9 1/4", 9 3/8", 9 1/2", 9 5/8", 9 3/4", 9 7/8", 10", 10 1/8", 10 1/4", 10 3/8", 10 1/2", 10 5/8", 10 3/4", 10 7/8", 11", 11 1/8", 11 1/4", 11 3/8", 11 1/2", 11 5/8", 11 3/4", 11 7/8", 12", 12 1/8", 12 1/4", 12 3/8", 12 1/2", 12 5/8", 12 3/4", 12 7/8", 13", 13 1/8", 13 1/4", 13 3/8", 13 1/2", 13 5/8", 13 3/4", 13 7/8", 14", 14 1/8", 14 1/4", 14 3/8", 14 1/2", 14 5/8", 14 3/4", 14 7/8", 15", 15 1/8", 15 1/4", 15 3/8", 15 1/2", 15 5/8", 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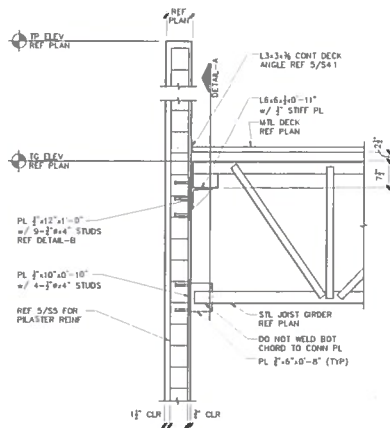


FOUNDATION DETAILS
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

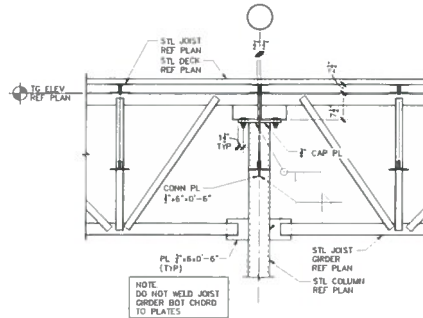
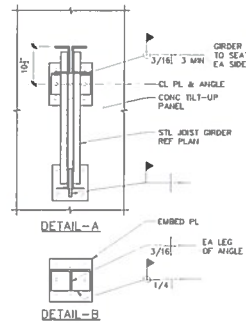
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CHECKED	KA
DATE	9-15-17
PROJECT	HUEBNER/VALLEY GREEN
JOB NO	KA
SHEET	

S3.1
6 OF 15 SHEETS

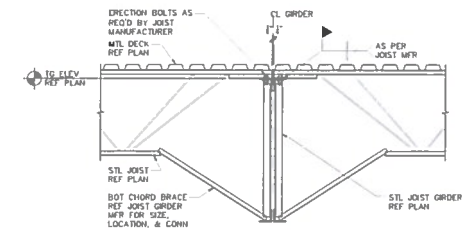




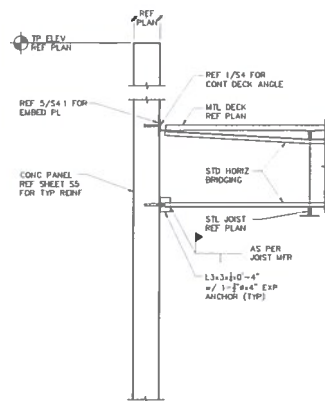
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SCALE: 3/4"=1'-0" (TYP UNO)



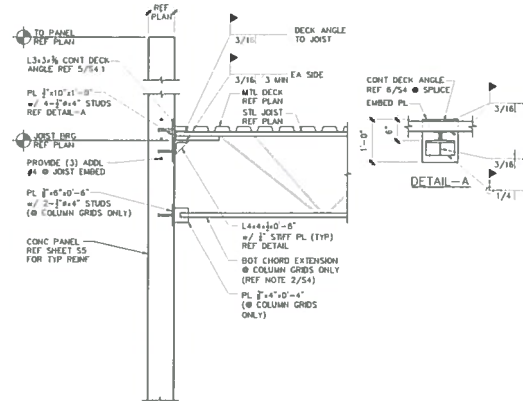
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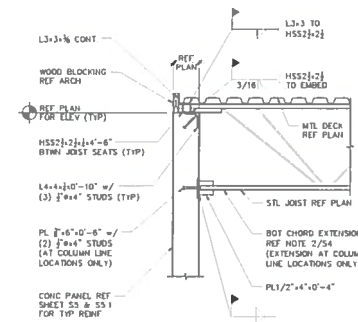
3 JOIST / JOIST GIRDER CONN SECTION



4 BRIDGING CONNECTION SECTION



5 JOIST BEARING SECTION



6 JOIST BEARING DETAIL

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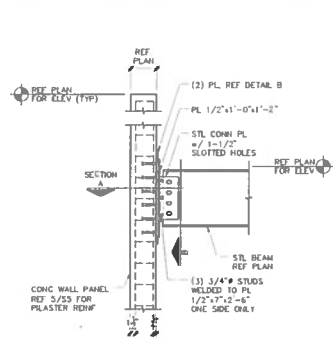


FRAMING DETAILS
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

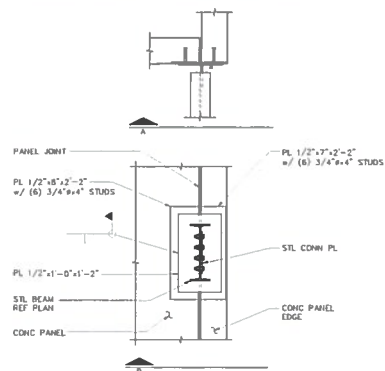
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CHECKED	XX
DATE	8-15-17
PROJECT	HUEBNER/VALLEY GREEN
JOB NO	XX
SHEET	XX

S4
7 OF 15 SHEETS

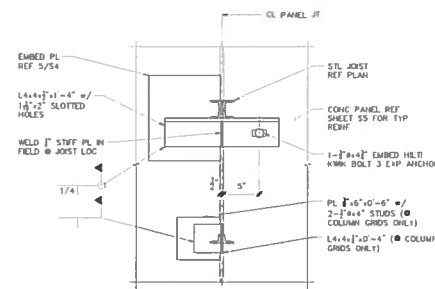




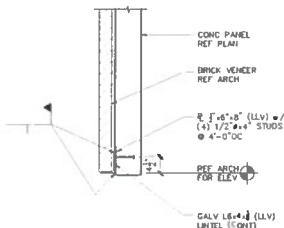
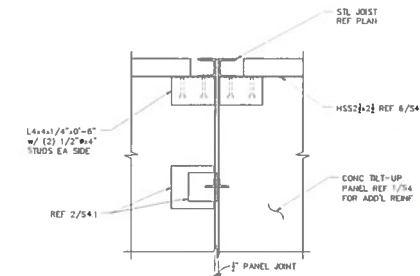
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SCALE: 3/4"=1'-0"



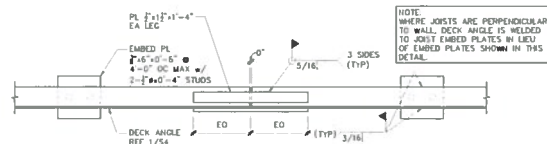
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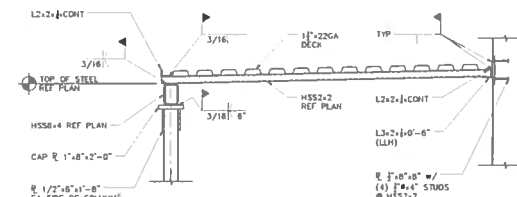
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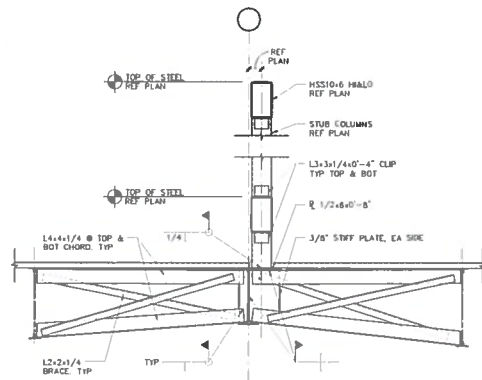
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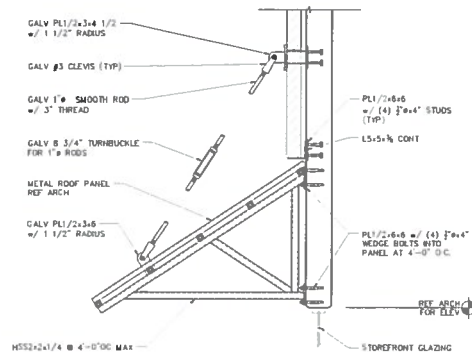
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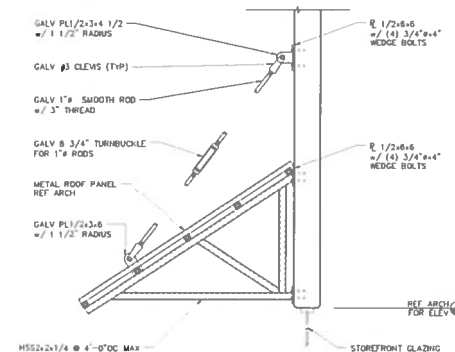
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7 SECTION AT STUB COLUMN
SCALE: 1 1/2"=1'-0"



8 CANOPY SECTION AT VENEER
SCALE: 1 1/2"=1'-0"



9 CANOPY SECTION
SCALE: 1 1/2"=1'-0"

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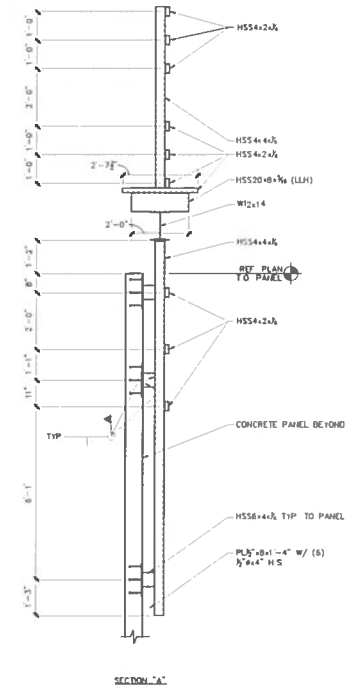
VILLA PARK
ARCHITECTURAL INTERIOR, LLC

STATE OF TEXAS
COLIN B. EDWARDS
REGISTERED ARCHITECT
No. 12517
Exp. 12/31/2015

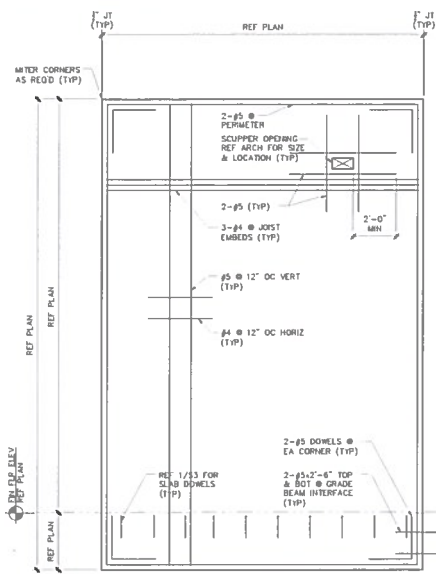
FRAMING DETAILS
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

DRAWN: XX
CHECKED: XX
DATE: 9-15-17
PROJECT: HUEBNER/VALLEY GREEN
JOB NO: XX
SHEET: S4.1
8 OF 15 SHEETS

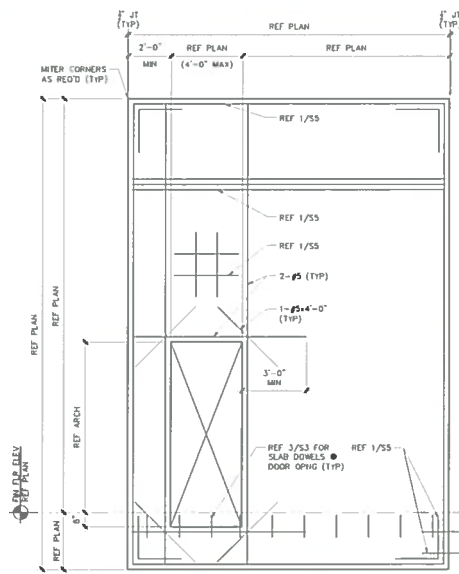
HUNT & JOHNSON, INC.
CONSULTING STRUCTURAL ENGINEERS
1000 N. MICHIGAN AVE., SUITE 1000
DALLAS, TEXAS 75201
PHONE: (214) 761-1000
FAX: (214) 761-1001
WWW.HUNTANDJOHNSON.COM



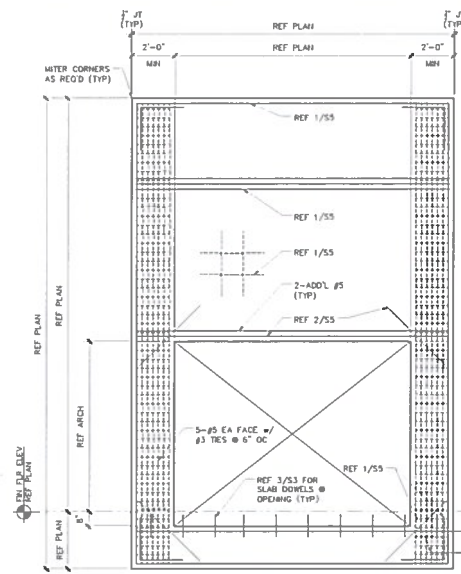
HJ PROJECE 363 171 10 00 TS 10000000
HUNT & JOINER, INC.
Consulting Structural Engineers
1104 S. Capital of TX Hwy. Suite 1 100 Austin, TX 78704
Ph (512) 335-0700 Telex 250000 Fax (512) 335-0700



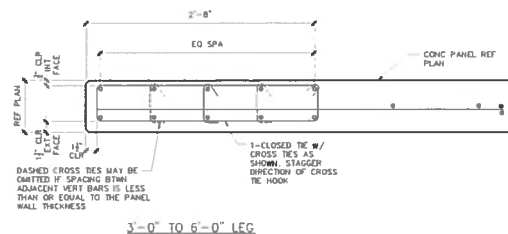
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SCALE: 3/8"=1'-0"



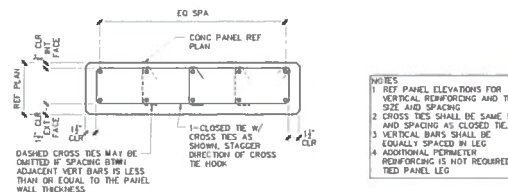
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SCALE: 3/8"=1'-0"



3 TYPICAL PANEL WITH OPENING
SCALE: 3/8"=1'-0"

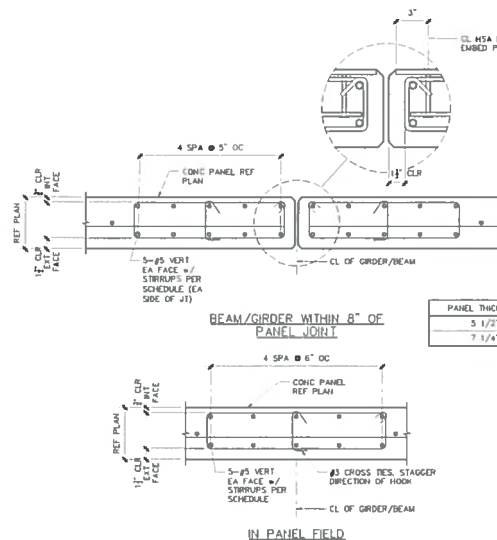


3'-0" TO 6'-0" LEG



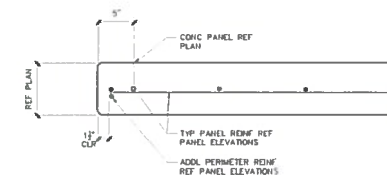
2'-0" TO 3'-0" LEG

4 TYP. TIED PANEL
LEG REINFORCING DETAIL
SCALE: 1 1/2"=1'-0"



IN PANEL FIELD

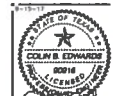
5 TYP. GIRDER/BEAM PILASTER DETAIL
SCALE: 1 1/2"=1'-0"



6 PANEL PERIMETER REINFORCING DETAIL
SCALE: 1 1/2"=1'-0"

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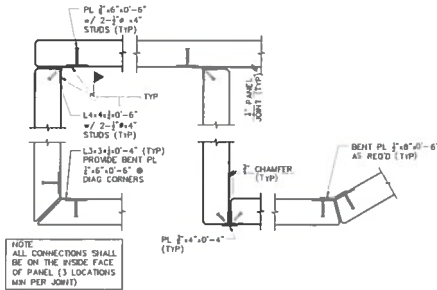


TYPICAL PANEL ELEVATIONS
HUEBNER & VALLEY GREEN RETAIL
12,710 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

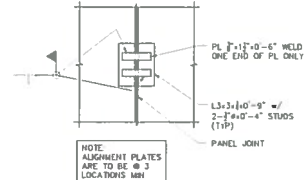
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DATE
9-15-17
PROJECT
HUEBNER/VALLEY GREEN
JOB NO.
SHEET

S5
10 OF 15 SHEETS

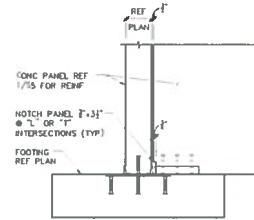




7 PANEL CORNER CONNECTIONS
SCALE 3/4"=1'-0"



8 TYPICAL ALIGNMENT PLATES
SCALE 1"=1'-0"



9 TYPICAL BASE NOTCH DETAIL
SCALE 3/4"=1'-0"

REVISIONS	DATE	

300 W BITTERS ROAD, SUITE
SAN ANTONIO, TX 78216
VOICE (210) 384-8900
(210) 384-5240
FAX (210) 384-5240
WWW.HUNTANDJOINED.COM
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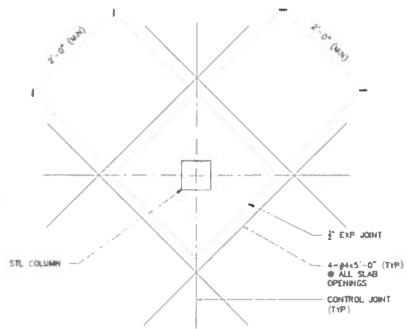


TYPICAL PANEL ELEVATIONS
HUEBNER & VALLEY GREEN RETAIL
12,718 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

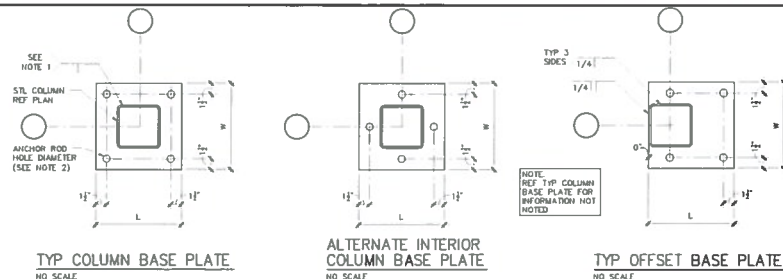
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DATE	8-15-17
PROJECT	HUEBNER/VALLEY GREEN
JOB NO	XX
SHEET	XX

S5.1
11 OF 15 SHEETS





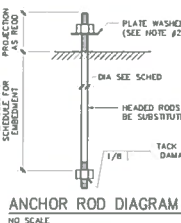
1 TYP DIAMOND POUR DETAIL
NTS



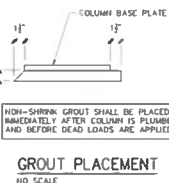
TYP COLUMN BASE PLATE
NO SCALE

ALTERNATE INTERIOR
COLUMN BASE PLATE
NO SCALE

TYP OFFSET BASE PLATE
NO SCALE



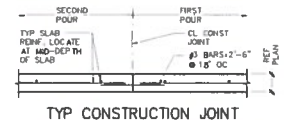
ANCHOR ROD DIAGRAM
NO SCALE



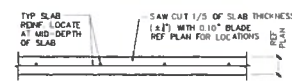
GROUT PLACEMENT
NO SCALE

COLUMN BASE PL SCHEDULE			
COLUMN SIZE	BASE PLATE (LxWxT)	ANCHOR RODS (DIAMETER x EMBEDMENT)	
12x12x10	12"x12"x1"	4-#4 x 12" EMBED. ASTM F1554, GRADE 36	

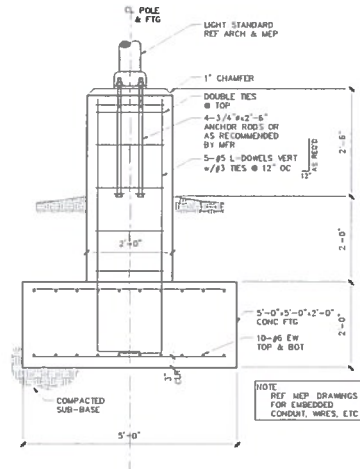
- NOTES
1. SIZE HELDS PER AISC MINIMUM FILLET REQUIREMENTS (4 SIDES TYP)
 2. ANCHOR ROD HOLES IN BASE PLATES AND MINIMUM PLATE WASHER DIAMETER AND THICKNESS SHALL BE SIZED IN ACCORDANCE WITH TABLE 14-2 OF THE AISC MANUAL OF STEEL CONSTRUCTION, 14TH ED
 3. ANCHOR ROD NUTS SHALL BE ASTM A563
 4. ANCHOR ROD PLATE WASHERS SHALL BE ASTM A36 PLATE



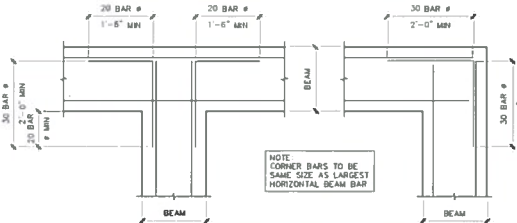
TYP CONSTRUCTION JOINT



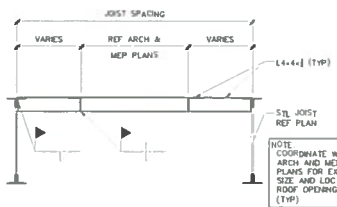
TYP CONTROL JOINT
SLAB-ON-GRADE
JOINT DETAIL
NTS



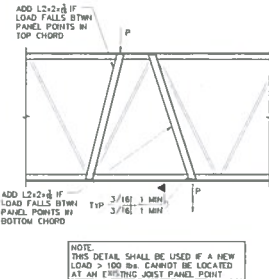
7 TYP LIGHT STANDARD DETAIL
SCALE: 3/4"=1'-0"



4 TYP CORNER BAR DETAIL
NTS



5 ROOF OPENING DETAIL
SCALE: 3/4"=1'-0"

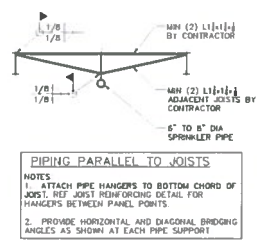
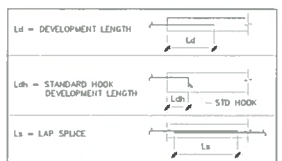


6 TYP JOIST REINFORCING DETAIL
SCALE: 3/4"=1'-0"

MINIMUM REINFORCING DEVELOPMENT & SPLICE LENGTHS														
Fc (MPH)	LOCATION	BAR SIZE												
		#3	#4	#5	#6	#7	#8	#9	#10	#11	#12	#13	#14	
		Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld	Ld
3,000	HORIZONTAL REIF. ABOVE 12" OF FRESH CONCRETE	22	30	46	28	38	47	42	58	12	83	81	125	181
3,000	VERTICAL AND OTHER PERPENDICULAR REINFORCING	17	23	32	22	29	6	15	32	12	48	83	144	52
4,500	HORIZONTAL REIF. ABOVE 12" OF FRESH CONCRETE	18	23	35	24	31	7	30	38	6	51	67	116	168
4,500	VERTICAL AND OTHER PERPENDICULAR REINFORCING	14	18	6	18	24	7	23	30	8	51	51	65	15

- NOTES
1. ALL VALUES ARE INCHES
 2. CLASS B LAP SPLICES ARE SHOWN PER ACI 318-08
 3. MULTIPLY THE ABOVE LENGTHS BY THE FOLLOWING FACTORS:
- 1.5 FOR EPOXY COATED REINFORCING WITH COVER LESS THAN 3/8" OR CLEAR SPACING LESS THAN 8"
- 1.2 FOR ALL OTHER EPOXY COATED BARS
- 1.5 IF CLEAR SPACING OF BARS OR WELLS BEING DEVELOPED OR SPLICED IS LESS THAN 7.5" OR CLEAR COVER IS LESS THAN 4"
 4. HORIZONTAL BARS IN WALLS SHALL BE PROVIDED WITH LAP SPLICES EQUAL TO HORIZONTAL TOP REIF. ABOVE 12\"/>

8 DEVELOPMENT LENGTH & LAP SPLICE SCHEDULE



- PIPING PARALLEL TO JOISTS
- NOTES
1. ATTACH PIPE HANGERS TO BOTTOM CHORD OF JOIST. REF. JOIST REINFORCING DETAIL FOR HANGERS BETWEEN PANEL POINTS.
 2. PROVIDE HORIZONTAL AND DIAGONAL BRIDGING ANGLES AS SHOWN AT EACH PIPE SUPPORT.

- PIPING PERPENDICULAR TO JOISTS
- NOTES
1. ATTACH PIPE HANGERS TO BOTTOM CHORD OF JOIST. REF. JOIST REINFORCING DETAIL FOR HANGERS BETWEEN PANEL POINTS.
 2. LOCATE PIPE RUNS AS CLOSE AS POSSIBLE TO THE JOIST SUPPORT AT ONE END.

9 SPRINKLER PIPE SUPPORT DETAILS
SCALE: 1/4"=1'-0"

REVISIONS	DATE	BY	CHKD

300 W. BITTERS ROAD, SUITE 204
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FAX: (210) 394-8840
WEB: www.villapark-arc.com
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TYPICAL DETAILS
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDING
NEW BRAUNFELS, TEXAS

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PROJECT	HUEBNER & VALLEY GREEN
JOB NO.	
SHEET	

S6
12 OF 15 SHEETS



REVISIONS	DATE	#

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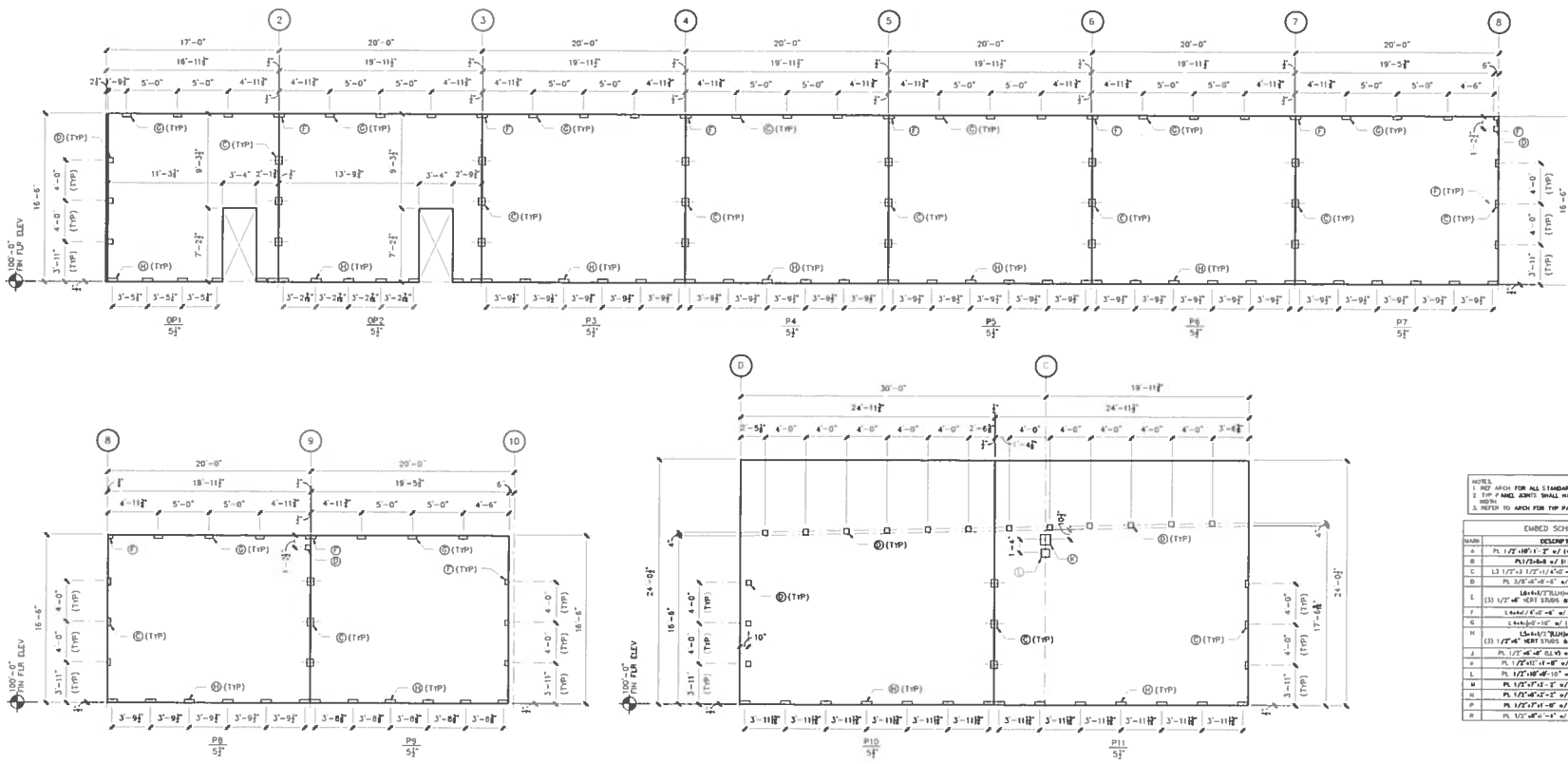
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TYPICAL DETAILS
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12,716 S.F. RETAIL BUILDINGS
NEW BRAUNFELS, TEXAS

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PROJECT	HUEBNER/VALLEY GREEN
JOB NO.	XX
SHEET	

S7
13 OF 15 SHEETS

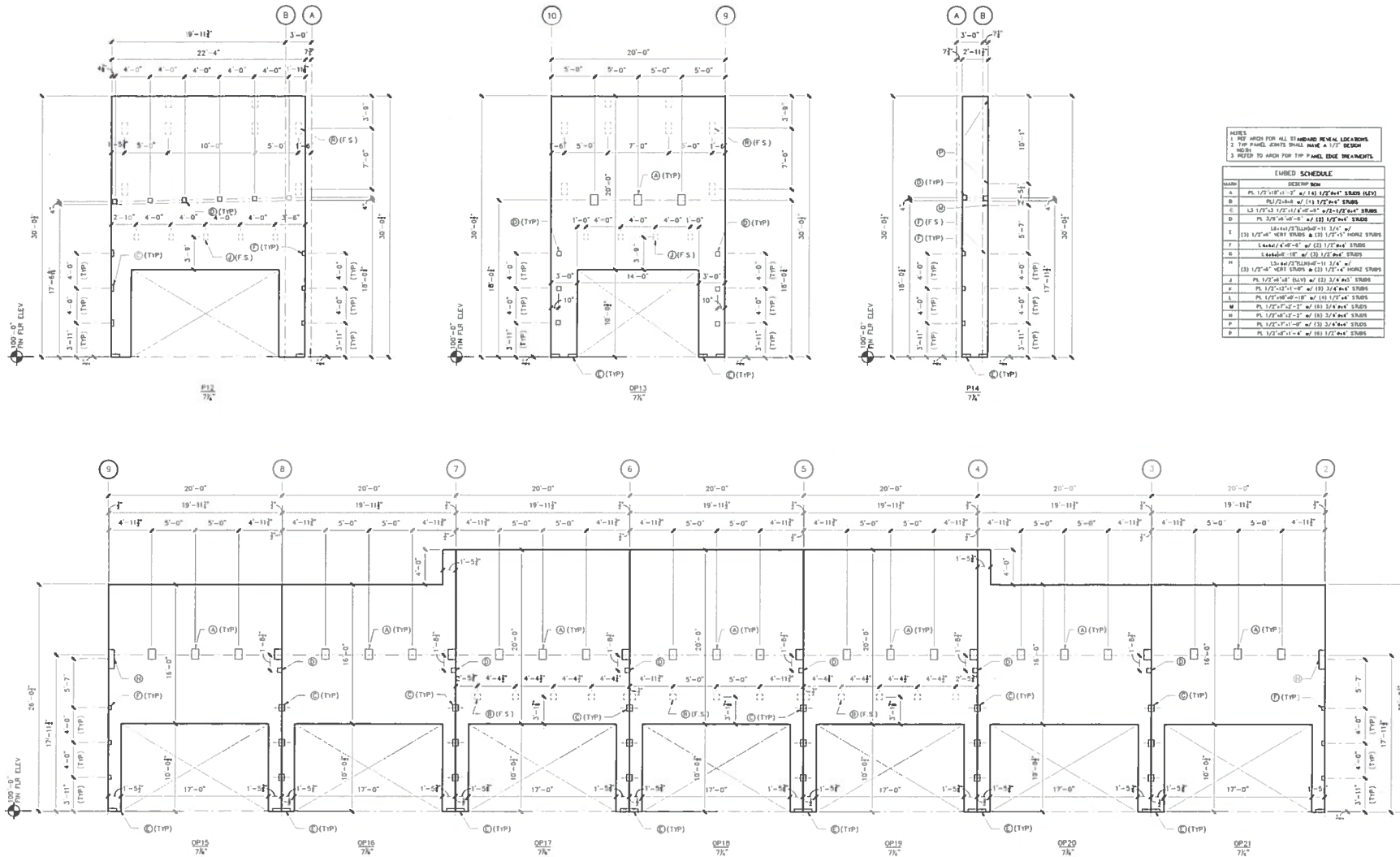


NOTES:
1. REFER ARCH FOR ALL STANDARD REVEAL LOCATIONS
2. TOP PANEL JOINTS SHALL HAVE A 1/2" BEAD
3. REFER TO ARCH FOR TOP PANEL EDGE TREATMENTS

ITEM	DESCRIPTION
A	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS (ELEV)
B	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
C	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
D	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
E	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
F	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
G	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
H	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
I	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
J	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
K	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
L	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
M	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
N	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
O	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
P	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS
Q	PL 1/2" x 1/2" x 1/2" w/ (1) 1/2" x 1/2" STUDS

1 PANEL ELEVATIONS
3/16" = 1'-0"

HUNT & JOINDER, INC.
Consulting Structural Engineers
1000 South 1000 West, Suite 100, Salt Lake City, UT 84119
Tel: (801) 466-8800 Fax: (801) 466-8801
www.huntandjoinder.com



NOTES:
 1. SEE ARCH FOR ALL STANDARD REVEAL LOCATIONS.
 2. TOP PANEL JOINTS SHALL HAVE A 1/2" DESIGN REVEAL.
 3. REFER TO ARCH FOR TOP PANEL EDGE TREATMENTS.

EMBED SCHEDULE	
MAIN	DESCRIPTION
A	PL 1/2"x1/2"x1/2" w/ (1) 1/2"x1/2" STUD (M.V.)
B	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
C	LS 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
D	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
E	LS 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
F	LS 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
G	LS 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
H	LS 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
I	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
J	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
K	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
L	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
M	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
N	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD
O	PL 1/2"x1/2" w/ (1) 1/2"x1/2" STUD

1 PANEL ELEVATIONS
 3/16" = 1'-0"

REVISIONS
 DATE

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 DALLAS, TX 75216
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 FAX (214) 354-8240
 WEB www.villapark-30.com
 ARCHITECTURE/PLANNING/INTERIOR, LLC

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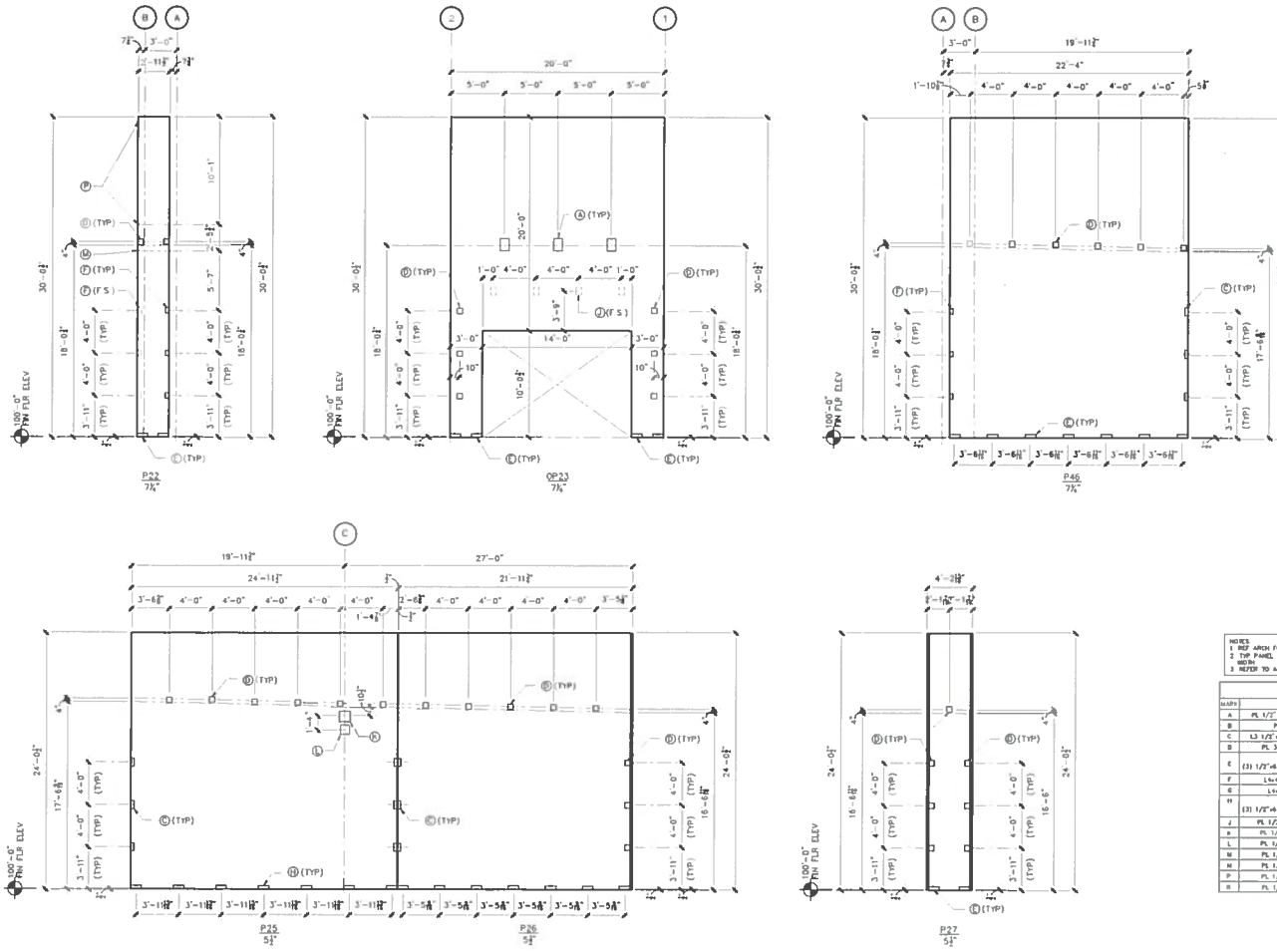
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 80918
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TYPICAL DETAILS
HUEBNER & VALLEY GREEN RETAIL
 12,716 S.F. RETAIL BUILDINGS
 NEW BRAUNFELS, TEXAS

DRAWN BY
 CHECKED BY
 DATE
 9-15-17
 PROJECT
 HUEBNER & VALLEY GREEN
 JOB NO.
 SHEET

S7.1
 14 OF 15 SHEETS

HUNT & JOHNER, INC.
 CONSULTING ARCHITECTS/PLANNERS/INTERIORS
 10000 RICHMOND AVE., SUITE 100
 DALLAS, TEXAS 75243
 TEL: (214) 354-8240
 FAX: (214) 354-8240
 WWW.HUNTANDJOHNER.COM



NOTES

1. REF ARCH FOR ALL STANDARD REVEAL LOCATIONS
2. TOP PANEL JOINTS SHALL HAVE A 1/2" BEVEL
3. REFER TO ARCH FOR TOP PANEL EDGE TREATMENTS

EMBED SCHEDULE

MARK	DESCRIPTION
A	PL 1/2" x 48" x 2" w/ (4) 1/2" x 4" STUDS (E1)
B	PL 1/2" x 48" x 2" w/ (4) 1/2" x 4" STUDS
C	PL 1/2" x 3" x 1/2" x 4" x 8" w/ (2) 1/2" x 4" STUDS
D	PL 3/4" x 48" x 2" w/ (2) 1/2" x 4" STUDS
E	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
F	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
G	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
H	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
I	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
J	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
K	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
L	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
M	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
N	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS
O	PL 1/2" x 48" x 2" w/ (2) 1/2" x 4" STUDS

1 PANEL ELEVATIONS
3/16-1-01

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300 W. BUTTERS ROAD, SUITE 201
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TYPICAL DETAILS
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12,716 S.F. RETAIL BUILDINGS
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PROJECT: HUEBNER & VALLEY GREEN

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	XX	DRAWN

JOB NO. XX
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S7.2
15 OF 15 SHEETS



PROJECT NO. 1719-00
CONSULTING STRUCTURAL ENGINEERS
1806 CAMPBELL DRIVE, SUITE 100, ARLING, TEXAS 76010
PH 817-261-1111 FAX 817-261-1112

Provide disinfectant/bactericide of common for Hydroxide and disinfectant spray control, and disinfectant, very low vapour emission and vapour emission. Provide disinfectant/bactericide of common for samples mechanical connection section multiple areas.	C402.4 C402.4.4 Only under the Prescriptive Path.	6.5.2, 6.5.3, 6.5.4 Prescriptive Path Only.	N/A – SHELL BUILDING ONLY
Provide the automatic/description of the controls for a hot water recirculation pump or heat source.	C406.7 Always Required	7.4.4 Always Required	See sheet 34.92
Provide a narrative of the lighting controls, occupant motion detectors, timer controls, night time controls, manual controls, and (if applicable, responsive controls in daylight areas).	C402.2 Always Required	9.4.1 Always Required	Exterior lighting to be controlled by timer control and photocell. No interior lighting at this time. Shall be pending only.
Provide the total interior lighting power calculated under Equation 4-9 C402.4.1.	C402.4.1 Always Required	9.2.9 Always Required	N/A – SHELL BUILDING ONLY
Provide the interior lighting power calculated under C402.4.2 – Building Area Method C402.4.2 or the Space by Space Method C402.4.2.2.	C402.4.2 Always Required	9.2.2 Prescriptive Path Only.	N/A – SHELL BUILDING ONLY
Provide the comparison of the two above calculated limits per C402.4.1 vs C402.4.2	C402.4.1 Tables C402.3.1 (1) and (2) Always Required	9.2.2.3 Prescriptive Path Only	N/A – SHELL BUILDING ONLY
Provide summary of the total exterior lighting power.	C406.4 Only under the Prescriptive Path.	9.4.2 Always Required	See attached construction sheets.
Provide details of an Additional Energy Package element	Not applicable	Not applicable	Reduced Lighting power per C406.4 is not applicable.

INSULATION SHALL BE PROVIDED FOR PIPING AS NOTED IN THE TABLE BELOW. PIPING INSULATION SHALL BE PROVIDED FOR RETURN CIRCULATION HOT WATER SYSTEMS WITH 1" OR R-4 INSULATION. THE FIRST 1' OF PIPING IN NONCIRCULATORY SYSTEMS SERVED BY EQUIPMENT W/1" INTEGRAL HEAT TRAPS SHALL BE INSULATED WITH 3" OR R-4 INSULATION.

PREVIOUS DATE	Q

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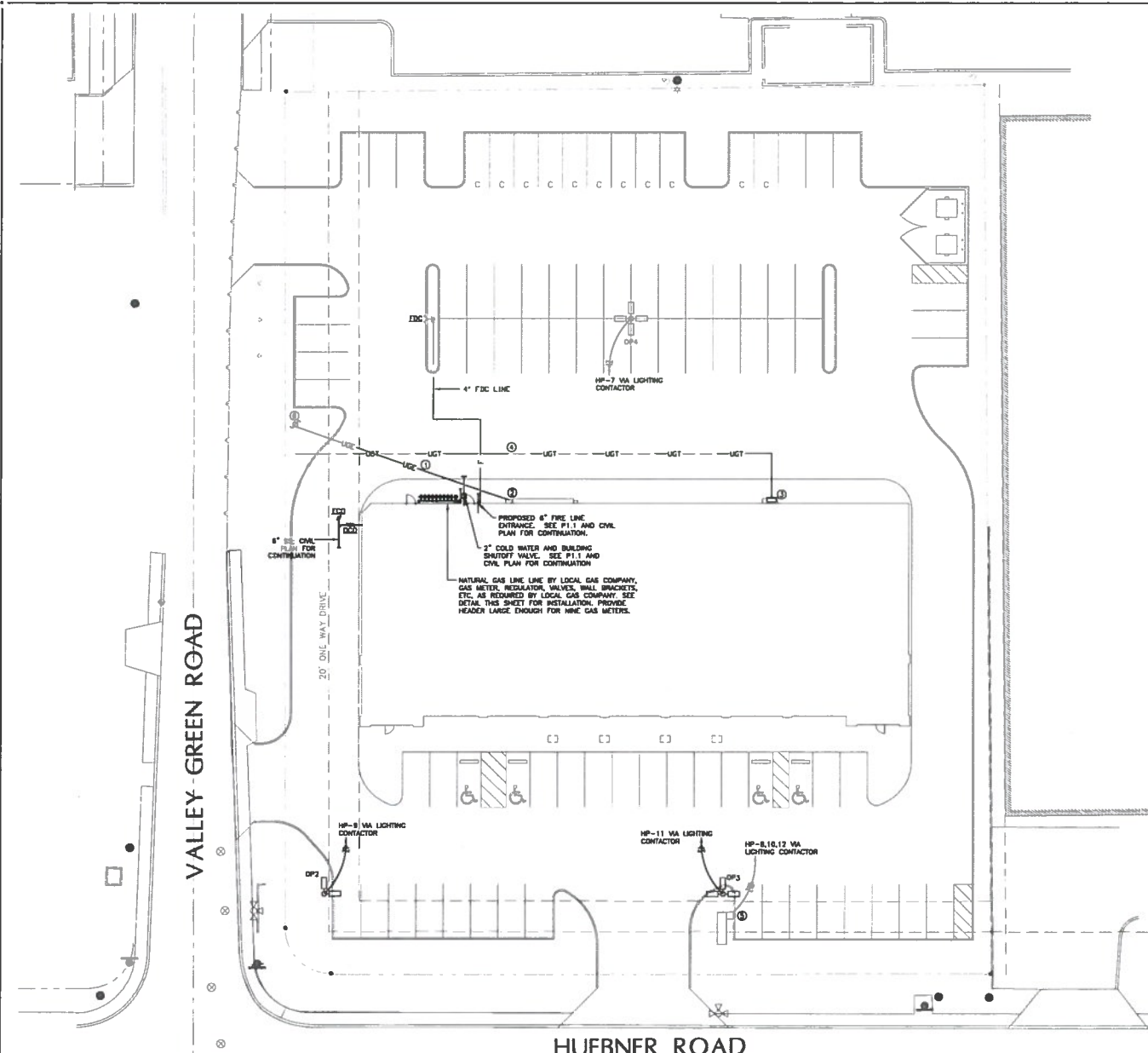
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IECC 2015 COMPLIANCE SHEET

HUEBNER & VALLEY GREEN RETAIL
 12,716 S.F. RETAIL BUILDINGS
 SAN ANTONIO, TEXAS

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CHECKED JAR
DATE 09/18/2017
PROJECT HUBNER VALLEY GREEN
JOB. NO. 17835
SHEET
MEP2
2 OF 5 SHEETS



01 ELECTRICAL AND PLUMBING SITE PLAN

SCALE: 1/8\"/>

GENERAL NOTES:

- A. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE BEFORE COMMENCING ANY PHASE OF THE WORK. ADJUSTMENTS FOR FIT AND COORDINATION SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. NOTIFY ENGINEER OF ANY CONFLICTS, DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF THE CONTRACT WORK.
- B. CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL, CIVIL, MECHANICAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.
- C. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES.
- D. ALL CONDUIT SHALL BE AS STRAIGHT AS POSSIBLE AND PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- E. PROVIDE MULTI-CONDUCTOR RAIMENTS AS SHOWN AND USE A #10 AWG NEUTRAL. PROVIDE GREEN GROUND WIRE IN ALL RACEWAYS.
- F. SEAL ALL WALL, ROOF, AND FLOOR PENETRATIONS WITH UL LISTED FIRE SEALANT.
- G. ALL CONDUIT SHALL BE ROUTED CONCEALED WITHIN WALLS AND/OR ABOVE CEILING.
- H. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL FIXTURES PRIOR TO ROUGH-IN.

KEY NOTES:

- ① PROVIDE UNDERGROUND SECONDARY PER UTILITY COMPANY REQUIREMENTS. REFER TO ONE-LINE DIAGRAM ON SHEET 02.1 FOR ADDITIONAL REQUIREMENTS.
- ② APPROXIMATE LOCATION OF MAIN ELECTRICAL SERVICE. REFER TO ONE-LINE DIAGRAM FOR SHEET 02.1
- ③ PROVIDE COMMUNICATIONS RISER PER DETAIL 8 ON SHEET 02.3
- ④ PROVIDE (2) 4\"/>

REVISION	DATE	BY

300 W. JEFFERS ROAD, SUITE 204
SAN ANTONIO, TX 78205
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MEP SITE PLAN
HUEBNER & VALLEY GREEN RETAIL
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SAN ANTONIO, TEXAS

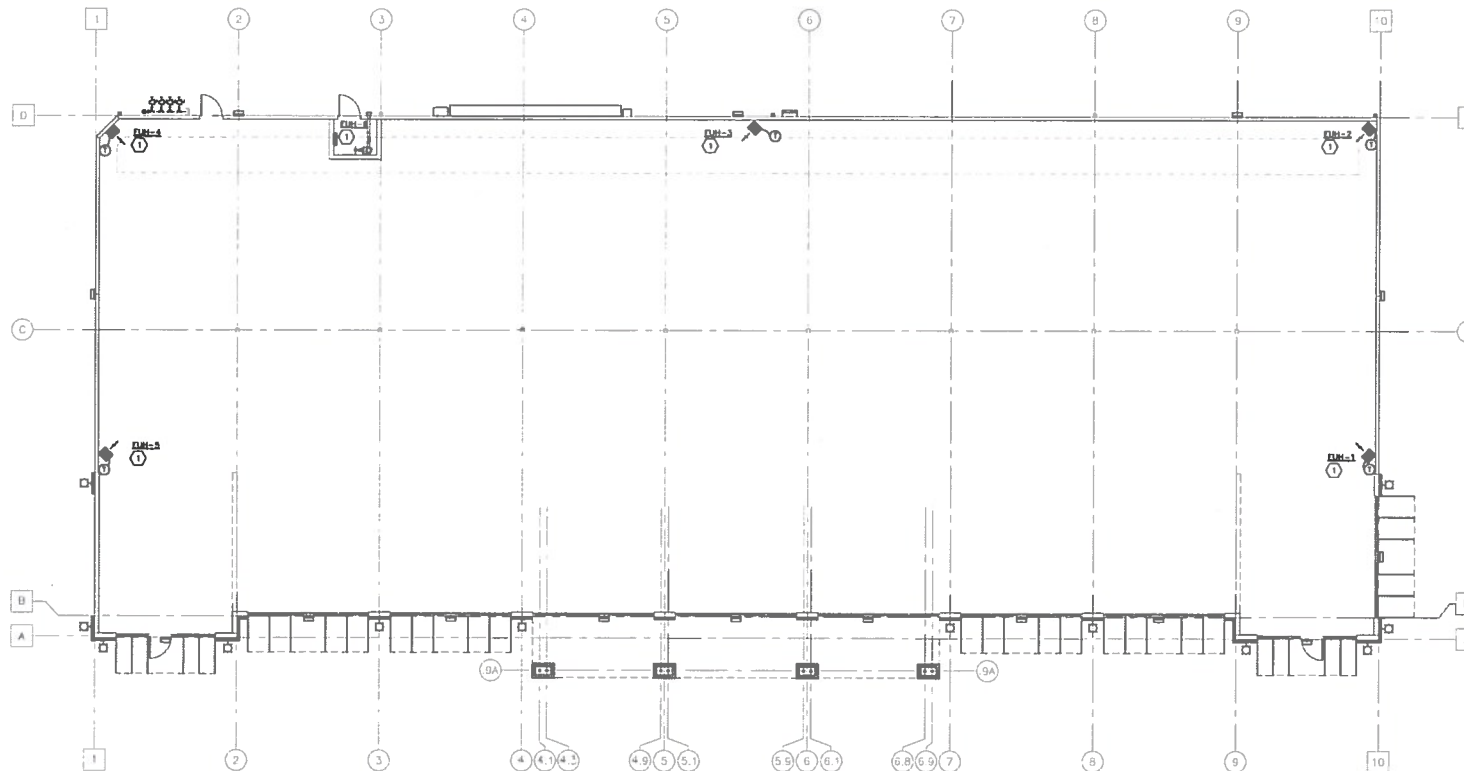


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17035

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MEP3
3 of 3 SHEETS

See 11/16/2017 - 8:14am
2/23/18 M1.0



01 FLOOR PLAN - BUILDING 'A'

SCALE: 1/8"=1'-0"



MECHANICAL KEYED NOTES:

1. PROVIDE ELECTRIC UNIT HEATER AND CORRESPONDING THERMOSTAT IN APPROXIMATE LOCATION. REFER TO SCHEDULES FOR SPECIFICATIONS.

UNIT HEATER SCHEDULE

NAME	DMH-1, DMH-2, DMH-3	DMH-4
SERIES	RETAL INTEL	TRC HEAT
MANUFACTURER	RECH	RECH
MODEL	TPH400003	TPH400003
HP	3.3	500 WATTS
AMP @ 208V	15.0	-
VOLTS/PHASE/HERTZ	208V/1/60	120V/1/60
NOTES	ALL	PROVIDE BATT IN TEST

NOTES:
1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. PROVIDE MANUFACTURER'S MOUNTING HARDWARE.
3. PROVIDE 24 VOLT THERMOSTAT AND CONTROL TRANSFORMER MOUNT AT SAME HEIGHT AS LIGHT FIXTURE. COORDINATE WITH OWNER FOR EXACT LOCATION.
4. KEY THERMOSTAT TO UNIT TO MAINTAIN FREEZE PROTECTION.
5. EQUIVALENT MANUFACTURER: RECHON, MOORE.

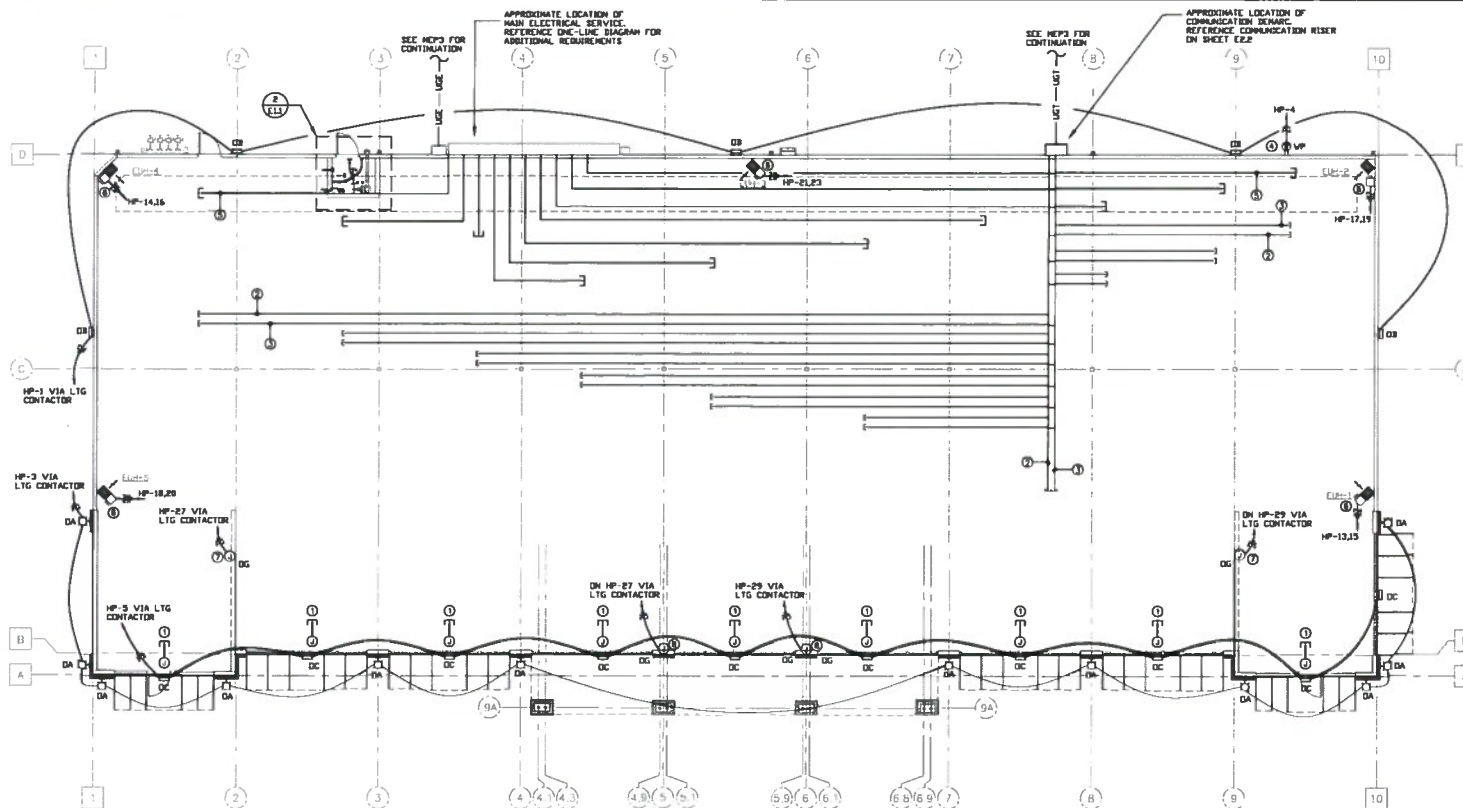
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HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
SAN ANTONIO, TEXAS

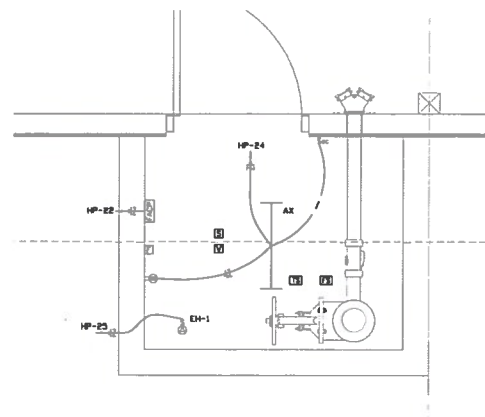


NRG
ENGINEERING
17035

9/19/2017
DESIGNED BY
CHECKED BY
DATE
PROJECT
HUEBNER/VALLEY GREEN
JOB NO.
SHEET
M1.0
OF 5 SHEETS



01 ELECTRICAL FLOOR PLAN
PLAN NORTH
SCALE: 1/8"=1'-0"



02 ENLARGED POWER PLAN
SCALE: 3/4"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE BEFORE COMMENCING ANY PHASE OF THE WORK. ADJUSTMENTS FOR FIT AND COORDINATION SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. NOTIFY ENGINEER OF ANY CONFLICTS, DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF THE CONTRACT WORK.
- CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL, CIVIL, MECHANICAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES.
- ALL CONDUIT SHALL BE AS STRAIGHT AS POSSIBLE AND PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- PROVIDE MULTI-CONDUCTOR HOMERUNS AS SHOWN AND USE A #10 AWG NEUTRAL, PROVIDE GREEN GROUND WIRE IN ALL RACEDWAYS.
- SEAL ALL WALL, ROOF, AND FLOOR PENETRATIONS WITH UL LISTED FIRE SEALANT.
- ALL CONDUIT SHALL BE ROUTED CONCEALED WITHIN WALLS AND/OR ABOVE CEILINGS.
- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL FIXTURES PRIOR TO ROUGH-IN.

KEY NOTES:

- PROVIDE FLUSH MOUNTED JUNCTION BOX FOR FUTURE TENANT DISCONNECT. STUD 1" CONDUIT INTO LEASE SPACE W/ PULL CORD, CAP AND LABEL CONDUIT, REFERENCE ARCHITECTURAL DETAILS FOR ROUGH-IN REQUIREMENTS.
- TYPICAL PROVIDE (1) 1-1/2" CONDUIT W/ PULL CORD FOR FUTURE TELEPHONE WIRING BY TENANT, CAP AND LABEL CONDUIT.
- TYPICAL PROVIDE (1) 1-1/2" CONDUIT W/ PULL CORD FOR FUTURE CABLE TELEVISION WIRING BY TENANT, CAP AND LABEL CONDUIT.
- IRRIGATION CONTROLLER: FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS PRIOR TO INSTALLATION.
- TYPICAL PROVIDE 2" CONDUIT W/ PULL CORD FOR FUTURE POWER WIRING BY TENANT, CAP AND LABEL CONDUIT.
- TYPICAL PROVIDE 30A/3P/4F NEMA 1 DISCONNECT SWITCH MOUNT WITHIN 6' OF UNIT.
- PROVIDE LED LIGHTING 120V POWER SUPPLY MODEL: 120V/30W/1A IN 12"X12"X5" NEMA 3R ENCLOSURE, FIELD COORDINATE EXACT LOCATION.
- PROVIDE LED LIGHTING 300V POWER SUPPLY MODEL: 120V/30W/1A IN 12"X12"X5" NEMA 3R ENCLOSURE, FIELD COORDINATE EXACT LOCATION.

CONDUIT ROUTES ARE FOR PLAN REFERENCE ONLY. ELECTRICAL CONTRACTOR SHALL FIELD COORDINATE INSTALLATION SO THAT CONDUITS ARE ROUGHED-IN AS CLOSE TO THE REAR OF TENANT SPACE AS POSSIBLE.

REVISION	DATE	BY

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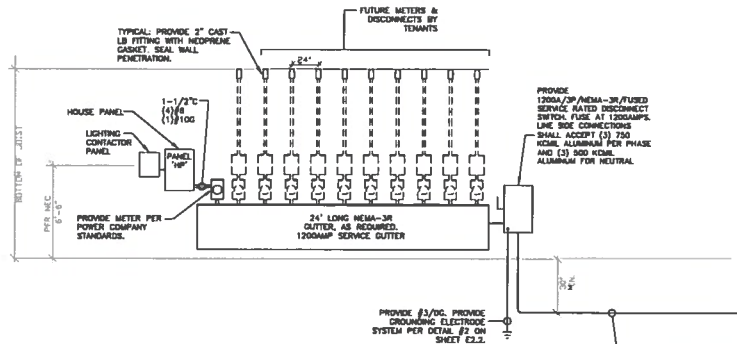
ELECTRICAL FLOOR PLAN
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
SAN ANTONIO, TEXAS



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ENGINEERING
1000 S. BROAD, SUITE 100
SAN ANTONIO, TEXAS 78205
17035

DRAWN: JC
CHECKED: JAH
DATE: 09/18/2017
PROJECT: HUEBNER & VALLEY GREEN
JOB NO.: 17035
SHEET

E1.1
4 of 4 SHEETS



01 ELECTRICAL ONE-LINE DIAGRAM
NCAH: NONE

PANEL 'HP'									
100 AMP, M.C.B., 120/208V, 3Ø, 4W, S/N, SURFACE, NEMA 3R, 35 KMC									
CRT #	LOAD SERVED	LOAD	CONDUIT & WIRE SIZE	WIRE SIZE	A B C	WIRE SIZE	CONDUIT & WIRE SIZE	LOAD	LOAD SERVED
1	EXT. LTC.	545	#10 AWG	20/1	A	20/1	#12 AWG	180	RECEPT
3	EXT. LTC.	480	#10 AWG	20/1	B	20/1	#12 AWG	300	RECEPTION CHITEL
5	EXT. LTC.	750	#10 AWG	20/1	C	20/1	#12 AWG	400	LTC. CONTROL
7	SITE LTC.	1864	#8 AWG	20/1	A	20/1	#8 AWG	1200	PLYON SIGN
8	SITE LTC.	832	#8 AWG	20/1	B	20/1	#8 AWG	1200	PLYON SIGN
11	SITE LTC.	1248	#8 AWG	20/1	C	20/1	#8 AWG	1200	PLYON SIGN
13	UH-1	1650	#10 AWG	25/2	A	25/2	#10 AWG	1650	UH-4
15	UH-3	1650	#10 AWG	25/2	B	25/2	#10 AWG	1650	UH-5
17	UH-3	1650	#10 AWG	25/2	C	25/2	#10 AWG	1650	UH-6
19	UH-3	1650	#10 AWG	25/2	A	25/2	#10 AWG	1650	UH-7
21	UH-3	1650	#10 AWG	25/2	B	25/2	#10 AWG	1650	UH-8
23	UH-3	1650	#10 AWG	25/2	C	25/2	#10 AWG	1650	UH-9
25	EH-1	400	#10 AWG	20/1	A	20/1	#12 AWG	244	LTC/RECEPT
27	TAPE LIGHT	500	#10 AWG	20/1	B	20/1			SPACE
29	TAPE LIGHT	500	#10 AWG	20/1	C	20/1			SPACE
CONNECTED LOAD = 28743 VA									
PHASE A = 10588 VA PHASE B = 8862 VA PHASE C = 6292 VA									

LOAD ANALYSIS		12,718 SF
HOUSE PANEL:		
LIGHTING & SIGNAGE	=	10,110 VA
LIGHTING DEMAND (125%)	=	12,638 VA
NEC	=	18,824 VA
TOTAL HOUSE LOAD	=	31,472 VA
FUTURE BUILDING LOAD:		
LIGHTING:		
RETAIL SPACE	=	12,718 SF
@ 3.0W/PORTABLE (220.3A)	=	38,148 VA
LIGHTING DEMAND (125%)	=	47,685 VA
RECEPTACLES @ 0.2W/SF	=	63,580 VA
WATER HEATERS (100/4000)	=	48,000 VA
HVAC @ 3000F/TON	=	127,180 VA
RESTAURANT SPACE	=	4,200 SF
@ 1W ADDITIONAL @ 770W/SF	=	119,500 VA
TOTAL FUTURE BUILDING LOAD	=	299,823 VA
ANTICIPATED FUTURE LOAD:	=	437,180 VA
(INCLUDING HOUSE PANELS)		

NOT INCLUDED IN LOAD
NOT INCLUDED IN LOAD
NOT INCLUDED IN LOAD



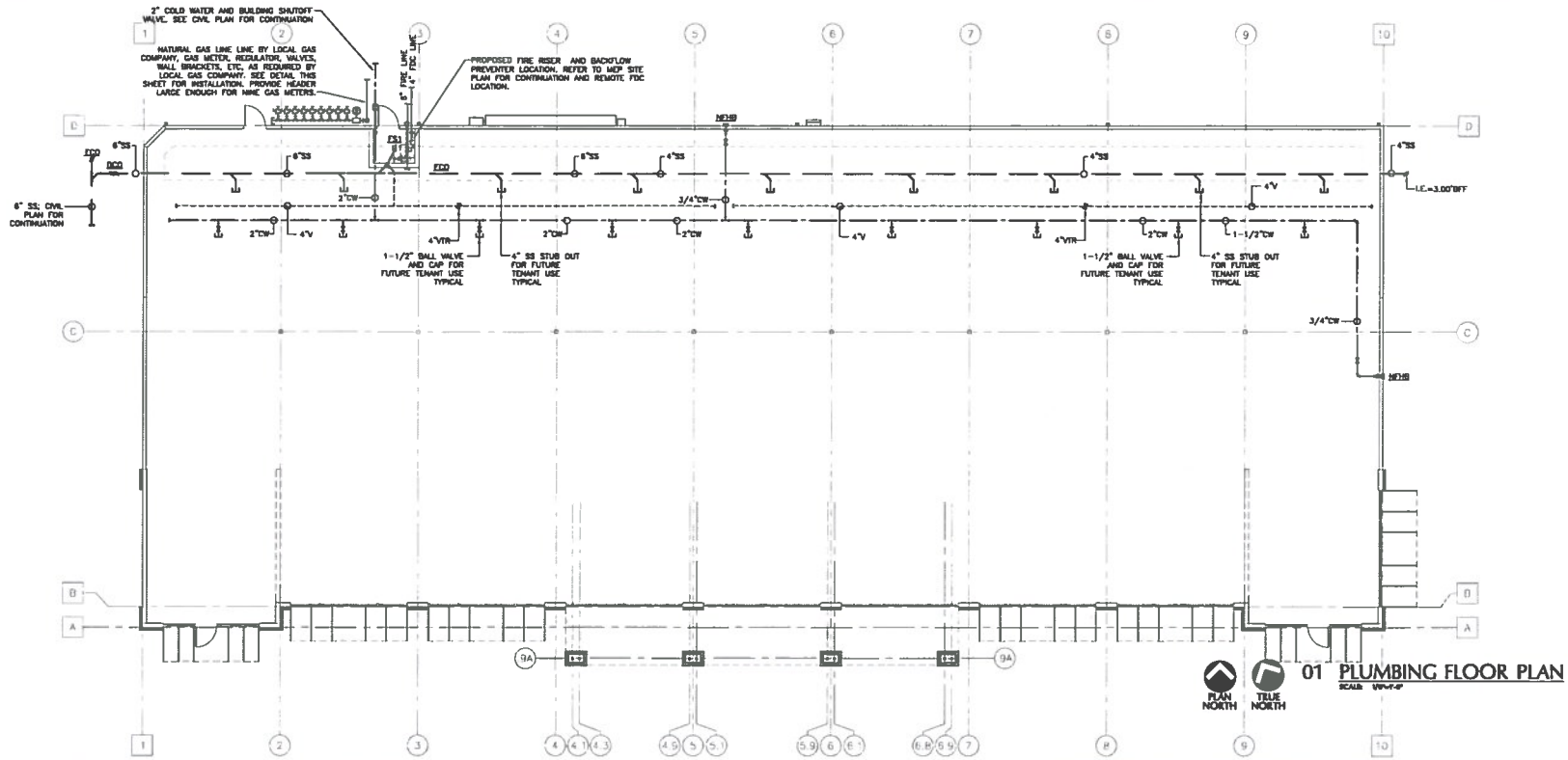
ELECTRICAL ONE-LINE DIAGRAM
HUEBNER & VALLEY GREEN RETAIL
12,710 S.F. RETAIL BUILDINGS
SAN ANTONIO, TEXAS

9/18/2017
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 09/18/2017
PROJECT: HUEBNER/VALLEY GREEN
JOB NO.: 17035
SHEET: E2.1
5 OF 5 SHEETS

REVISION	DATE	BY

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PLUMBING FIXTURE SCHEDULE						
SYMB.	PLAN MARK	MINIMUM ROUGH-IN SIZES				DESCRIPTION
		WST & VENT	DRWN	CW	HW	
1	DOUBLE CLEAOUT	SEE PLAN	SEE PLAN	SEE PLAN		TRADE 8000-75 EXTERIOR CLEAOUT; C.I. CLEAOUT AND HOUSING, BRONZE TAPER PLUS, ROUND SCOURED C.I. TOP, ANCHOR IN CONCRETE PAD 12"x12" DEEP, FLUSH WITH GRADE OR SET FLUSH WITH SIDEWALK.
2	EXTERIOR CLEAOUT	SEE PLAN	SEE PLAN	SEE PLAN		TRADE 8000-75 EXTERIOR CLEAOUT; C.I. CLEAOUT AND HOUSING, BRONZE TAPER PLUS, ROUND SCOURED C.I. TOP, ANCHOR IN CONCRETE PAD 12"x12" DEEP, FLUSH WITH GRADE OR SET FLUSH WITH SIDEWALK.
3	WALL HYDRANT IN BOX			3/4"		WOODFORD MODEL 8075, MODERATE CLIMATE WALL HYDRANT W/ ANTI-SIPHON VACUUM BREAKER ENCLOSED IN A BRASS FLUSH WALL BOX.

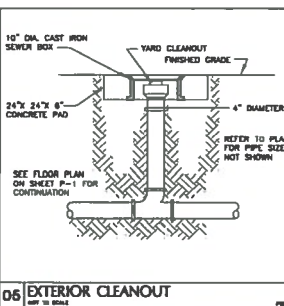
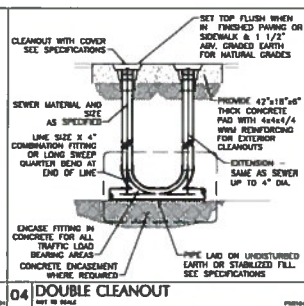
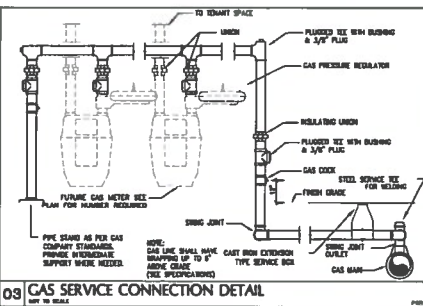
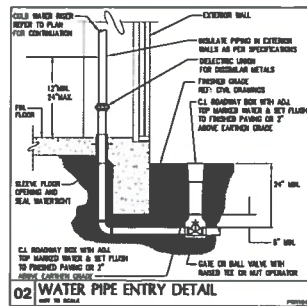
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- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES.

PLUMBING PIPE MATERIALS SCHEDULE

PIPING SYSTEM	PIPING MATERIAL
SANITARY SEWER BELOW GRADE	SCHEDULE 40 DRY PVC
SANITARY DRAIN AND VENTS ABOVE GRADE	SCHEDULE 40 DRY PVC
DOMESTIC HOT & COLD WATER BELOW GRADE	COPPER, TYPE "L" SOFT
DOMESTIC HOT & COLD WATER ABOVE GRADE	COPPER, TYPE "L" HARD DRAWN
COLD WATER PIPE INSULATION	1" RIGID FIBER GLASS
GAS PIPING	SCHEDULE 40 BLACK STEEL

*SCHEDULE 40 DRY PVC SHALL NOT BE USED IN RETURN AIR PLUMBING. WHERE SOUND PLUMBING ARE USED FOR RETURN AIR, CONTRACTOR SHALL ONLY USE BELL AND SPIGOT SERVICE WEIGHT CAST IRON PIPE.



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PLUMBING FLOOR PLAN
HUEBNER & VALLEY GREEN RETAIL
12,716 S.F. RETAIL BUILDINGS
SAN ANTONIO, TEXAS

DRAWN	9/19/2017
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PROJECT	344-78
DATE/PROJECT/VALLEY GREEN	
JOB NO.	

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1 of 1 SHEETS