

## HISTORIC AND DESIGN REVIEW COMMISSION

November 15, 2017

**HDRC CASE NO:** 2017-551  
**ADDRESS:** 2915 E COMMERCE ST  
**LEGAL DESCRIPTION:** NCB 1430 BLK 6 LOT 1 THRU 10  
**ZONING:** MF-33  
**CITY COUNCIL DIST.:** 2  
**APPLICANT:** Beth Wells  
**OWNER:** City of San Antonio  
**TYPE OF WORK:** Splash pad; sidewalks; grading and landscape wall  
**APPLICATION RECEIVED:** October 27, 2017  
**60-DAY REVIEW:** December 26, 2017

### **REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a new splash pad.
2. Install new sidewalks.
3. Grade and install landscape wall.

### **APPLICABLE CITATIONS:**

*UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.*

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

*UDC Sec 35-642. – New Construction of Buildings and Facilities:*

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

#### **(a) Site and Setting.**

- (1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.
- (2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.
- (3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.
- (4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

#### **(b) Building Design.**

- (1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a



pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

## **FINDINGS:**

- a. The property located 2915 East Commerce, commonly known as Lincoln Park, is a 35 acre public park located east of Downtown. The park features several City facilities including the (3) Claude Black and Barbara Jordan community centers, San Antonio Healthy Start, a swimming pool, a pavilion, a playground, basketball courts, baseball fields, and large expanses of open green space.
- b. SPLASH PAD – The applicant has proposed to construct a splash pad area approximately 200 feet north of the existing swimming pool, connecting to the existing walk path. The splash pad features equipment of varying configurations. Staff finds the proposal consistent with the UDC Sec. 35-642 (b).
- c. SIDEWALKS – The applicant has proposed to install additional pathways to the existing concrete walk path. The proposed additions include a branching path toward the proposed splash pad, a path dividing the existing loop in half, and a path connecting the existing loop to Crockett Street. Staff finds the proposal consistent with the UDC Sec. 35-642 (b).
- d. GRADE & WALL – The applicant has proposed to grade areas of the park to (1) improve drainage respective to the existing site elements and the proposed splashpad and walk paths and (2) install a landscape wall between the proposed splash pad and the existing Claude Black Community Center. The landscape wall features stacked limestone blocks. Staff finds the proposal consistent with the UDC Sec. 35-642 (a).

## **RECOMMENDATION:**

Staff recommends approval as items #1, 2, and 3 based on findings b, c, and d.

## **CASE MANAGER:**

Huy Pham





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## **LINCOLN PARK IMPROVEMENTS**

The applicant is requesting a Certificate of Appropriateness for final approval for construction of new park improvements at Lincoln Park.

Bender Wells Clark Design has developed Construction Documents for these proposed improvements. Components of this project were funded by a grant from Charles Butt to the City of San Antonio and include:

- 1) A new splashpad located near the existing pool.
- 2) A concrete sidewalks to connect the existing park facilities and the new splashpad.
- 3) Grading and the installation of a low landscape wall will be performed.

All the proposed improvements will be accessible, constructed of long-lived materials, and are consistent with the existing elements of the park. All the improvements were approved through several neighborhood meetings.



**Lincoln Park Improvements**



Park Existing Facilities



Park Existing Facilities





Location of new splashpad



Typical Splashpad Equipment



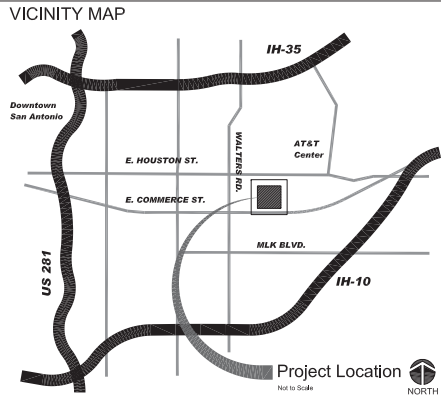


Typical Splashpad Equipment



Typical sidewalk paths at Park





City of San Antonio, Texas      **Transportation & Capital Improvements (TCI)**  
Vertical Projects Division  
114 West Commerce Street, San Antonio, Texas 78205

# Lincoln Park Site Improvements

2915 East Commerce Street, San Antonio, Texas 78207

**CONSTRUCTION DOCUMENTS**  
Revised: October 27, 2017



## PROJECT DESCRIPTION

Lincoln Park is an established large park in the City of San Antonio, just east of Downtown, approximately 35 acres in size. The Park contains a number of City facilities including the Claude Black Community Center, a pool, recreational elements and open space.

The design intent is to add significant site improvements to create a Splash Garden feature, and to connect the park to the surrounding neighborhood with a new trail and crossing of the drainage channel that divides the site. The design character will be contemporary with primary use of concrete for paving, and natural boulders and native planting to be incorporated to softer edges and to reduce water use.

Work includes but is not limited to, demolition of existing paving, installation of new paving, low walls, boulders and landscape drains. The extension of existing electrical utilities and underground drains will facilitate the installation of a new Splashpad. Splashpad elements, to include pumps, filtration and associated utility connections will be placed by a specialized water play installation contractor. Coordination with Splashpad construction will be a key requirement of this project.

Stormwater management will include minimizing impervious cover, and slowing runoff through a series of Low Impact Development features to include re-graded swales and planting. A new basin will be added alongside the existing drainage channel to mitigate stormwater runoff in large rain events, associated with increased impervious area. This basin, or embayment, will be a shallow depression that will drain down after a flood event through a piped outfall.

Designs and Specifications include the required design and engineering including information from consultants- Civil Engineer and Structural Engineer.

**PROJECT NUMBER:** 23-01675  
**FUNDING:** DONATION BY MR. CHARLES C. BUTT

**CITY COUNCIL**  
**MAYOR**  
Ron Nirenberg

COUNCIL	
Roberto Treviño	District 1
Cruz Shaw	District 2
Rebecca Vlagran	District 3
Rey Saldana	District 4
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Manny Pelaez	District 8
John Courage	District 9
Clayton Perry	District 10

**CITY MANAGER**  
Sheryl Sculley

**DIRECTOR OF TRANSPORTATION & CAPITAL IMPROVEMENTS /**  
**CITY ENGINEER**  
Michael Frisbie, P.E.

## INDEX TO DRAWINGS

	SHEET NUMBER	SHEET TITLE
	L8-00	COVER
	L8-01	EXISTING CONDITIONS PLAN
	L8-02	SITE REFERENCE PLAN
	L8-03	GENERAL INFORMATION SHEET
DEMO & SITE PREPARATION SERIES	L1-00	TREE PROTECTION & SITE DEMOLITION PLANS
SITE GRADING & EROSION CONTROL	L2-00	SITE GRADING & LAYOUT PLANS
	L2-01	SITE GRADING & LAYOUT PLANS
	L2-02	SWPPP CHECKLIST
	L2-03	SWPPP
LAYOUT & MATERIALS PLANS	L3-00	SITE MATERIALS PLAN
	L3-01	ENLARGED SITE MATERIALS PLAN
	L3-02	ENLARGED PLAN AT CROSSING
	L3-03	ENLARGED PLAN-NORTH END
SITE DETAILS & SECTIONS	L4-00	SITE DETAILS
	L4-01	SITE DETAILS
SPLASHPAD SCHEMATIC PLAN	SP-50	SPLASHPAD SCHEMATIC PLAN
CIVIL ENGINEERING	C1.0	DETENTION POND
ELECTRICAL ENGINEERING		
MEP-ELECTRICAL E-0.0	E-0.0	ELECTRICAL SYMBOLS
E-0.1	E-0.1	ELECTRICAL DETAILS
E-1.0	E-1.0	OVERALL ELECTRICAL PLAN
E-2.0	E-2.0	ENLARGED POWER PLAN
E-3.0	E-3.0	ELECTRICAL RISER / SCHEDULES
SPECIALTY DESIGN		
SPLASHPAD VENDOR DRAWINGS 10 SHEETS		FOR REFERENCE ONLY

**NOTE:**  
AS A PART OF THE PROJECT THE CONTRACTOR SHALL MAINTAIN A COMPLETE, UP-TO-DATE SET OF DRAWINGS AND TECHNICAL SPECIFICATIONS AVAILABLE FOR REVIEW AT THE CONSTRUCTION SITE BY THE OWNER'S REPRESENTATIVE, INSPECTORS OR CONSULTANTS. IN ADDITION, THE CONTRACTOR SHALL ENSURE ALL INSTALLATIONS AND COORDINATION BY ALL TRADES OCCURS IN ACCORDANCE WITH THE ABOVE DOCUMENT ISSUANCE & ANY REVISIONS.

"Although it is not the responsibility of the City to provide sets of drawings and/or specifications to the successful Contractor for the construction of this project, the City may provide extra or returned sets that are available, if any from the bidding process. All other sets, as deemed required by the Contractor, for the purposes of construction of this project, shall be obtained and paid by the Contractor."

LANDSCAPE ARCHITECT'S LICENSE



## TCI PROJECT MANAGER

Patrick Schneider, Landscape Architect - Project Manager  
City of San Antonio, Transportation & Capital Improvements  
Municipal Plaza Building, 114 West Commerce Street, 4th Floor, Room 404  
P.O. Box 839966 | San Antonio, TX 78283-3966  
Phone: (210) 207-8466 Email: Patrick.Schneider@san.antonio.gov  
Facsimile: (210) 207-2197

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BENDER WELLS CLARK DESIGN  
632 N. N. AND ST.  
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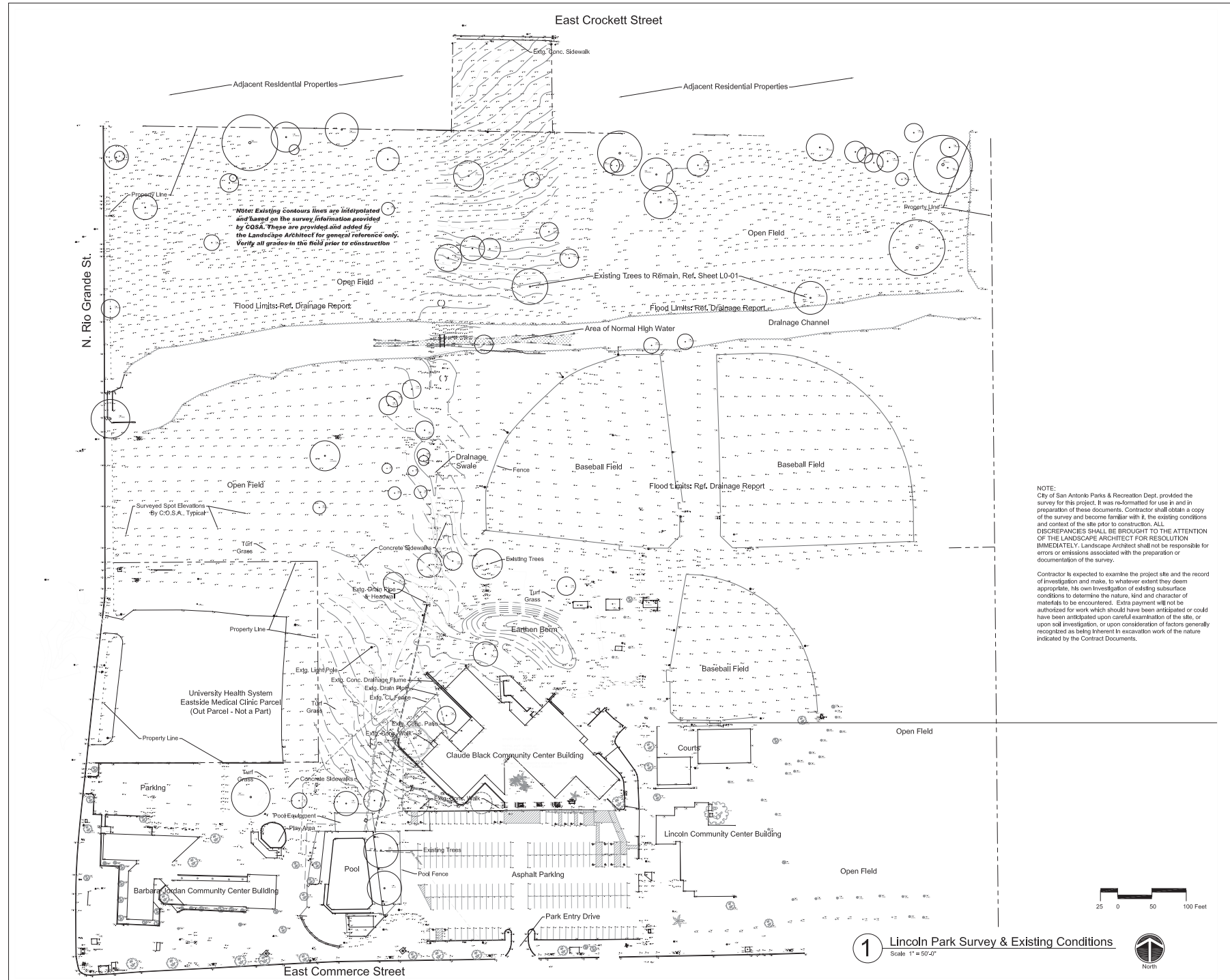
CIVIL ENGINEER  
CUDE ENGINEERS  
4122 Pinedale Road, Ste. 101  
San Antonio, Texas 78211  
(210) 881-2951

ELECTRICAL ENGINEER  
HM3 ENGINEERING  
902 North 19th St.  
San Antonio, TX 78212  
(210) 393-1840

SPLASH PAD  
KRAFSTMAN COMMERCIAL PLAYGROUNDS  
19035 Hauke Rd  
Spring, TX 77388  
281-363-6599



Date: Oct 27, 2017, 3:00pm User ID: LARRYCLARK  
Plan #: 2017 PROJECTS Lincoln Park Phase I Workfile: 2017-10-27-LINCOLN PARK CDS 104-Southern Section.dwg



NOTE:  
City of San Antonio Parks & Recreation Dept. provided the survey for this project. It was re-formatted for use in and in preparation of these documents. Contractor shall obtain a copy of the survey and become familiar with it, the existing conditions and context of the site prior to construction. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. Landscape Architect shall not be responsible for errors or omissions associated with the preparation or documentation of the survey.

Contractor is expected to examine the project site and the record of investigation and make, to whatever extent they deem appropriate, his own investigation of existing subsurface conditions to determine the nature, kind and character of materials to be encountered. Extra payment will not be authorized for work which should have been anticipated or could have been anticipated upon careful examination of the site, or upon soil investigation, or upon consideration of factors generally recognized as being inherent in excavation work of the nature indicated by the Contract Documents.

ISSUE DATE		
No.	Date	Issue Description
1	2017-02-21	Issued for construction

**Lincoln Park**  
**Site Improvements**  
2015 East Commerce Street  
San Antonio, Texas 78202  
OWNER  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Tel: 210-207-0466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
**BENDER WELLS CLARK DESIGN**  
430 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215

**BENDER WELLS CLARK DESIGN**  
Landscape Architecture  
Urban Design  
Planning  
832 North Alamo Street  
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CIVIL ENGINEER  
**CUDE ENGINEERS**  
4122 Fossil Hill Road, Ste. 101  
San Antonio, Texas 78231  
(210) 681-2961

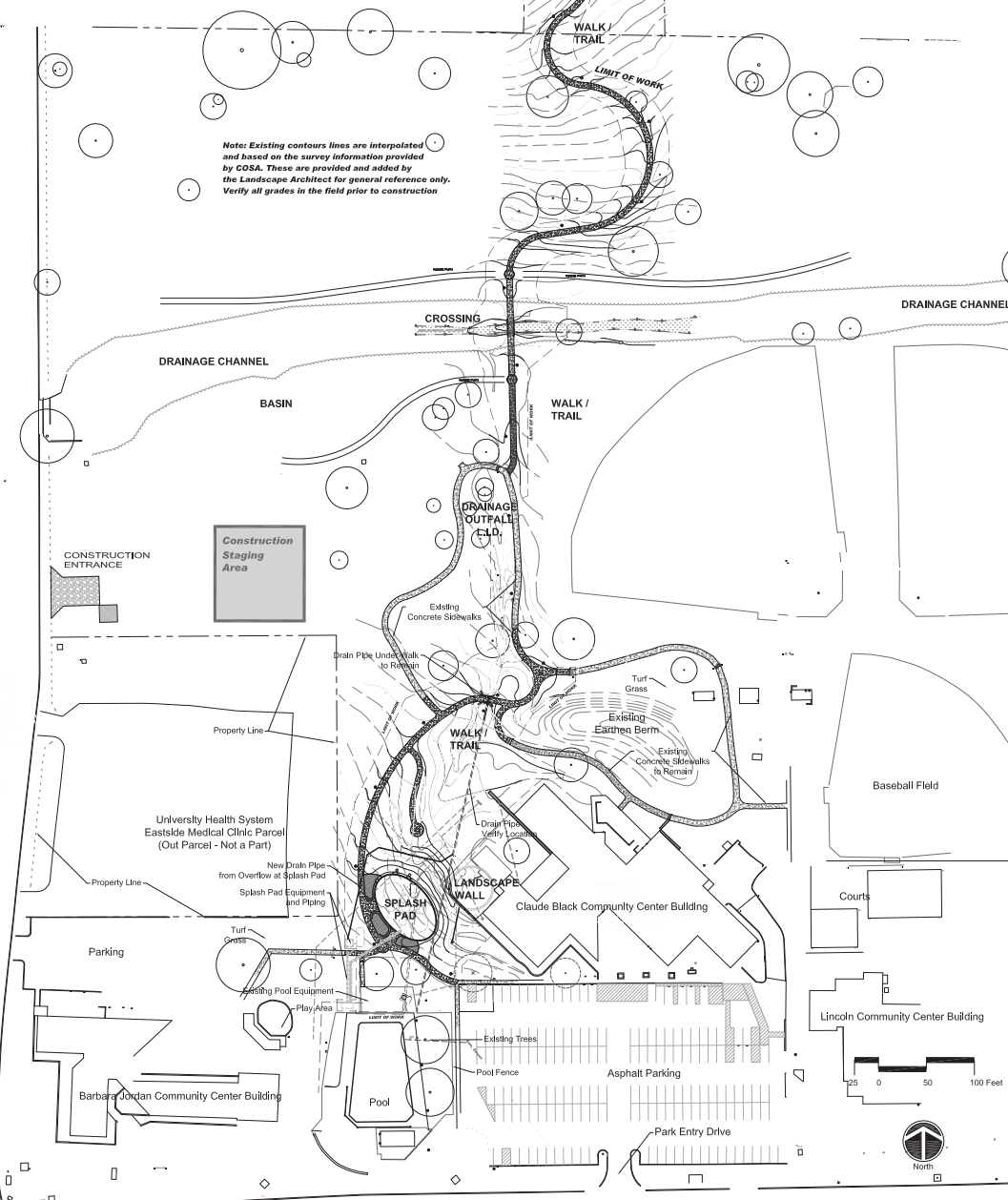
ELECTRICAL ENGINEER  
**HMS ENGINEERING**  
902 North Flores  
San Antonio TX 78212  
(210) 393-1840

8/14/18 PAD  
**KRAFTSMAN**  
**COMMERCIAL PLAYGROUNDS**  
10533 Hards Rd  
Borley, TX 77388  
281-353-8599

LANDSCAPE ARCHITECT'S LICENSE  
**LAWRENCE C. CLARK**  
LICENSED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
1211  
2017-06-21

SHEET TITLE & NO.  
**Existing**  
**Conditions Plan**  
**L0-01**





①

No.	Date	Issue Description
1	2017-9-21	Issued for Construction
5	2017-10-27	Separate North / South Portions

## Lincoln Park

**OWNER**  
**San Antonio, Texas 78202**  
**City of San Antonio, TCI**  
**Contact: Mr. Pat Schnelder**  
**Project Manager**  
**Tel: 210-207-8466**

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
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**ELECTRICAL ENGINEER**  
**HM3 ENGINEERING**  
902 North Flores  
San Antonio TX 78212  
(210) 393-1840

SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
19535 Haude Rd  
Spring, TX 77388  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSURE



**SHEET TITLE & NO.:**

**Site Reference  
Plan**

## LO-02



## GENERAL NOTES

- N1. Applicable Codes/Ordinances for most current editions as required by City of San Antonio:
- 2012 International Building Code
  - 2012 International Fire Code
  - 2012 Uniform Plumbing Code
  - 2012 Uniform Mechanical Code
  - 2011 National Electrical Code
  - 2012 International Energy Conservation Code
  - 2012 International Residential Code
  - City of San Antonio Unified Development Code, most current edition and Amendments
- N2. All provisions of Texas Accessibility Standards (TAS) of the Architectural Barriers Act (Article 9102, Texas Civil Statutes) must be followed.
- N3. Signage: All signage placement and mounting is to comply with all provisions of TAS.
- N4. Grass Criteria:
- Walkway/path cross slope 2% maximum (1% preferred)
  - Walkway/yard/other slope 3% maximum
  - Ramp running slope 8.33% maximum
  - Ramp cross slope 1% maximum
  - Curb ramp 8.33% maximum (6.25% preferred)
  - Walkway landings at drainage in direction 2% maximum cross slope, (1.5% preferred)
  - Ramp landings 2% maximum cross slope/running slope.
- N5. Complete repairs and finish outs are to be done as a result of any relocations, modifications, repairs, construction, demolition, etc.
- N6. Any items, procedures, or any other items that are unclear are to be brought to the attention of Landscape Architect, Owner and Consultant(s) related to this item prior to proceeding with work.
- N7. All safety provisions and codes must be followed during demolition and construction of all areas. Provide temporary construction fences where work will occur and maintain through Substantial Completion of Project. Coordinate location with Landscape Architect and Owner.
- N8. All holes or dips must be patched to a flush condition and must match existing adjacent surfaces.
- N9. Any existing surfaces to be repaired must first be prepared by repairing any holes, changing any noted wood, replacing noted metal, making any repairs needed, etc.
- N10. Where existing surface mounted items have been removed, all holes and chips must be repaired and patched with like materials of existing surface finish.
- N11. Any items requested by Owner to be salvaged must be salvaged and protected until further direction by Owner, and delivered to a location as directed by Owner.
- N12. All surrounding sites and adjacent buildings/structures must be protected and unaffected during construction.
- N13. All areas around construction areas must be safe for pedestrian traffic before, during and after construction. Work sites shall be cleaned daily from all construction trash, debris, materials, etc.
- N14. Any items that create an obstruction of any kind to demolition and construction is to be brought to the attention of Landscape Architect, Owner and Consultant(s) related to this item prior to proceeding with work.
- N15. Any unusual or unexpected items are to be brought to the attention of Landscape Architect, Owner and Consultant(s) related to this item prior to proceeding with work.
- N16. Contractor and Fabricator shall verify all quantities, dimensions, and conditions and notify Landscape Architect of any discrepancies or inconsistencies before proceeding with work. DO NOT scale drawings for dimensions.
- N17. General Contractor shall inspect job for completion before scheduling any observation by Landscape Architect and Consultant.
- N18. Any conflicts between Contract Drawings and Specifications shall be brought to the attention of Landscape Architect. Landscape Architect reserves the right to make appropriate decision without any extra cost to Owner.
- N19. Landscape Architect and Consultant(s) shall not have control of, and shall not be responsible for construction means, methods, techniques, sequences, or procedures for safety precautions and programs in connection with the work, for the acts or omissions of Contractor, Subcontractor(s), or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
- N20. Perform site observation by field representatives of the Landscape Architect and Consultant(s) is solely for the purpose of determining if the work contract of Contractor is proceeding in accordance with the contract documents. This limited site observation is not intended to be a check of the quality or quantity of the work, but only for the purpose in an effort to inform Owner of defects and deficiencies in the work of Contractor.
- N21. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, and structures. Contractor is to trace out and verify location of all existing utilities whether shown or not shown prior to digging. It is the Contractor's responsibility to protect all utilities and request call-out of utility locations by Texas One Call and others as required.
- N22. Construction crews to remain within designated work areas at all times. It is Contractor's responsibility to maintain public safety and welfare within and adjacent to project work areas.
- N23. Do not viably proceed with construction as designed when it is obvious that unknown obstruction and/or grade differences exist that may not have been known/considered during design. Such conditions shall be immediately brought to the attention of the Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- N24. The Contractor shall be responsible for any coordination with sub contractors as required to accomplish any and all operations.
- N25. City of San Antonio Parks & Recreation Dept. provided the survey for this project. It was reformatted for use in and in preparation of these documents. Contractor shall obtain a copy of the survey and become familiar with it, the existing conditions and content of the site prior to construction. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. Landscape Architect shall not be responsible for errors or omissions associated with the preparation or documentation of the survey.

- N26. Geotechnical investigation report has been prepared by \_\_\_\_\_ for the project. It has been referenced in the preparation of these documents. Contractor shall obtain an officially signed copy of the report and become familiar with it prior to construction. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately. Landscape Architect shall not be responsible for errors or omissions associated with the preparation or documentation of the report. Contractor is invited and encouraged to make his own interpretation and evaluation of the information and by starting work shall be assumed to have fully accepted responsibility for the subsurface conditions that may hereafter be encountered in performing the excavation work.
- N27. Contractor is expected to examine the project site and the record of investigation and make, in whatever extent may seem appropriate, his own investigation of existing subsurface conditions to determine the nature, kind and character of materials to be encountered. Extra payment will not be authorized for work which should have been anticipated or could have been anticipated upon careful examination of the site, or upon call investigation, or upon consideration of factors generally recognized as being inherent in excavation work of the nature indicated by the Contract Documents.
- N28. Contractor is responsible for determining means and methods per note N19, above. These drawings may indicate a limit of proposed improvements, limits of site condition, etc. for determination of expected extent of disturbance. However, final impact shall be determined in the field. Should the limits or distances exceed the boundaries defined in Drawings, the Contractor shall contact Landscape Architect for resolution.
- N29. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through Contractor and Sub-contractor's means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the Owner.
- N30. The Drawings and Specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.

## GENERAL CONSTRUCTION NOTES

1. Construction Staging Area  
Contractor shall coordinate with the Owner the location of the construction staging area.
2. Construction Fencing  
Contractor is responsible for the safety and security of all activities around the construction site. Provide construction chain-link fencing around the proposed site work.
3. Erosion and Sediment Control  
All erosion and sediment control measures must be in place before any site work begins and must remain in place for the duration of construction. Refer to the Specifications.

## SITE DEMOLITION NOTES

1. Remove items shown to be removed to the full depth of the their construction unless noted otherwise.
2. Verify the extent and location of items to remain vis-a-vis items to be demolished prior to commencement of work.
3. Structures or items encountered below grade and not shown on the Drawings shall be brought to the attention of the Landscape Architect for clarification.
4. Contact the local underground utility locate and identification service prior to commencement of work.
5. The locations of underground utilities shown on the drawings may vary in relation to actual conditions on the site; additional utilities may be shown. Verify all information in the field and report any discrepancies to the Landscape Architect.

## SITE LAYOUT NOTES

1. Layout and verify dimensions prior to construction. Bring any discrepancies to the attention of the Landscape Architect for clarification.
2. Do not scale Drawings. Written dimensions take precedence over scale.
3. Where dimensions are called as "equal" space, reference items equally, measured to their center lines.
4. Install intersecting items at 90 degrees to one another, unless noted otherwise.

## SITE LIGHTING NOTES

1. Lighting symbols on plans are diagrammatic. Refer to Details & Specifications for actual dimensions and product information.
2. Coordinate with existing and proposed underground utilities. Notify Landscape Architect of any conflicts for direction on approved locations.
3. Wiring circuits are diagrammatic. Care and consideration for underground obstructions, utilities and tree roots shall be warranted. Adjust alignment of wiring runs with review and approval of the landscape Architect and Electrical Engineer prior to excavation.
4. Lighting is intended to produce an overall 0.5 footcandles (fc) illumination level on the trail/path with 1.0 fc illumination at trail intersections. Final installation shall confirm these illumination standards.
5. Contractor shall ensure luminaires are installed per Manufacturer's specifications and guidelines. No light greater than 0.1 fc at the property line. Notify the L Arch of any discrepancies.
6. Layout dimensions are for general reference only. Final locations shall be staked in the field for review, adjustment and approval by the Landscape Architect.
7. Lighting pull-boxes, vaults and other in-grade appurtenances shall be set flush with adjacent finish grades or surfaces.

## GENERAL CONCRETE NOTES

1. All forms shall be well braced and straight.
2. All steel shall be free of grease, scale, & dirt.
3. Concrete shall reach a minimum strength of 2500 psi at 28 day test. Concrete shall not be placed in excess of 5' slump without prior approval of the engineer.
4. All #3 reinforcing bars shall be 40 grade steel, all #4 or larger bars shall be ASTM A-615 grade 60.
5. Contractor shall verify all the dimensions with the plan.
6. Expansion joints (EJs) shall be provided at joints where concrete slabs meet vertical structures such as walls, curbs, steps and building elements, and as indicated on the Drawings. EJs at concrete walks shall be placed at intervals not less than 5 X the width of the walk.
7. Contradiction (or control) joints (CJs) shall be provided on slabs at a width of 1 X the width of concrete walks, typically, and as shown on the Drawings. Form CJs by saw cutting, typical, within 4 to 12 hours of placement, to a depth of  $\frac{1}{2}$  the thickness of the slab.

## DRAWING KEY



## SYMBOLS & LEGEND

### SITE DETAIL KEYNOTES (SEE SITE MATERIALS PLAN)

### MATERIAL REFERENCE LABEL (SEE MATERIAL SCHEDULE)

### DETAIL / ENLARGEMENT REFERENCE

### SECTION REFERENCE

### ELEVATION REFERENCE

## ABBREVIATIONS

A.F.F.A.	ABOVE FINISH FLOOR
ACCS.	ACCESSIBLE
ADJ.	ADJACENT or ADJUSTABLE
ALT.	ALTERNATE
ALUM.	ALUMINUM
A.M.D.A.	AMERICAN DISABILITIES ACT
A.S.	ANCHOR BOLT
L	ANGLE
ANOD.	ANODIZED
APPROVD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT/ ARCHITECTURAL
@	AT
BM.	BEAM
BET.	BETWEEN
BOLT.	BOLT
BTM.	BOTTOM
B.D.S.	BUILDING
B/S	BUILDING STANDARD
B.U.	BUILT UP
CTR.	CENTER
CL OR C	CENTER LINE
CRS.	CENTER
C.L.F.	CHAIN LINK FENCE
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COMP.	COMPACTED
CONC.	CONCRETE
CONT.	CONTINUOUS
C.J.	CONTROL JOINT
C.F.	CUBIC FOOT
C.V.	CUBIC YARD
DETAL	DETAIL
DIA.	DIAMETER
E.W.	EACH WAY
ENG.	ENGINEER
EO.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXTG.	EXISTING
EXP. JT./ E.J.	EXPANSION JOINT
FIN.	FINISH
FTG.	FOOTING
GALV.	GALVANIZED
ga.	GAUGE
H/A	HANDICAP/ACCESSIBLE
HT.	HEIGHT
HORIZ.	HORIZONTAL
HOG	HOT-DIPPED-GALVANIZED
I.D.	INSIDE DIAMETER
INT.	INTERIOR
JT.	JOINT
L-ARCH.	LANDSCAPE ARCHITECT/ LANDSCAPE ARCHITECTURAL
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
MFRD.	MANUFACTURED
MFR.	MANUFACTURER
MD.	MAXIMUM DRY DENSITY
O.C.	ON CENTER
O.C.E.W.	ON CENTER EACH WAY
O.D.	OUTSIDE DIAMETER
PNTD	PAINTED
P.M.T.	PAVEMENT
PVG.	PAVING
P.L.T.	PLATE
P.D.	POROSCTOR DENSITY
P.L.	PROPERTY LINE
RAD.	RADIUS
REF.	REFERENCE or REFER TO
REINF.	REINFORCING
REQD.	REQUIRED
R.S.	ROUGH SAWN
SCH.	SCHEDULE
SHT.	SHEET
SL.	SLOPE
SQ.	SQUARE
S.F.	SQUARE FOOT
STL.	STEEL
STRUCT.	STRUCTURAL
SAS	SMOOTH FOUR SIDES
S.Y.P.	SOUTHERN YELLOW PINE
THK.	THICK
TYP.	TYPICAL
VERT.	VERTICAL
WP.	WATERPROOFING
W/	WITH or WITHIN

## SITE LIGHTING LEGEND

### PROPOSED DEDESTRIAN POLE LIGHT

## SITE GRADING & DRAINAGE NOTES

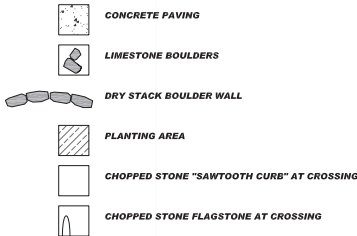
Existing underground utilities are shown per available records. Verify the actual location in the field prior to construction. Protect existing utilities from damage. Freedom with suitable \_\_\_\_\_ unless directed otherwise by the Landscape Architect.

## GRADING LEGEND



KEY TO GRADING ABBREVIATIONS	
BM 100.00	BENCH MARK ELEVATION
EX 100.00	EXISTING GRADE ELEVATION
FG 100.00	FINISHED GRADE ELEVATION
TP 100.00	TOP OF PAVEMENT ELEVATION
TM 100.00	TOP OF WALL ELEVATION
BU 100.00	BASE OF WALL ELEVATION
TC 100.00	TOP OF CURB ELEVATION
BC 100.00	BASE OF CURB ELEVATION
TR 100.00	TOP OF RAMP ELEVATION
BR 100.00	BASE OF RAMP ELEVATION
HP 100.00	HIGH POINT
LP 100.00	LOW POINT
BC 100.00	BASE OF CURB ELEVATION

## MATERIALS LEGEND



ISSUE DATE

No.	Date	Issue Description
1	2017-02-21	Issued for construction

Lincoln Park  
Site Improvements

2015 East Commerce Street  
San Antonio, Texas 78202

owner  
City of San Antonio, TC1

Contact: Mr. Pat Schneider  
Tel: 210-207-4666  
Fax: 210-207-4666

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
430 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215

Landscaping  
Architecture  
Urban Design  
Planning

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ELECTRICAL ENGINEER  
HMS ENGINEERING  
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San Antonio, TX 78212  
(210) 393-1840

9714541 PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
10533 Hockley Rd.  
Borley, TX 77388  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE

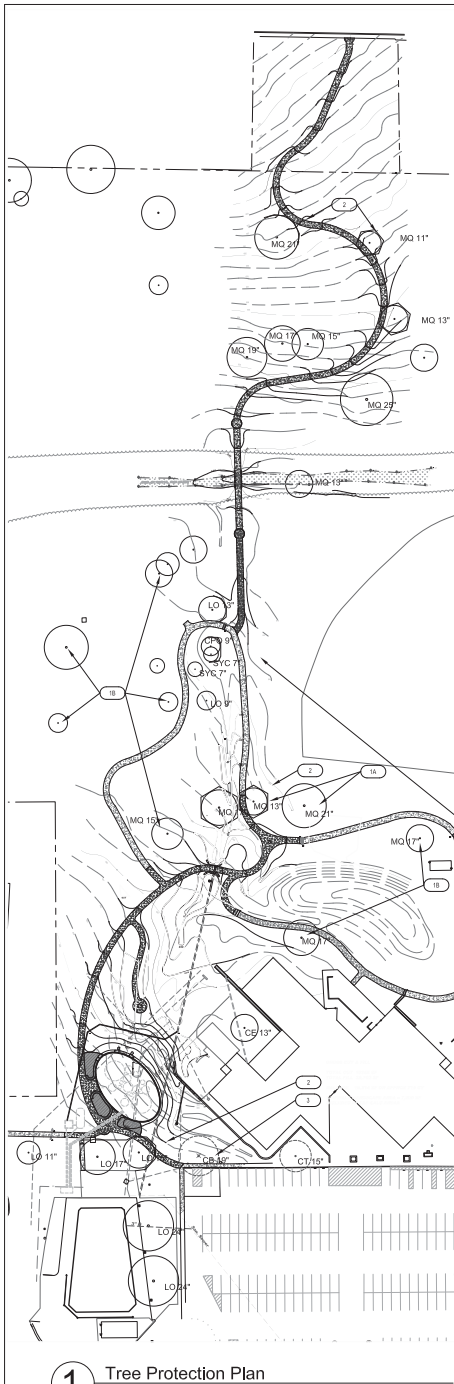
LAWRENCE C. CLARK  
LICENSED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
1211  
2017-02-21

SHEET TITLE & NO.

General  
Information

L0-03





**1 Tree Protection Plan**  
Scale 1" = 50'-0"

**TREE PROTECTION NOTES**

1. Preserve & protect all trees in place, with the exception of one (1) Cinnabary tree near the northwest corner of the parking area to be flagged by the landscape Architect prior to removal.
  - a. If other trees on-site shall remain undisturbed by construction activities, unless noted otherwise on the City approved plans.
2. No disturbance shall occur closer to the trunk than half the root protection zone area
  - a. No utility or street excavation work shall begin in areas where tree preservation and treatment measure have not been completed and approved.
4. Tree protection fencing shall be required. Tree protection fencing shall be installed, maintained and repaired by the contractor during site construction. Refer to drawings.
5. The contractor shall avoid cutting roots larger than one-inch in diameter when excavating near existing trees. Excavations in the vicinity of trees shall proceed with caution. The contractor shall contact the city inspector for guidance.
6. Exposed roots shall be covered at the end of the work day using techniques such as covering with soil, mulch or wet burlap.
7. No equipment, vehicles or materials shall be operated or stored within the root protection zone of any tree near the project. The root protection zone of a tree are defined by an average radius extending outward from the trunk to the edge of a protection zone (10' linear foot for each inch diameter inch breast height (4.5% of the tree). A 10-inch diameter tree will have a 10 foot radius root protection zone.
8. Root or branches in conflict with construction shall be cut cleanly according to proper pruning methods. All oak wounds shall be painted within 30 minutes to prevent "oak wilt" infection.
9. Any tree removal shall be approved by the city arboretist. (207-8055)
10. Trees which are damaged or lost due to the contractor's negligence during construction shall be mitigated to the city's satisfaction.
11. Saplings, shrubs, or bushes to be cleared from the protected root zone area of a protected tree shall be removed by hand as designated by the inspector.
12. All debris generated by the pruning and removal of the trees and/or bushes shall become the property of the contractor and shall be disposed of

### TREE PROTECTION REFERENCE NOTES

- ☐ **EXISTING TREES TO REMAIN (TYP.)  
COUNTED TOWARD CANOPY**
- ☐ **EXISTING TREES TO REMAIN, NOT  
COUNTED TOWARD CANOPY (OUTSIDE  
OF PROJECT BOUNDARY)**
- ☐ **PROPOSED TREE PROTECTION  
FENCING**
- ☐ **EXISTING TREE TO BE REMOVED: ONE  
(1) CHINABERRY TREE (INVASIVE,  
NOT SIGNIFICANT). VERIFY W/  
LANDSCAPE ARCHITECT.**

### SITE CANOPY CALCULATION

CRAG area: 15% Canopy Required  
Artificial Lot Line used for calculations.

90,129 sf (site area within limits shown) x 15% = 13,520 sf (CRAG canopy required)

EXISTING TREE CANOPY:

1200 sf x 2 (existing large trees) =	2,400 sf (existing large tree canopy)
875 sf x 6 (existing medium/large trees) =	1,750 sf (existing medium large tree canopy)
550 sf x 11 (existing medium trees) =	6,050 sf (existing medium trees)
275 sf x 0 (existing small tree) =	0 sf (existing small tree canopy)
<b>Total Canopy Provided =</b>	<b>13,700 sf (existing tree canopy)</b>

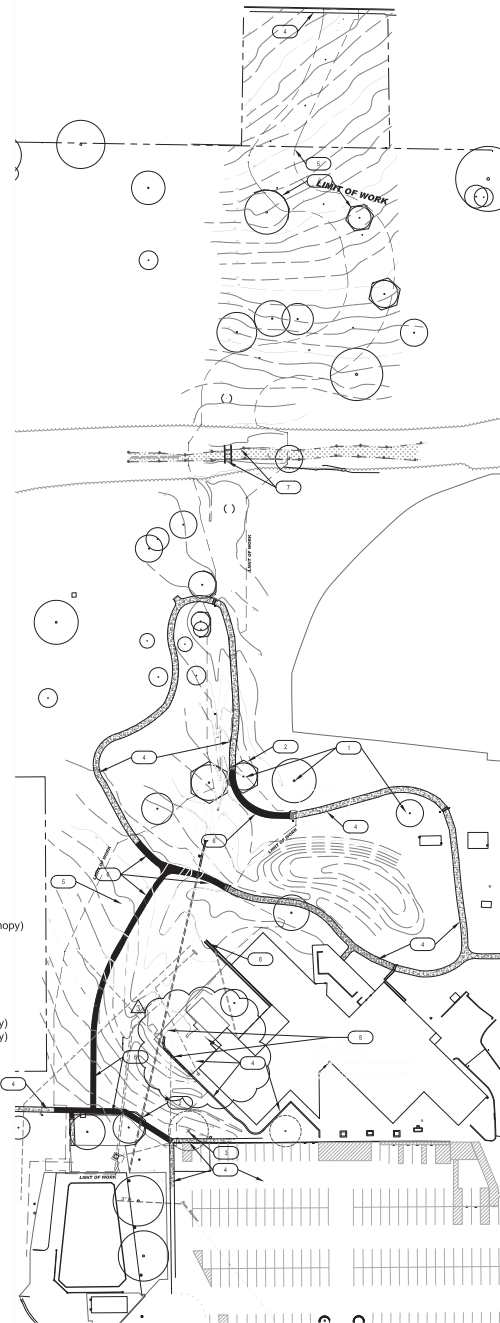
NEW TREE CANOPY:

1,080 sf x 2 (new large trees) =	0 sf (new large tree canopy)
788 sf x 0 (new medium/large trees) =	0 sf (new medium large tree canopy)
495 sf x 0 (new medium trees) =	0 sf (new medium large tree canopy)
248 sf x 0 (new small tree) =	0 sf (new small tree canopy)
<b>Total New Canopy Provided =</b>	<b>0 sf (new tree canopy)</b>

## SUMMARY

Canopy Required	=	13,520 sf
Canopy Provided	=	13,700 sf (existing canopy)
	=	0 sf (new canopy)
Total Canopy	=	<u>13,700 sf</u>

**NOTE: ALL EXISTING TREES ON THE SITE ARE TO REMAIN AND SHALL BE PROTECTED IN PLACE, WITH THE EXCEPTION OF ONE INVASIVE SPECIES TREE TO BE REMOVED.**



## 2 Site Demolition, Tree & Vegetation Removal

### SITE DEMOLITION REFERENCE NOTES

1. Refer to General Information sheet for Site Demolition Notes.
2. Remove and dispose of designated pavement in its entirety, including sub base, unless noted otherwise.
3. Saw cut pavement at joint nearest to proposed improvements.
4. Protect existing pavement(s) during construction. Pavement is to be maintained and integrated with new construction.
5. Other existing elements, such as drains, underdrains, existing light poles and light pole bases are to be salvaged and re-used in the project.
6. Access to buildings on the site are to remain operational during construction to move items shown to be removed to the full depth of the their construction unless noted otherwise.
7. Verify the extent and location of items to remain vis-a-vis items to be demolished prior to commencement of work.
8. Structures or Items encountered below grade and not shown on the Drawings shall be brought to the attention of the Landscape Architect for clarification.
9. Contact the local underground utility locate and identification service prior to commencement of work.
10. The locations of underground utilities shown on the drawings may vary in relation to actual conditions on the site; additional utilities may not be shown. Verify all information in the field and report any discrepancies to the Landscape Architect.

### SITE DEMOLITION NOTES

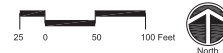
1. Refer to General Information sheet for Site Demolition Notes.
2. Remove, haul-off and dispose of designated pavement in its entirety, including sub base, unless noted otherwise.
3. Saw cut pavement at joint nearest to proposed improvements.
4. Protect existing pavement(s) during construction. Pavement is to be maintained and integrated with new construction.
5. Other existing elements, such as drains, underdrains, existing light poles and light pole bases are to be salvaged and re-used in the project.
6. Access to buildings on the site are to remain operational during construction to move items shown to be removed to the full depth of the their construction unless noted otherwise.
7. Verify the extent and location of items to remain *in-situ* items to be demolished prior to commencement of work.
8. Structures or Items encountered below grade and not shown on the Drawings shall be brought to the attention of the Landscape Architect for clarification.
9. Contact the local underground utility locate and identification service prior to commencement of work.
10. The locations of underground utilities shown on the drawings may vary in relation to actual conditions on the site; additional utilities may not be shown. Verify all information in the field and report any discrepancies to the Landscape Architect.

### SITE DEMOLITION REFERENCE NOTES

- 3 EXISTING TREES TO REMAIN (TYP.)
- 2 PROPOSED TREE PROTECTION FENCING
- 3 EXISTING TREE TO BE REMOVED
- 4 EXISTING WALLS, HARDSCAPE, PAVING OR OTHER FEATURES TO REMAIN. PROTECT IN PLACE
- 5 EXISTING LIGHT POLE TO BE SALVAGED FOR OWNER
- 6 EXISTING CONCRETE PAVING TO BE REMOVED ENTIRELY, INCLUDING SUB-BASE
- 7 LIMIT DISTURBANCE WITHIN DRAINAGE CHANNEL TO AN ABSOLUTE MINIMUM
- 8 REMOVE EXISTING CHAIN LINK FENCING

**WARNING:**  
ALL CONTRACTORS MUST KNOW EXACT  
LOCATION OF, AND AVOID, ALL  
UNDERGROUND UTILITIES PRIOR TO  
COMMENCING WORK. CALL 1-800-DIG-TEST  
AT LEAST 72 HOURS PRIOR.

**STOP!**  
**CALL BEFORE YOU DIG**  
**DIG TESS**  
**1-800-DIG-TESS**  
(at least 72 hours prior to digging)



ISSUE DATE		
No.	Date	Issue Description
1	2017-9-21	Issued for Construction
3	2017-9-29	Demo Exis. Fence

**Lincoln Park  
Site Improvements**

2915 East Commerce Street  
San Antonio, Texas 78202

**OWNER**  
City of San Antonio, TCI

Contact: Mr. Pat Schneider  
Project Manager  
Tel: 210-207-5466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
830 N. ALAMO ST.



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ELECTRICAL ENGINEER  
HM3 ENGINEERING  
902 North Flores  
San Antonio TX 78212  
(210) 393-1840

SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS

19535 Hauke Rd  
Spring, TX 77388  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSURE

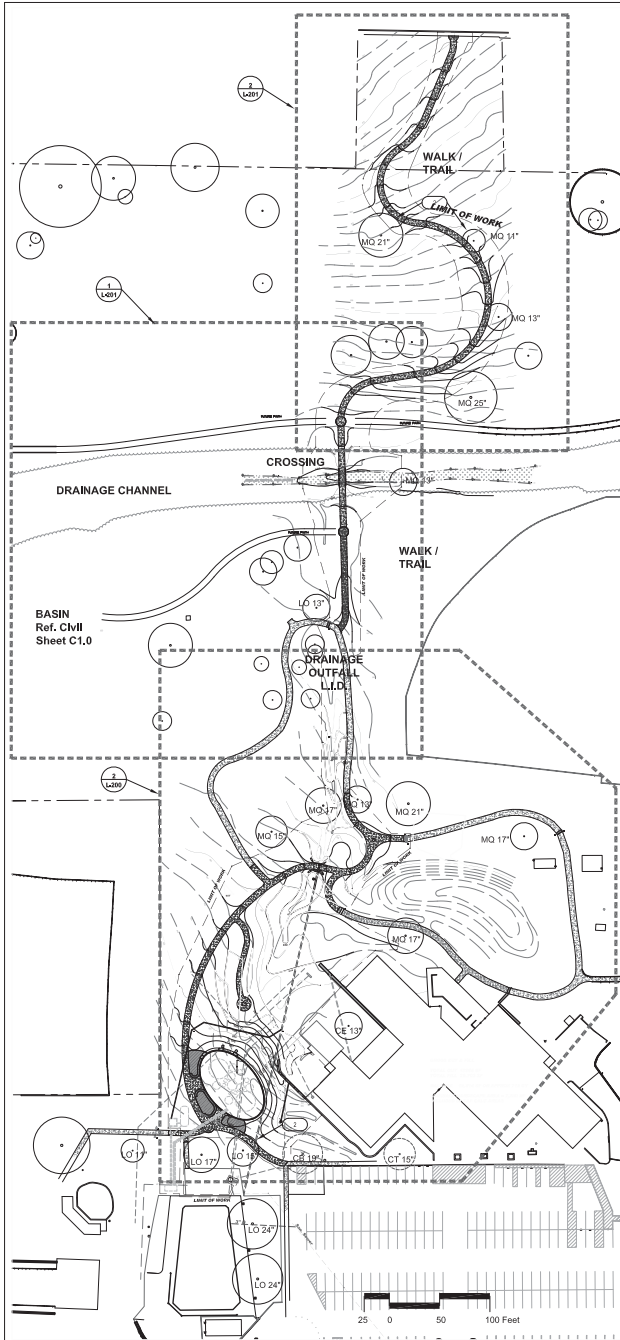


**SHEET TITLE & NO.:**  
**Tree Protection**  
**&**  
**Site Demolition**

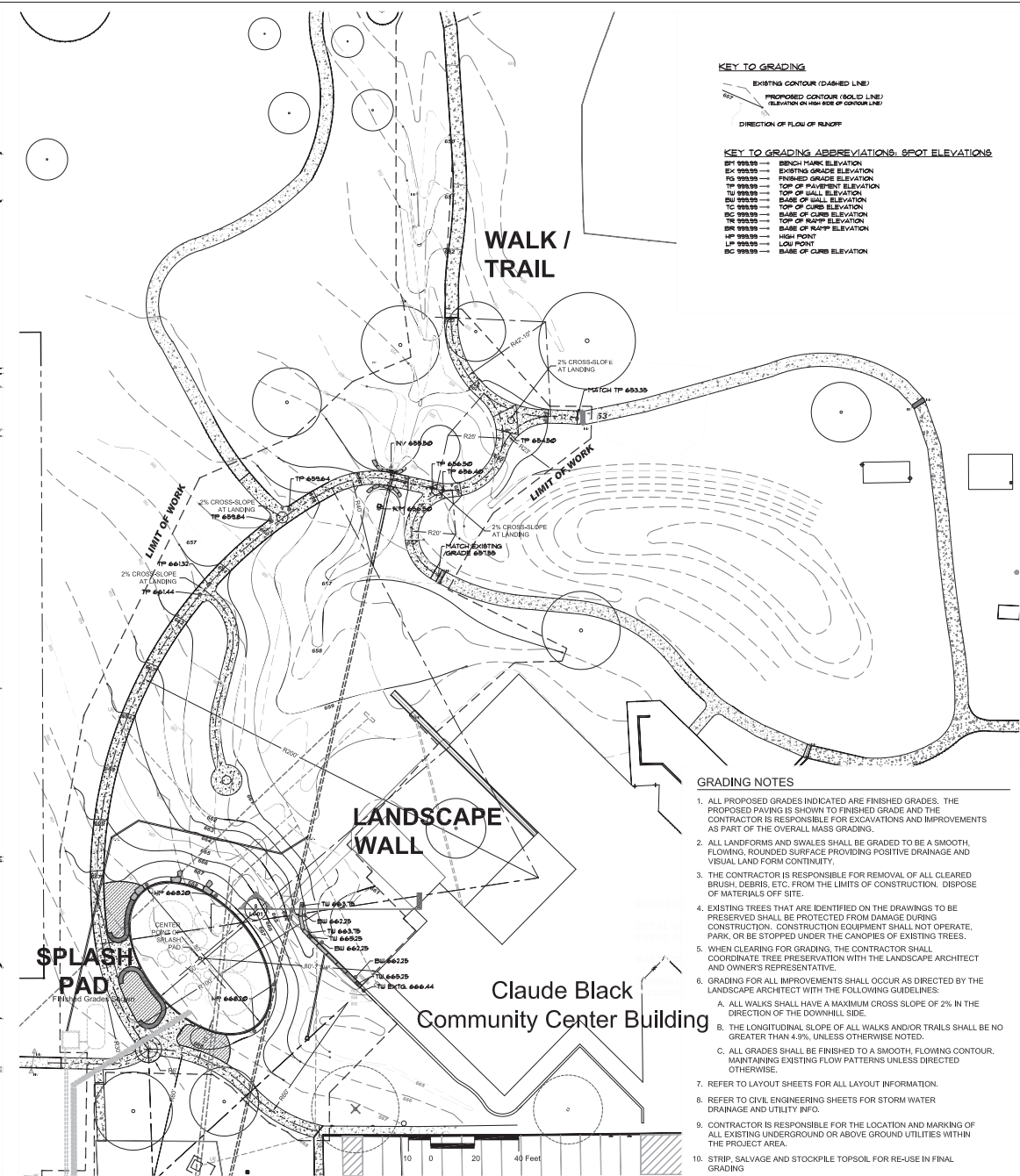
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Date: Oct 27, 2017, 3:11pm User: DL LARRYCLARK  
Plan: 8/2017 PROJECTS/Lincoln Park Phase I/Workfile:2017-10-27-LINCOLN PARK CDS R54-Southern Section.dwg



1 Overall Grading Plan  
Scale: 1" = 50'-0"



2 Enlarged Grading & Layout Plan: South / Splash Pad  
Scale: 1" = 20'-0"

#### KEY TO GRADING

EXISTING CONTOUR (DASHED LINE)  
PROPOSED CONTOUR (SOLID LINE)  
ELEVATION ON HIGH SIDE OF CONTOUR LINE  
DIRECTION OF FLOW OF RUNOFF

#### KEY TO GRADING ABBREVIATIONS: SPOT ELEVATIONS

BM 999.99 → BENCHMARK ELEVATION  
EX 999.99 → EXISTING GRADE ELEVATION  
FG 999.99 → FINISHED GRADE ELEVATION  
TP 999.99 → TOP OF PAVEMENT ELEVATION  
TU 999.99 → TOP OF WALL ELEVATION  
BU 999.99 → BASE OF WALL ELEVATION  
TC 999.99 → TOP OF CURB ELEVATION  
SC 999.99 → BASE OF CURB ELEVATION  
TR 999.99 → TOP OF RAMP ELEVATION  
BR 999.99 → BASE OF RAMP ELEVATION  
HP 999.99 → HIGH POINT  
LP 999.99 → LOW POINT  
BC 999.99 → BASE OF CURB ELEVATION

#### GRADING NOTES

- ALL PROPOSED GRADES INDICATED ARE FINISHED GRADES. THE PROPOSED PAVING IS SHOWN TO FINISHED GRADE AND THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATIONS AND IMPROVEMENTS AS PART OF THE OVERALL MASS GRADING.
- ALL LANDFORMS AND SWALES SHALL BE GRADED TO BE A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LAND FORM CONTINUITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CLEARED BRUSH, DEBRIS, ETC. FROM THE LIMITS OF CONSTRUCTION. DISPOSE OF MATERIALS OFF SITE.
- EXISTING TREES THAT ARE IDENTIFIED ON THE DRAWINGS TO BE PRESERVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONSTRUCTION EQUIPMENT SHALL NOT OPERATE, PARK, OR BE STOPPED UNDER THE CANOPIES OF EXISTING TREES.
- WHEN CLEARING FOR GRADING, THE CONTRACTOR SHALL COORDINATE TREE PRESERVATION WITH THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
- GRADING FOR ALL IMPROVEMENTS SHALL OCCUR AS DIRECTED BY THE LANDSCAPE ARCHITECT WITH THE FOLLOWING GUIDELINES:
  - ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% IN THE DIRECTION OF THE DOWNHILL SIDE.
  - THE LONGITUDINAL SLOPE OF ALL WALKS AND/OR TRAILS SHALL BE NO GREATER THAN 4.9% UNLESS OTHERWISE NOTED.
  - ALL GRADES SHALL BE FINISHED TO A SMOOTH, FLOWING CONTOUR, MAINTAINING EXISTING FLOW PATTERNS UNLESS DIRECTED OTHERWISE.
- REFER TO LAYOUT SHEETS FOR ALL LAYOUT INFORMATION.
- REFER TO CIVIL ENGINEERING SHEETS FOR STORM WATER DRAINAGE AND UTILITY INFO.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND MARKING OF ALL EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES WITHIN THE PROJECT AREA.
- STRIP, SALVAGE AND STOCKPILE TOPSOIL FOR RE-USE IN FINAL GRADING.
- SUB-GRADE AND COMPACTION AT THE SPLASH PAD IS THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE WITH SPLASH PAD INSTALLER FOR WORK IN THIS AREA. SUB-GRADE FOR SPLASH PAD SHALL BE HELD DOWN 8" BELOW FINISHED GRADES SHOWN ON THE DRAWINGS.

#### ISSUE DATE

No.	Date	Issue Description
1	2017-02-21	Issued for construction
2	2017-10-27	Landscape Wall Detail

## Lincoln Park Site Improvements

2015 East Commerce Street  
San Antonio, Texas 78202  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Tel: 210-207-5466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
630 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215



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(210) 681-2951

ELECTRICAL ENGINEER  
HMS ENGINEERING  
302 North Flores  
San Antonio, TX 78212  
(210) 303-1840

SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
19533 Hawks Rd  
Basking, TX 77738  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE

LAWRENCE C. CLARK  
LICENSED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
1211  
2017-04-21

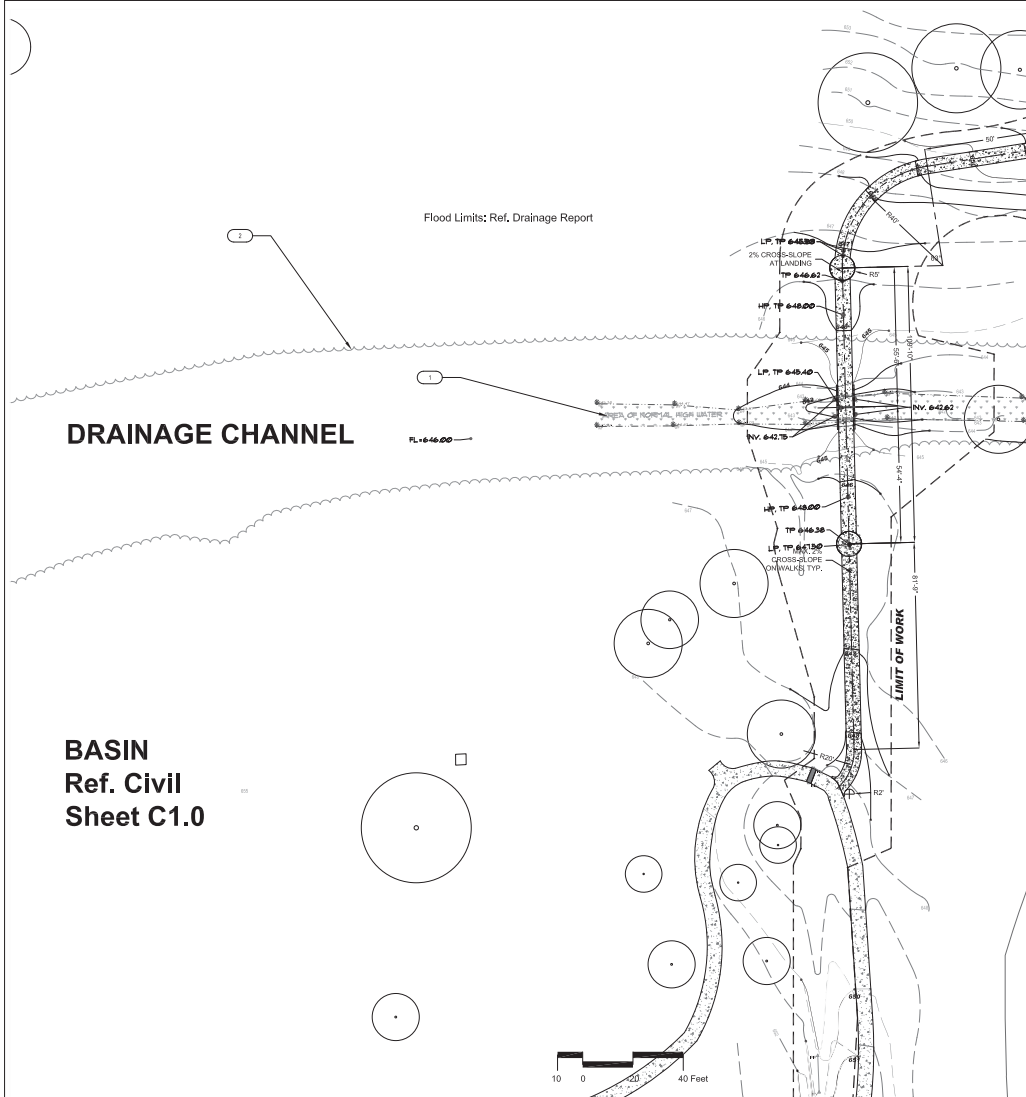


SHEET TITLE & NO. 1  
Grading & Layout Plans

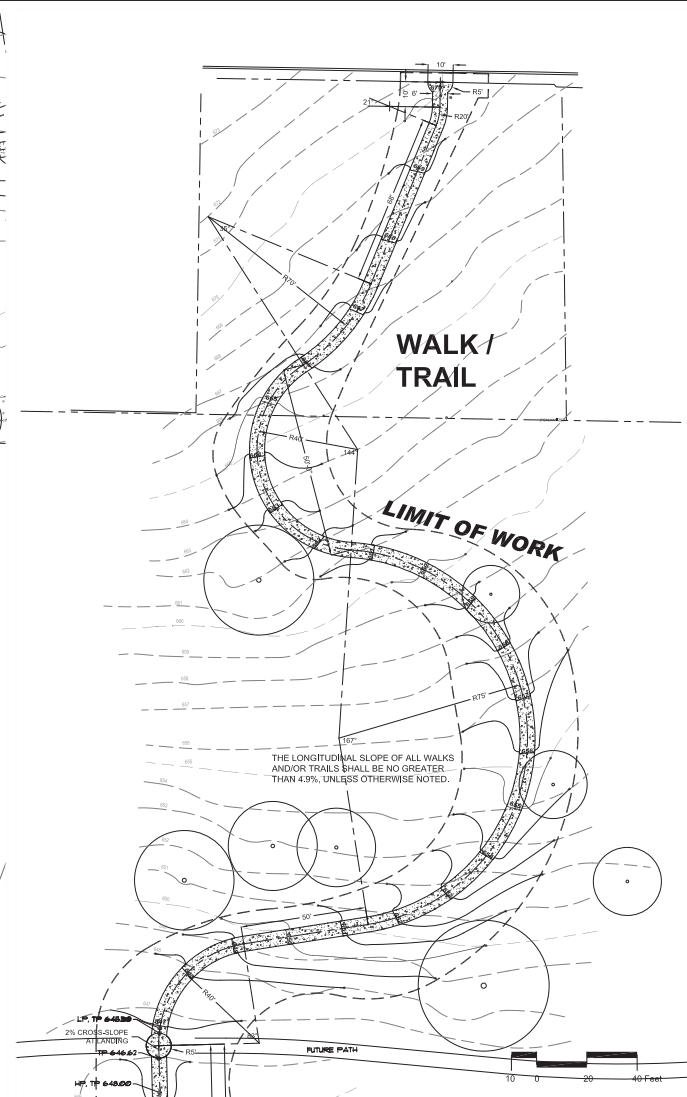
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Date: Oct 27, 2017, 3:12pm User ID: LARRYCLARK  
Plan #: 2017 PROJECTS Lincoln Park Phase I Workfile: 2017-10-27-LINCOLN PARK CDE R54-Southern Section.dwg



1 Enlarged Grading & Layout Plan: Crossing and Basin Area  
Scale 1" = 20'-0"



1 Enlarged Grading & Layout Plan: North  
Scale 1" = 20'-0"

#### SITE LAYOUT GENERAL NOTES

1. FINAL LOCATIONS OF SITE ELEMENTS SHALL BE DETERMINED IN THE FIELD UNDER DIRECTION FROM THE LANDSCAPE ARCHITECT.
2. STAKE & PAINT PATHWAY ALIGNMENTS PER PLANS AND VERIFY WITH THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

#### SITE LAYOUT REFERENCE NOTES

- 1 AREA OF NORMAL HIGH WATER: AVOID DISTURBANCE AS MUCH AS POSSIBLE
- 2 BRUSH LINE: DO NOT DISTURB EXISTING VEGETATION

ISSUE DATE		
No.	Date	Issue Description
1	2017-02-21	Issued for construction

**Lincoln Park  
site improvements**  
2015 East Commerce Street  
San Antonio, Texas 78202  
OWNER  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Tel: 210-207-0466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
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San Antonio, TX 78212  
(210) 303-1840

BRUSH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
19033 Hockley Rd  
Spring, TX 77388  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE  
LAWRENCE C. CLARK  
1211  
2017-06-21

SHEET TITLE & NO.:  
Grading & Layout Plans  
**L2-01**



## I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

Texas Pollutant Discharge Elimination System (TPDES) TXR 150000: Stormwater Discharge Permit or Construction General Permit (CGP) required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 1122.

☐ No Action Required ☒ Required Action

Action No.

- Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000.
- Comply with the Storm Water Pollution Prevention Plan (SW3P) and revise when necessary to control pollution or required by the Engineer.
- Post Construction Site Notice (CSN) with SW3P Information on or near the site, accessible to the public and Texas Commission on Environmental Quality (TCEQ), Environmental Protection Agency (EPA) or other Inspectors.
- When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, Contractor shall submit Notice of Intent (NOI) to TCEQ and the Engineer.
- NOI required: ☐ Yes ☒ No

Note: If amount of soil disturbance changes, permit requirements may change.

## II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as, rivers, creeks, streams, or wetlands.

The Contractor shall adhere to all of the terms and conditions associated with the following permit(s):

- ☒ No Permit Required
- ☐ Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required
- ☐ Nationwide Permit 14 - PCN Required
- ☐ Individual 404 Permit Required
- ☐ Other Nationwide Permit Required: NWP# \_\_\_\_\_

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

- 
- 
- 
- 

### 401 Best Management Practices: (Not applicable if no USACE permit)

#### Erosion

- ☐ Temporary Vegetation
- ☐ Blankets/Matting
- ☒ Mulch
- ☐ Sodding
- ☐ Interceptor Swale
- ☒ Diversion Dike
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☒ Compost Filter Berm and Socks

#### Sedimentation

- ☒ Filter Fence
- ☐ Rock Berm
- ☐ Triangular Filter Dike
- ☐ Sand Bag Berm
- ☐ Straw Bale Dike
- ☐ Brush Berms
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☒ Compost Filter Berm and Socks
- ☐ Stone Outlet Sediment Traps
- ☐ Sediment Basins

#### Post-Construction TSS

- ☐ Vegetative Filter Strips
- ☐ Retention/Irrigation Systems
- ☐ Extended Detention Basin
- ☐ Constructed Wetlands
- ☐ Wet Basin
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks
- ☐ Vegetation Lined Ditches
- ☐ Sand Filter Systems
- ☐ Sedimentation Chambers

## III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-7306) notified and/or the SHPO.

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 
- 

## IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical.

☐ No Action Required ☒ Required Action

Action No.

- Ensure that a tree permit is in place, if required, for this project.
- Contact the City Arborist at 210-207-0278 if there are any questions or concerns about tree protection before any work begins.
- 
- 

## V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

☐ No Action Required ☒ Required Action

Action No.

- MIGRATORY BIRD NESTS: Schedule construction activities as needed to meet the following requirements:

A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.

B. On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.

- 
- 
- 
- 

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the Engineer immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediate area, and contact the Engineer immediately.

## VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

General (applies to all projects):

Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labeling as required by the Act. Maintain an adequate supply of on-site spill response materials, as indicated in the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS. In accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- \* Dead or distressed vegetation (not identified as normal)
- \* Trash piles, drums, canister, barrels, etc.
- \* Undesirable smells or odors
- \* Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 

Does the project involve the demolition of a span bridge?

☐ Yes ☒ No (No further action required)

If "Yes", a pre-demolition notification must be submitted to the Texas Department of State Health Services, 20 calendar days prior to the demolition of the bridge(s) on the project.

## VII. OTHER ENVIRONMENTAL ISSUES

(Includes regional issues such as Edwards Aquifer District, etc.)

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 



**STOP!**  
**CALL BEFORE YOU DIG**  
CONTACT TEXAS811  
CALL 811  
(at least 72 hours prior to digging)

ISSUE DATE		
No.	Date	Issue Description
1	2017-02-21	Issued for construction

**Lincoln Park  
Site Improvements**  
2015 East Commerce Street  
San Antonio, Texas 78202  
owner  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Tel: 210-207-4466  
Fax: 210-207-4466

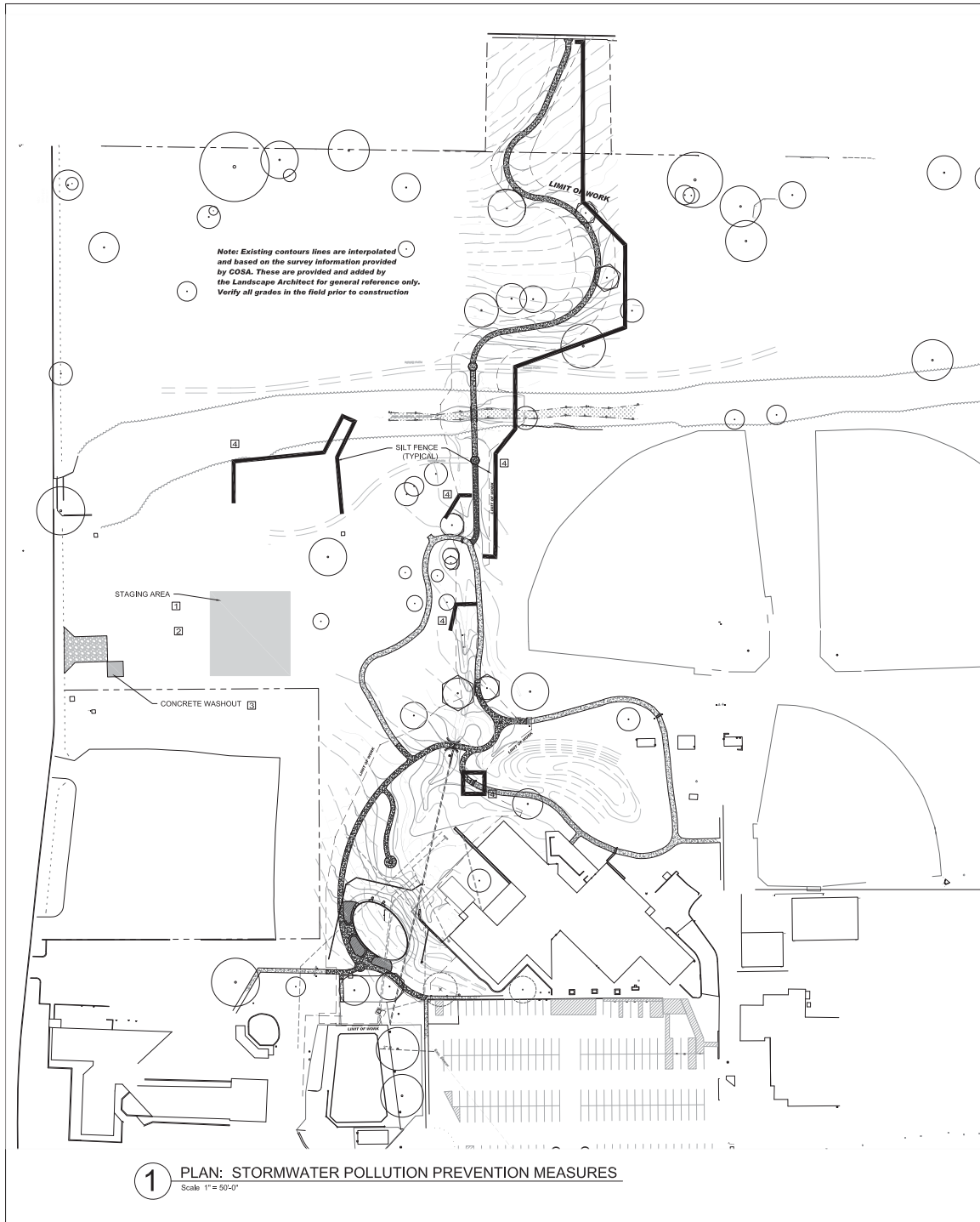
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BENDER WELLS CLARK DESIGN  
830 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215  
  
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Urban Design  
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830 North Alamo Street  
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4122 Fossil Hill Road, Ste. 101  
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(210) 681-2961  
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HM3 ENGINEERING  
902 North Flores  
San Antonio TX 78212  
(210) 393-1840  
SPRINKLER PUMP  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
10535 Hacienda Rd  
Boyd, TX 77389  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE  
LAWRENCE C. CLARK  
LICENSED LANDSCAPE ARCHITECT  
  
1211  
EXPIRES 12/31/2017

SHEET TITLE & NO.:  
Stormwater  
Pollution  
Prevention  
Checklist  
**L2-02**





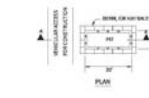
1 PLAN: STORMWATER POLLUTION PREVENTION MEASURES  
Scale: 1" = 50'-0"

EROSION CONTROL BMP (BEST MANAGEMENT PRACTICES):

1. STAGING AREA
2. CONSTRUCTION ENTRANCE
3. CONCRETE TRUCK WASHOUT PIT
4. SILT FENCE



TYP. CONSTRUCTION STAGING AREA 1



CONCRETE TRUCK WASHOUT PIT 3

N.E.S.

SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

SECTION H-H

SECTION I-I

SECTION J-J

SECTION K-K

SECTION L-L

SECTION M-M

SECTION N-N

SECTION O-O

SECTION P-P

SECTION Q-Q

SECTION R-R

SECTION S-S

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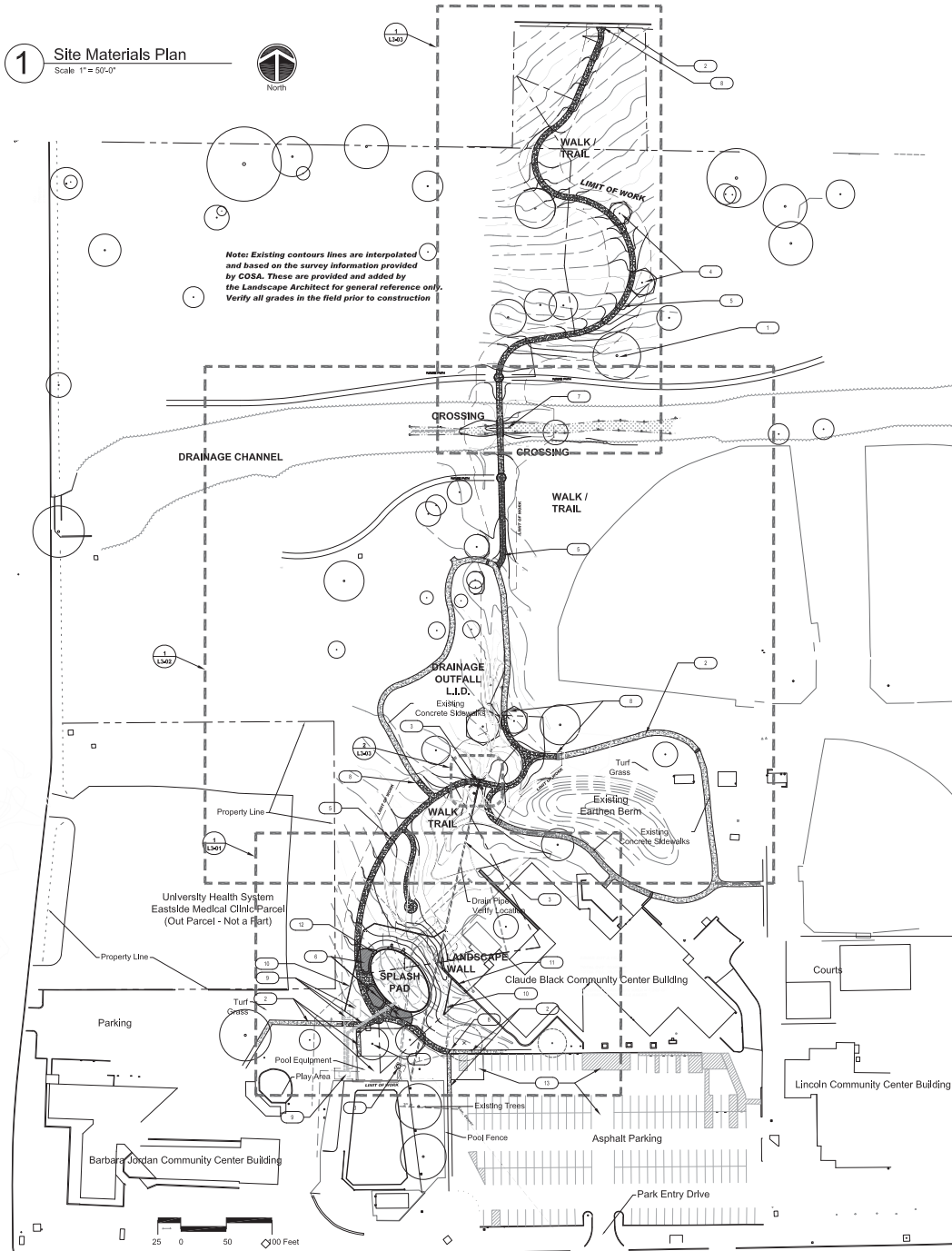
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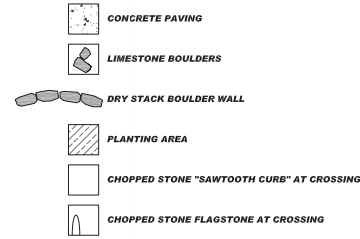
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Date: Oct 27, 2017, 3:13pm User ID: LARRYCLARK  
Plan #: 2017 PROJECTS Lincoln Park Phase I Workfile: 2017-10-27-LINCOLN PARK CD- R54-Southern Section.dwg



## MATERIALS LEGEND



## SITE MATERIALS REFERENCE NOTES

- 1 EXISTING TREES TO REMAIN (TYP.)
- 2 EXISTING PAVING TO REMAIN. DO NOT DISTURB.
- 3 EXISTING UTILITY FEATURE TO REMAIN. DO NOT DISTURB.
- 4 PROPOSED PAVING SHALL MINIMIZE DISTURBANCE TO EXISTING TREES & ROOT SYSTEMS.
- 5 NEW CONCRETE WALKS.
- 6 PREPARED PLANTING SOIL & MULCH.
- 7 CONC. DRAIN BOXES UNDER WALKWAY AT CROSSING, SEE DETAILS.
- 8 TIE NEW PAVING TO EXISTING PAVING EDGE PER DETAILS.
- 9 SPLASH PAD ELEMENTS (BY OTHERS)
- 10 NEW DRAINS, PIPING AND CLEANOUTS
- 11 DRY STACKED LIMESTONE BLOCK WALL
- 12 LIMESTONE BOULDERS
- 13 PARKING, INCLUDING EXISTING ACCESSIBLE SPACES, TO REMAIN UNDISTURBED

## ISSUE DATE

No.	Date	Issue Description
1	2017-02-21	Issued for Construction
2	2017-05-20	Reference Notes
3	2017-10-20	Update Draft
4	2017-10-20	Landscape Wall Detail

## Lincoln Park Site Improvements

2015 East Commerce Street  
San Antonio, Texas 78202  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Project Manager  
Tel: 512-607-0466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
430 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215



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CUDE ENGINEERS  
4122 Pecos Hill Road, Ste. 101  
San Antonio, Texas 78231  
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ELECTRICAL ENGINEER  
HM3 ENGINEERING  
902 North Flores  
San Antonio TX 78212  
(210) 303-1840

SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
10535 Hacienda Rd  
Borleng, TX 77388  
281-353-9599

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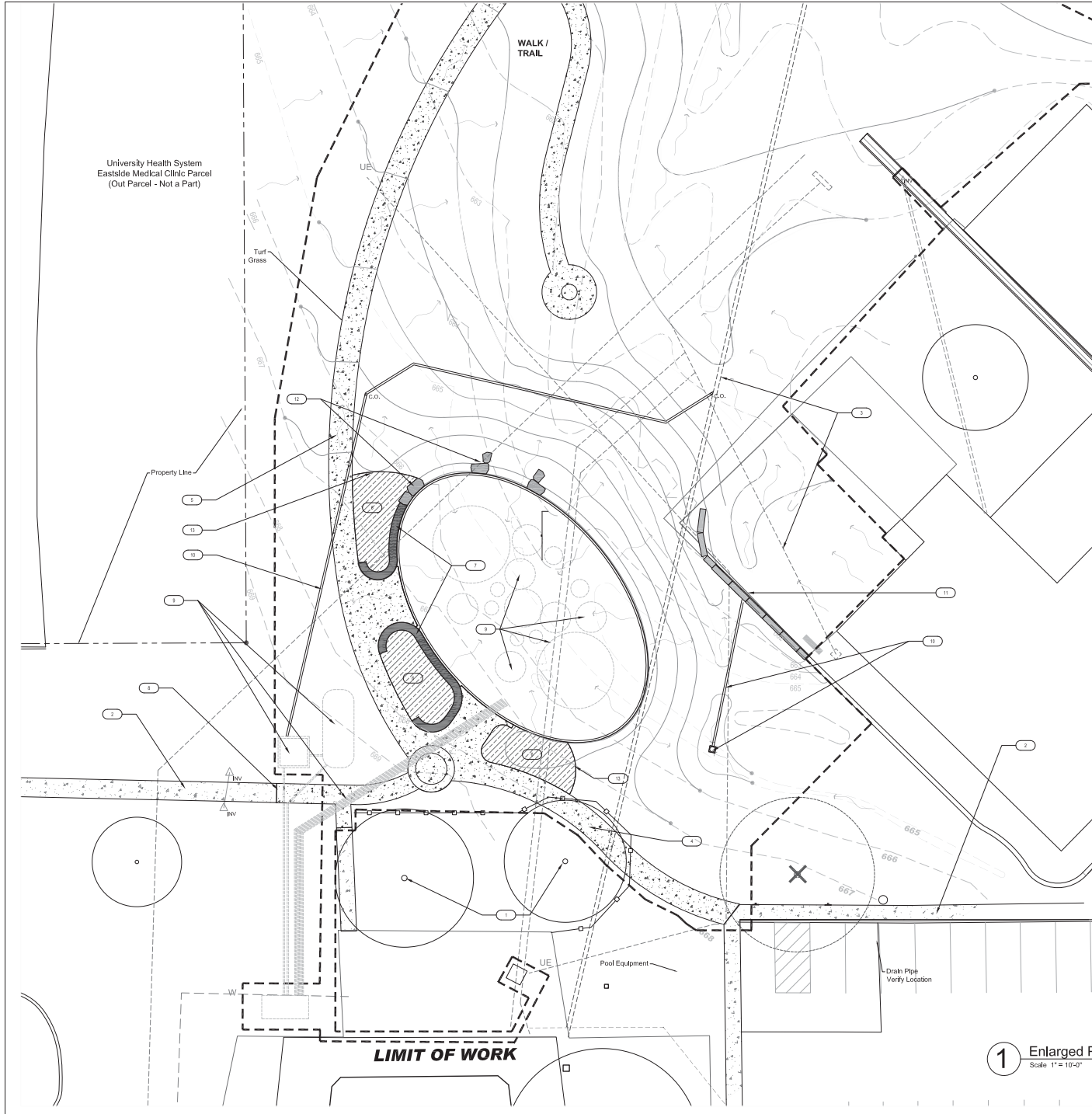


SHEET TITLE & NO.  
Site Materials  
Plan

**L3-00**



Date: Oct 27, 2017, 3:18pm User ID: LARRYCLARK  
Plan #: 2017 PROJECTS Lincoln Park Phase I Workfile: 2017-10-27-LINCOLN PARK CDE R54-Southern Section.dwg



**MATERIALS LEGEND**

- CONCRETE PAVING
- LIMESTONE BOULDERS
- DRY STACK BOULDER WALL
- PLANTING AREA
- CHOPPED STONE "SAWTOOTH CURB" AT CROSSING
- CHOPPED STONE FLAGSTONE AT CROSSING

**SITE MATERIALS REFERENCE NOTES**

- 1 EXISTING TREES TO REMAIN (TYP.)
- 2 EXISTING PAVING TO REMAIN. DO NOT DISTURB.
- 3 EXISTING UTILITY FEATURE TO REMAIN. DO NOT DISTURB.
- 4 PROPOSED PAVING SHALL MINIMIZE DISTURBANCE TO EXISTING TREES & ROOT SYSTEMS.
- 5 NEW CONCRETE WALKS.
- 6 PREPARED PLANTING SOIL & MULCH.
- 7 BOARD FORMED CONCRETE SEATWALL. REFER TO DETAIL PLANS, SECTIONS AND ELEVATIONS
- 8 TIE NEW PAVING TO EXISTING PAVING EDGE PER DETAILS.
- 9 SPLASH PAD ELEMENTS (BY OTHERS)
- 10 NEW DRAINS, PIPING AND CLEANOUTS
- 11 DRY STACKED LIMESTONE BLOCK WALL
- 12 LIMESTONE BOULDERS
- 13 METAL EDGER

Asphalt Parking

5 0 10 20 Feet

North

**1 Enlarged Plan: Lincoln Park Splash Garden**  
Scale 1" = 10'-0"

**ISSUE DATE**

No.	Date	Issue Description
1	2017-02-21	Issued for construction
2	2017-02-21	Landscape Wall Detail

**Lincoln Park  
Site Improvements**  
2015 East Commerce Street  
San Antonio, Texas 78202  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Tel: 210-207-0466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
430 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215

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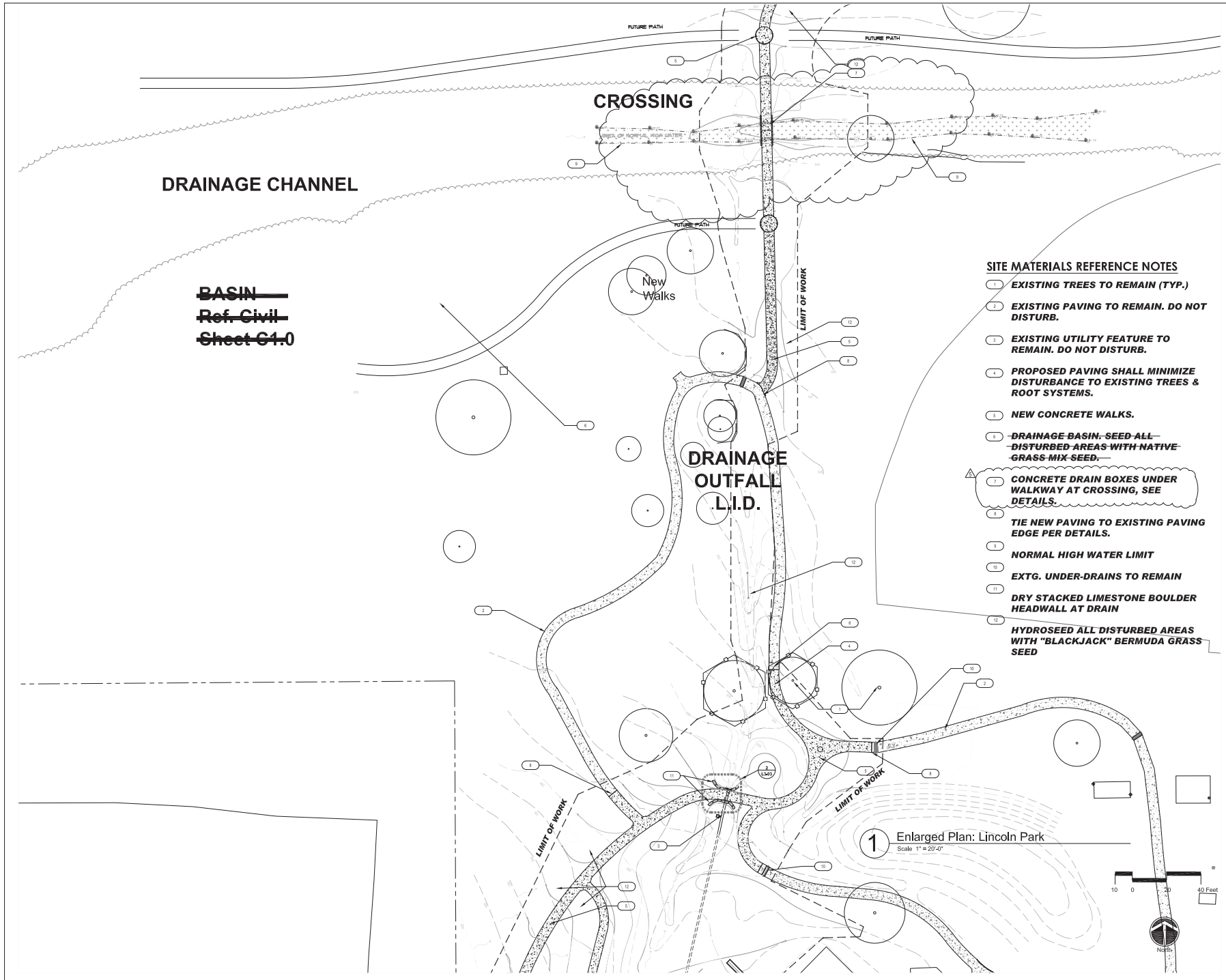
SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
10535 Hockley Rd  
Boling, TX 77738  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE  
LAWRENCE C. CLARK  
1211  
2017-06-21

**SHEET TITLE & NO.**  
Enlarged Site  
Materials Plan:  
Splash Garden  
**L3-01**



Date: Oct 27, 2017, 3:18pm User ID: LARRYCLARK  
Plan #: 2017 PROJECTS Lincoln Park Phase I Workfile: 2017-10-27-LINCOLN PARK CD- R54-Southern Section.dwg



#### SITE MATERIALS REFERENCE NOTES

- 1 EXISTING TREES TO REMAIN (TYP.)
- 2 EXISTING PAVING TO REMAIN. DO NOT DISTURB.
- 3 EXISTING UTILITY FEATURE TO REMAIN. DO NOT DISTURB.
- 4 PROPOSED PAVING SHALL MINIMIZE DISTURBANCE TO EXISTING TREES & ROOT SYSTEMS.
- 5 NEW CONCRETE WALKS.
- 6 DRAINAGE BASIN. SEED ALL DISTURBED AREAS WITH NATIVE GRASS MIX SEED.
- 7 CONCRETE DRAIN BOXES UNDER WALKWAY AT CROSSING, SEE DETAILS.
- 8 TIE NEW PAVING TO EXISTING PAVING EDGE PER DETAILS.
- 9 NORMAL HIGH WATER LIMIT
- 10 EXTG. UNDER-DRAINS TO REMAIN
- 11 DRY STACKED LIMESTONE BOULDER HEADWALL AT DRAIN
- 12 HYDROSEED ALL DISTURBED AREAS WITH "BLACKJACK" BERMUDA GRASS SEED

1 Enlarged Plan: Lincoln Park  
Scale 1" = 20'-0"

#### ISSUE DATE

No.	Date	Issue Description
1	2017-02-21	Issued for construction
2	2017-02-22	Construction Details
3	2017-02-23	Reference Notes
4	2017-02-23	Details Basin
5	2017-02-23	Construction Details

### Lincoln Park Site Improvements

2015 East Commerce Street  
San Antonio, Texas 78202  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Phone: 210-207-4466  
Fax: 210-207-4466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
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COMMERCIAL PLAYGROUNDS  
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Spring, TX 77388  
281-353-9599

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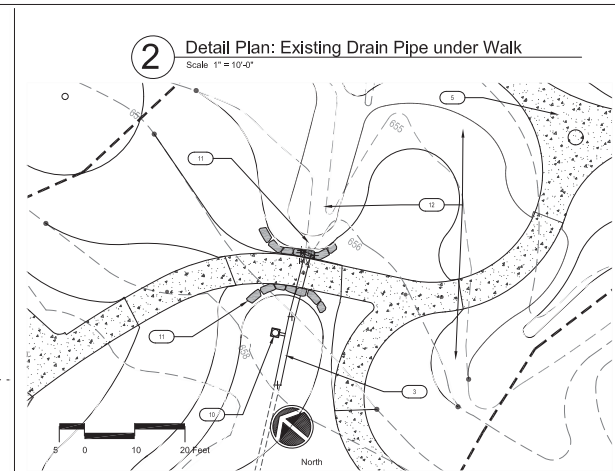
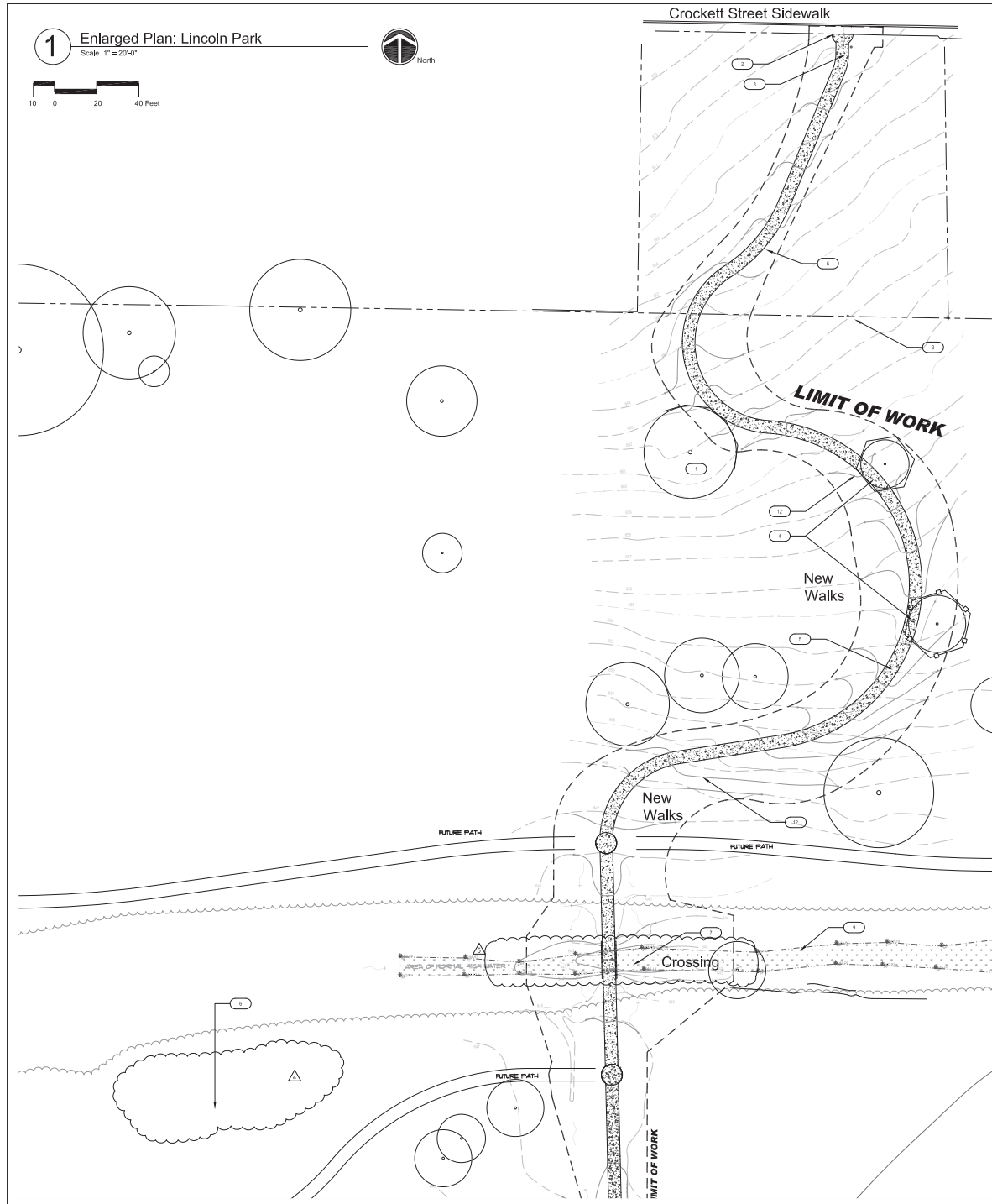


SHEET TITLE & NO.

Enlarged Plan:  
Walks and  
Crossing Area

**L3-02**





12 **HYDROSEED ALL DISTURBED AREAS  
WITH "BLACKJACK" BERMUDA GRASS  
SEED**

ISSUE DATE		
No.	Date	Issue Description
1	2017-9-21	Issued for Construction
3	2017-9-29	Sheet Extents, Reference Notes
4	2017-10-20	Delete Basin
5	2017-10-27	Crossing Concrete Details

**OWNER**  
**San Antonio, Texas 78202**  
**City of San Antonio, TCI**  
**Contact: Mr. Pat Schneider**  
**Project Manager**  
**Tel: 210-207-8466**

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
830 N. ALAMO ST.  
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ELECTRICAL ENGINEER  
HM3 ENGINEERING  
902 North Flores  
San Antonio TX 78212  
(210) 393-1840

**SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS**  
19535 Hauke Rd  
Spring, TX 77388  
281-353-9599

LANDSCAPE ARCHITECTS' LICENSURE

LAWRENCE C. CLARK



SHEET TITLE & NO.:	
--------------------	--

### Enlarged Plans: North Walks and Drain Headwall

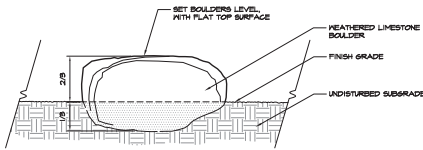
## L3-03



Date: Oct 27, 2017, 3:18pm User: LD: LARRYCLARK  
Plan: 8/2017 PROJECTS/Lincoln Park Phase I/Workfile:2017-10-27-LINCOLN PARK CDS R54-Southern Section.dwg

## 1 Detail Section: Landscape Boulder

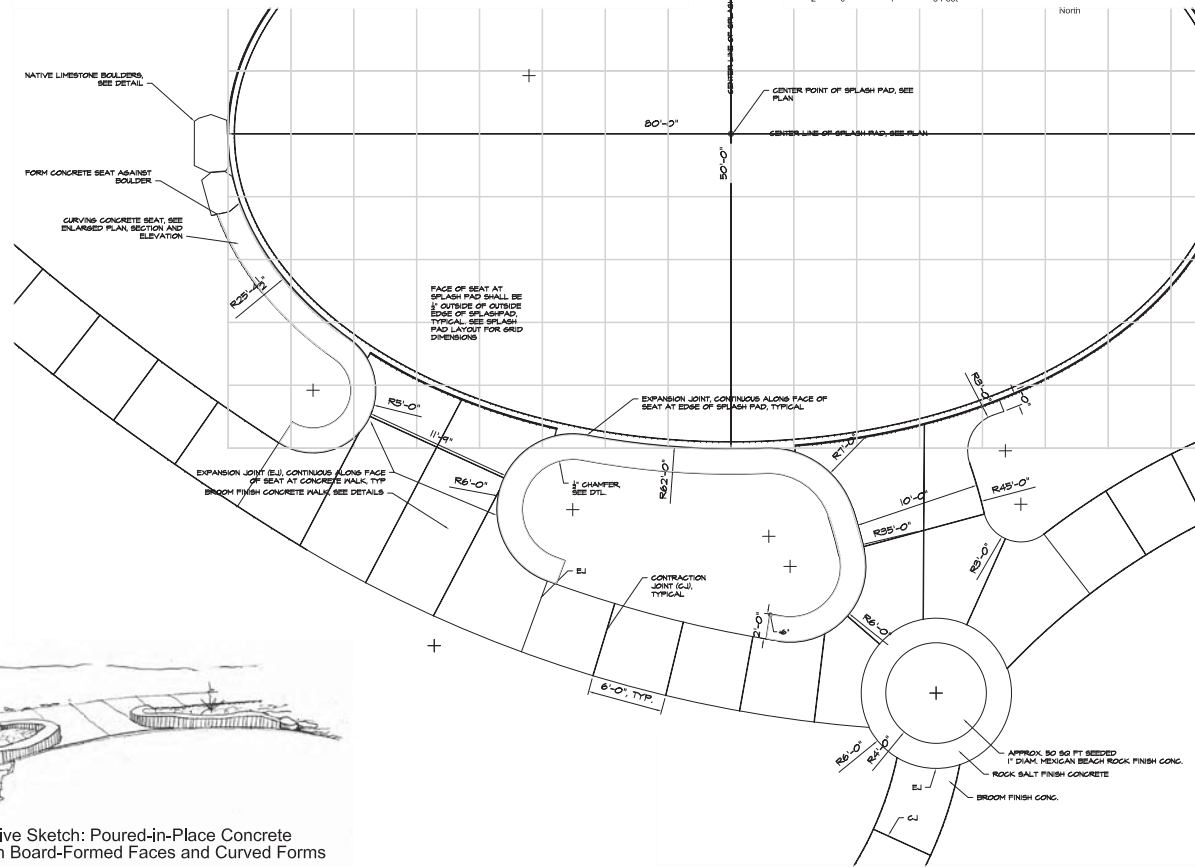
Scale 1" = 1'-0"



- NOTE:
1. ALL FINAL BOULDER LOCATIONS SHALL BE FIELD APPROVED BY THE LANDSCAPE ARCHITECT.
  2. PROTECT BOULDERS FROM SCARRING DURING TRANSPORT AND PLACEMENT ON SITE.
  3. BOULDERS SHALL BE ROCKSPRINGS FLAT FIELD COLLECTED FROM SAN JACINTO MATERIALS (210-784-0924) OR SIMILAR SUCH AS LOCAL LIMESTONE FROM KELLER MATERIAL, INC. (214-848-4220). SIZES SHALL RANGE FROM 2' WIDE X 8' LONG X 2' HT. TO 2'-6" WIDE X 4' LONG X 2' HT.
  4. SUBMIT PHOTOGRAPHS OF REPRESENTATIVE SAMPLE BOULDERS TO LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

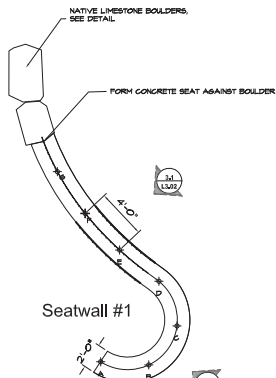
## 2 Layout Plans: Hardscape & Seatwalls at Splash Pad

Scale 1" = 4'-0"

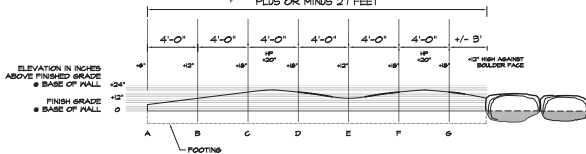


## 3 Detail Profiles / Elevations: Concrete Walls at Splash Pad

Scale 1" = 1'-0"

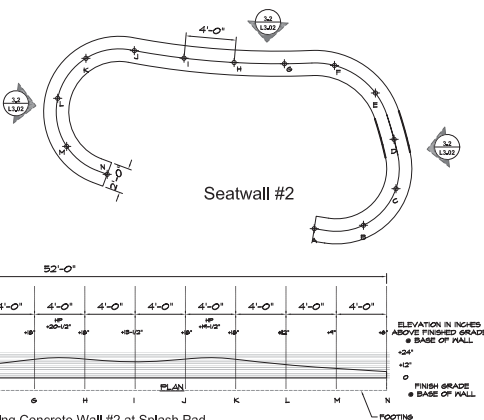


Design Intent / Perspective Sketch: Poured-in-Place Concrete Walls at Splash Pad with Board-Formed Faces and Curved Forms



### 3.1 Profile- Curving Concrete Wall #1 at Splash Pad

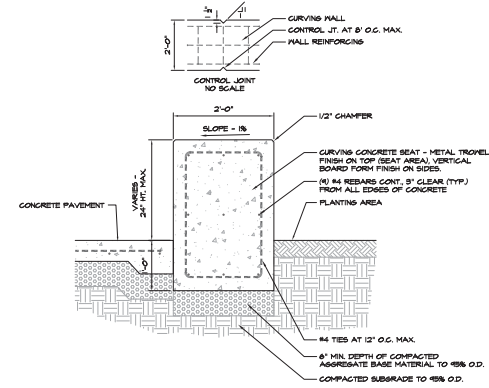
- NOTES:
1. CONTRACTOR SHALL PROVIDE AN 8 FT. MIN. SECTION OF WALL FOR APPROVAL BEFORE CONTINUING WORK.
  2. ALL WALLS SHALL HAVE CONTROL JOINTS AT 8 FT. O.C. MAX.



### 3.2 Profile- Curving Concrete Wall #2 at Splash Pad

## 4 Detail Section: Seatwalls at Splash Pad

Scale 1" = 1'-0"



ISSUE DATE		
No.	Date	Issue Description
1	2017-02-21	Issued for construction

**Lincoln Park  
Site Improvements**

2015 East Commerce Street  
San Antonio, Texas 78202

OWNER  
City of San Antonio, TC1  
Contact: Mr. Pat Schneider  
Email: pschneider@sa.gov  
Tel: 210-207-3466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
BENDER WELLS CLARK DESIGN  
430 N. ALAMO ST.  
SAN ANTONIO, TEXAS 78215

**BENDER WELLS CLARK DESIGN**  
Landscape Architecture  
Urban Design  
Planning

832 North Alamo Street  
San Antonio, Texas 78215  
210-402-6221  
www.bendesign.com

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San Antonio, Texas 78231  
(210) 681-2951

ELECTRICAL ENGINEER  
HMS ENGINEERING  
502 North Flores  
San Antonio, TX 78212  
(210) 303-1840

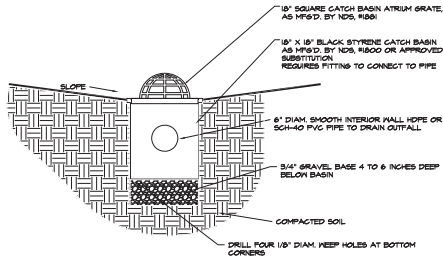
SPLASH PAD  
KRAFTSMAN  
COMMERCIAL PLAYGROUNDS  
10535 Hacienda Rd  
Borley, TX 77388  
281-353-9599

LANDSCAPE ARCHITECT'S LICENSE  
LAWRENCE G. CLARK  
LICENSED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
1211  
2017-04-21

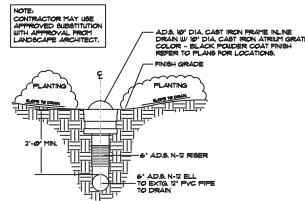
SHEET TITLE & NO.:  
**Details & Plans:  
Hardscape at  
Splash Pad  
L4-00**



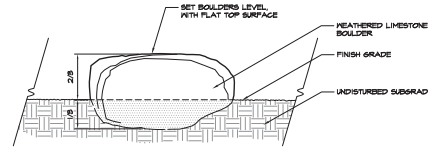
# 1 Detail Section: Landscape Drain- Catch Basin Scale 1" = 1'-0"



# 2 Detail Section: Landscape Drain- Catch Basin Scale 1" = 1'-0"

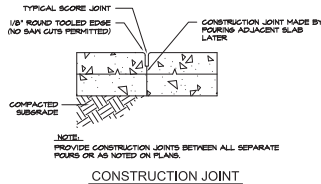
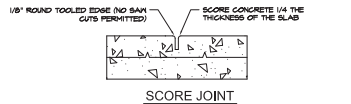
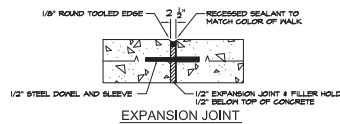


# 3 Detail Section: Landscape Boulder Scale 1" = 1'-0"

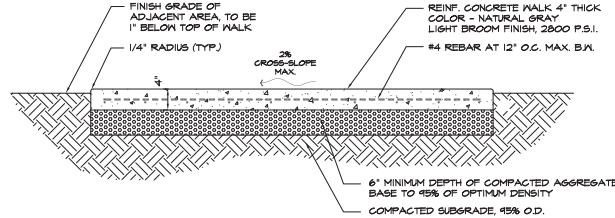


1. ALL FINAL BOULDER LOCATIONS SHALL BE FIELD APPROVED BY THE LANDSCAPE ARCHITECT.
2. PROTECT BOULDERS FROM SCARRING DURING TRANSPORT AND PLACEMENT ON SITE.
3. BOULDERS SHALL BE ROCKSPRINGS PLAT FIELD COLLECTED FROM SAN JAGUATO MATERIALS (210-138-0924) OR SIMILAR SUCH AS LOCAL Limestone FROM BELLSHORE (210-444-4422). SIZES SHALL RANGE FROM 2' WIDE X 3' LONG X 2' HT. TO 2'-6" WIDE X 4' LONG X 2' HT.
4. SUBMIT PHOTOGRAPHS OF REPRESENTATIVE SAMPLE BOULDERS TO LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

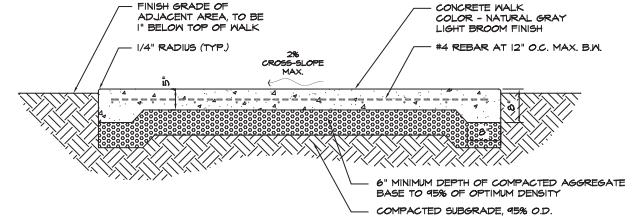
# 4 Detail Sections: Paving Joints Scale 1" = 1'-0"



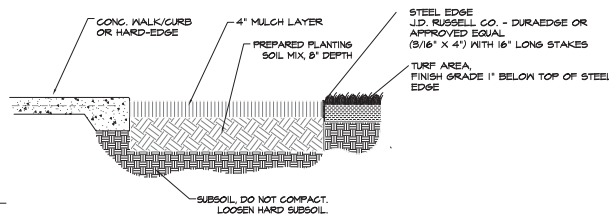
# 5 Detail Sections: Typical Concrete Walk Scale 1" = 1'-0"



# 6 Detail Sections: Concrete Walk with Thickened Edge Scale 1" = 1'-0"

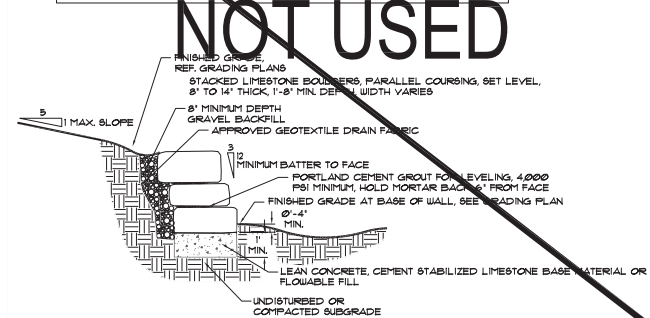


# 7 Section: Planting Bed and Metal Edger Not to Scale

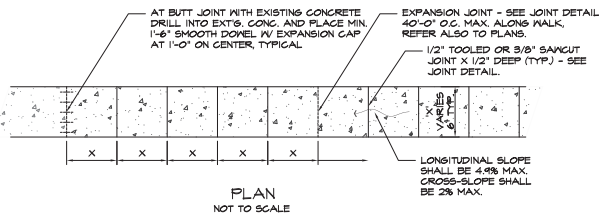


# 8 Section: Landscape Wall: Dry Stacked Limestone Boulders Scale 1/2" = 1'-0"

GEOTEXTILE SHALL BE MANUFACTURED BY: ANOCO FABRICS AND FIBERS COMPANY OR APPROVED EQUAL.	
NOTE: GEOTEXTILE SHALL BE PLACED AS A PERMEABLE SEPARATOR TO PREVENT MIXING OF SUBGRADE WITH BASE COURSE MATERIALS. MINIMUM PHYSICAL PROPERTIES SHALL BE AS FOLLOWS:	
GRAB STRENGTH	210 / 180 LBS.
PUNCTURE STRENGTH	100 / 75 LBS.
TRIAXIAL TENSILE STRENGTH	100 / 75 LBS.
UV DEGRADATION	10% STRENGTH RETAINED
PERMEABILITY	K <sub>trans</sub> ≤ 10 <sup>-10</sup> cm/s
APPROVED OPENING SIZE	50% SOIL PASSING NO. 200 SIEVE AOS ≤ 0.6mm
	50% SOIL PASSING NO. 200 SIEVE AOS ≤ 0.3mm



# 9 Detail Plan: Paving Joints and Typical Scoring Not to Scale



**Lincoln Park  
Site Improvements**

2015 East Commerce Street  
San Antonio, Texas 78202

OWNER  
City of San Antonio, TC1

CONTACT  
Contact: Mr. Pat Schneider  
Phone: 210-207-4466  
Fax: 210-207-4466

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
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LANDSCAPE ARCHITECT'S LICENSE  
LAWRENCE G. CLARK  
LICENSE NO. 1211  
EXPIRATION DATE 12/31/2016

SHEET TITLE & NO. 1  
**Details**  
**L4-01**