

HISTORIC AND DESIGN REVIEW COMMISSION

December 06, 2017

HDRC CASE NO: 2017-601
ADDRESS: 111 DALLAS ST
LEGAL DESCRIPTION: NCB 799 BLK 17 LOT 1 THRU 4
ZONING: D,HS
CITY COUNCIL DIST.: 1
LANDMARK: Baptist Memorial Hospital, School of Nursing
APPLICANT: Jonathan Nee/Robins and Morton
OWNER: VHS San Antonio Partners LP
TYPE OF WORK: Entry modifications, installation of new canopy structures
APPLICATION RECEIVED: November 8, 2017
60-DAY REVIEW: January 7, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace and extend a vestibule at the Dallas St entrance.
2. Modify the existing staircase and install a new accessible ramp at the Dallas St entrance.
3. Modify the existing staircase and install a new accessible ramp at the Seymour St entrance.
4. Install new canopy structures at the Seymour St entrance.
5. Modify the existing hardscaping and landscaping at the Seymour St entrance to accommodate entry modifications and new wheelchair ramps.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

- i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).
- iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
- iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
- v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.
- vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

FINDINGS:

- a. The structure located at 111 Dallas St is a 6-story brick and cast stone commercial building constructed in phases from 1950 - 1986. The property is part of the Baptist Memorial Hospital complex, which is a local landmark, designated on October 27, 1988. The applicant is requesting approval to modify existing entrances at Dallas St and Seymour St
- b. **SIGNIFICANCE** – This property the location of the original site of the Physicians’ and Surgeons’ Hospital, which housed one of the first nursing schools in the city, established in 1914. The hospital merged with an adjacent hospital and nursing school in the 1940s. The oldest remaining portion of the complex is at the southeast wing, which fronts Dallas St, constructed in 1950. This structure appears on the 1951 Sanborn Map in its current configuration. The complex was expanded several times in the 1960s and 1970s, and by 1986, all four existing wings were in place. This complex represents the growth and expansion of healthcare and education in San Antonio.
- c. **DALLAS ST ALTERATIONS** – The applicant has proposed to replace an existing vestibule at the Dallas St entrance. The proposal will extend the vestibule canopy footprint to the northwest to accommodate a new accessible ramp. The canopy height will remain the same. Brick veneer columns to match the existing columns supporting the garage walkway will be installed near the entrance, along with new metal panel columns, new painted metal handrails, and a new aluminum curtain wall system. The primary pedestrian stair entrance will be relocated for access from the southeast versus directly off Dallas St. Aluminum storefront windows will infill the existing location of the stairway. In addition to the removal of the metal canopy and brick staircase, the existing cast stone columns and base will be removed to make these modifications. According to the Historic Design Guidelines, existing historic canopies should be preserved. This wing of the complex is the oldest remaining as noted in finding b. A newspaper article from 1952 shows the front façade of the structure with the existing canopy in its current configuration, which matches the footprint in the 1951 Sanborn Map. This canopy is a character defining feature of the historic structure. Staff does not find its removal consistent with the Guidelines.
- d. **SEYMOUR ST ALTERATIONS** – The applicant has proposed to modify an ancillary entrance on Seymour St, located on the far northwest of the façade. The entrance currently features a staircase and handrail leading up to a metal double door with transom. The applicant has proposed to remove the stairs and install a new staircase and landing that extends towards Seymour St. The proposal also includes a new rubbed concrete accessible ramp to the southwest, new painted metal handrail, a prefabricated aluminum canopy, new composite metal columns, and a new composite metal canopy. A new aluminum curtain wall system will be installed on the existing façade to the southwest of the existing double doors. Part of an existing sidewalk will be removed to accommodate the new stairway location. Additional sidewalk modifications will be made to the south to integrate wheelchair ramps. According to the Historic Design Guidelines, new façade elements should not alter or destroy the historic building character. This entrance is secondary and the proposal does not affect character defining features of the façade. Staff finds the proposal acceptable.

RECOMMENDATION:

Items 1 and 2, Staff does not recommend approval at this time based on findings a through c. Staff finds that adding an

accessible ramp and entrance vestibule is appropriate, but finds that the existing canopy structure is a character defining feature of the oldest portion of the complex and should be preserved. Staff recommends that the applicant propose a solution that retains this element.

Items 3, 4, and 5, Staff recommends approval as submitted based on finding d.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Nov 17, 2017

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Dallas St

Valet
Parking
↑

BAPTIST
MEDICAL CENTER
Please park on this side,
We are installing a new roof and
are preparing for the installation
of a new handicap-accessible entrance.





NO
PARKING
ANYTIME
TOW AWAY ZONE
←→

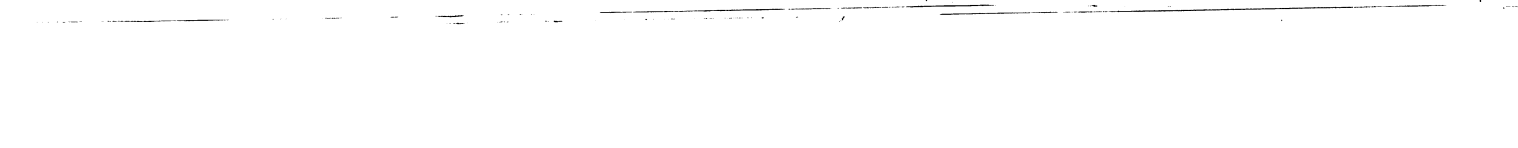
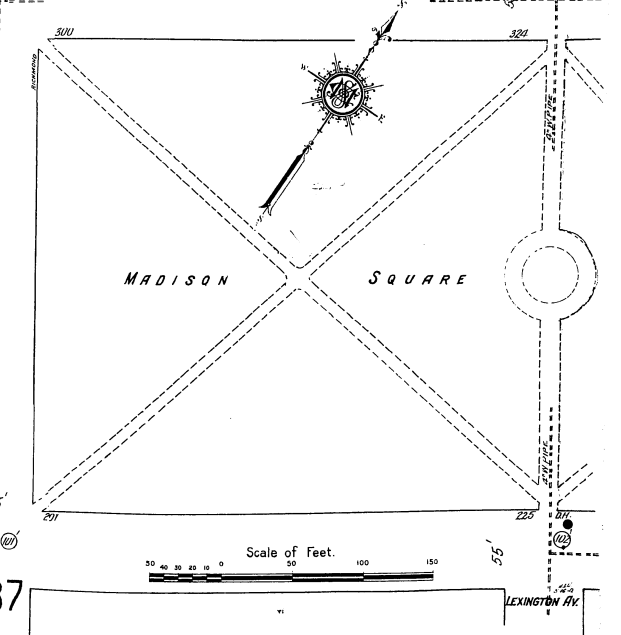
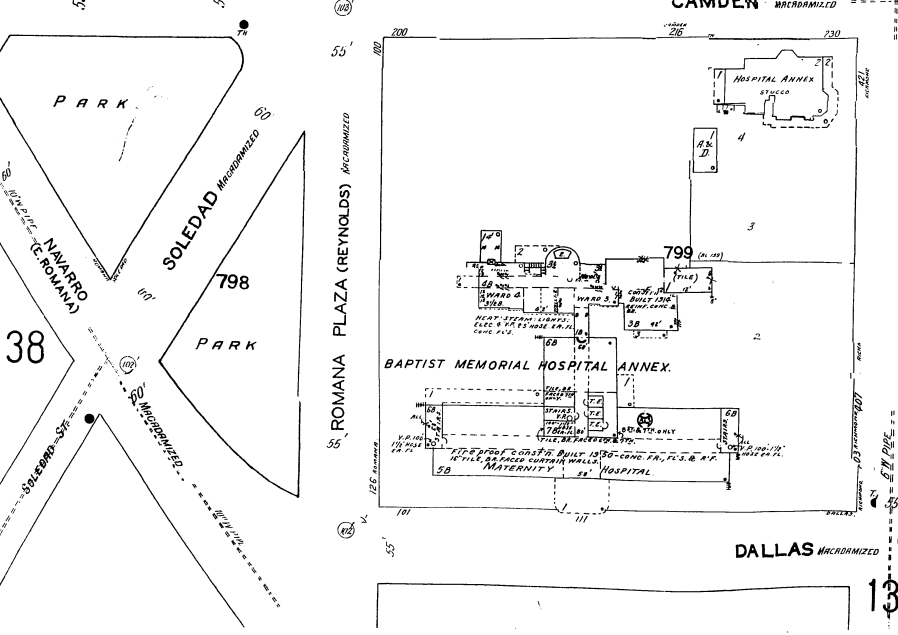
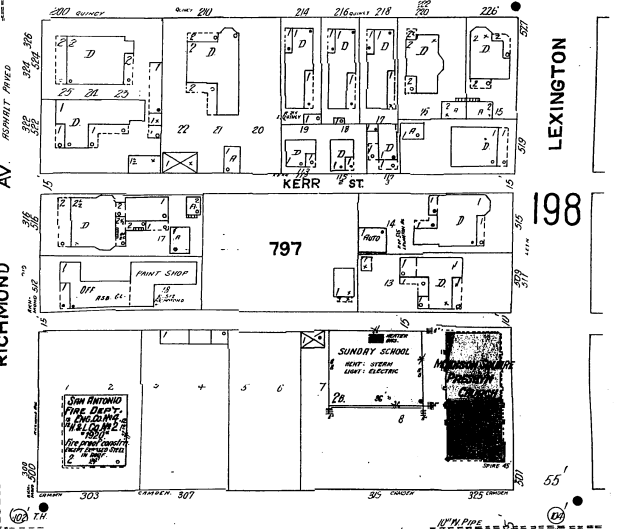
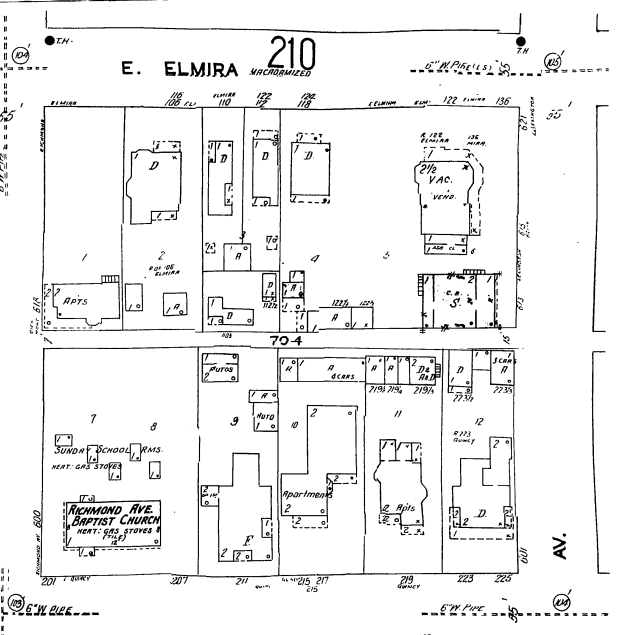
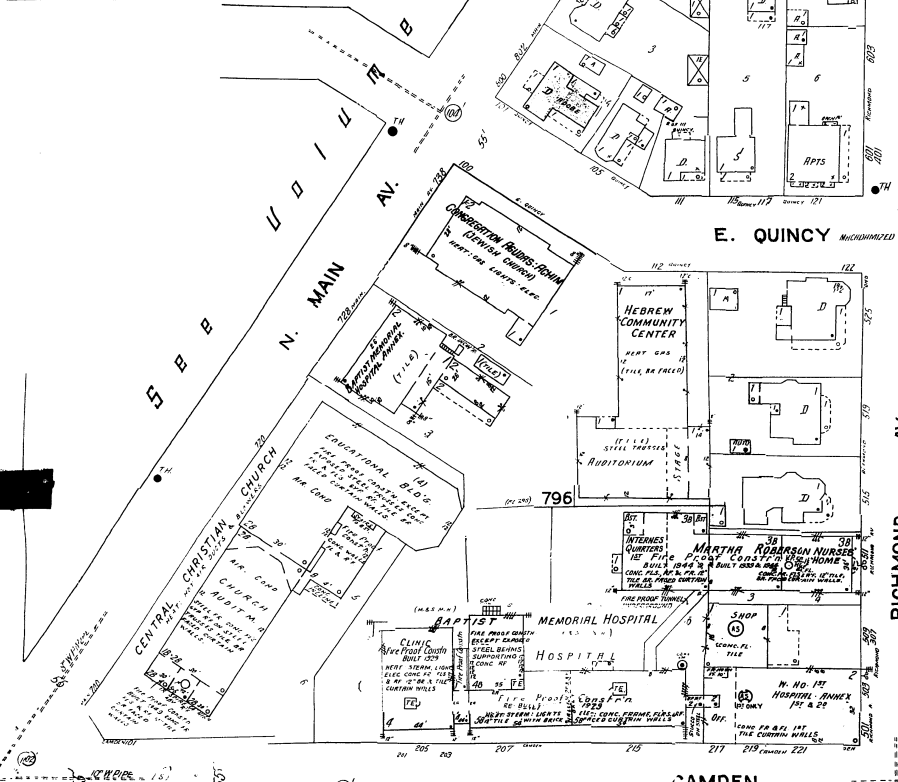
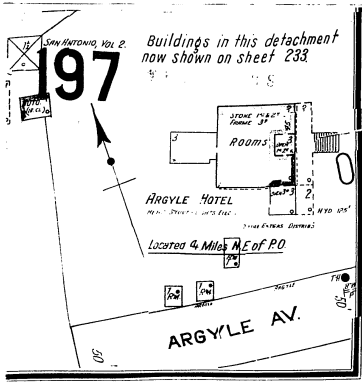
BAPTIST
MEDICAL CENTER
111 DALLAS

Dallas

MEDICAL CENTER







Baptist Memorial Hospital's Nursing School Graduates 477

For the past 25 years the Baptist Memorial Hospital School of Nursing has contributed to the health needs of San Antonio and the surrounding community by its education program for nurses and doctors. Since 1927 the school of nursing has offered a three-year diploma course to high school graduates. More than 477 graduate nurses from the school are serving the need of the country. The school was first organized as the Medical and Surgical Memorial Hospital School of Nursing. In 1945 it expanded by merging with the Physicians and Surgeons Hospital School of Nursing. In 1948 the trustees of the Medical and Surgical Hospital transferred all its properties to the Baptist Denomination and is now under the sponsorship of Baptist General Convention of Texas.

A new \$1 1/2 million maternity and medical unit was completed in September, 1951. It is the Southwest's newest and most modern hospital. This completely air-conditioned five-story building is equipped with the latest designed equipment in the nurseries, maternity unit and service areas as well as patient rooms.

FEW AMONG the thousands of young women in search of "first jobs" will find a career in which their help is more truly wanted or the opportunities more real than in nursing profession.

The student nurse not only receives the finest education, she also has the deep satisfaction of knowing that she will be serving humanity, winning a place of honor in people's hearts and helping to ease suffering and replace sickness with health wherever she goes.

Today many opportunities are open for graduate nurses in hospitals, public health, schools, industry, airlines, private duty, research, teaching, and other fields, all leading to rewarding careers of service.

The hospital is approved by the American Hospital Assn., the American College of Surgeons, and is an affiliated unit of the Graduate School of Baylor University. It is affiliated with Trinity University, where the students receive college credit for their biological and social science courses as well as their medical and nursing subjects. Students also receive a twelve weeks affiliation in psychiatry at the San Antonio State Hospital.

A MODEST TUITION covers such items as books, courses at Trinity University, uniforms, and incidentals. Scholarships are available for those who need financial assistance. Room, board, and laundry are provided by the hospital in return for what might be termed a working scholarship.

THE SCHOOL OF NURSING has received temporary accreditation from the National Accrediting Assn. and is approved by the Board of Nurse Examiners for the State of Texas.

The Baptist Memorial Hospital has a capacity of 300 beds. It is a general hospital with Medical, Surgical, Pediatric, Obstetrical Departments, as well as an Out-Patient Department, Pathological, Dietetic and X-Ray Departments.

The prospects for Graduate Nurses today are excellent. There has been a severe shortage of registered nurses everywhere in the United States since before World War II.

Advancement in the nursing profession is rapid but depends on experience and advanced training in specialties like pediatrics or obstetrics or surgery.

The standards of nursing and health care have advanced, until nursing has today received real acceptance for itself as a profession.

The purpose of the School of Nursing is to select cultured young

women of Christian character, integrated personality, and a desire to be of service to humanity as a professional nurse; to help them develop an aptitude for nursing by preparing them to give the best nursing service of which they are capable in the field of general nursing in an evolving democratic society while achieving a maximum of self-realization. To direct the student toward a thorough understanding of the basic principles underlying the art and science of good nursing, to give them a background of scientific knowledge and the clinical experience necessary to develop an understanding of both the mental and physical illness of man; to develop an appreciation of the student's responsibility to the individual, the family, and the community for the restoration and maintenance of health; to promote the fullest development of the mental, physical, spiritual, moral, professional, and cultural qualities of each student.

Boxing Taught At School Here

Scientific teaching in the art of self-defense is offered by an experienced teacher, Willard Brown, at his Physical Education School, 224 W. Craig Place.

Because of the large, soft boxing gloves that are used, the boys learn this science without acquiring bloody noses in the process. The knowledge they gain here will be valuable to them both in defending themselves and as a healthful hobby for later years.



SUMMER STUDENTS at Our Lady of Victory Boarding School, 202 S. Grimes St., are a happy lot, as anyone can see from this recent group picture. A much larger enrollment of boarding pupils is expected in the fall term, when a limited number of day students also will be accepted.

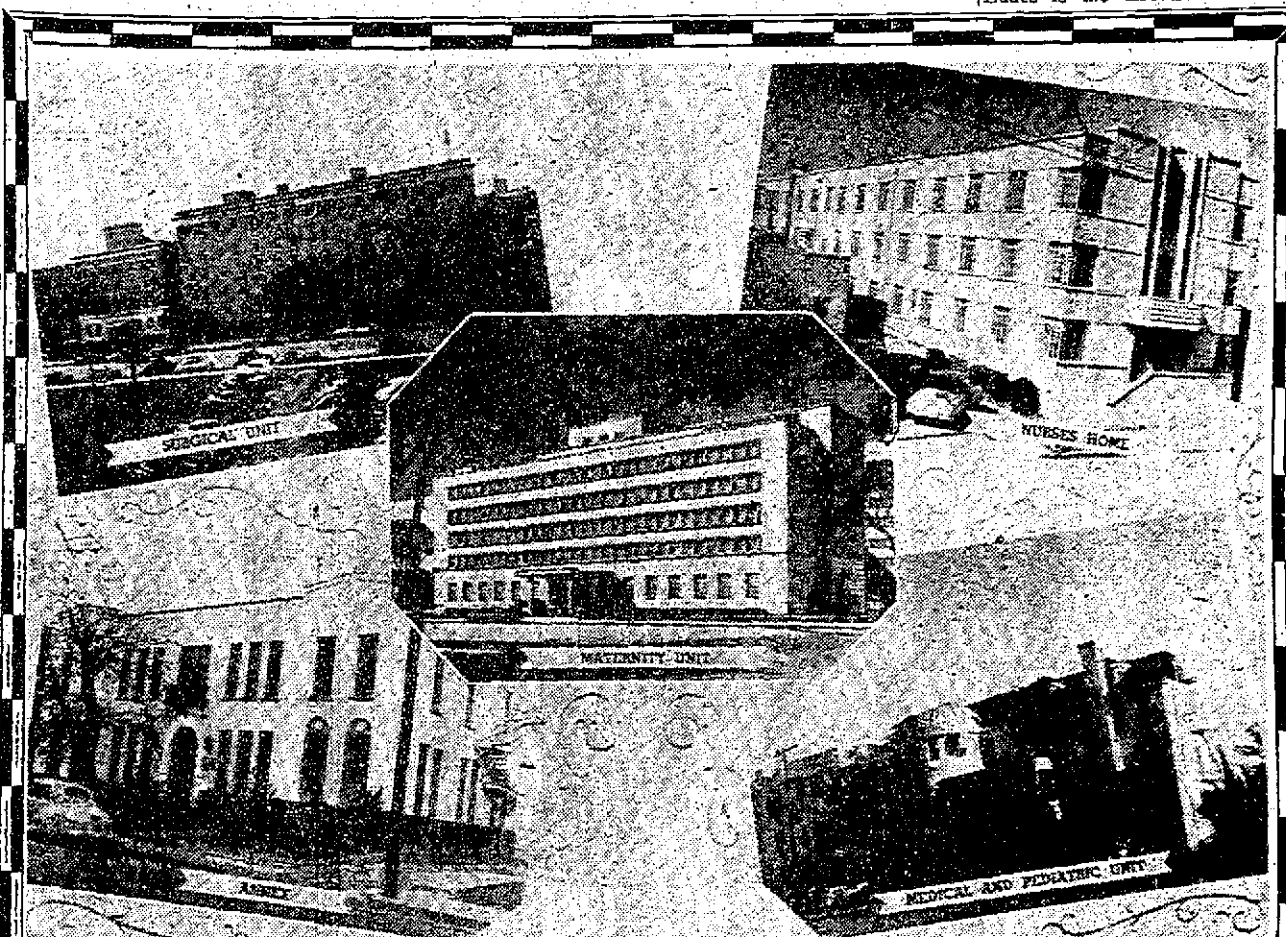
Lady of Victory Plans Service To Day Pupils

Our Lady of Victory Boarding School, 202 S. Grimes St., San Antonio, conducted by the Sisters of Our Lady of Charity, has announced that a limited number of day pupils will be admitted for the fall session.

Opening in September, 1951, in response to numerous urgent requests, the school has expanded to accommodate an increased enrollment. The school building is a modern structure completed in 1951 and the residence hall has been remodeled.

The educational program comprises standard grade and high school courses with individual and class instructions in the fine arts, as well as in home and business training. Physical well-being and health are promoted through organized recreation and leisure time activities. Boarding students are accepted at any time throughout the entire year. Mother Mary Eudes is the directress.

EXPRESS-NEWS WANT ADS, G-2211



ATTRACTIVE GROUP BUILDINGS BAPTIST MEMORIAL HOSPITAL

BAPTIST MEMORIAL HOSPITAL SCHOOL OF NURSING

School of Nursing Receives National Approval for Temporary Accreditation by the National Nursing Accrediting Service

A THIRTY-SIX MONTHS' COURSE IN NURSING IS OFFERED TO GRADUATES OF ACCREDITED HIGH SCHOOLS WHO ARE BETWEEN THE AGE OF 17 AND 35 AND IN GOOD PHYSICAL HEALTH.

Conveniently located in the heart of downtown San Antonio, this school offers unusual opportunities to those who wish to prepare for a nursing career. The Hospital's aim is to provide an institution for research purposes and the training of doctors and nurses so that the health need of the community can be adequately served.

APPROVED BY
Board of Nurse Examiners for the State of Texas
American College of Surgeons
American Medical Association

AFFILIATED WITH
Trinity University
San Antonio State Hospital
Graduate School of Baylor University

And a member of the American Hospital Association.

THE OPPORTUNITIES for nurses are greater than ever before in: institutional positions, public health, veterans administration, the army, navy, industrial nursing, private duty and in many other fields.

REGISTER NOW!!

Classes will begin September 3, 1952

For information write the NURSE ADMINISTRATOR, BAPTIST MEMORIAL HOSPITAL, 215 CAMDEN STREET, SAN ANTONIO, TEXAS, or call: B-34381, extension 210.

ADMINISTRATORS

ALFREDA P. HASSELL
Assistant Hospital Administrator

ARTHUR MOEDE
Hospital Administrator

AMY BURROWS
Nurse Administrator

BAPTIST MEMORIAL HOSPITAL

111 DALLAS

SAN ANTONIO, TEXAS

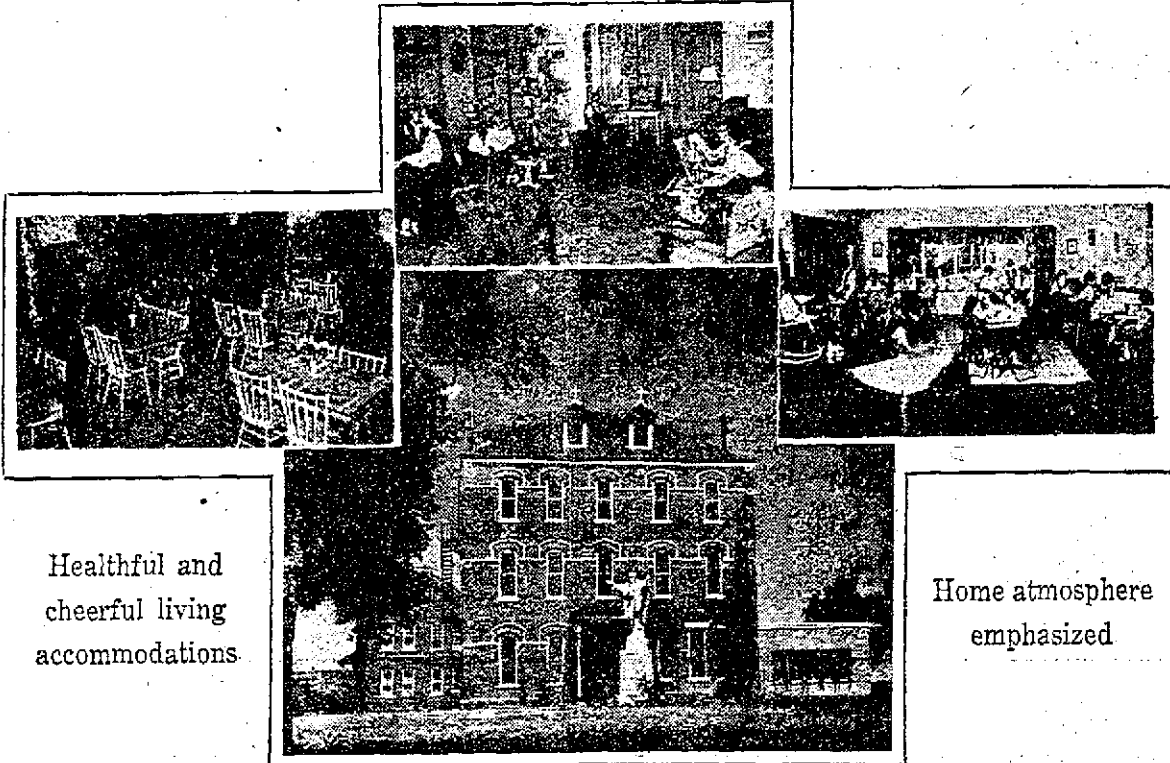
Our Lady of Victory BOARDING SCHOOL FOR GIRLS SAN ANTONIO

(MODERN FIREPROOF BUILDING)

CONDUCTED BY THE SISTERS OF OUR LADY OF CHARITY

BOARDING STUDENTS ACCEPTED AT ANY TIME THROUGHOUT THE ENTIRE YEAR
Special Arrangement for Limited Number of Day Students

STANDARD COURSES CERTIFIED FACULTY
FIRST GRADE THROUGH HIGH SCHOOL



Healthful and cheerful living accommodations

Home atmosphere emphasized

Complete facilities for both liberal and fine arts

Private or class instruction in Voice, Piano, Strings, Art, Dancing
Spacious recreation grounds and equipment; health and physical education.
Weekly educational and feature motion pictures.

Open to girls of all Religious Denominations

Located on Forty Acres of Land in the East End, Four Miles From Business Section of San Antonio, One Block Off 2200 East Commerce Street, Highway 90.

STUDENTS ACCEPTED AT ANY TIME DURING YEAR

Phone, Write or Call THE DIRECTRESS for full detailed information

202 South Grimes Street, San Antonio, Texas

Telephone: Belmont 3-7246 — G-3062

The Baptist Medical Center Dallas Street Entrance include renovations to both the Dallas and Seymour Street entrances. Both entrances will receive a ramp and canopy in order to create a covered more accessible entrance for patients. Dallas Street will also be receiving a new vestibule on the outside of the building envelope.



111 DALLAS STREET | SAN ANTONIO, TX 78205

BAPTIST MEDICAL CENTER

EMERGENCY DEPARTMENT RENOVATION

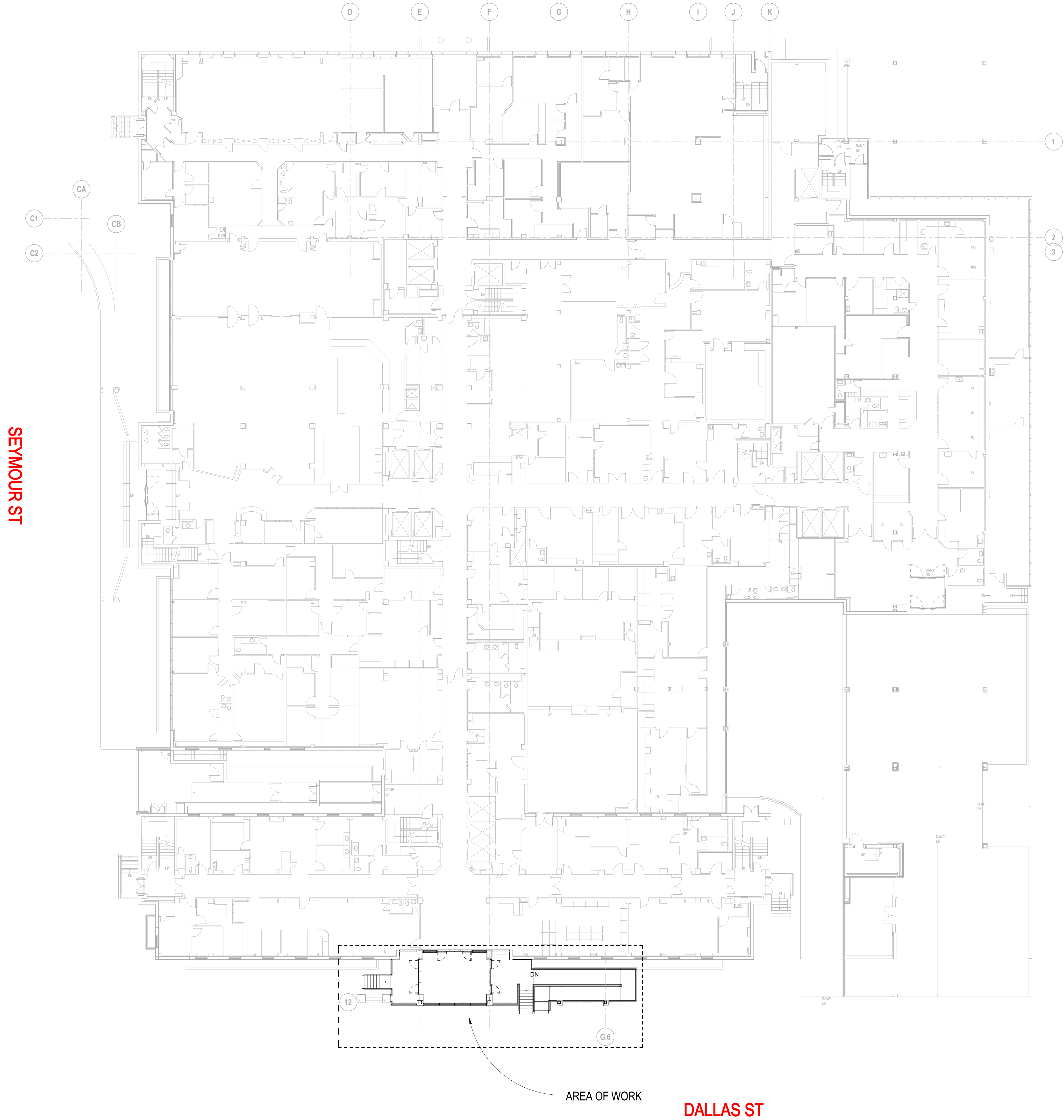
111 DALLAS STREET | SAN ANTONIO, TX 78205

DOCUMENT CHANGES		Date
Description		
Issue Description	DALLAS ST. ERFP	
Original Issue Date	09/20/17	
Subject No	16072.00	
Drawn By	JF	Checked By JMF
Drawing Title		

**FIRST FLOOR
ORIENTATION PLAN -
DALLAS STREET
ENTRANCE**

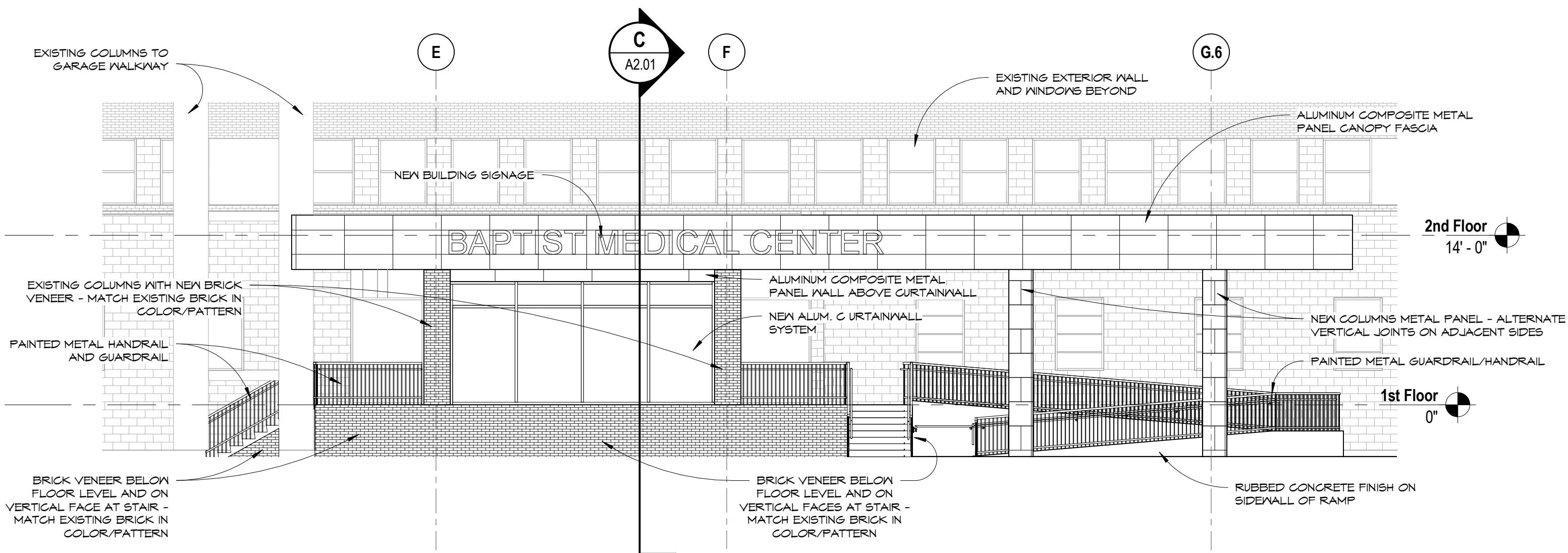
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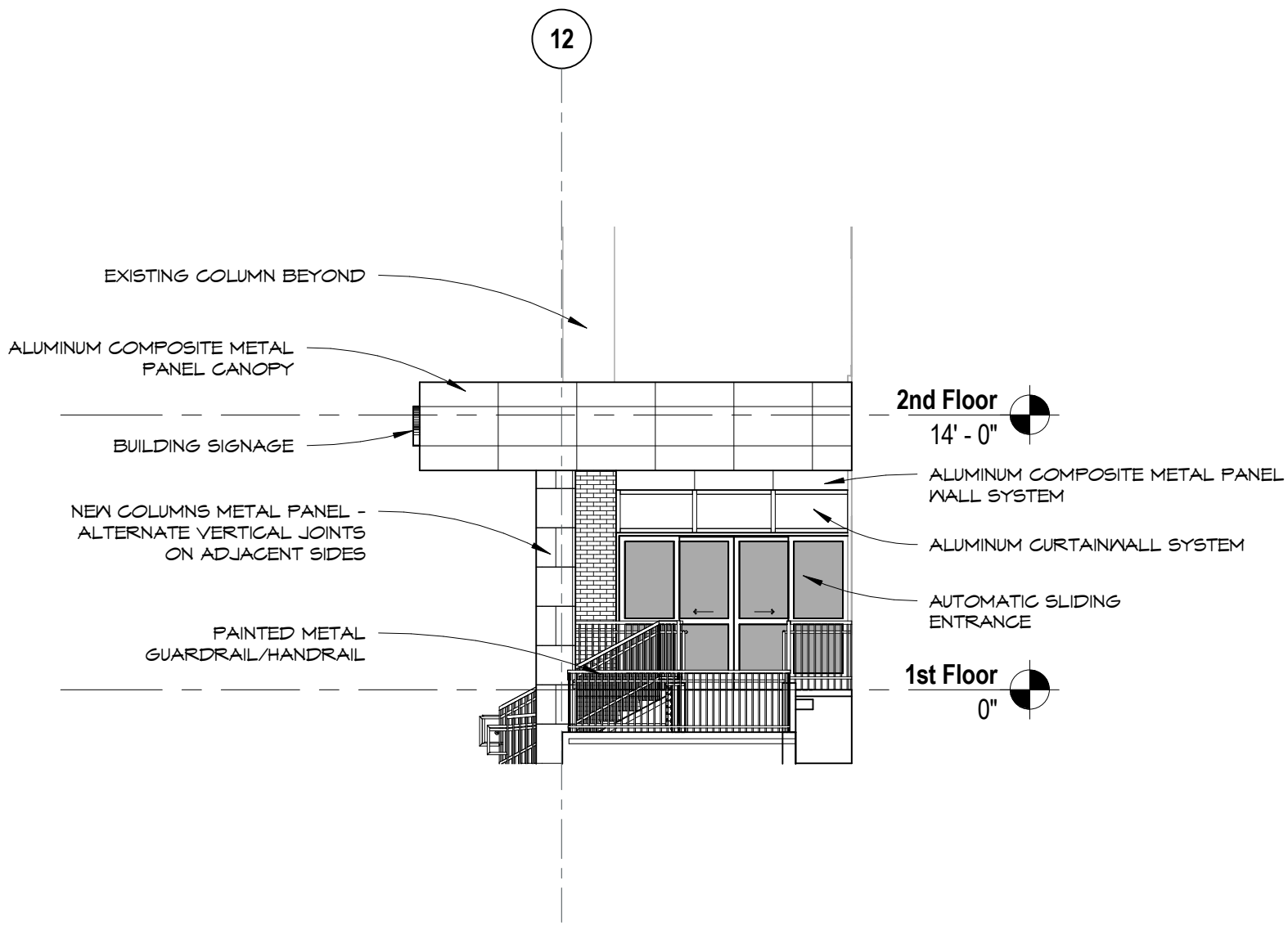


 **1ST FLOOR PLAN - OVERALL**
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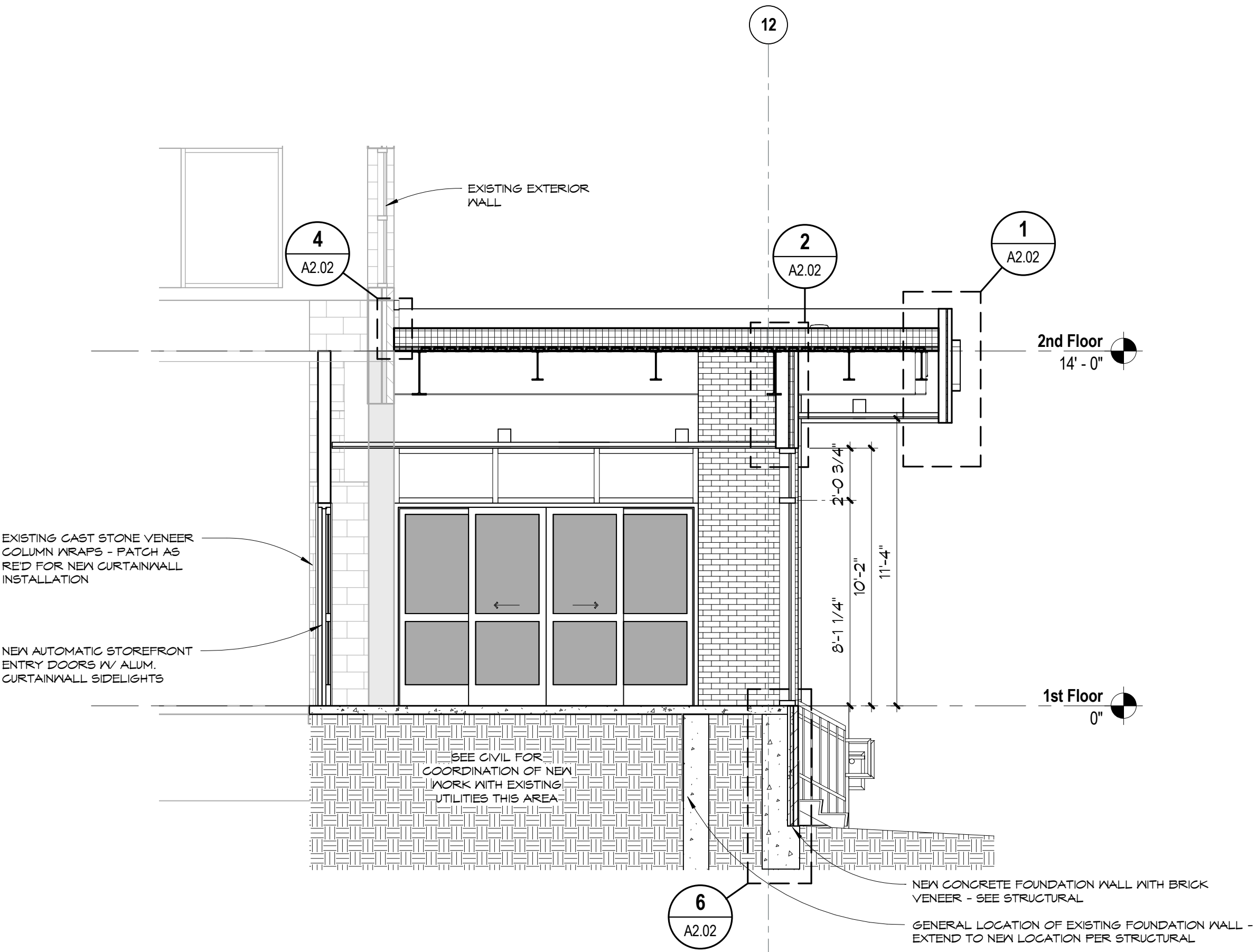
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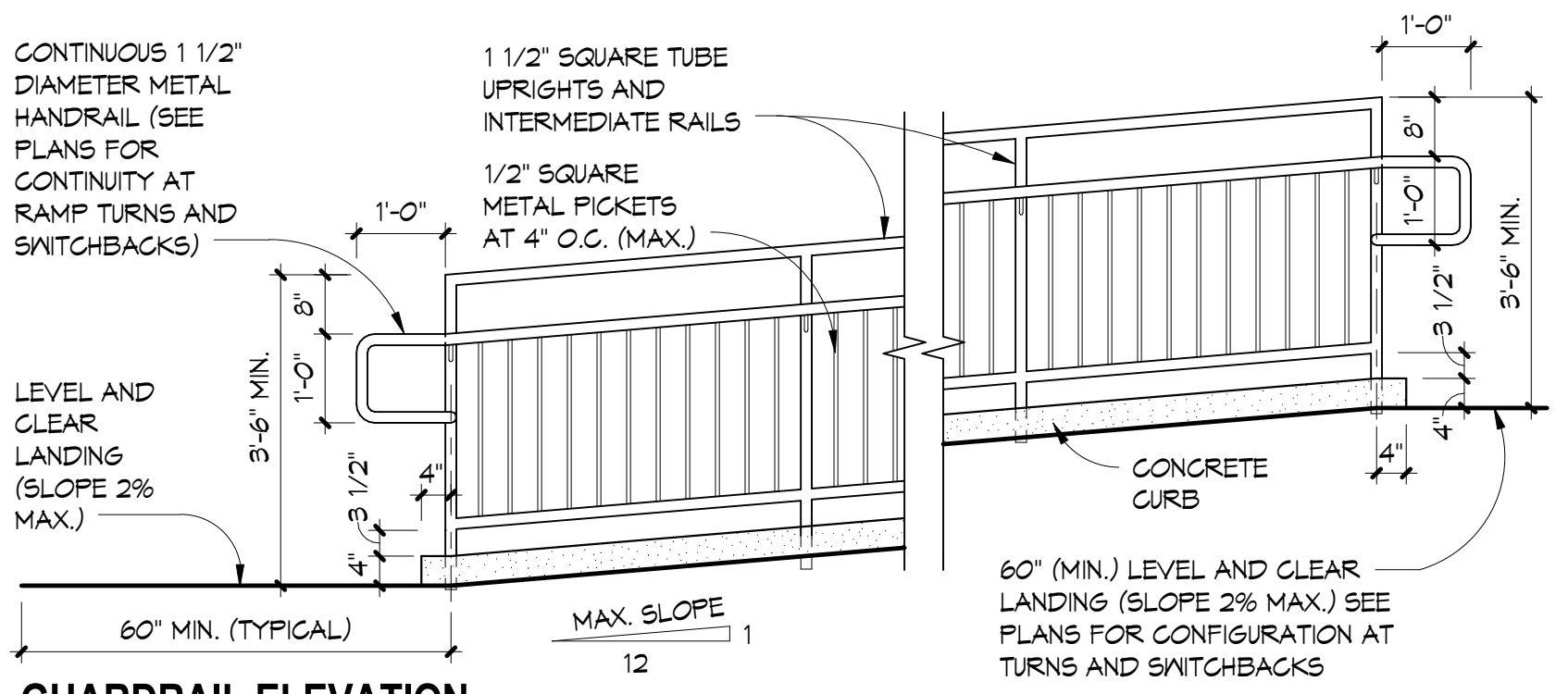
A DALLAS STREET FRONT ELEVATION
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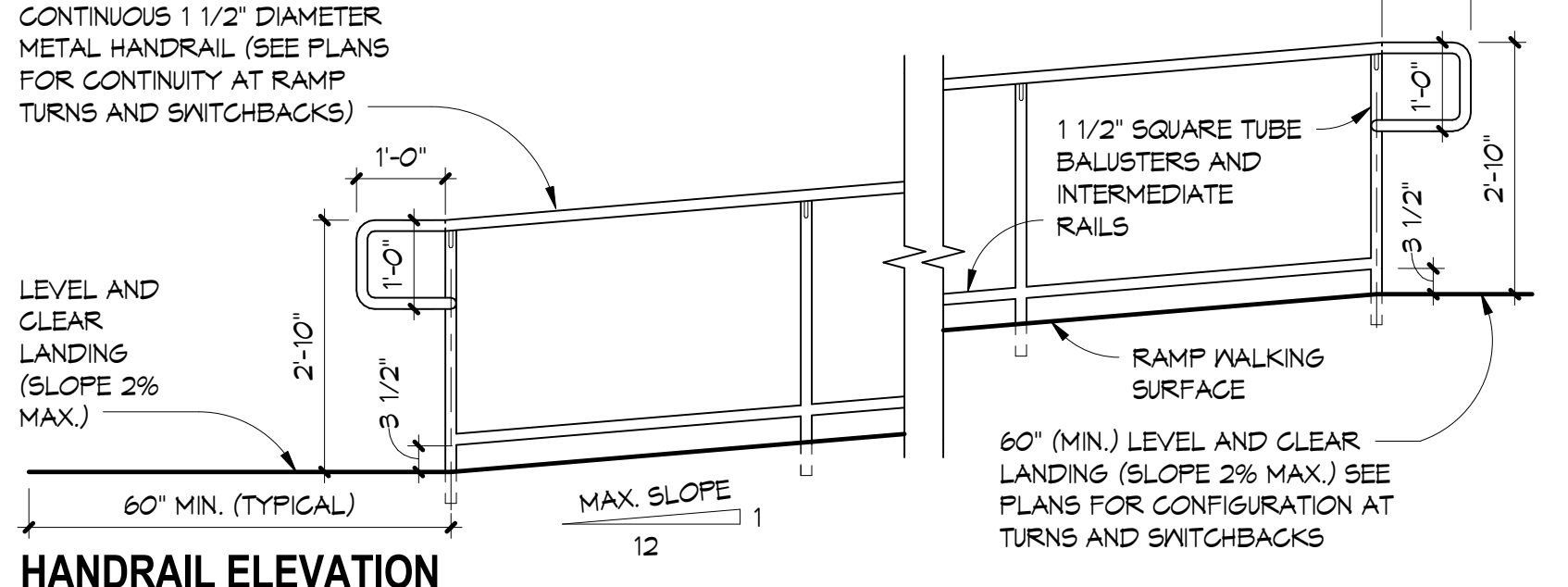
B DALLAS STREET SIDE ELEVATION
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C DALLAS STREET SECTION
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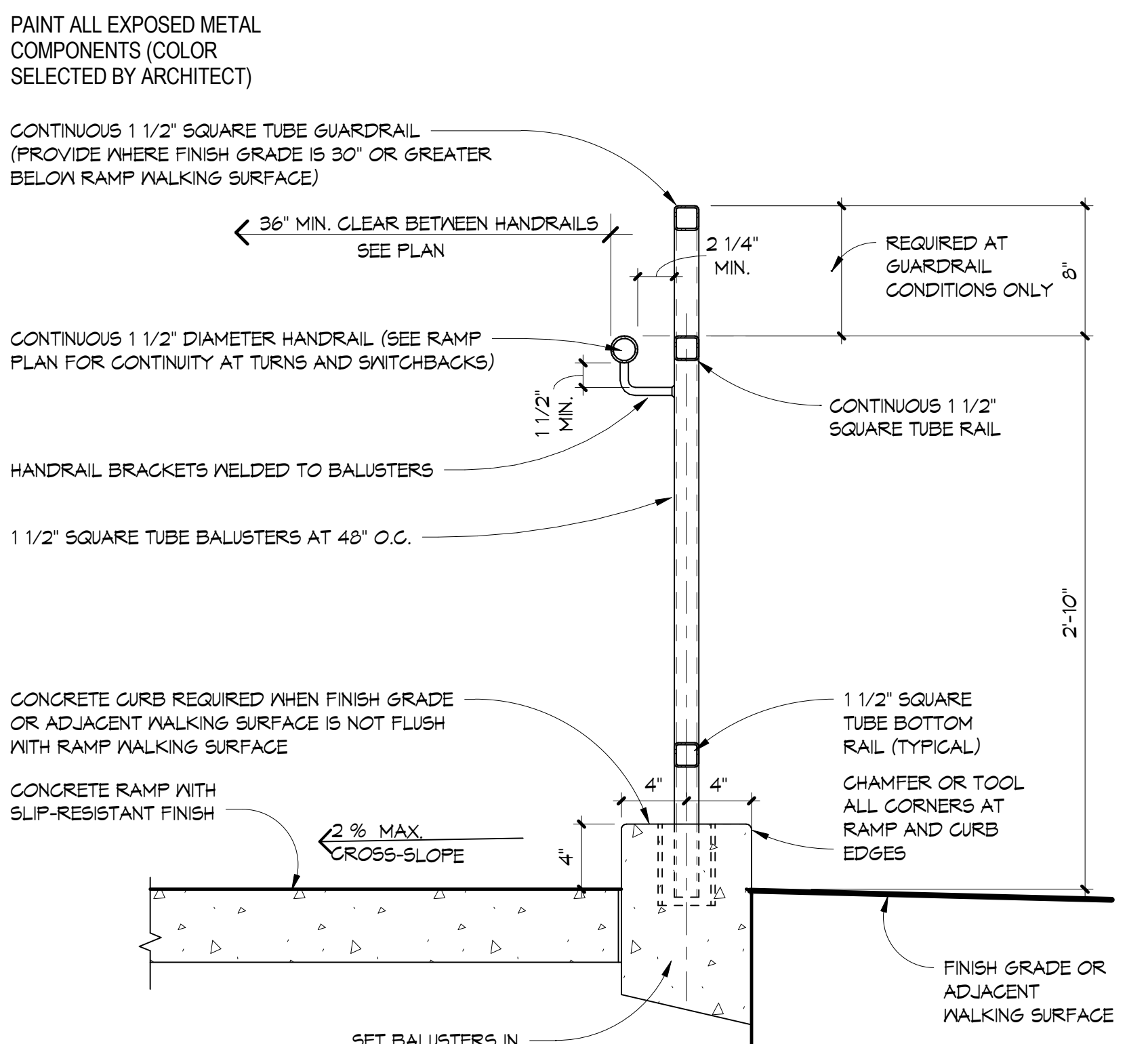


GUARDRAIL ELEVATION

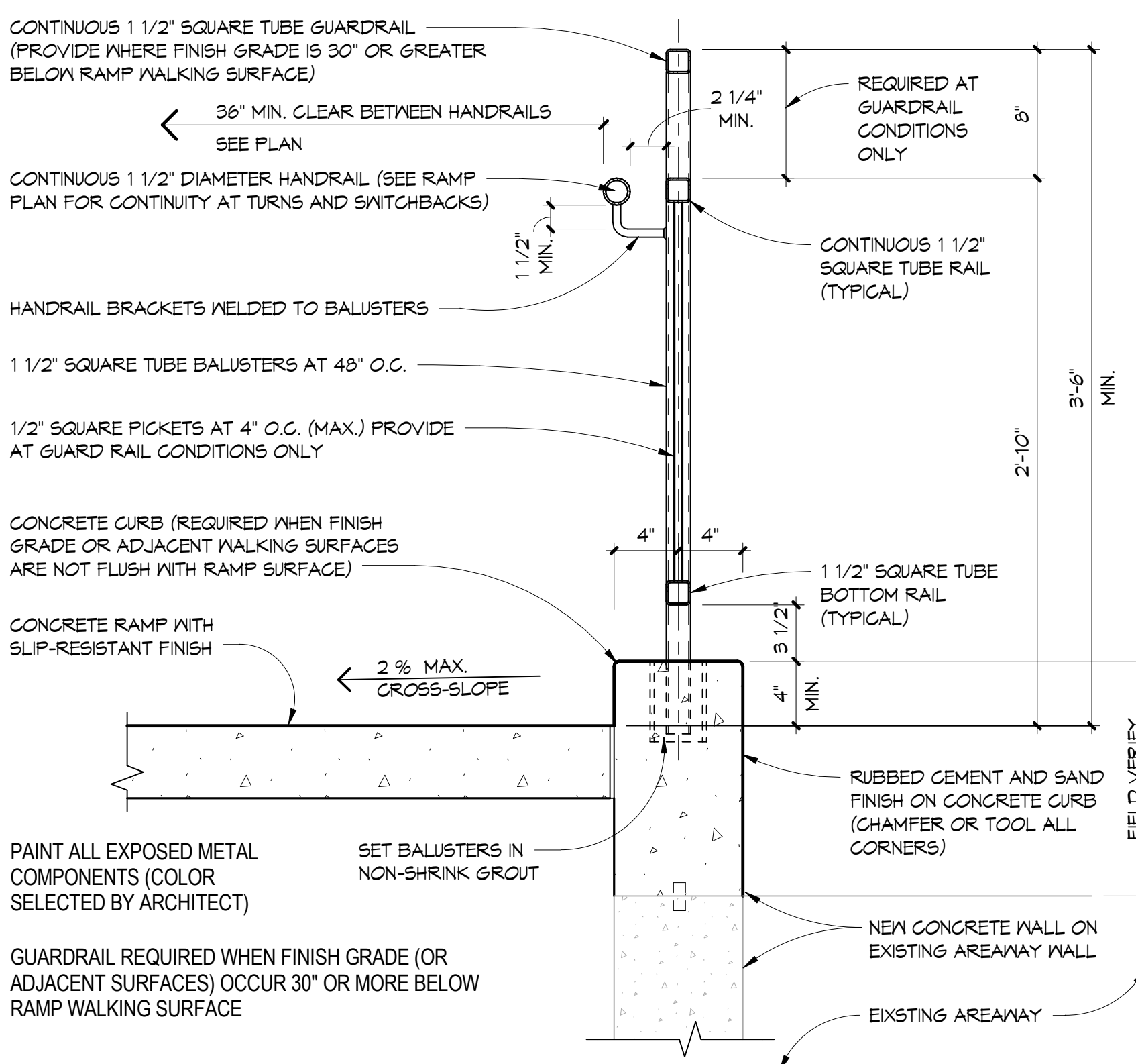


HANDRAIL ELEVATION

1 EXTERIOR RAMP RAILING ELEVATIONS
SCALE: 1/2" = 1'-0"
SEE PDS AMERICA DRAWINGS FOR ADDITIONAL INFORMATION



2 EXTERIOR RAMP HANDRAIL
SCALE: 1 1/2" = 1'-0"
SEE PDS AMERICA DRAWINGS FOR ADDITIONAL INFORMATION



3 EXTERIOR RAMP GUARDRAIL
SCALE: 1 1/2" = 1'-0"
SEE PDS AMERICA DRAWINGS FOR ADDITIONAL INFORMATION

ESa
Earl Swenson Associates, Inc.
richard l. miller, architect
1033 Demonbreun Street
Suite 800
Nashville Tennessee 37203
615-329-9445

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

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Seals

**BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION**

111 DALLAS STREET | SAN ANTONIO, TX 78205

DOCUMENT CHANGES

Description	Date

Issue Description

DALLAS ST. ERP

Original Issue Date

09/20/17

Project No

16072.00

Drawn By

JF

Checked By

JMR

Drawing Title

EXTERIOR ELEVATIONS, SECTIONS & STANDARD DETAILS

Sheet Number

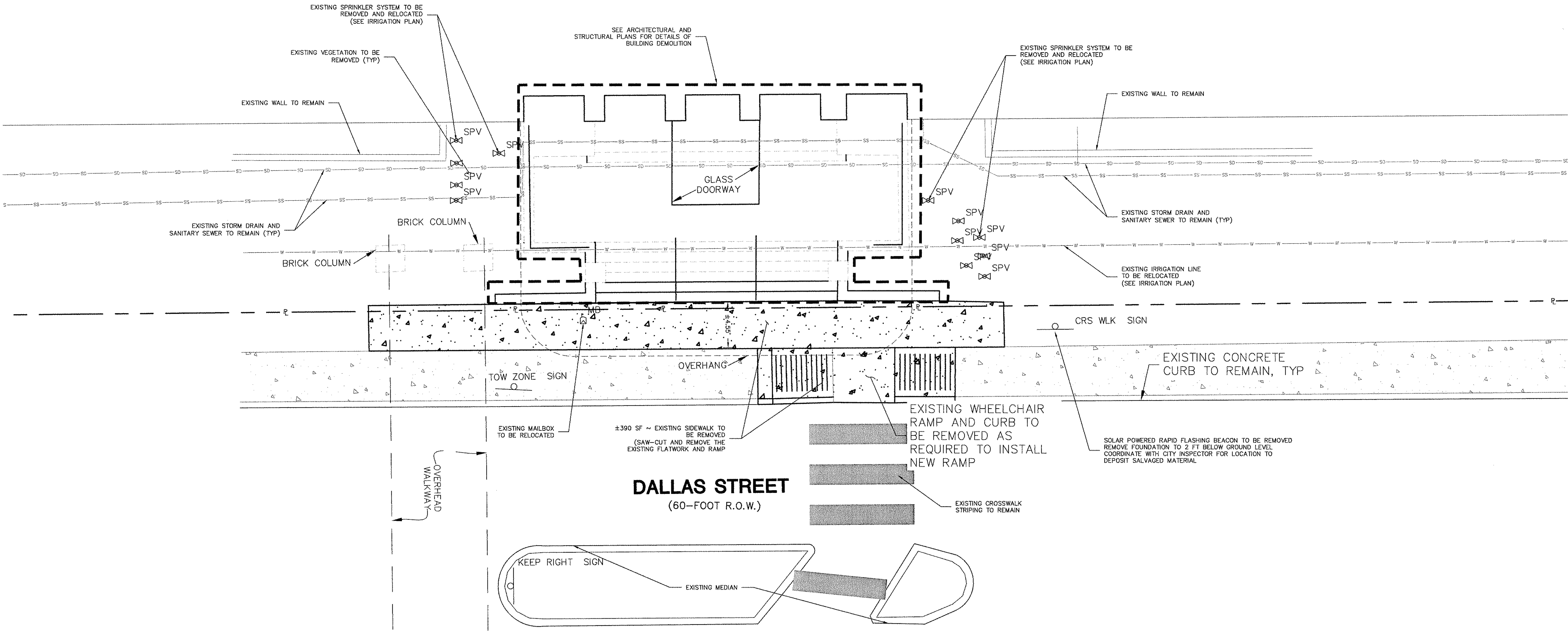
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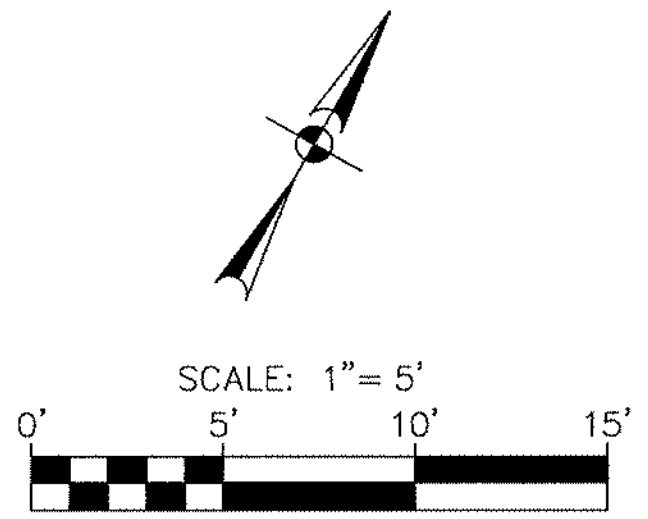
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EXISTING BUILDING REFERENCE
ARCHITECT PLAN FOR DETAILS



DEMOLITION PLAN



LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- SIDEWALK TO BE DEMOLISHED

DEMOLITION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTIONS. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBS, OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
- CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. EXISTING WATER AND SANITARY SEWER SERVICES SHALL REMAIN OPERATIONAL UNTIL NEW SERVICE IS COMPLETE. CUT AND CAP ANY ABANDONED SANITARY SEWER AND WATER SERVICES AT THE EXISTING MAIN. NO ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
- THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE, IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJOINING PROPERTIES.

NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL REQUIRED BY THE CITY FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLANS TO BE SUBMITTED TO THE CITY.
- THE CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMITS AND SIDEWALK PERMITS AS REQUIRED FOR THE CONSTRUCTION.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.0000
TPOE FIRM REGISTRATION #470 | TPOLE FIRM REGISTRATION #10028800

Seals



John Krauss
9/20/2017

BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION

111 Dallas Street, San Antonio, Texas

DOCUMENT CHANGES

Description	Date

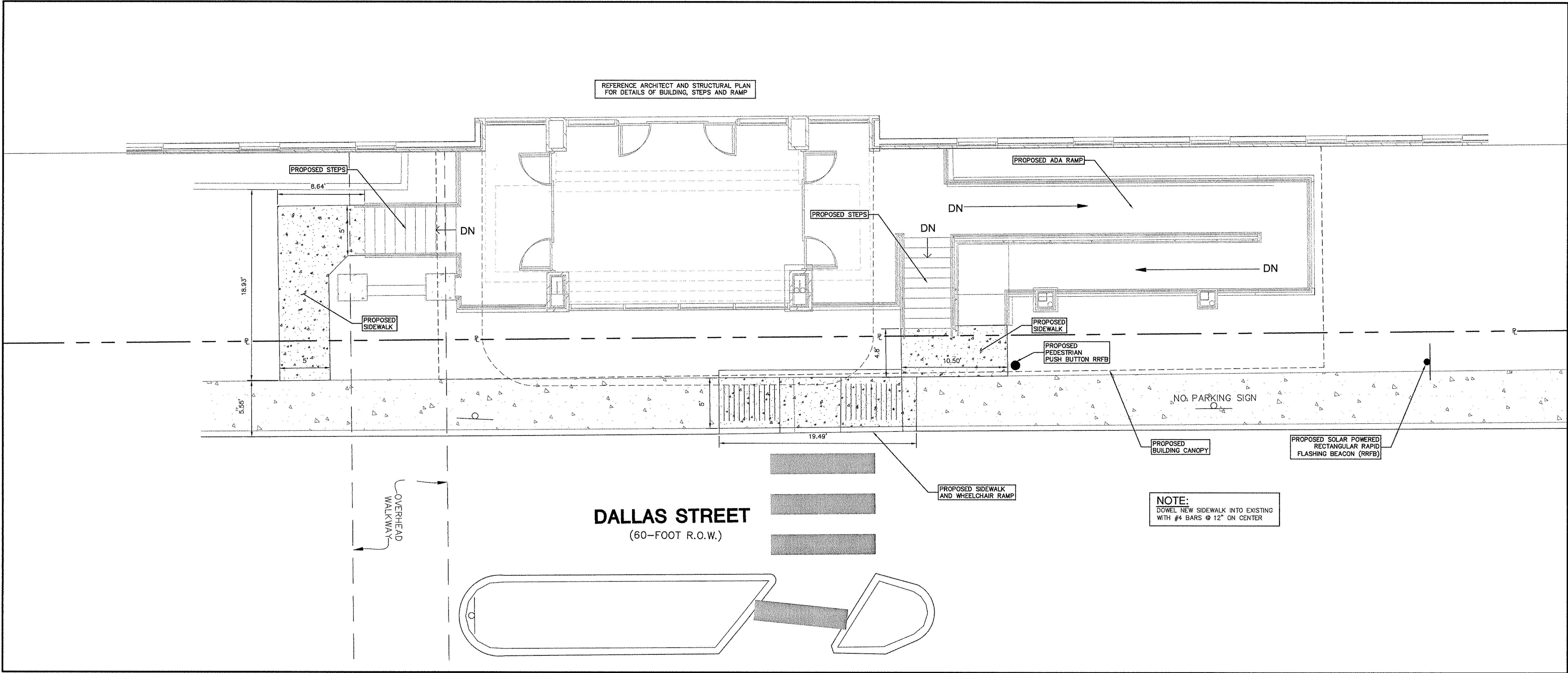
Issue Description	DALLAS ST. ERP
Original Issue Date	09/20/17
Project No	11404-00
Drawn By	MC
Checked By	JK
Drawing Title	

DEMOLITION PLAN

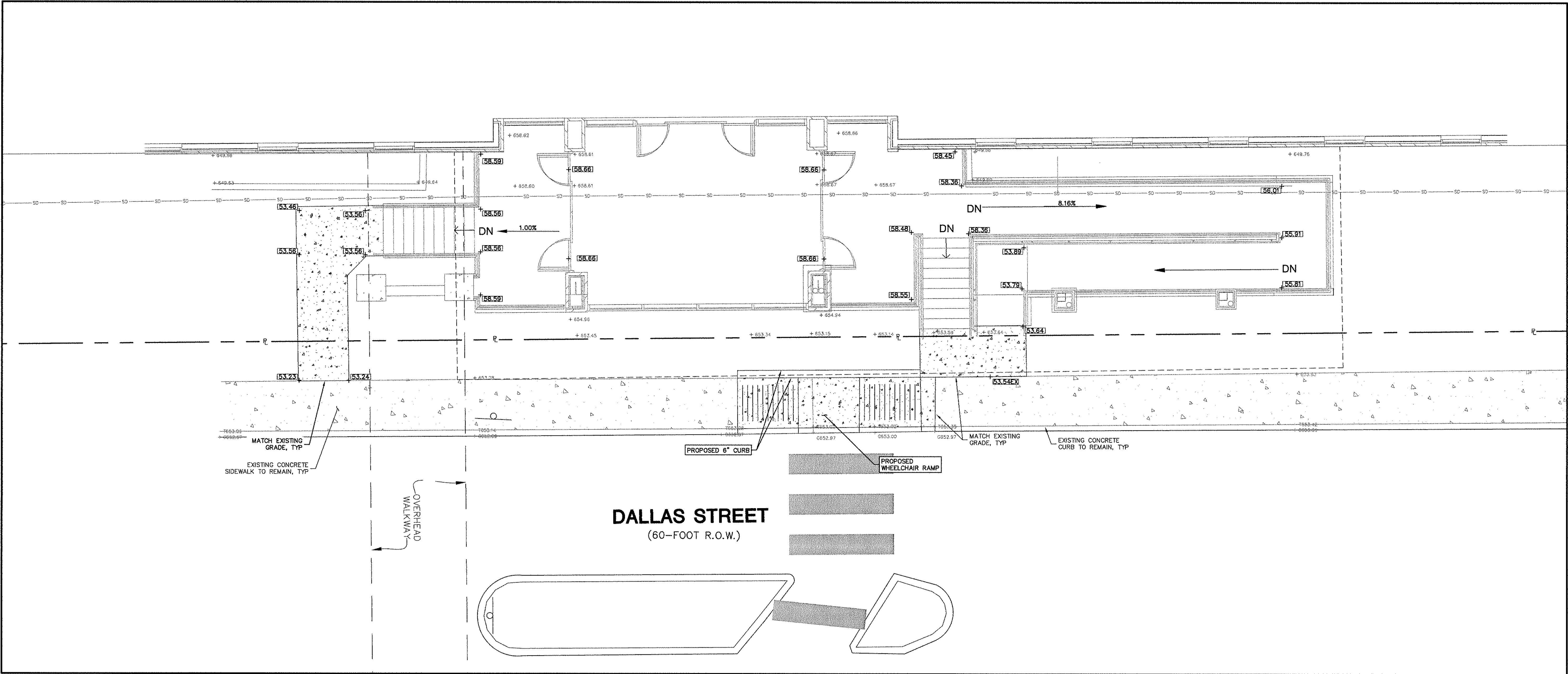
Sheet Number

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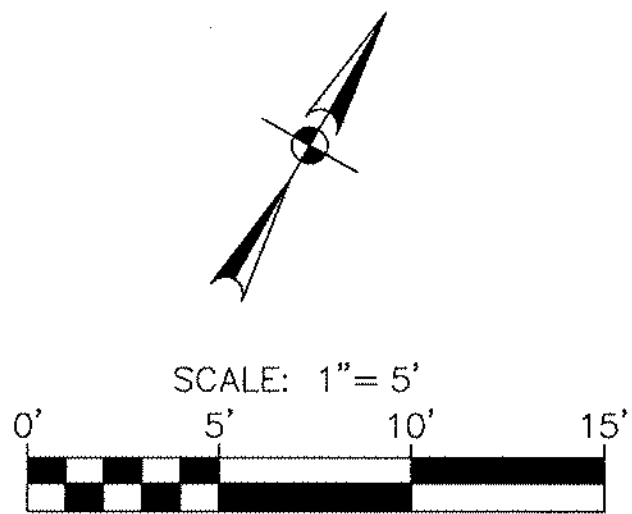
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SITE PLAN



GRADING PLAN



LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- SIDEWALK TO BE DEMOLISHED

DIMENSIONAL CONTROL NOTES:

- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- THE LAYOUT OF THE NEW BUILDING SHALL BE BASED ON THE ARCHITECTURAL AND STRUCTURAL PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.

GRADING NOTES:

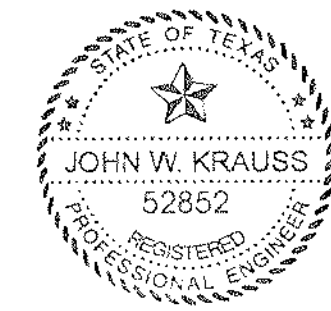
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK WHERE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY AND TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY, STREETS, OR DRAINAGE WAYS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS WHICH WASHES OFFSITE, OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE SWPPP PLANS & TPODES BOOK).
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN WORKING NEAR UTILITIES, GAS LINES, SEWER, OR EXISTING APPURTENANCES. PRIOR TO PERFORMING ANY EXCAVATION, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND ASSURE HIMSELF THAT ALL UTILITIES HAVE BEEN ADEQUATELY LOCATED AND IDENTIFIED. THE ENGINEER SHALL BE NOTIFIED IF ANY UTILITY CONFLICTS ARE DISCOVERED.
- UTILITIES SHOWN ON THE PLANS ARE FROM INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION AND VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR, AT HIS OWN EXPENSE.
- POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

CAUTION!!
EXISTING UTILITIES ARE LOCATED WITHIN THE LIMITS OF THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL EXERCISE EXTRA CARE IN DIGGING ANY TRENCH FOR PROPOSED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, VERIFYING THE EXACT LOCATION AND IDENTIFYING ANY AREAS OF CONFLICTS WITH EXISTING UTILITIES AND WILL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE FOUND.

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028900

Seals



John Krauss
2/20/2017

BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION

111 Dallas Street, San Antonio, Texas

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Description	Date

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SITE PLAN
AND
GRADING PLAN

Sheet Number

C1.1

GRAPHIC SCALE: 1/32" = 1'-0"
0' 8' 16' 32' 64'

GRAPHIC SCALE: 1/16" = 1'-0"
0' 4' 8' 16' 32'

GRAPHIC SCALE: 3/32" = 1'-0"
0' 2' 4' 6' 8' 10' 12' 14' 16' 18' 20' 22' 24' 26' 28' 30' 32' 34' 36' 38' 40' 42' 44' 46' 48' 50' 52' 54' 56' 58' 60' 62' 64' 66' 68' 70' 72' 74' 76' 78' 80' 82' 84' 86' 88' 90' 92' 94' 96' 98' 100'

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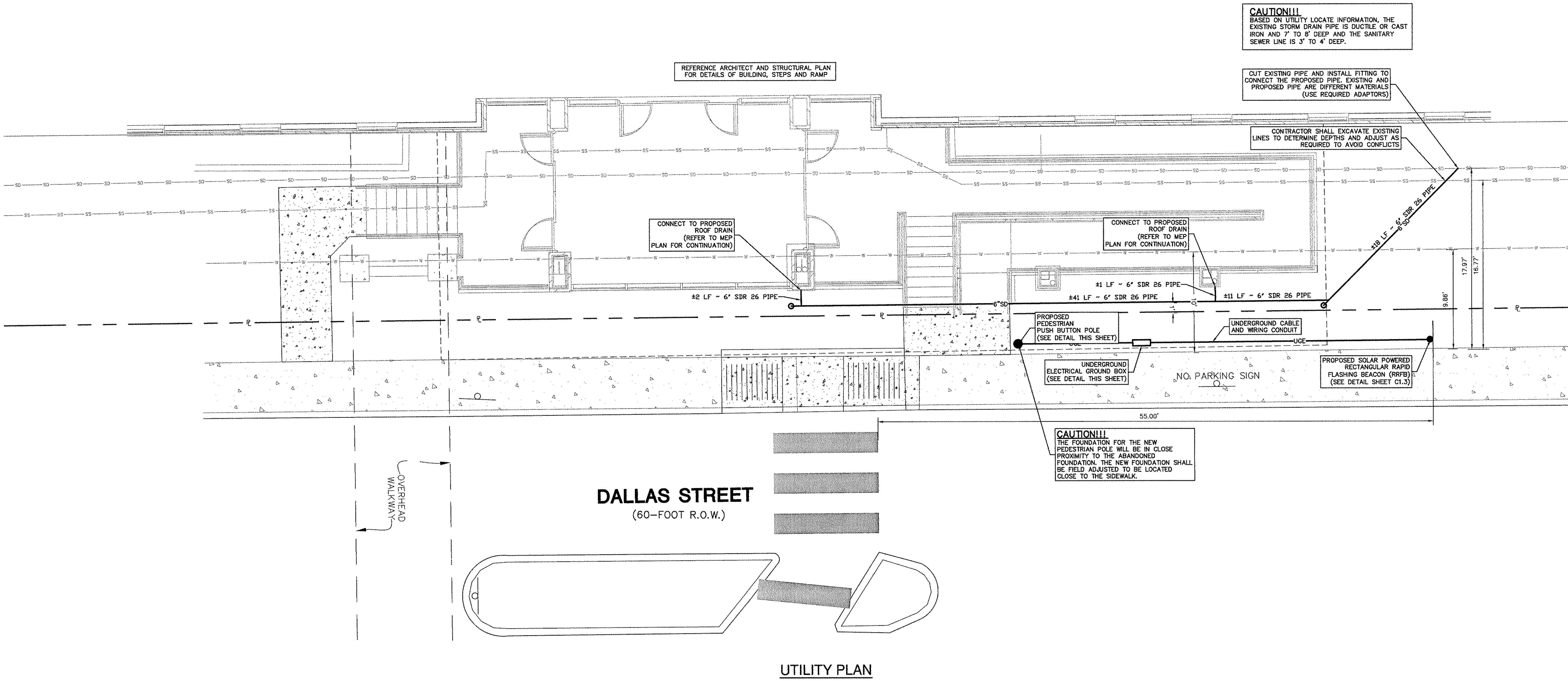
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SCALE: 1" = 5'

0' 5' 10' 15'

LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM DRAIN W/ CLEANOUT
- PROPOSED ELECTRIC LINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- SIDEWALK TO BE DEMOLISHED

CAUTION!!
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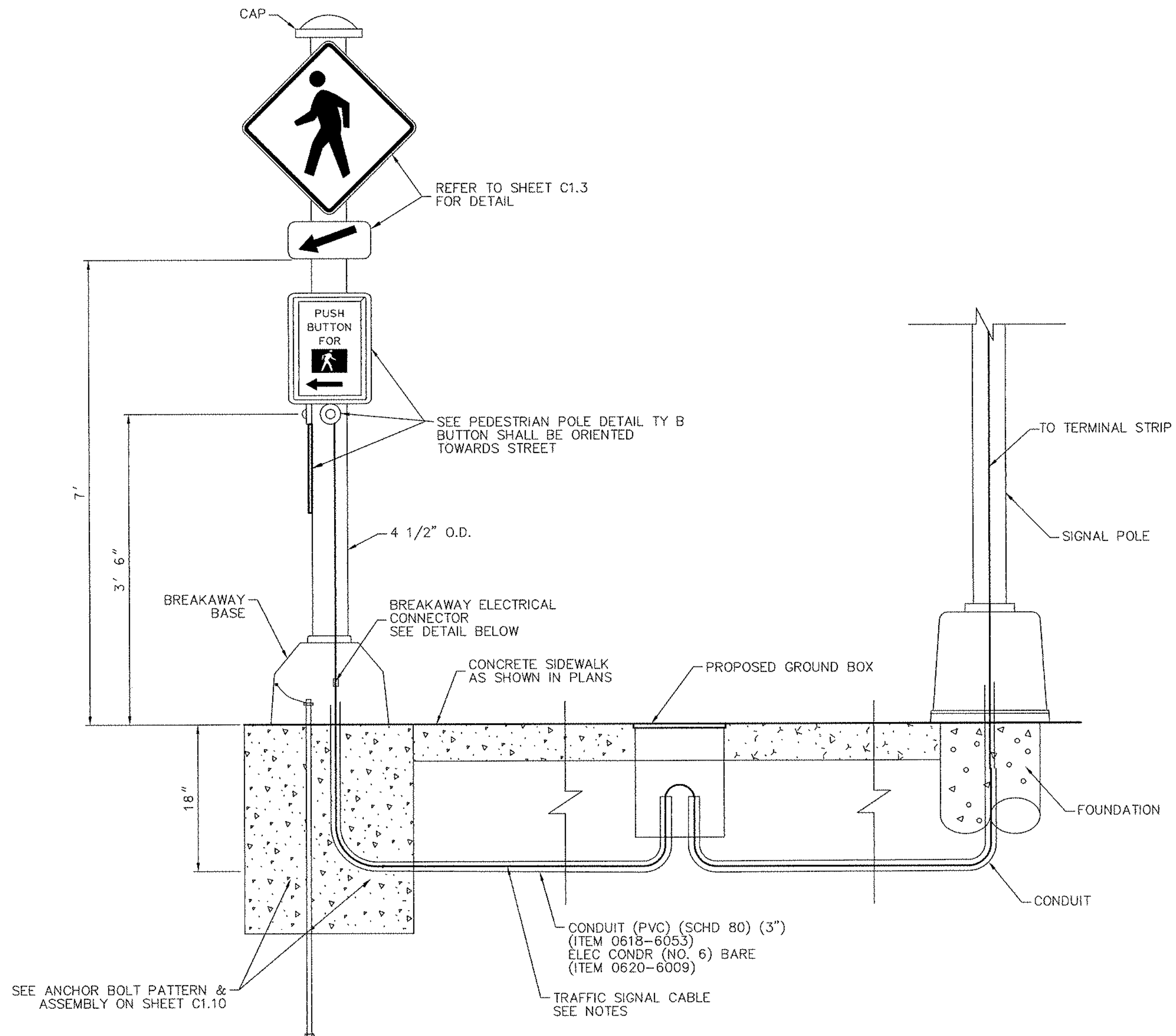
STORM DRAINAGE NOTE:
AT THIS TIME THE INVERTS FOR THE ROOF DRAINS EXITING THE NEW BUILDING HAVE NOT BEEN DETERMINED. THESE INVERTS AND SLOPES OF THE NEW STORM DRAIN PIPE WILL BE PROVIDED AT A LATER DATE.

Seals

STATE OF TEXAS
JOHN W. KRAUSS
52852
REGISTERED PROFESSIONAL ENGINEER
John Krauss
5/20/2017

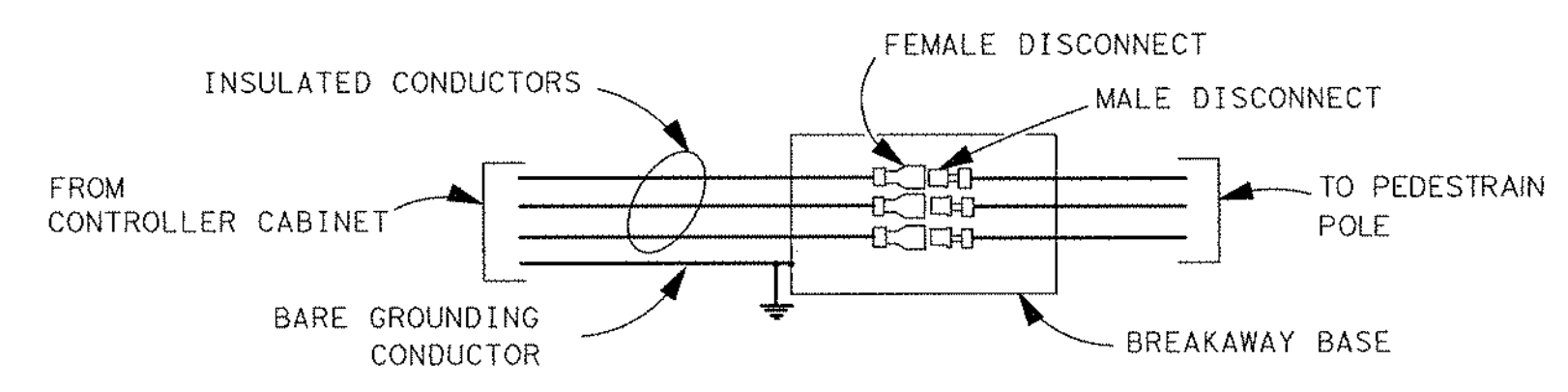
BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION

111 Dallas Street, San Antonio, Texas



PEDESTRIAN POLE DETAIL
TY A
USE DETAIL TY A FOR INSTALLATION OF NEW POLE.

- NOTE:
- GROUND ROD, FOUNDATION, BREAKAWAY BASE ARE INCLUSIVE TO PEDESTRIAN POLE ITEM 0687-6001.
 - PUSH BUTTONS TO BE NEW PUSH BUTTON STATION ASSEMBLY (PELCO SE-2023, SE-2019, OR EQUIVALENT; WITH PUSH BUTTON MEETING REQUIREMENTS OF TMUTCD 4E.08 THROUGH 4E.13 AND R403 OF THE U.S. ACCESS BOARD PROWAG. PUSH BUTTON SHOULD BE NO LESS THAN 2" OF UNOBSTRUCTED SURFACE AREA) AND ALL INCIDENTAL CONSTRUCTION INCLUDING BUT NOT LIMITED TO PLUGGING EXISTING HOLES.
 - SPLICING AT GROUND BOXES ARE NOT ALLOWED.
 - FOUNDATION TO BE FLUSH WITH SIDEWALK.
 - BREAKAWAY ELECTRIC CONNECTORS ARE REQUIRED.
- TRAFFIC SIGNAL CABLE NOTES:
FOR PUSH BUTTONS USE: TY A (14 AWG) (2 COND) (ITEM 0684-6028)



BREAKAWAY IN-LINE FUSE HOLDERS

PAPE-DAWSON ENGINEERS

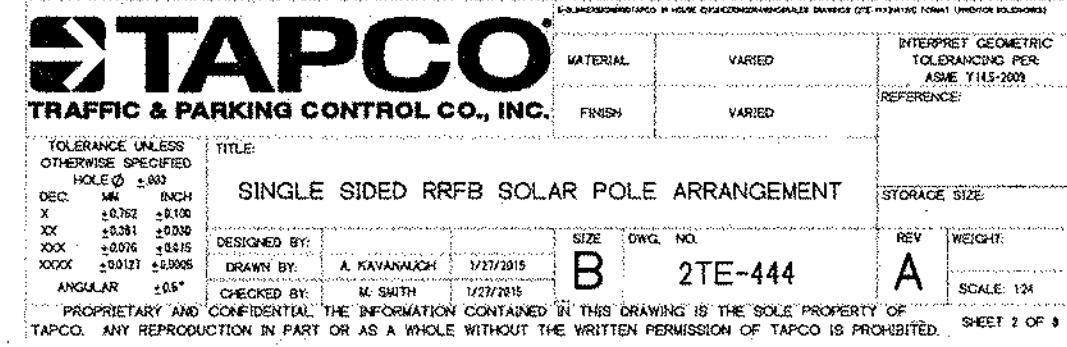
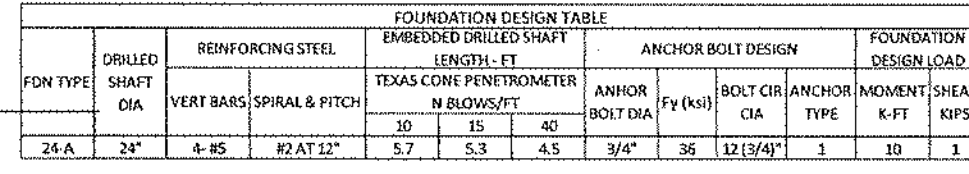
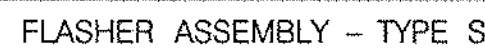
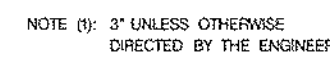
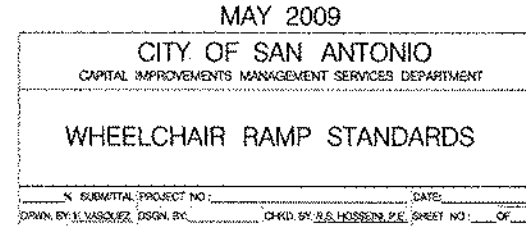
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TSPE FIRM REGISTRATION #470 | TSPS FIRM REGISTRATION #10028800

DOCUMENT CHANGES

Description	Date

Issue Description: DALLAS ST. ERP
Original Issue Date: 09/20/17
Project No: 11404-00
Drawn By: MC | Checked By: JK
Drawing Title: UTILITY PLAN

Sheet Number
C1.2



CIVIL DETAILS

Seals

BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION

111 DALLAS STREET | SAN ANTONIO, TX 78205

GENERAL NOTES (THIS SHEET ONLY):

- A. EXISTING CIRCUIT BREAKERS FEEDING EXISTING LIGHTING RECEPTACLES, OR EQUIPMENT, ARE TO BE REUSED WHERE INDICATED ON DRAWINGS. CIRCUITS TO REMAIN ARE TO BE EXTENDED FOR RELOCATED PANELBOARDS. (PROVIDE NEW ACCURATE TYPED DIRECTORIES FOR ALL AFFECTED PANELBOARDS.)
- B. EXISTING CIRCUIT BREAKERS FEEDING EXISTING LIGHTING, RECEPTACLES OR EQUIPMENT, WHERE ENTIRE CIRCUIT HAS BEEN REMOVED, SHALL BE LABELED "SPARE" REUSE SPARES WHERE NOTED ON DRAWINGS.
- C. CONTRACTOR SHALL REMOVE ALL ELECTRICAL DEVICES FROM EXISTING WALLS AND CEILINGS BEING REMOVED OR MODIFIED UNDER THIS CONTRACT. ALL EXISTING CONDUIT AND WIRING FEEDING THESE DEVICES SHALL BE REMOVED, TERMINATED OR REUSED AS DESCRIBED BELOW.
- CONDUIT FEEDING DEVICES FROM SLAB SHALL BE CUT OFF BELOW SLAB AND ABANDONED WITH HOLE IN SLAB BEING PATCHED BACK TO MATCH EXISTING. CONDUIT MAY ALSO BE EXTENDED IF NECESSARY, WITH NEW WIRING PULLED THE ENTIRETY OF CIRCUIT.
 - CONDUIT FEEDINGS DEVICES FROM ABOVE DROPPED CEILING SHALL BE DISCONNECTED AND REMOVED BACK TO SOURCE OR RECONNECTED AS DESCRIBED IN NEW CONSTRUCTION NOTES. DAMAGE TO CEILINGS SHALL BE REPLACED OR REPAIRED TO MATCH EXISTING.
 - ELECTRICAL CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXISTING FEED-THROUGH CIRCUITS, WHERE ELECTRICAL DEVICE HAS BEEN REMOVED FROM MIDPOINT OF CIRCUIT, NEW WIRE SHALL BE PULLED AS REQUIRED.
- D. ALL EXISTING WALLS, CEILINGS, FLOOR SLABS, ETC., BEING CUT OR DAMAGED UNDER THIS CONTRACT SHALL BE PATCHED BACK TO MATCH EXISTING BY GENERAL CONTRACTOR.
- E. ALL EXISTING LIGHTING FIXTURES REMAINING OR BEING RELOCATED SHALL BE TAKEN DOWN AND CLEANED. BALLASTS, LENSES AND LAMPS ARE TO BE REPLACED AS REQUIRED AND RELOCATED WHERE SHOWN ON LIGHTING PLANS.
- F. ALL EXISTING LIGHTING FIXTURES, RECEPTACLES, SPEAKER CONTROL EQUIPMENT, SWITCHES, PAGING EQUIPMENT, FIRE ALARM EQUIPMENT, ETC., BEING REMOVED AND NOT BEING RELOCATED, SHALL BE OFFERED TO OWNER OR DISPOSED OF AS DIRECTED. (SEE SPECIFIC NOTES ON DEMOLITION SHEET REGARDING LIGHTING FIXTURES).
- G. ELECTRICAL CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL CIRCUITS TO REMAIN.
- H. EXISTING DEVICES TO REMAIN ARE SHOWN DASHED. EXISTING DEVICES OR AREAS RECEIVING DEMOLITION TO BE REMOVED ARE SHOWN HASHED THROUGH ON DEMOLITION SHEETS.
- I. ALL ELECTRICAL INFORMATION SHOWN IS FROM EXISTING DRAWINGS AND IS TO BE USED AS A GUIDE FOR EQUIPMENT LOCATIONS. CONTRACTOR SHALL VISIT SITE BEFORE BIDDING AND FIELD VERIFY EXISTING CONDITIONS.
- J. ALL ELECTRICAL PANELBOARDS BEING REUSED SHALL BE THOROUGHLY INSPECTED, BREAKER OPERATION CHECKED. ALL TERMINATIONS TIGHTENED, FILLER PANELS PLACED IN ALL BLANK BREAKER SPACES, DOOR AND HARDWARE CLEANED AND REPAIRED AS NECESSARY.
- K. CONTRACTOR SHALL REMOVE ALL VOICE/DATA, NURSE CALL, SECURITY AND SPEAKER DEVICES FROM EXISTING WALLS AND CEILINGS BEING REMOVED OR MODIFIED UNDER THIS CONTRACT. ALL EXISTING CONDUIT AND WIRING FEEDING THESE DEVICES SHALL BE REMOVED, TERMINATED OR REUSED AS DESCRIBED BELOW.
- L. ALL EXISTING VOICE DATA OUTLETS, NURSE CALL DEVICES, SPEAKER CONTROL EQUIPMENT, PAGING EQUIPMENT, ETC., BEING REMOVED AND NOT BEING RELOCATED, SHALL BE OFFERED TO OWNER OR DISPOSED OF AS DIRECTED.
- M. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL SYSTEMS DEVICES TO REMAIN.

KEYED NOTES (DEMOLITION ONLY):

- EXISTING KNOX BOX TO BE RELOCATED.
- EXISTING PANEL TO REMAIN.
- RETAIN EXISTING AUTO DOOR CIRCUIT FOR CONNECTION OF NEW AUTO DOORS.

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CAT NUMBER	VOLTAGE	LAMPS	INPUT WATTS	MOUNTING	REMARKS
D6	INTENSE	MXG20STR-NC-L3 MXTG2-STRD300-B-SF-L3-35-36	120	LED	26	RECESSED	INTERIOR SQUARE RECESSED CAN WITH BLACK FLANGE
DS	INTENSE	SS4G3DSL4358 / ICS430HZ	UNV	LED	26	RECESSED	EXTERIOR SQUARE RECESSED CAN WITH BLACK FLANGE; WET LOCATION
SL	PRISMA ARCHITECTURAL	ALU TECH RO	UNV	LED	11	RECESSED IN RISER	STEP LIGHT; 3000K
W1	V2 LIGHTING GROUP	C2LU-RN1W-13983520-13983540-M5	UNV	LED	16	SURFACE	DECORATIVE UP/DOWN SCONCE; WET LOCATION; SEE ARCH ELEVATIONS FOR MOUNTING HEIGHT
EX	HE WILLIAMS	FME-HT-LG-XU	UNV	LED	LED	UNV	STANDARD EXIT SIGN - BRUSHED ALUMINUM FACE

NOTE:

- [1] PRIOR TO ORDERING OR ROUGH-IN, VERIFY ALL NECESSARY CLEARANCES FOR FIXTURES HOUSING.
- [2] VERIFY PAINT AND/OR PLATED FINISHES WITH ARCHITECT AND OWNER PRIOR TO ORDERING.
- [3] SEE LIGHTING PLAN(S) FOR PROPER ROTATION OF FIELD-ROTATABLE OPTICS.

EQUIPMENT CONNECTION SCHEDULE

EQUIP. TAG	LOAD	VOLTAGE	DISC	CIRCUIT	FEEDER	NOTES
AC-1	---	208/1	30/2	---	15(2N)	INDOOR UNIT FED FROM OUTDOOR UNIT.
AC-2	---	208/1	30/2	---	15(2N)	INDOOR UNIT FED FROM OUTDOOR UNIT.
CU-1	6.45 kVA	208/1	60/2/3R	P1A-33 (PART B)	50(2N)	REMOVE EXISTING 70A/2P BREAKER AND INSTALL 45A/2P BREAKER. MATCH AIC RATING. MOUNT DISC ON UNISTRUT.

EQUIPMENT CONNECTION NOTES:

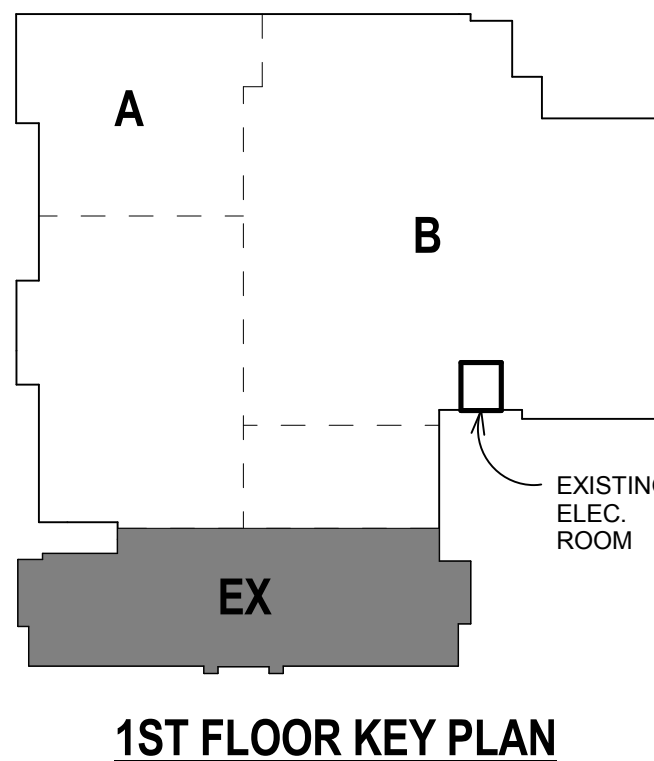
- [1] SERVICE DISCONNECT SWITCHES SHALL BE MOUNTED AND SUPPORTED INDEPENDENTLY
- [2] REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR FINAL EQUIPMENT LOCATIONS

GENERAL NOTES (THIS SHEET ONLY):

- A. FOR EXACT FIXTURE PLACEMENT, REVIEW AND COORDINATE WITH HOSPITAL STAFF AND ARCHITECTURAL DRAWINGS.
- B. REFERENCE INSTALLER DRAWINGS AND PROVIDE ALL ITEMS NOTED THEREIN AS CONTRACTOR FURNISHED AND OR INSTALLED.
- C. VERIFY CEILING COMPATIBILITY.
- D. ORIENT ALL PHOTOCELLS DUE NORTH. MOUNT ABOVE CANOPY.

KEYED NOTES (LIGHTING ONLY):

- INSTALL NEW 20A/1P BREAKER IN EXISTING LIFE SAFETY BRANCH PANEL 'E1L' CKT 2 (CURRENTLY A SPACE). PROVIDE 120V CONNECTION TO DRY PIPE SYSTEM. COORDINATE LOCATION WITH PLUMBING SHEETS.
- CONNECT TO NEAREST EXISTING NORMAL BRANCH LIGHTING CIRCUIT.
- CONNECT TO NEAREST EXISTING LIFE SAFETY BRANCH LIGHTING CIRCUIT.
- PROVIDE 120V CONNECTION TO CANOPY SIGNAGE. COORDINATE REQUIREMENTS WITH LIGHTING SIGNAGE VENDOR. INSTALL NEW 20A/1P BREAKER IN EXISTING SPACE, IN CRITICAL BRANCH PANEL INDICATED.
- CONNECT AUTO DOORS TO EXISTING AUTO DOOR CIRCUIT.
- RELOCATED KNOX BOX.



1ST FLOOR KEY PLAN

1ST FLOOR PLAN - DALLAS STREET ENTRANCE - DEMOLITION
SCALE: 1/8" = 1'-0"EXISTING ELEC. ROOM (PART B)
SCALE: 1/8" = 1'-0"1ST FLOOR PLAN - DALLAS STREET ENTRANCE - NEW WORK
SCALE: 1/8" = 1'-0"

DOCUMENT CHANGES

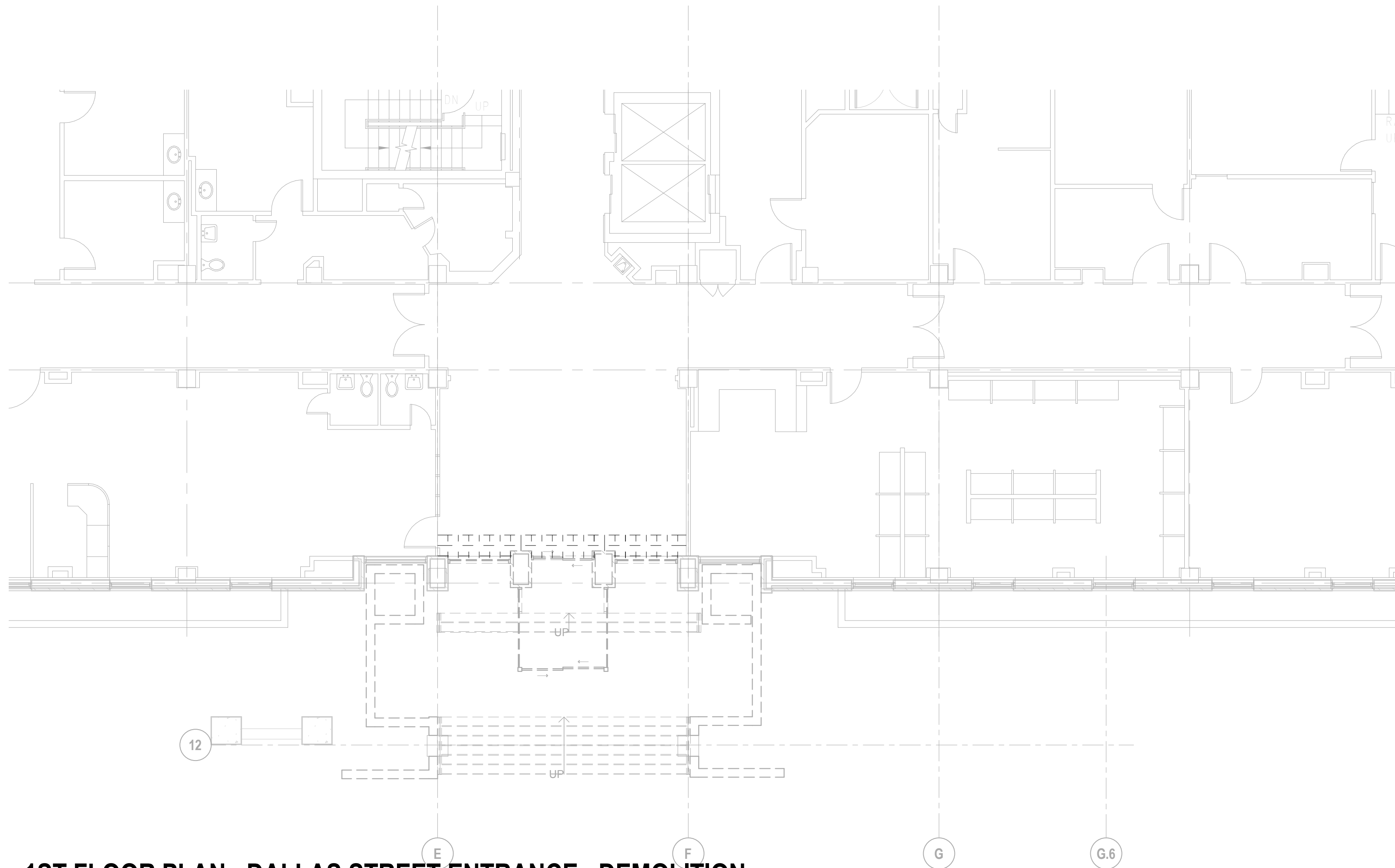
Description	Date

Issue Description	DALLAS ST. ERP
Original Issue Date	09/20/17
Project No	16072.00
Drawn By	PNH
Checked By	DLM
Drawing Title	




ELECTRICAL DEMO
AND NEW WORK
PLANS - DALLAS
STREET ENTRANCE

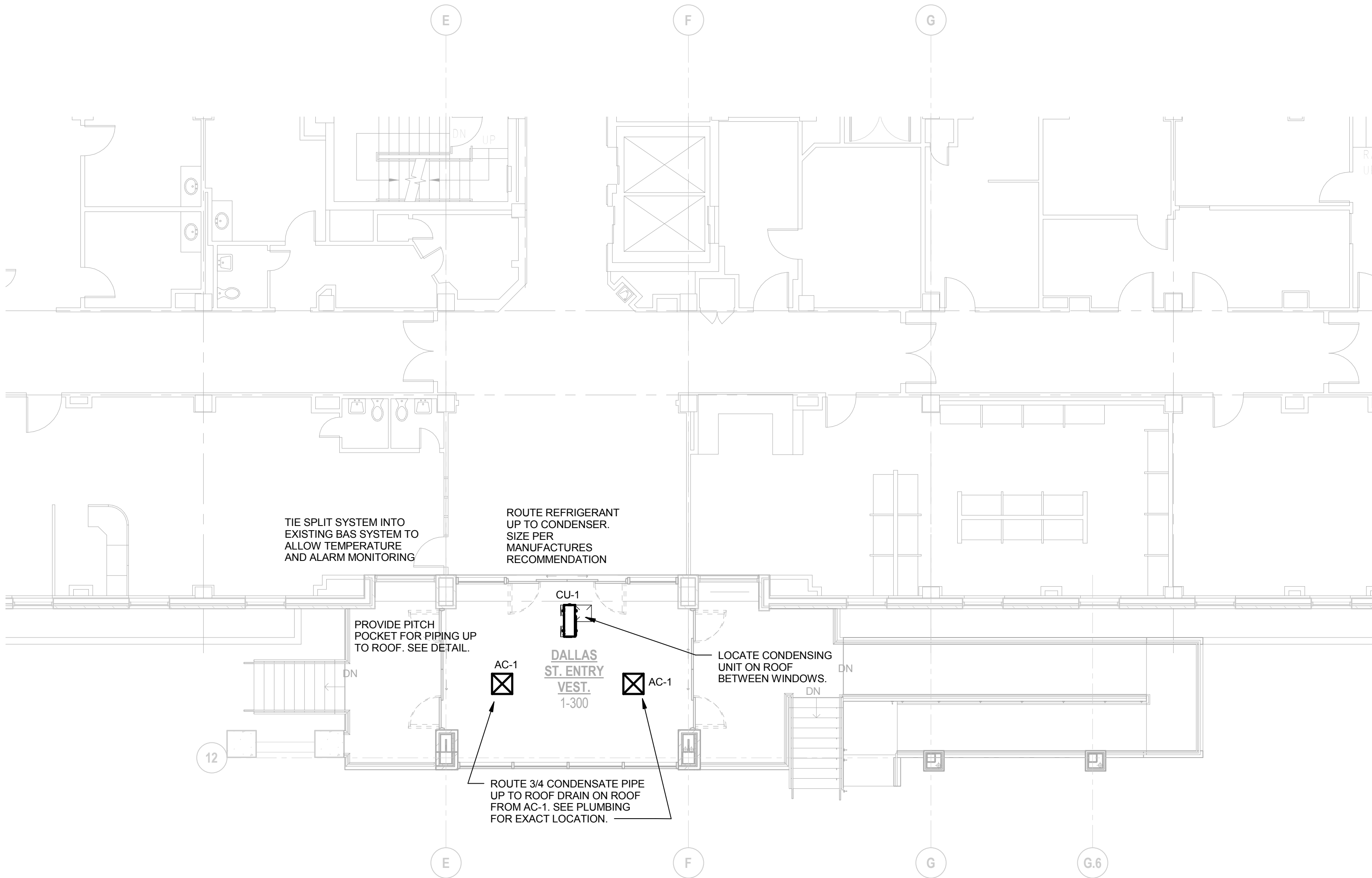
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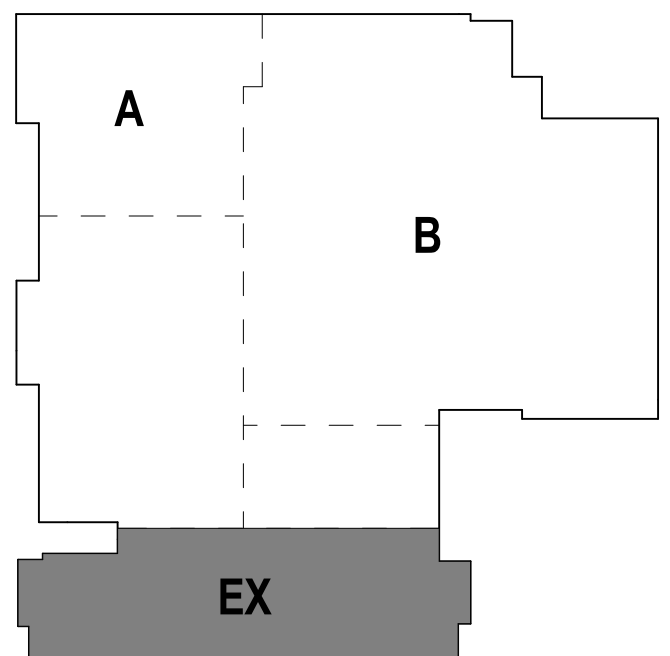
 **1ST FLOOR PLAN - DALLAS STREET ENTRANCE - DEMOLITION**
SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND	
	DEMOLITION
	EXISTING TO REMAIN
	POINT OF REMOVAL



 **1ST FLOOR PLAN - DALLAS STREET - NEW WORK**
SCALE: 1/8" = 1'-0"

NEW WORK LEGEND	
	NEW WORK
	EXISTING TO REMAIN
	POINT OF CONNECTION



1ST FLOOR KEY PLAN



**BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION**

111 DALLAS STREET | SAN ANTONIO, TX 78205

DOCUMENT CHANGES	
Description	Date


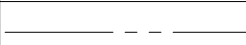

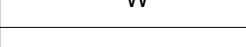
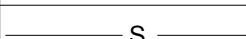
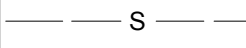
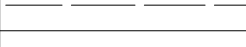
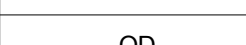
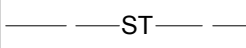

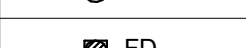
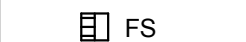
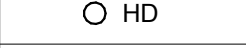


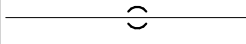
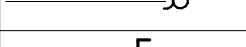
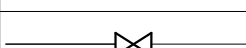
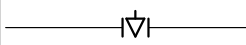

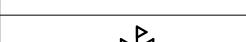
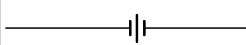

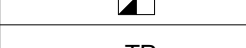

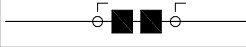
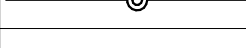
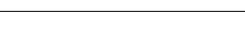

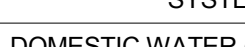
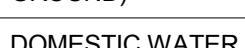
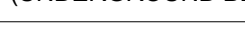


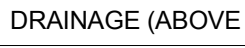
Issue Description	DALLAS ST. ERP	
Original Issue Date	09/20/17	
Project No	16072.00	
Drawn By	JF	Checked By HD

Drawing Title
**MECHANICAL
DEMOLITION AND
NEW WORK PLANS -
DALLAS STREET
ENTRANCE**

Sheet Number

M1.01A-EX



PLUMBING LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
	CW	COLD WATER PIPING
	HW	HOT WATER PIPING
	HWR	HOT WATER RECIRCULATION PIPING
	W	WASTE PIPING ABOVE FLOOR
	W	WASTE PIPING BELOW FLOOR
	S	SANITARY PIPING ABOVE FLOOR
	S	SANITARY PIPING BELOW FLOOR
	V	VENT PIPING
	ST	STORM WATER PIPING ABOVE GRADE
	OD	STORM OVERFLOW PIPING
	ST	STORM WATER PIPING (BELOW GRADE)
	RD	ROOF DRAIN
	OD	OVERFLOW ROOF DRAIN
	FD	FLOOR DRAIN
	FS	FLOOR SINK
	HD	HUB DRAIN
		PIPE CAP
		PIPE UP
		PIPE DOWN
		TEE DN
		P-TRAP
	BV	BALL VALVE
	GV	GATE VALVE
		BALANCING VALVE
		GAS VALVE
		CHECK VALVE
	PRV	PRESSURE REDUCING VALVE
		UNION IN PIPE
		POINT OF CONNECTION
		POINT OF DISCONNECTION
	TP	TRAP PRIMER PIPING (BELOW FLOOR)
	P-1, WC-1, ETC	FIXTURE IDENTIFICATION
	BFP	BACKFLOW PREVENTER
	FCO/GCO	FLOOR CLEANOUT/GRADE CLEANOUT
	CO	END OF LINE CLEANOUT ABOVE GRADE

PLUMBING MATERIALS SCHEDULE	
SYSTEM	PIPING MATERIAL
DOMESTIC WATER (ABOVE GROUND)	ASTM 888 TYPE 1, HARD COPPER
DOMESTIC WATER (UNDERGROUND BELOW SLAB)	ASTM 888 TYPE 1/2 SOFT COPPER. NO JOINTS BELOW SLAB ON GRADE.
DRAINAGE (UNDERGROUND)	SERVICE WEIGHT: HUB AND SPIGOT CAST IRON WITH COMPRESSION JOINTS; ASTM A-74. SERVICE WEIGHT: NO-HUB CAST IRON WITH HEAVY DUTY NO-HUB COUPLINGS; ASTM C1540, ASTM C-564, SCHEDULE 40 PVC PIPE; ASTM D 2665. (REQUIRES OWNER APPROVAL)
DRAINAGE (ABOVE GROUND)	NO-HUB CAST IRON ASTM A 888 OR CISPI 301
VENT (ABOVE GROUND)	NO-HUB CAST IRON ASTM A 888 OR CISPI 301
DRAINAGE (CONDENSATE)	COPPER DWV TUBE: ASTM B 88 TYPE "K" OR "L"
STORM WATER (ABOVE GROUND)	NO-HUB CAST IRON ASTM A 888 OR CISPI 301 WITH HEAVY DUTY COUPLINGS.
STORM WATER (UNDERGROUND)	SERVICE WEIGHT: HUB AND SPIGOT CAST IRON WITH COMPRESSION JOINTS; ASTM A-74. SERVICE WEIGHT: NO-HUB CAST IRON WITH HEAVY DUTY NO-HUB COUPLINGS; ASTM C1540, ASTM C-564, SCHEDULE 40 PVC PIPE; ASTM D 2665. (REQUIRES OWNER APPROVAL)

PLUMBING SPECIFICATIONS

SECTION 21.00.00 - GENERAL FIRE PROTECTION REQUIREMENTS

1. THE LOCATION OF PIPE, AND EQUIPMENT SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC AND SCHEMATIC AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE HIS OWN WORKING LAYOUT TO ELIMINATE ALL STRUCTURAL AND ARCHITECTURAL CONFLICTS IN THE BUILDING.
2. VERIFY ALL MEASUREMENTS AT THE SITE AND COORDINATE ALL WORK SO THAT IT DOES NOT INTERFERE WITH THE WORK OF OTHER TRADES.
3. ALL PIPE, FITTINGS, VALVES AND OTHER COMPONENTS OF THE PIPING SYSTEM SHALL BE OF DOMESTIC MANUFACTURE. FOREIGN MANUFACTURED PIPE, FITTINGS, VALVES AND OTHER COMPONENTS SHALL NOT BE PERMITTED IN THE PLUMBING, MEDICAL GAS OR FIRE PROTECTION SYSTEMS.

SUBMITTALS

1. SUBMIT FOR REVIEW, A LIST OF MAJOR EQUIPMENT WITHIN 25 DAYS AFTER AWARD OF CONTRACT.
2. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: ALL EQUIPMENT AND FIXTURES WORKING OR INDICATED ON THE HVAC MECHANICAL, PLUMBING AND MEDICAL GAS DRAWINGS AND SPECIFICATIONS.

SECTION 22.00.00 - GENERAL PLUMBING REQUIREMENTS

1. THE LOCATION OF PIPE, AND EQUIPMENT SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC AND SCHEMATIC AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE HIS OWN WORKING LAYOUT TO ELIMINATE ALL STRUCTURAL AND ARCHITECTURAL CONFLICTS IN THE BUILDING.
2. VERIFY ALL MEASUREMENTS AT THE SITE AND COORDINATE ALL WORK SO THAT IT DOES NOT INTERFERE WITH THE WORK OF OTHER TRADES.
3. ALL PIPE, FITTINGS, VALVES AND OTHER COMPONENTS OF THE PIPING SYSTEM SHALL BE OF DOMESTIC MANUFACTURE. FOREIGN MANUFACTURED PIPE, FITTINGS, VALVES AND OTHER COMPONENTS SHALL NOT BE PERMITTED IN THE PLUMBING, MEDICAL GAS OR FIRE PROTECTION SYSTEMS.

SUBMITTALS

1. SUBMIT FOR REVIEW, A LIST OF MAJOR EQUIPMENT WITHIN 25 DAYS AFTER AWARD OF CONTRACT.
2. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: ALL EQUIPMENT, FIXTURES, AND MEDICAL GAS PIPING SHOWN OR INDICATED ON THE HVAC MECHANICAL, PLUMBING AND MEDICAL GAS DRAWINGS AND SPECIFICATIONS.
3. SUBMIT MEDICAL GAS INSTALLER QUALIFICATION CERTIFICATES FOR REVIEW.

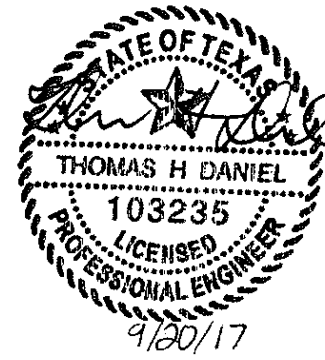
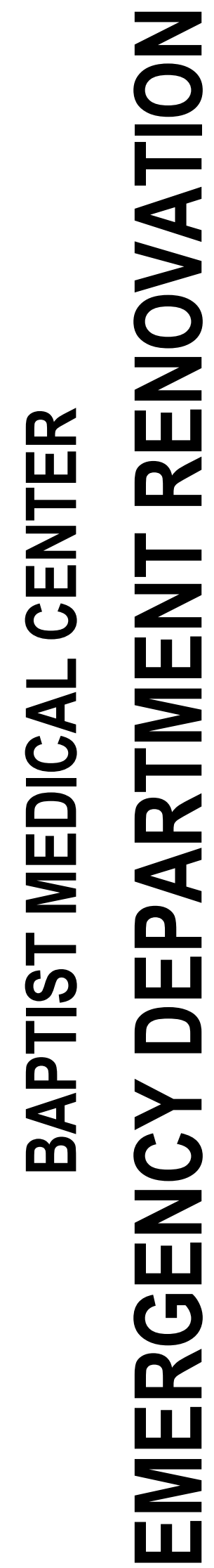
EXECUTION

1. WORK INCLUDED: THE EXTENT OF THE PLUMBING SCOPE OF THIS PROJECT SHALL INCLUDE THE STORM WATER SYSTEM SYSTEM.
2. THE PROJECT INCLUDE MATERIALS AND INSTALLATION REQUIRED TO COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
3. PROVIDE EXCAVATION AND BACKFILLING FOR PLUMBING, AND MEDICAL GAS WORK.
4. INSTALL COUNTERFLASHING FOR PIPES WHERE THEY PENETRATE ROOFS AND OUTSIDE WALLS WHERE REQUIRED.
5. INSTALL PLUMBING FIXTURES AND EQUIPMENT, WHICH REQUIRE PLUMBING CONNECTIONS INTO PIPING SYSTEMS AS CALLED OUT UNDER SEPARATE DIVISIONS OF THIS SPECIFICATION.
6. WORKMEN SHALL BE EXPERIENCED IN THEIR RESPECTIVE TRADES. THE WORKMANSHIP OF THE INSTALLED WORK SHALL BE FIRST CLASS AND SHALL BE JUDGED BY THE ARCHITECT.

SECTION 22.14.13 - STORM DRAINAGE PIPING

1. THIS SECTION APPLIES TO ALL WASTE, VENT, AND RAINWATER/STORM WATER PIPING FOR ALL PLUMBING WORK.
2. STANDARDS: ALL PIPE AND FITTINGS SHALL CONFORM TO ANSI AND APPROPRIATE ASTM STANDARDS.
3. PIPING SHOWN ON DRAWINGS SHALL BE INSTALLED COMPLETE AND OF THE SIZE SHOWN ON THE DRAWINGS. PIPE SIZES ARE NOMINAL SIZE (INCHES) UNLESS OTHERWISE NOTED.
4. PVC PIPE: SCHEDULE 40 PVC PIPE, ASTM D-1785 TYPE 1, GRADE 1, 200 PSI TEST; UNDERGROUND WASTE AND DRAINAGE LINES 2" AND LARGER, SOLVENT CEMENT JOINTS.
5. CAST IRON PIPE: STANDARD WEIGHT NO HUB SOL. PIPE, SERVICE, DRAIN, WASTE AND VENT PIPING 2" AND LARGER AND 30" OR BELOW GROUND; ABOVE GROUND DWV SYSTEMS SHALL USE STANDARD NO-HUB COUPLINGS. ALL STORM PIPING AND DWV BELOW GROUND SHALL USE HEAVY DUTY NO-HUB COUPLINGS.
6. PIPING SHALL BE ROUTED APPROXIMATELY AS SHOWN ON DRAWINGS, OR AS CONDITIONS WILL PERMIT, AND SHALL BE INSTALLED IN CLOSURE AND NOT TO ALLOW FOR FLOOR OR CEILING INTERFERENCE TO PERMIT ALL PIPING SHALL BE INSTALLED SO AS TO RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES. PIPING SHALL BE INSTALLED TO ALLOW FOR EXPANSION AS REQUIRED.
7. INSTALL ISOLATION VALVES IN EACH PIPE CONNECTION TO EQUIPMENT.
8. PIPE DEPENDENT ON GRAVITY DRAINAGE SHALL BE SLOPED MINIMUM 1/8" INCH PER FOOT OF HORIZONTAL RUN OR AS CALLED FOR ON DRAWINGS.
9. FURNISH AND INSTALL DELTA/IRIS COUPLINGS FOR PIPING CONNECTIONS OF DISSIMILAR METALS.
10. PLASTIC AND CAST IRON PIPING AND FITTINGS SHALL NOT BE PRESSURE TESTED WITH COMPRESSED AIR. OBTAIN AND FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR TESTING.
11. CLEANSOUTS SHALL BE PROVIDED AT THE UPSTREAM END OF ALL HORIZONTAL DRAINAGE PIPING AND AT

PLUMBING FIXTURE SCHEDULE						
MARK	DESCRIPTION	MAKE AND MODEL	MINIMUM BRANCH SIZES IN INCHES			
			WASTE	VENT	COLD WATER	HOT WATER
RD-1	ROOF DRAIN	ZURN Z100-DP	SIZE INDICATED ON DRAWING			
OD-1	OVERFLOW ROOF DRAIN	ZURN Z100-DP-89	SIZE INDICATED ON DRAWING			
DS-1	DOWNSPOUT NOZZLE	ZURN ZAB199	SIZE INDICATED ON DRAWING			

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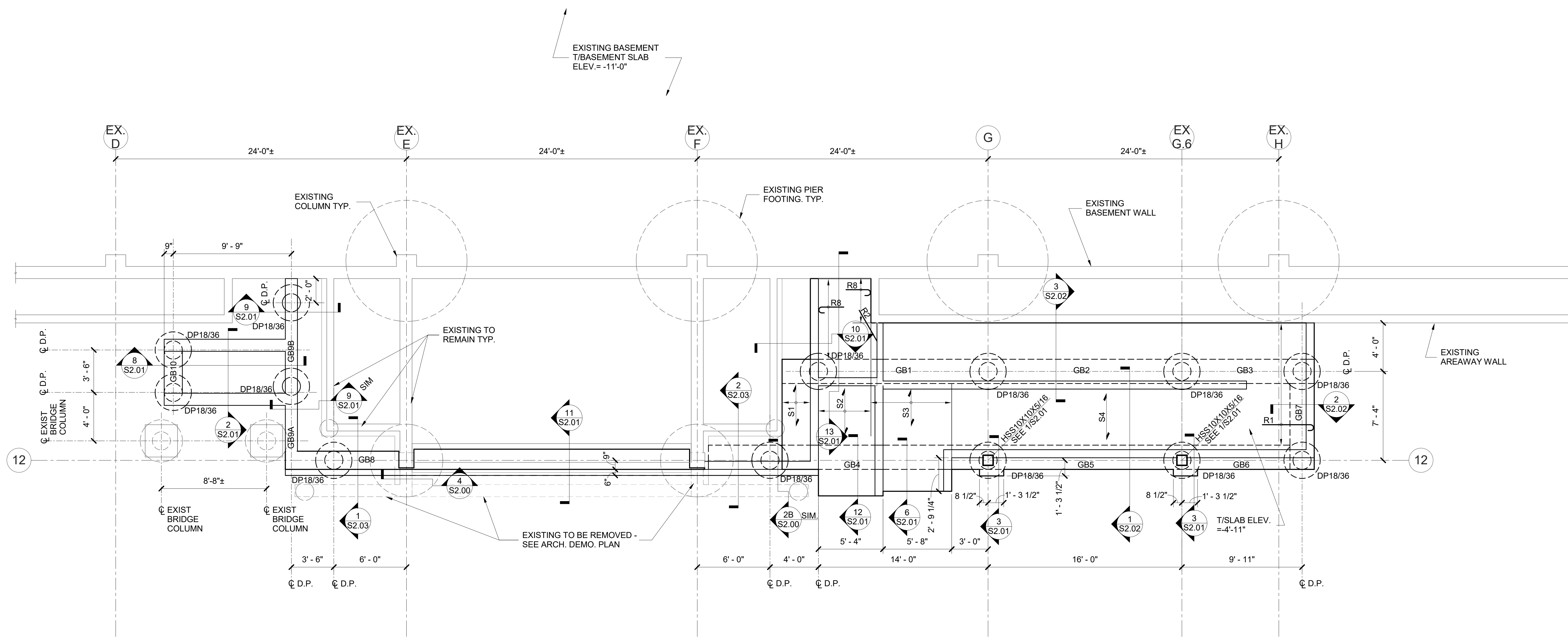
Issue Description	DALLAS ST. ERP		
Original Issue Date	09/20/17		
Project No	16072.00		
Drawn By	JGH	Checked By	.
Drawing Title			

**PLUMBING PLANS,
NOTES AND
SCHEDULES -
DALLAS STREET
ENTRANCE**

Sheet Number

P2.01-EX

GRAPHIC SCALE: 1/32" = 1'-0"
GRAPHIC SCALE: 1/16" = 1'-0"
GRAPHIC SCALE: 3/32" = 1'-0"
GRAPHIC SCALE: 1/8" = 1'-0"
GRAPHIC SCALE: 3/16" = 1'-0"
GRAPHIC SCALE: 1/4" = 1'-0"
GRAPHIC SCALE: 3/8" = 1'-0"
GRAPHIC SCALE: 1/2" = 1'-0"
GRAPHIC SCALE: 3/4" = 1'-0"
GRAPHIC SCALE: 1" = 1'-0"
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FOUNDATION/DRILLED PIER PLAN- DALLAS STREET ENTRY
SCALE: 1/4" = 1'-0"

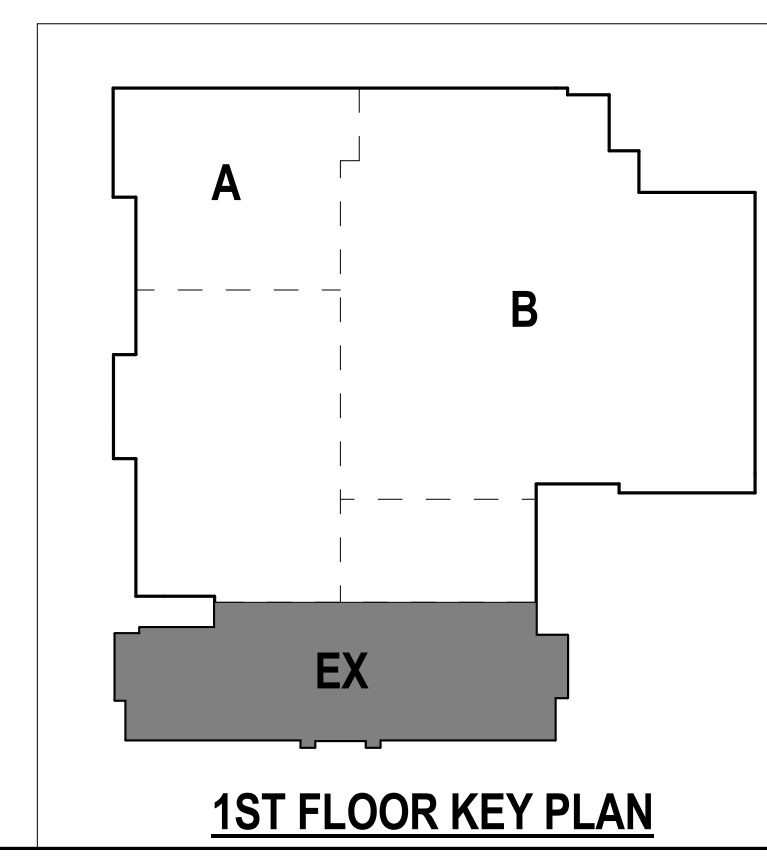
DRILLED PIER LEGEND

DP18/36 → Bell Diameter
→ Shaft Diameter
→ Drilled Pier Mark.

NOTES:
1. SEE DETAIL 3/S2.00 FOR DRILLED PIER ELEVATION AND SCHEDULE.

FOUNDATION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION AND CONDITION RELATED TO THE EXISTING BUILDING PRIOR TO BEGINNING CONTRACTION OR FABRICATION
2. EXISTING STRUCTURE IS SHOWN "SCREENED"
3. SEE ARCHITECTURAL DWGS. FOR DIMENSION NOT SHOWN.
4. SEE 1/S2.00 FOR GRADE BEAM SCHEDULE AND DETAILS
5. SEE S3.00 FOR CONCRETE SLAB SCHEDULE, REINFORCEMENT SCHEDULE AND DETAILS



**BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION**

1111 DALLAS STREET | SAN ANTONIO, TX 78205

DOCUMENT CHANGES			
Description	Date		
Issue Description	ERP		
Original Issue Date	09/20/17		
Project No	16072.00		
Drawn By	CH.S	Checked By	J.P
Drawing Title			

**RAMP & VESTIBULE
FRAMING PLANS-
DALLAS STREET
ENTRY**

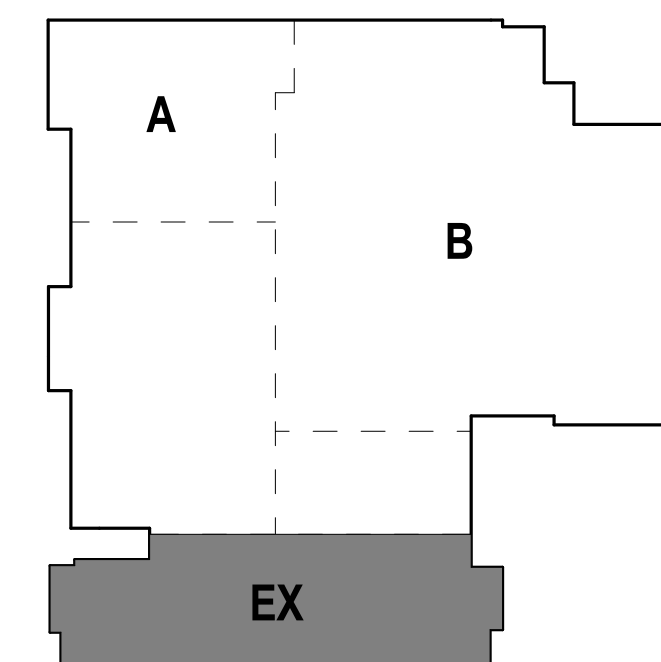
Sheet Number

S1.02



SCALE: 1/4" = 1'-0"

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION AND CONDITION RELATED TO THE EXISTING BUILDING PRIOR TO BEGINNING CONTRACTION OR FABRICATION
2. EXISTING STRUCTURE IS SHOWN "SCREENED"
3. SEE ARCHITECTURAL DWGS. FOR DIMENSION NOT SHOWN.
4. SEE 1/52.00 FOR GRADE BEAM SCHEDULE AND DETAILS
5. SEE 33.00 FOR CONCRETE SLAB SCHEDULE, REINFORCEMENT SCHEDULE AND DETAILS



1ST FLOOR KEY PLAN

GRAPHIC SCALE: 1/32" = 1'-0"

GRAPHIC SCALE: 1/16" = 1'-0"

GRAPHIC SCALE: 3/32" = 1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"

GRAPHIC SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: 3/8" = 1'-0"

GRAPHIC SCALE: 1/2" = 1'-0"

GRAPHIC SCALE: 3/4" = 1'-0"

GRAPHIC SCALE: 1" = 1'-0"

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**BAPTIST MEDICAL CENTER
EMERGENCY DEPARTMENT RENOVATION**

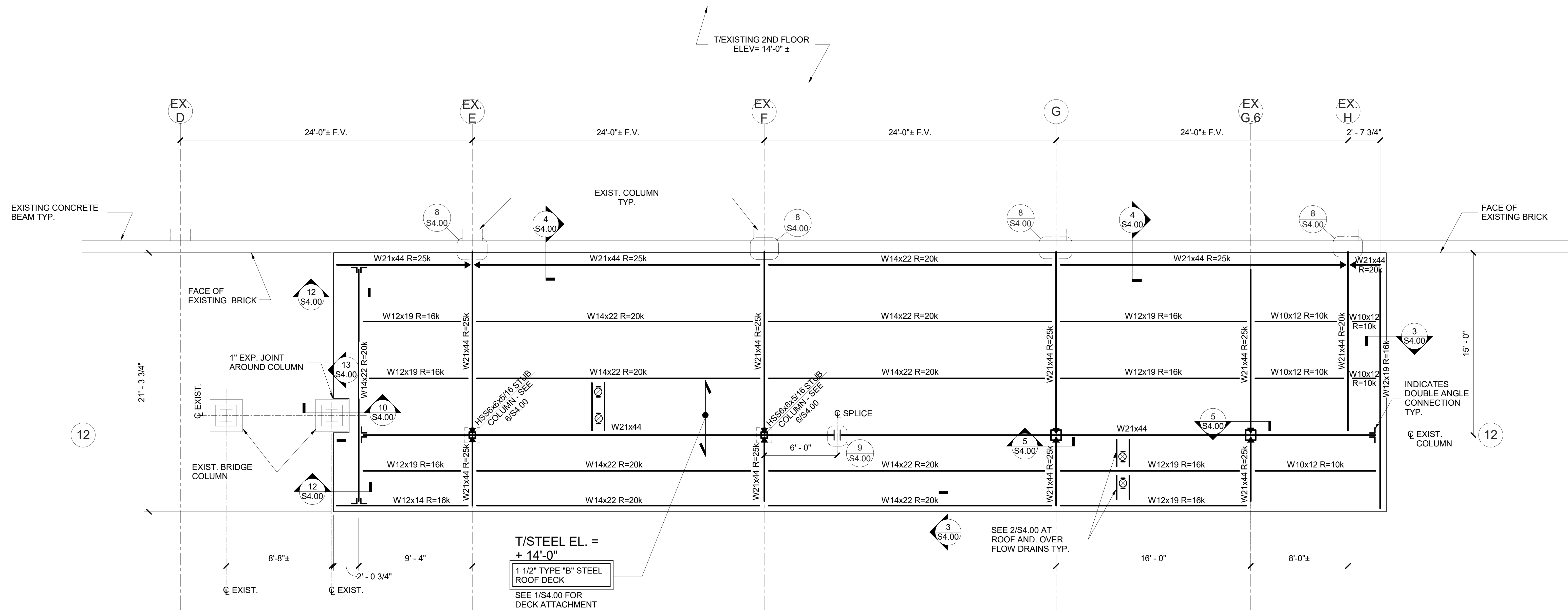
1111 DALLAS STREET | SAN ANTONIO, TX 78205

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**CANOPY FRAMING
PLAN- DALLAS
STREET ENTRY**

Sheet Number


S1.03

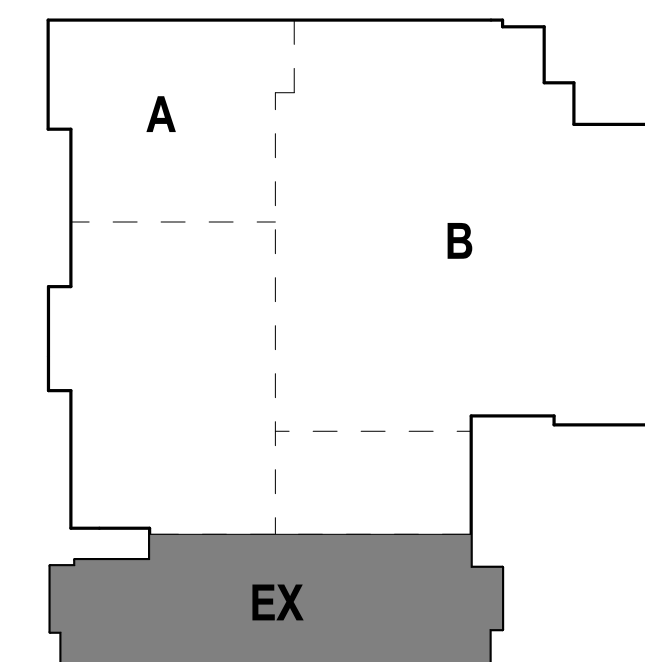


CANOPY FRAMING PLAN- DALLAS STREET ENTRY

SCALE: 1/4" = 1'-0"

FRAMING NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO THE EXISTING BUILDING PRIOR TO BEGINNING CONSTRUCTION OR FABRICATION
2. EXISTING STRUCTURE IS SHOWN "SCREENED"
3. SEE ARCHITECTURAL DWGS FOR DIMENSIONS NOT SHOWN.
4. SPACE BEAMS EQUALLY IN COLUMNS BAYS, U.N.O.
5.  DENOTES WELD THRU MOMENT CONNECTION- SEE 7/54.00



1ST FLOOR KEY PLAN

GRAPHIC SCALE: 1/32" = 1'-0"

GRAPHIC SCALE: 1/16" = 1'-0"

GRAPHIC SCALE: 3/32" = 1'-0"

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GRAPHIC SCALE: 3/16" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

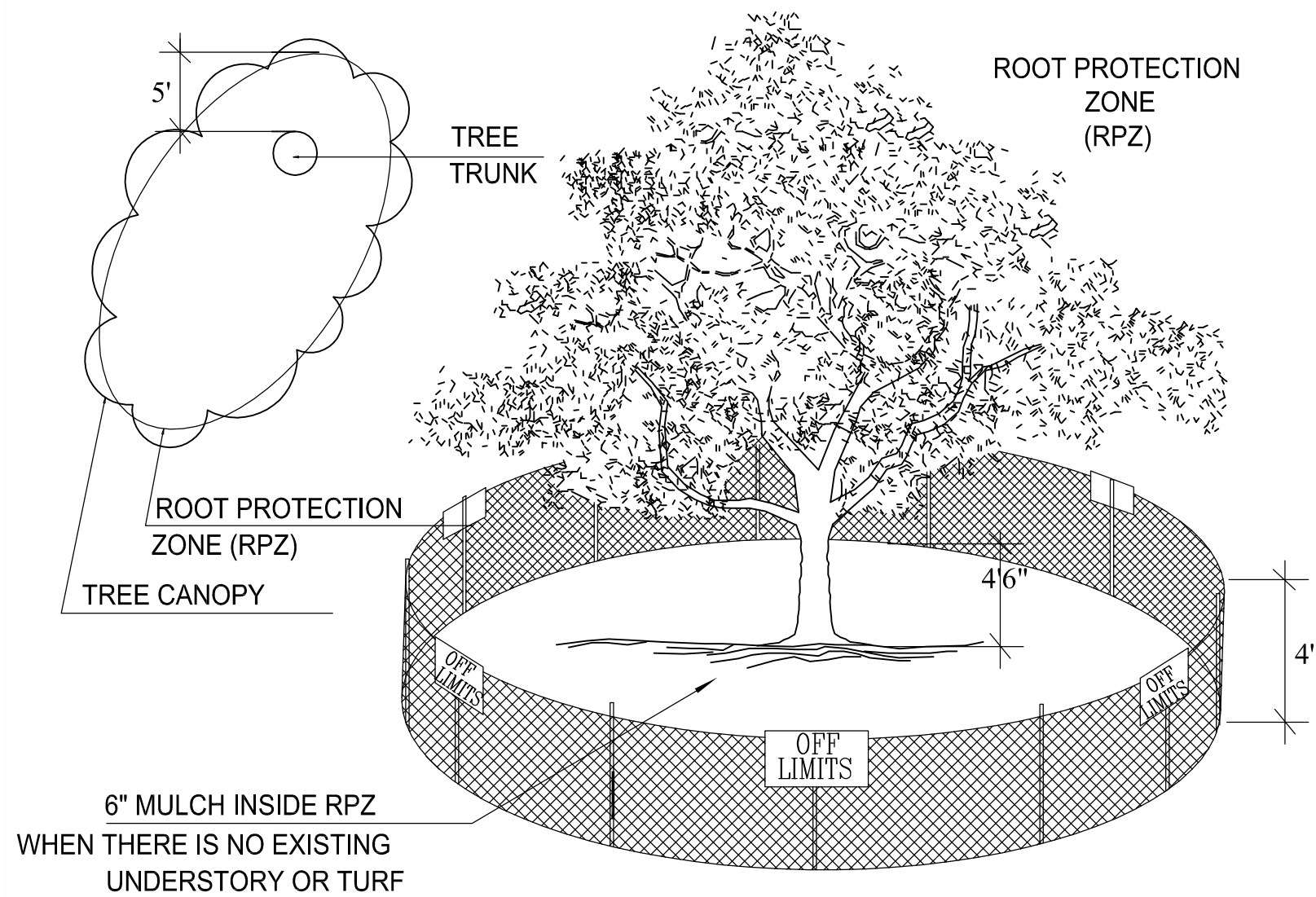
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GRAPHIC SCALE: 1/2" = 1'-0"

GRAPHIC SCALE: 3/4" = 1'-0"

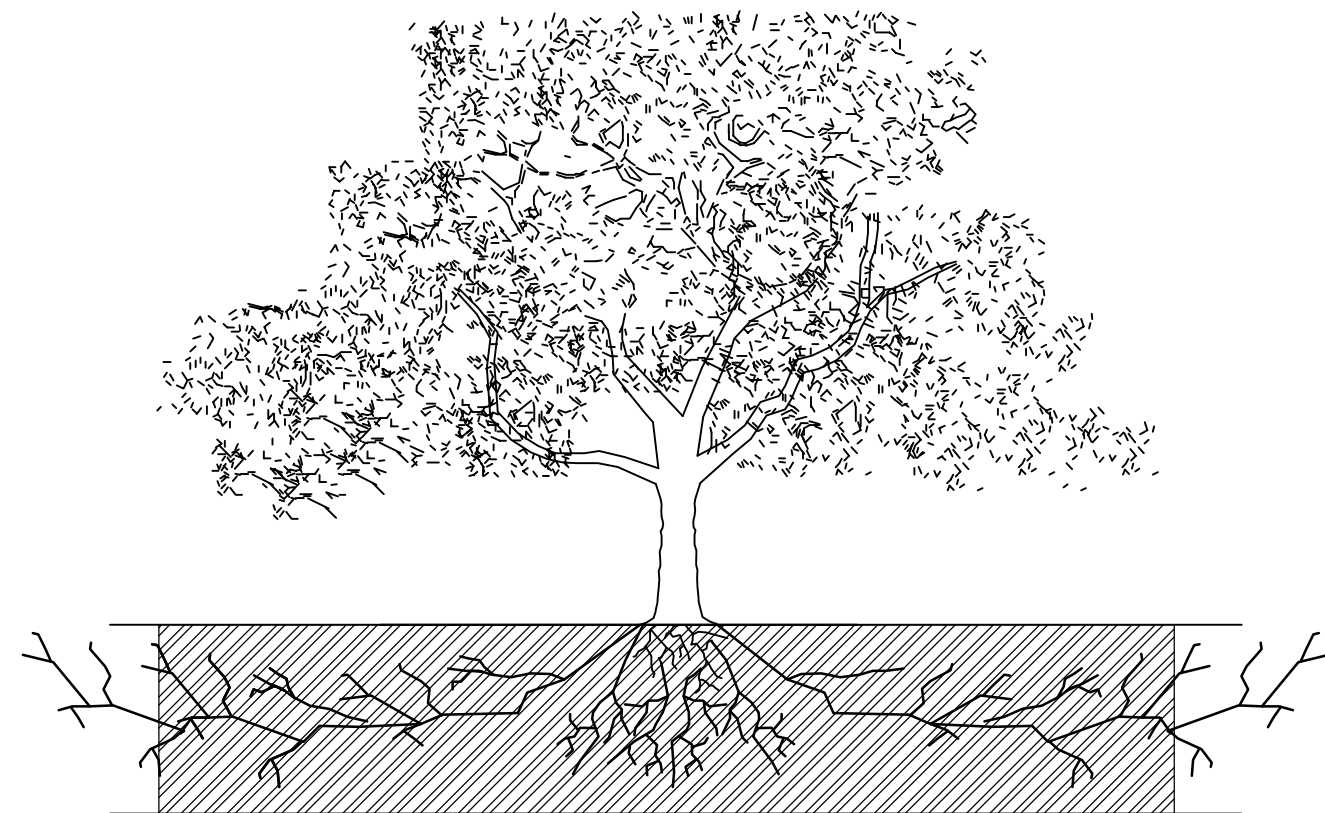
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NOTE:

1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.



ROOT PROTECTION ZONE-THE ROOT PROTECTION ZONE IS A CIRCULAR AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE. EACH 1 INCH DIAMETER OF THE TREE EQUALS 1 FOOT RADIUS FOR ROOT PROTECTION ZONE.

2

TREE PROTECTION FENCING NTS

IRRIGATION NOTE:

THE EXISTING IRRIGATION SYSTEM SPRAY HEADS AND LATERAL LINES SHALL BE ADJUSTED AND MODIFIED IN THE FIELD TO PROVIDE FULL COVERAGE TO ALL EXISTING AND PROPOSED PLANTING AREAS. UTILIZE EXISTING CONTROLLER.

THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED ADJUSTMENTS TO THE EXISTING IRRIGATION SYSTEM, SHOWING ALL CONNECTIONS TO EXISTING SYSTEM, LOCATIONS, AND SIZES OF ALL PIPES, WIRING, VALVES, HEADS, AND FITTINGS NECESSARY FOR PERMITTING AND THE INSTALLATION OF THE WORK. APPROVAL OF DRAWINGS BY THE LANDSCAPE ARCHITECT MUST BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.

HYDRAULIC DESIGN AND SELECTION OF PRODUCTS SHALL BE CONSISTENT WITH THE CHARACTER AND PATTERN OF THE EXISTING IRRIGATION SYSTEM.

THE CONTRACTOR SHALL MAINTAIN AT THE JOB SITE A SEPARATE SET OF PRINTS OF THE PROJECT FOR THE PURPOSE OF RECORDING "AS-BUILT" CHANGES AND DIAGRAMS OF THOSE PARTS OF THE WORK WHERE ACTUAL CONSTRUCTION DIFFERS FROM APPROVED SHOP DRAWINGS.

ALL SPRAY HEADS AND ELECTRIC VALVES TO BE AS MFG. BY WEATHERMATIC, OR APPROVED SUBSTITUTION.
ALL DRIP IRRIGATION PRODUCTS TO BE AS MFG. BY PEPKO PRODUCTS OR APPROVED SUBSTITUTION.

PLANT SCHEDULE

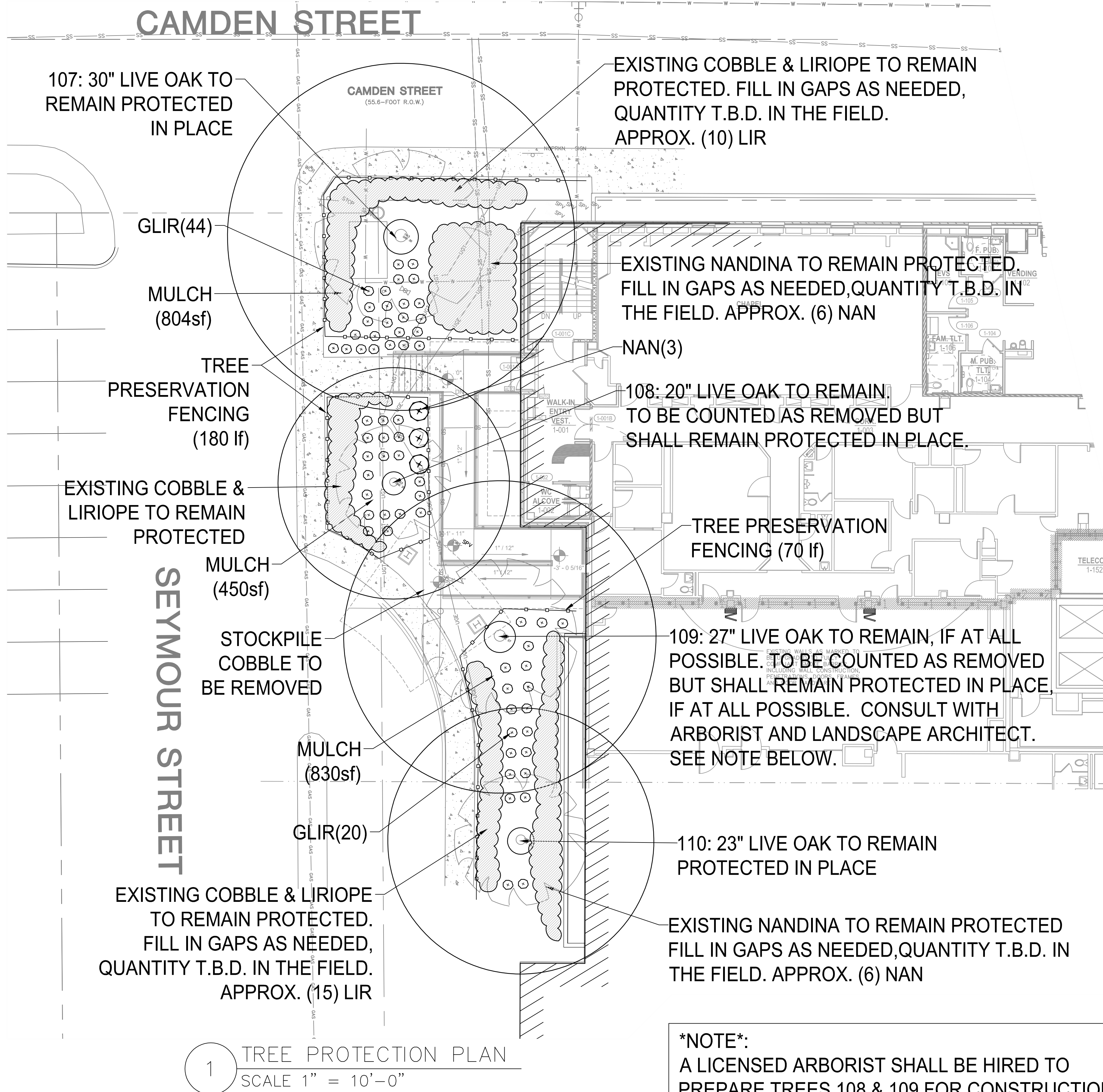
Key	Qty.	Common Name	Botanical Name	Size / Remarks
SHRUBS				
GLIR	44	Giant Liriope	<i>Liriope gigantea</i>	1 gal.
LIR	25	Liriope	<i>Liriope muscari</i>	1 gal.
NAN	15	Nandina	<i>Nandina domestica</i>	5 gal.
APPURTENANCES				
SOIL		Bedding / Shrub areas: A minimum of 8" soil amendments.		(Approx. 1,500sf)
MULCH		HARDWOOD NATIVE MULCH: minimum 4" depth (by Keller Materials or approved substitution.)		(Approx. 2,084 sf)
(Contractor shall verify/determine quantity required in the field.)				

TREE PROTECTION & PRESERVATION GENERAL NOTES

1. ALL PROTECTED SIZE TREES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO THE SPECIFICATIONS.
2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE CITY APPROVED PLANS.
3. NO DISTURBANCE SHALL OCCUR IN THE ROOT PROTECTION ZONE AREA.
4. NO CONSTRUCTION SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
5. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
6. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE-INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATIONS IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR FOR GUIDANCE.
7. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
8. NO, EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE OF ANY TREE NEAR THE PROJECT. THE ROOT PROTECTION ZONE FOR ALL PROTECTED TREES SHALL BE AN 8 FOOT DIAMETER (MIN.) ROOT PROTECTION ZONE.
9. ROOT OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT 'OAK WILT' INFECTION.
10. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST.
11. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE CITY'S SATISFACTION.
12. TREES, TREE LIMBS, BUSHES AND SHRUBS LOCATED IN THE STREET OR ALLEY RIGHT-OF-WAY OR PAVEMENT EASEMENTS WHICH INTERFERE WITH PROPOSED CONSTRUCTION ACTIVITIES MAY BE NEATLY TRIMMED BY THE CONTRACTOR ONLY AFTER APPROVAL FROM THE INSPECTOR.
13. SAPLINGS, SHRUBS, OR BUSHES TO BE CLEARED FROM THE PROTECTED ROOT ZONE AREA OF A PROTECTED TREE SHALL BE REMOVED BY HAND AS DESIGNATED BY THE INSPECTOR.
14. ALL DEBRIS GENERATED BY THE PRUNING AND REMOVAL OF THE TREES AND/OR BUSHES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND MARKING OF ALL EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES WITHIN THE PROJECT AREA.

NOTE:
ALL PLANTING SHALL BE SET OUT IN THE FIELD (STILL IN CONTAINERS) FOR APPROVAL OF LAYOUT PRIOR TO INSTALLATION.



NOTE:
A LICENSED ARBORIST SHALL BE HIRED TO PREPARE TREES 108 & 109 FOR CONSTRUCTION AND MONITOR AND MAINTAIN TREES THROUGHOUT CONSTRUCTION.

MITIGATION NOTE:
TREES 108 AND 109 WILL HAVE CONSTRUCTION WITHIN THEIR RPZ (ROOT PROTECTION ZONES). DUE TO THE RPZ BEING COMPROMISED, TREES 108 AND 109 CANNOT BE COUNTED AS PRESERVED AND MUST BE COUNTED AS REMOVED. HOWEVER, TREES 108 AND 109 SHALL REMAIN IN PLACE AND BE PROTECTED THROUGHOUT CONSTRUCTION IF AT ALL POSSIBLE.

REQUIRED MITIGATION = 81" (at \$200 per inch) = \$16,200

\$16,200 WILL BE PAID BY THE OWNER INTO THE CITY TREE FUND.

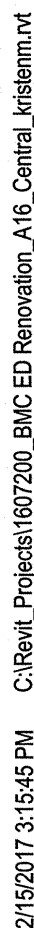
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DOCUMENT CHANGES

Description	Date

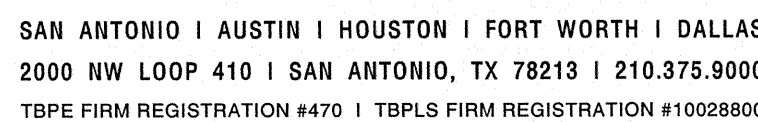
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Original Issue Date	10/11/17
Project No	16072.00
Drawn By	BV
Checked By	LCC
Drawing Title	

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1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE AND EITHER SHRED OR CHIPPING ALL MATERIALS AND DEBRIS INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE AND LOCAL REGULATIONS.
3. ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE NOT TO BE.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER AND GAS. CONTRACTOR SHALL BE RESPONSIBLE FOR SHUTTING OFF AND DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
5. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND REMOVAL OF ALL EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGH THE USE OF ALL PHASES OF UTILITIES DETECTION.
6. ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS TO BE REMOVED. ALL CUTS SHALL BE MADE AT 90 DEGREES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
8. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBS, OR OTHER KEY CONTROL POINTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NECESSARY TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
9. CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. EXISTING WATER AND SANITARY SEWER LINES SHALL REMAIN OPERATIONAL UNTIL NEW SERVICE IS COMPLETE. CUT AND CAP ANY ABANDONED SANITARY LINES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
10. THE USE OF EXISTING UTILITIES SHALL NOT BE PERMITTED.
11. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, OIL, OR OTHER UTILITIES. SECONDARY UTILITIES SUCH AS ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION SYSTEMS, GAS, AND GAS LINES SHALL BE LOCATED AND IDENTIFIED. THIS SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
12. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.
13. THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJACENT PROPERTIES.

1. THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL REQUIRED BY THE CITY FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL PREPARE TRAFFIC CONTROL PLANS TO BE SUBMITTED TO THE CITY.
2. THE CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMITS AND SIDEWALK PERMITS AS REQUIRED FOR THE CONSTRUCTION.



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EMERGENCY DEPARTMENT RENOVATION

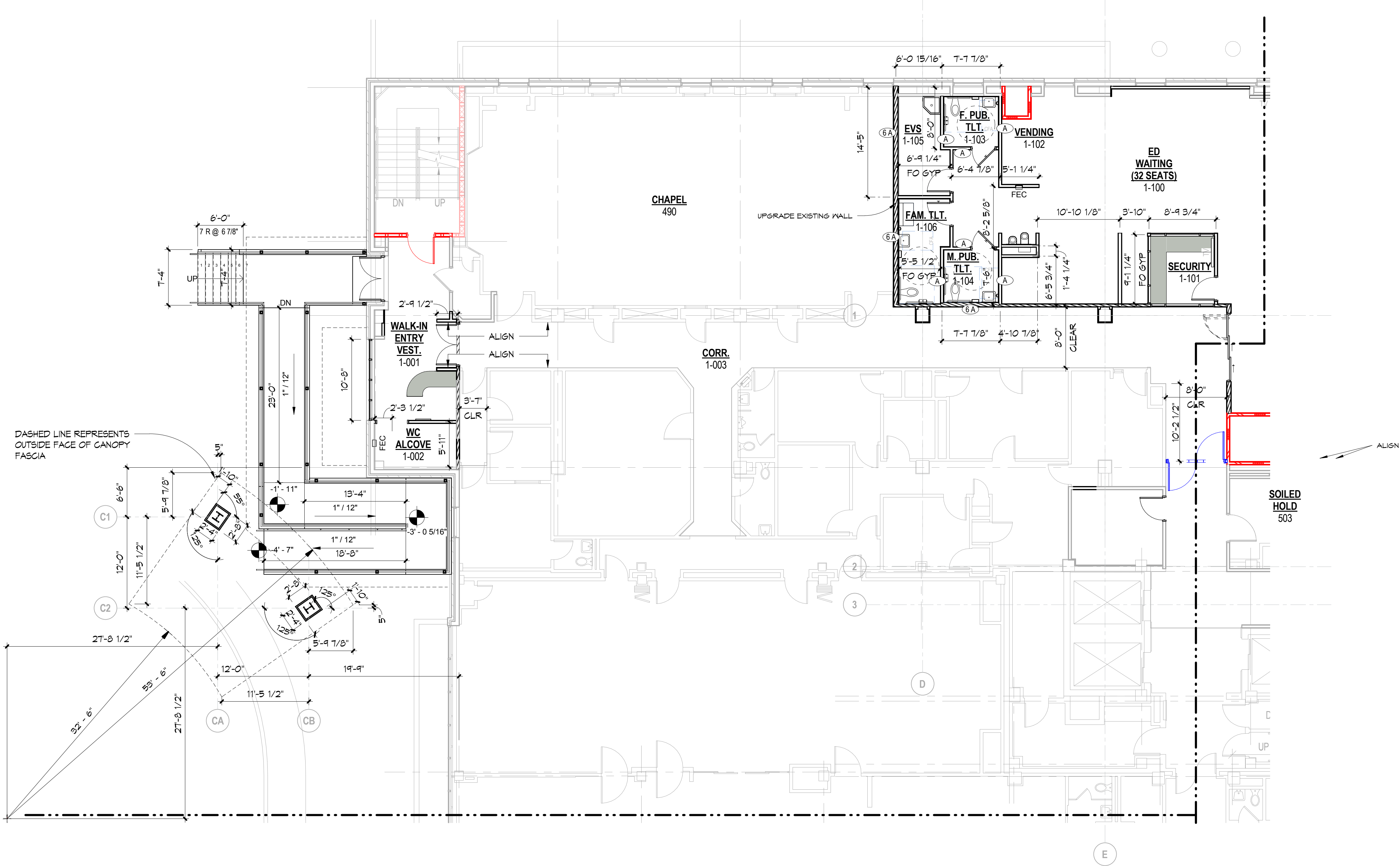
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DOCUMENT CHANGES		
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Original Issue Date	10/11/17	
Project No	11404-00	
Drawn By	MC	Checked By JK
Drawing Title		

DEMOLITION PLAN

C2.0

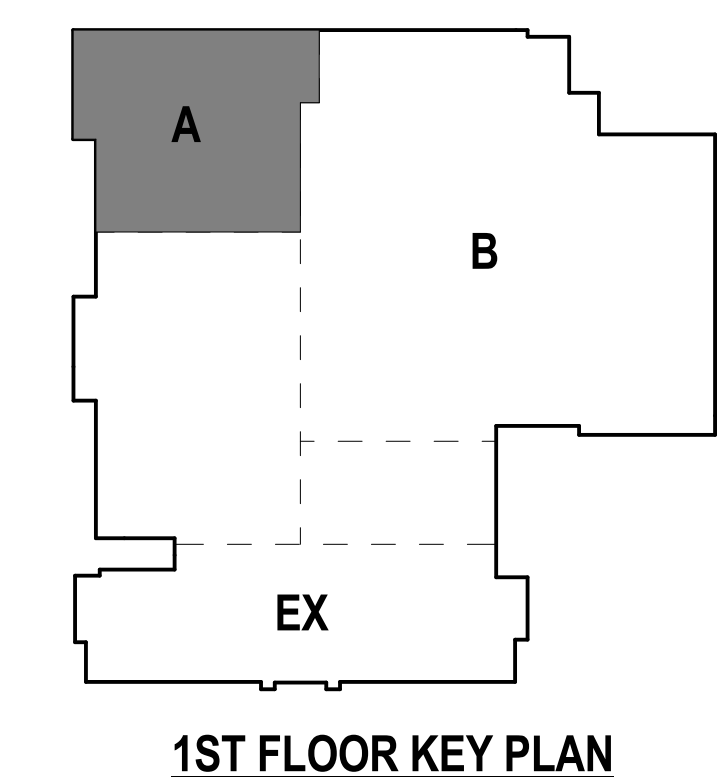
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GRAPHIC SCALE: 1/16" = 1'-0"
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GRAPHIC SCALE: 3/16" = 1'-0"
GRAPHIC SCALE: 1/4" = 1'-0"
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1ST FLOOR PLAN - PART A - DIMENSIONED
SCALE: 1/8" = 1'-0"

WALL LEGEND	
	EXISTING NON-RATED PARTITION
	EXISTING SMOKE PARTITION TO DECK
	EXISTING 1-HOUR FIRE BARRIER
	EXISTING 2-HOUR FIRE BARRIER
	EXISTING 2-HOUR RATED SHAFT WALL BARRIER
	EXISTING NON-RATED C.M.U. PARTITION TO DECK
	EXISTING 1-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 2-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING CAST-IN-PLACE CONG.
	EXISTING 2-HOUR CONG. FIRE BARRIER
	NON-RATED PARTITION TO DECK
	SMOKE PARTITION TO DECK
	1-HOUR FIRE BARRIER
	1-HOUR SMOKE BARRIER
	1-HOUR RATED SHAFT WALL BARRIER
	2-HOUR FIRE BARRIER
	2-HOUR SMOKE BARRIER
	2-HOUR RATED SHAFT WALL BARRIER
	NON-RATED C.M.U. PARTITION TO DECK
	1-HOUR C.M.U. FIRE BARRIER TO DECK
	2-HOUR C.M.U. FIRE BARRIER TO DECK
	1-HOUR C.M.U. SMOKE BARRIER TO DECK
	CAST-IN-PLACE CONG.
	2-HOUR CONG. FIRE BARRIER
	2-HOUR CONG. SMOKE BARRIER

WALL FRAMING & SOUND RATING LEGEND		
ALL INTERIOR STUD WALLS AND FURROUTS TO BE CONSTRUCTED WITH 3 5/8" METAL STUD FRAMING UNLESS DENOTED WITH TAGS BELOW.		
0	5/8" GYP. BD. ON 1/8" METAL Furring OVER CONCRETE OR CMU SUBSTRATE	
1	1 5/8" METAL STUDS	
2	2 1/2" METAL STUDS	
4	4" METAL STUDS OR CMU	
6	6" METAL STUDS OR CMU	
8	8" METAL STUDS, CMU OR CONCRETE	
12	12" CMU OR CONCRETE	
DIMENSIONED NOTE: FOR EASE OF PARTITION LAYOUT, ALL STANDARD DRYWALL PARTITIONS ARE DIMENSIONED TO THE CENTERLINE OF THE STUD. CHASES, SHAFTWALL AND CMU WALLS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE. EXISTING WALLS ARE DIMENSIONED TO THE FINISHED FACE.		
	STC RANGE	DESCRIPTION
A	STC 45-49	EQUIVALENT TO IWP 1012; 4 7/8" MIN. STEEL STUD WALL SYSTEM
B	STC 50-54	EQUIVALENT TO IWP 1052; 5 1/2" MIN. STEEL STUD WALL SYSTEM * UNBALANCED
C	STC 55-59	EQUIVALENT TO IWP 1522; 6 1/8" MIN. STEEL STUD WALL SYSTEM
D	STC 65-69	EQUIVALENT TO IWP 3060; 10 3/4" MIN. STEEL STUD WALL SYSTEM * DOUBLE STUD
E	STC 50-54	EQUIVALENT TO IWP 1051; 5 1/4" MIN. STEEL CH-STUD SHAFT WALL SYSTEM
F	STC 55	8" MIN. GROUTED CMU WALL SYSTEM
NOTE: VERIFY ALL WALL THICKNESSES, STUD GAUGE, STUD SPACINGS AND SOUND ATTENUATION BLANKET WITH DOCUMENTS. REFER TO THE GYPSUM ASSOCIATION "FIRE RESISTANCE DESIGN MANUAL" FOR IWP ASSEMBLIES.		



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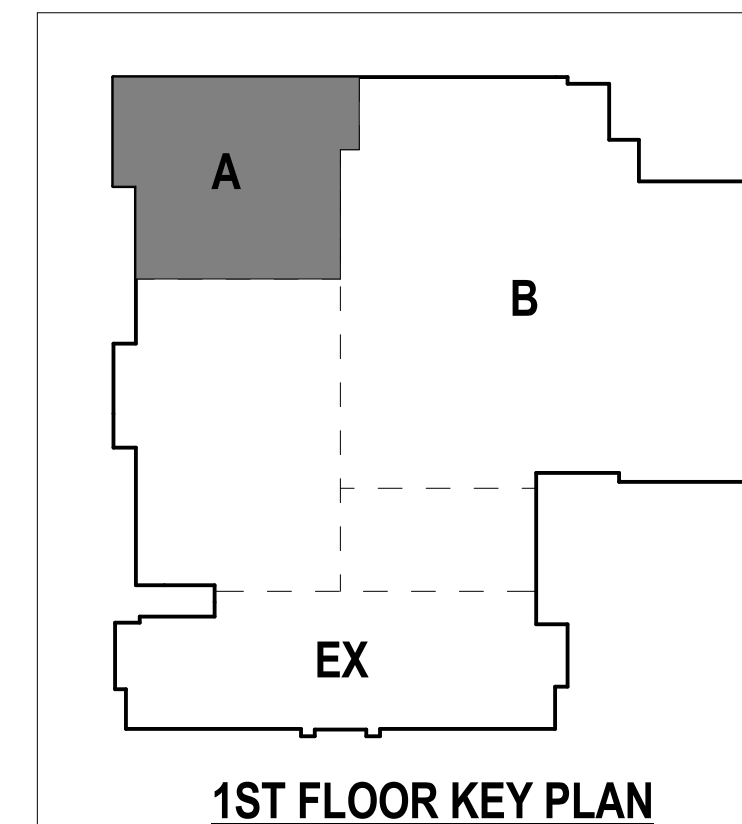
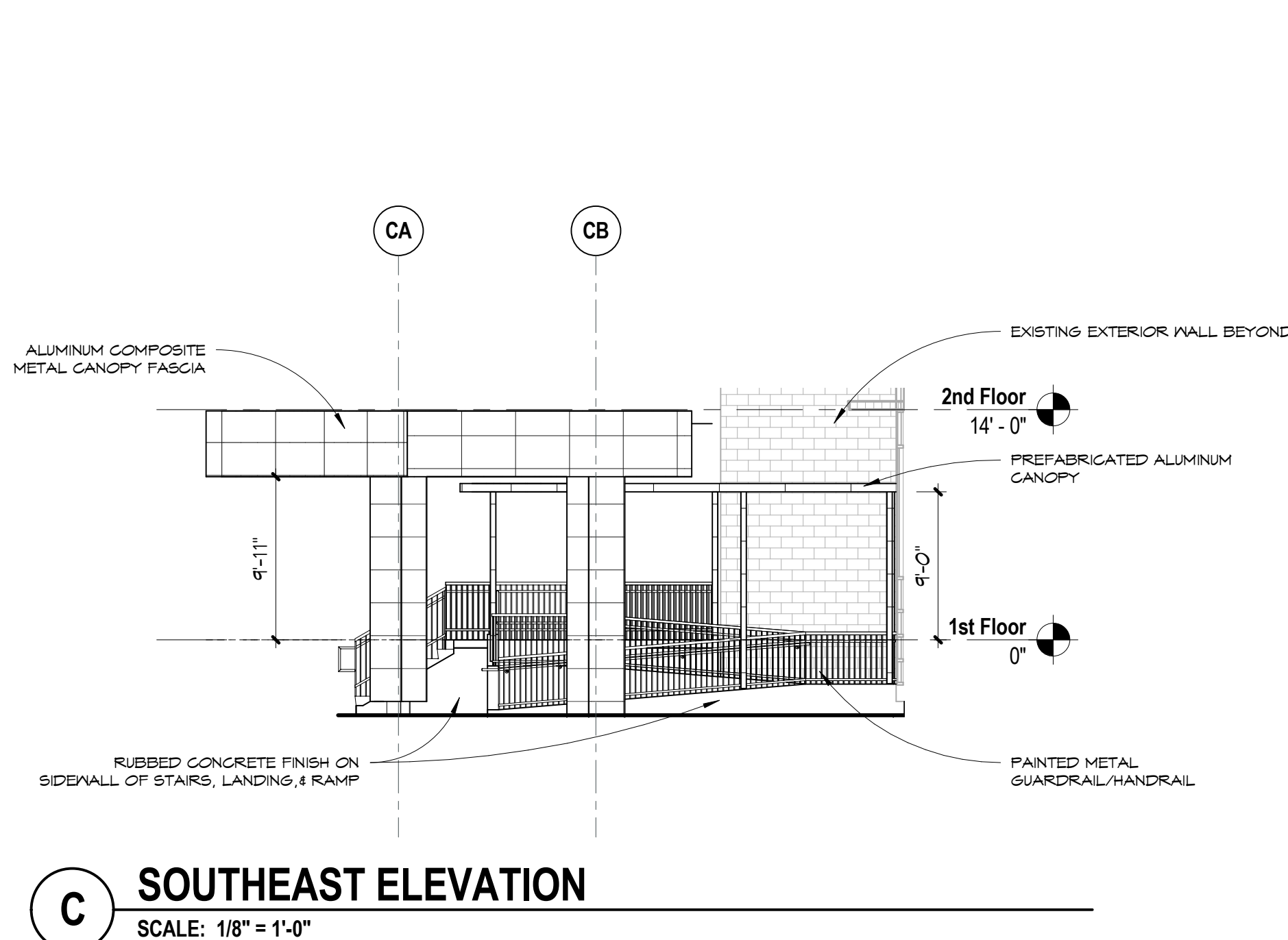
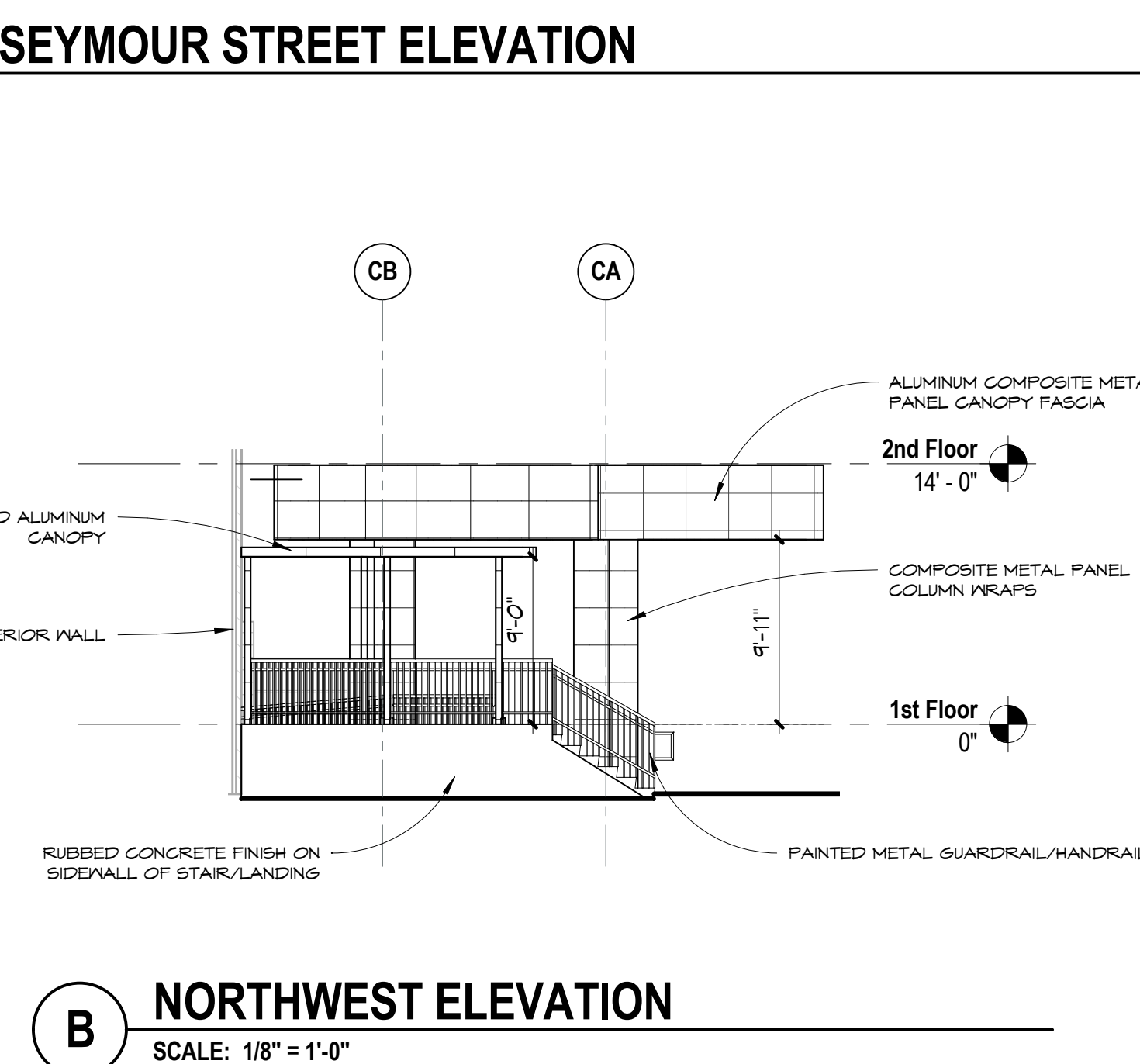
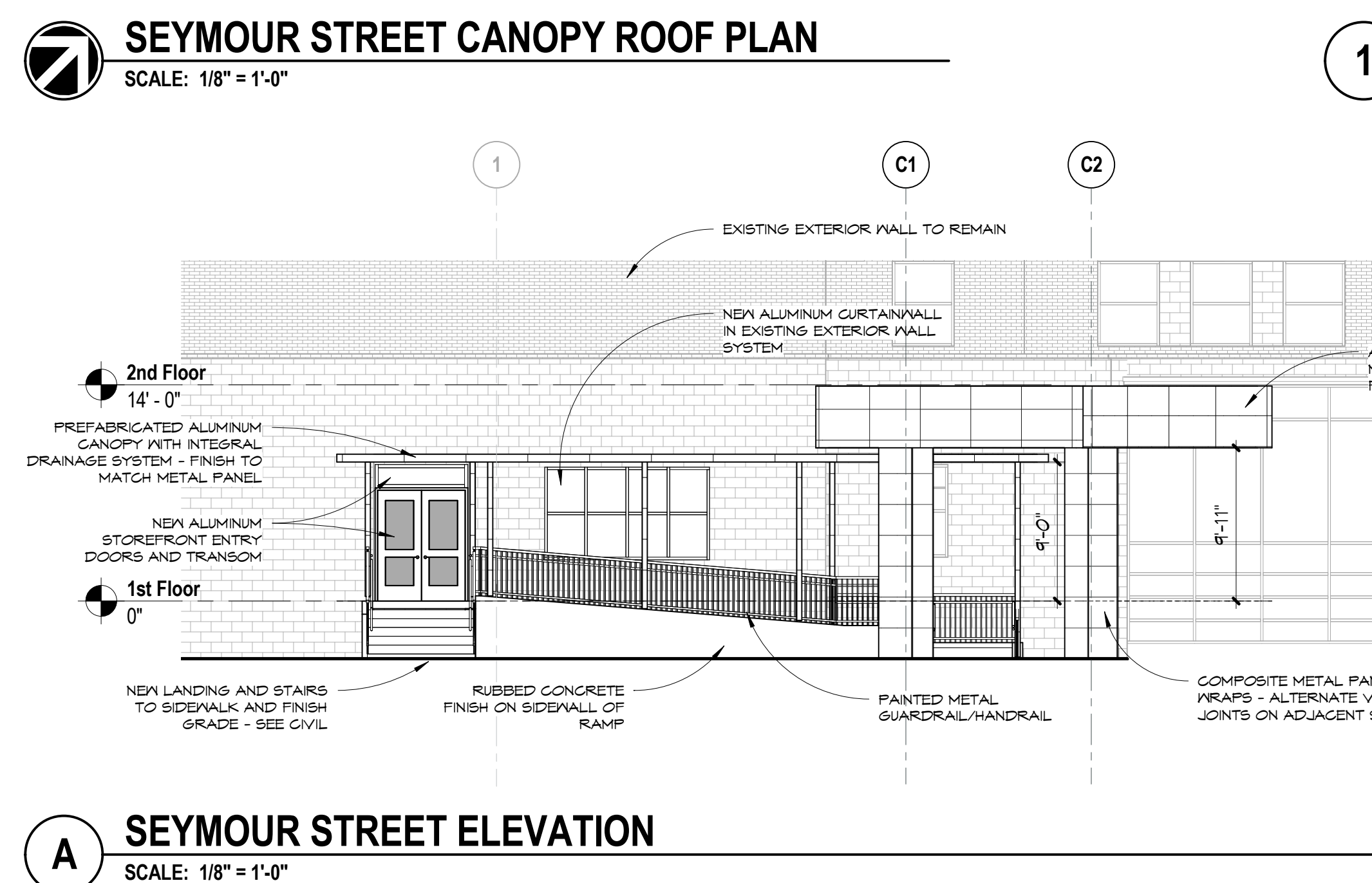
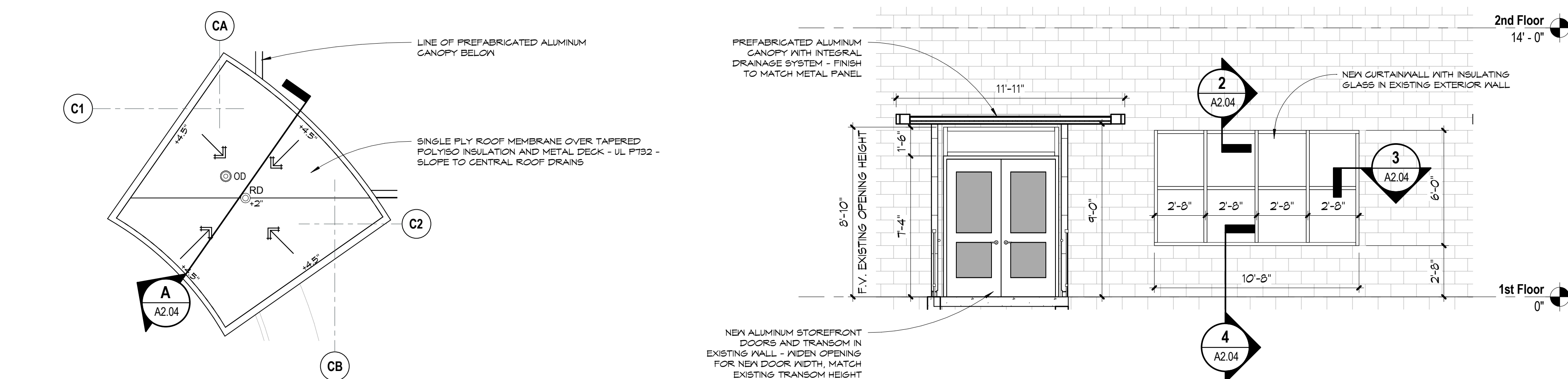
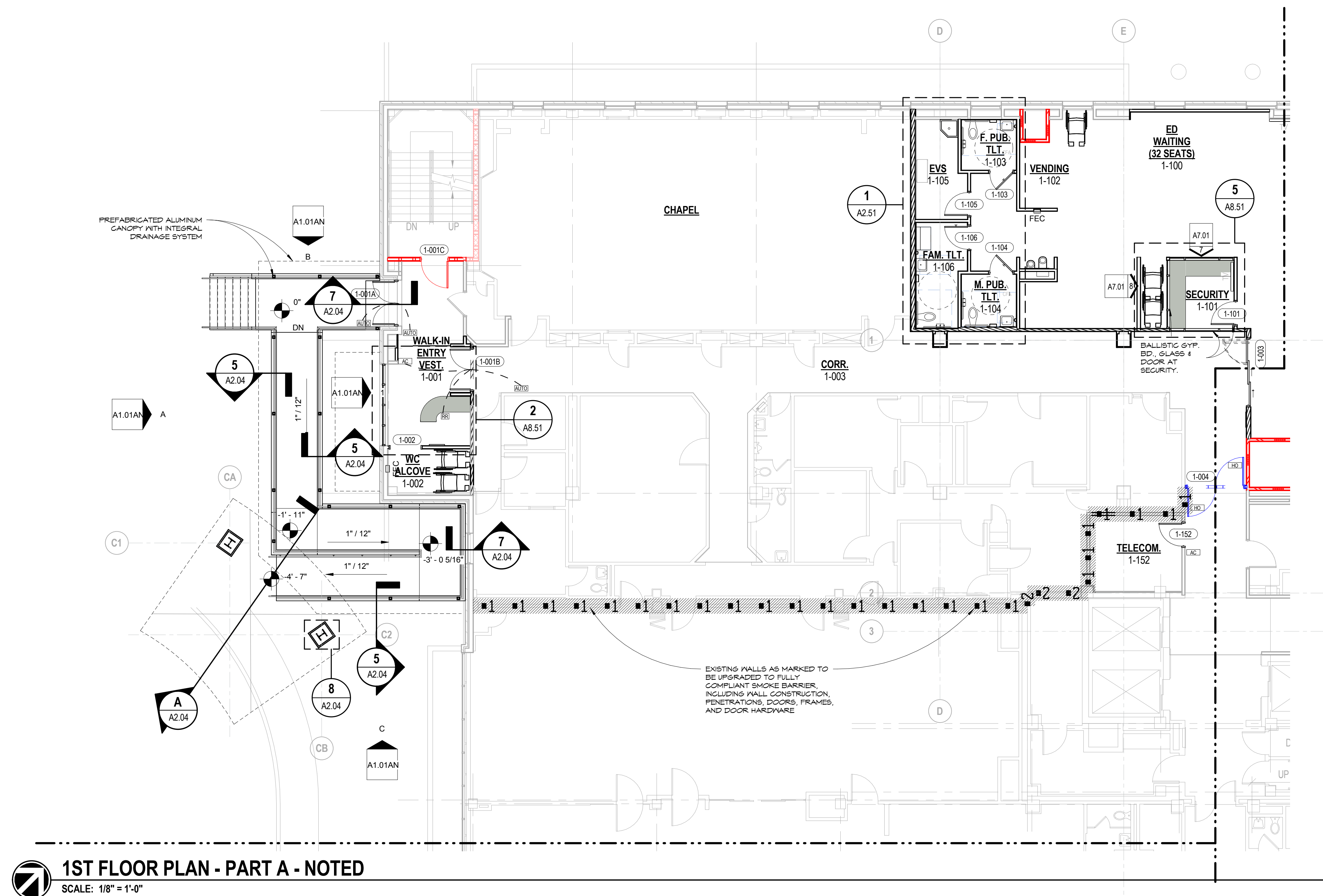
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Description	Date










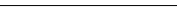

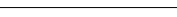


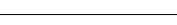


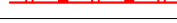

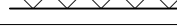




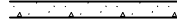

Issue Description	CONSTRUCTION DOCUMENTS
Original Issue Date	10/11/17
Project No	160722.00
Drawn By	JMR
Checked By	JMR
Drawing Title	

**FIRST FLOOR PLAN
PART A -
DIMENSIONED**

Sheet Number
A1.01AD



WALL LEGEND

	EXISTING NON-RATED PARTITION
	EXISTING SMOKE PARTITION TO DECK
	EXISTING 1-HOUR FIRE BARRIER
	EXISTING 2-HOUR FIRE BARRIER
	EXISTING 2-HOUR RATED SHAFT WALL BARRIER
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	NON-RATED PARTITION TO DECK
	SMOKE PARTITION TO DECK
	1-HOUR FIRE BARRIER
	1-HOUR SMOKE BARRIER
	1-HOUR RATED SHAFT WALL BARRIER
	2-HOUR FIRE BARRIER
	2-HOUR SMOKE BARRIER
	2-HOUR RATED SHAFT WALL BARRIER
	NON-RATED C.M.U. PARTITION TO DECK
	1-HOUR C.M.U. FIRE BARRIER TO DECK
	2-HOUR C.M.U. FIRE BARRIER TO DECK
	1-HOUR C.M.U. SMOKE BARRIER TO DECK
	2-HOUR C.M.U. SMOKE BARRIER TO DECK
	CAST-IN-PLACE CONG.
	2-HOUR CONG. FIRE BARRIER
	2-HOUR CONG. SMOKE BARRIER

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Seals



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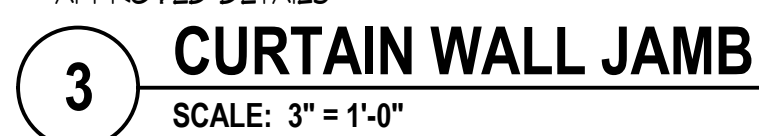
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**FIRST FLOOR PLAN
PART A - NOTED**

Sheet Number
A1 01 AN

A1.01AN



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