

HISTORIC AND DESIGN REVIEW COMMISSION

December 20, 2017

HDRC CASE NO: 2017-660
ADDRESS: 231 E Houston
LEGAL DESCRIPTION: NCB 407 BLK 17 LOT E 93.51 FT OF 19 COURT BUILDING SUBD
ZONING: D, HS
CITY COUNCIL DIST.: 1
LANDMARK: George Building
APPLICANT: Peter French/Gray Street
OWNER: Gray Street Houston-219 E Houston Street LLC
TYPE OF WORK: Removal of glass storefront
APPLICATION RECEIVED: December 6, 2017
60-DAY REVIEW: February 4, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to remove the glass storefront from 231 E Houston to create a covered area consistent with that of 229 E Houston.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to remove the glass storefront from 231 E Houston to create a covered area consistent with that of 229 E Houston. The Guidelines for Exterior Maintenance and Alterations 10.A.i. notes that character defining features of historic facades should be retained. Additionally, the Guidelines for Exterior Maintenance and Alterations 10.B.ii. notes that some non-original façade elements may have gained historic significance and should be retained. Staff finds the existing storefront and façade materials to not be original to the structure and their removal to be appropriate. Final material details and site furnishings are to be submitted to staff for review and approval.

RECOMMENDATION:

Staff recommends approval based on finding a.

CASE MANAGER:

Edward Hall



Flex Viewer

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Printed: Dec 13, 2017

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229

FOR LEASE
ROOM
OUTFITTER
LARGE STOPS
212-555-8434

ICE
ROOM

231

Palm

NO VALET
PARKING

2:00pm - 5:00pm

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GOSPURS

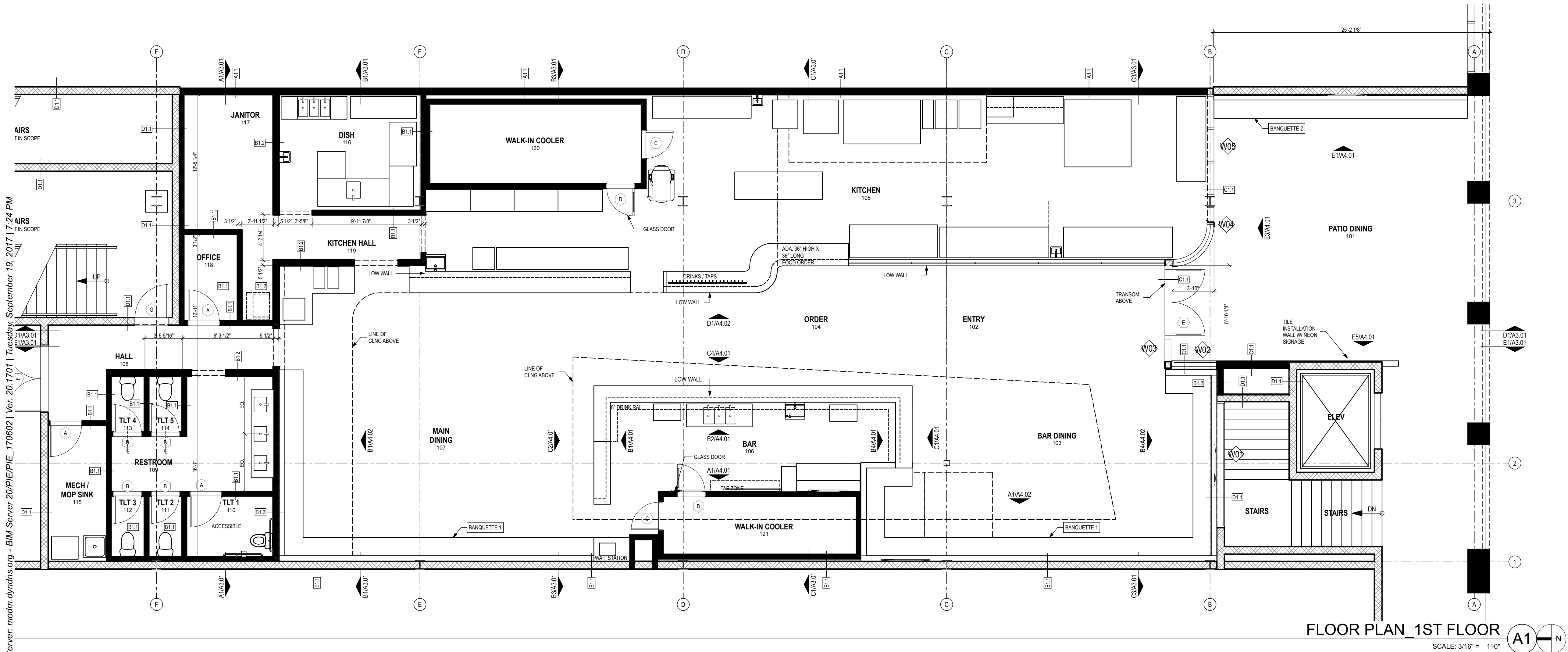




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KEYNOTES	
TAG	DESCRIPTION
APPLIANCE	APPLIANCE, REF. APPLIANCE SCHEDULE., VERIFY ALL DIMS. W/ MANUFACTURER SPECS.
BANQUETTE 1	WOOD 1" BANQUETTE @ INTERIOR; REMOVABLE FOR CLEANING. REFER TO DETAILS B1, B2, B3/A5.01
BANQUETTE 2	TILE 1" BANQUETTE @ EXTERIOR; REMOVABLE FOR CLEANING. REFER TO B4/A5.01
BASE 1	PVC/HARDI BASE EMBEDDED IN SEALANT WITH "Z" FLASHING. LOCATED AT FRP AND STAINLESS CLAD WALLS.
BASE 2	"TILE 1" (DALTILE OR SIM.)
BASE 3	"TILE2" (DALTILE OR SIM.)
BLOCKING 1	BLOCKING AS REQUIRED.
CEILING 1	2X4 CEILING TILE, FOOD GRADE, SUSPEND FROM EXTG DECK.
CEILING 2	EXPOSED DECK, INSULATE AS REQ'D
CEILING 3	-
CEILING 4	STAINED AND SEALED PLYWOOD IN STEEL FRAME.
CONC 1	STAINED & SEALED CONCRETE, REPAIR AS REQ'D; 'STAIN 1'
CONC 2	BOARD FORMED CONCRETE, FORM WITH 6" BOARDS WITH .25" GAP BETWEEN, REINFORCE AS REQ.
DOOR	REF. DOOR SCHEDULE
DRINK RAIL	-
DROP CEILING	2' X 2' DROP IN CEILING TILE, FOOD GRADE
FLASHING 1	SELF-ADHESIVE FLEX. FLASHING, WRAP ALL OPNGS. PER MFR. INSTRUCTION
FLASHING 2	ALUM. FLASHING W/ DRIP EDGE, MATCH COLOR OF ADJACENT CLADDING/MATERIAL IF AT VISIBLE LOCATION.
FLASHING 3	ALUMINUM FLASHING, MATCH FINISHED COLOR OF ADJACENT CLADDING/MATERIAL IF AT VISIBLE LOCATION.
FRAMING 1	WOOD FRAMING, REF. STRUCTURAL DRAWINGS.
FRAMING 2	TREATED LUMBER SCREEDS AT METAL PANEL - PAINT WITH EXTERIOR GRADE BLACK PAINT
FRAMING 3	METAL STUD FRAMING, PER TYPE VB COMBUSTIBLE NON-CONSTRUCTION. REF. STRUCTURAL DRAWINGS.
GYP BD 1	PAINTED GYPSUM WALLBOARD, REFERENCE FINISH SCHEDULE FOR PAINT COLOR.
GYP BD 2	5/8" TYPE X/C, PAINTED GYPSUM WALL BOARDS, REF FINISH SCHEDULE FOR PAINT COLORS; REF. UL DOC FOR GYP INSTALLATION REQ'S.
INSULATION 1	SOUND INSULATION
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LIGHT COVE	LIGHTING COVE, REF. XX/XXX
LIGHT FIX	LIGHTING FIXTURE, REF RCP & LIGHTING SCHEDULE.
MEP EQUIP	REFER TO MEP DRAWINGS
METAL 1	STAINLESS STEEL
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METAL 4	FLAT SEAM METAL PANEL, GUNMETAL GREY
MILLWORK 1	BAR AND DINING
MILLWORK 2	KITCHEN
MIRROR	INSTALL MIRROR FLUSH WITH ADJACENT TILE/FINISH MATERIAL @ TYPICAL BATHROOMS, FLOATING MIRROR @ POWDER.
PANEL 1	STEEL PANEL (UNDER BAR)
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SHELF 2	SHELF AT HOTLINE
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SLOPE	SLOPE AWAY FROM BUILDING (TO DRAIN), 1/4" : 1'-0", U.N.O.
STUCCO 1	STUCCO
SURFACE 1	SEALED RAW STEEL
TILE 1	"TILE 1" (DALTILE OR SIM.)
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TILE 3	TILE INSTALLATION, LOCAL ARTISAN (TBD)
VAP BARRIER	-
WATERPRF 1	ROOF: ICE AND WATER SHIELD, BY GRACE OR EQUAL, REF. CONTRACTOR'S SPECIFICATIONS.
WINDOW	WINDOW, REF. WINDOW SCHEDULE.
WOOD 1	1x6 STAINED AND SEALED WOOD (CYPRESS OR SIM.)

m(ødm)

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1009 West 6th Street #50 78703
San Antonio ⁽⁵¹²⁾ 469.5950
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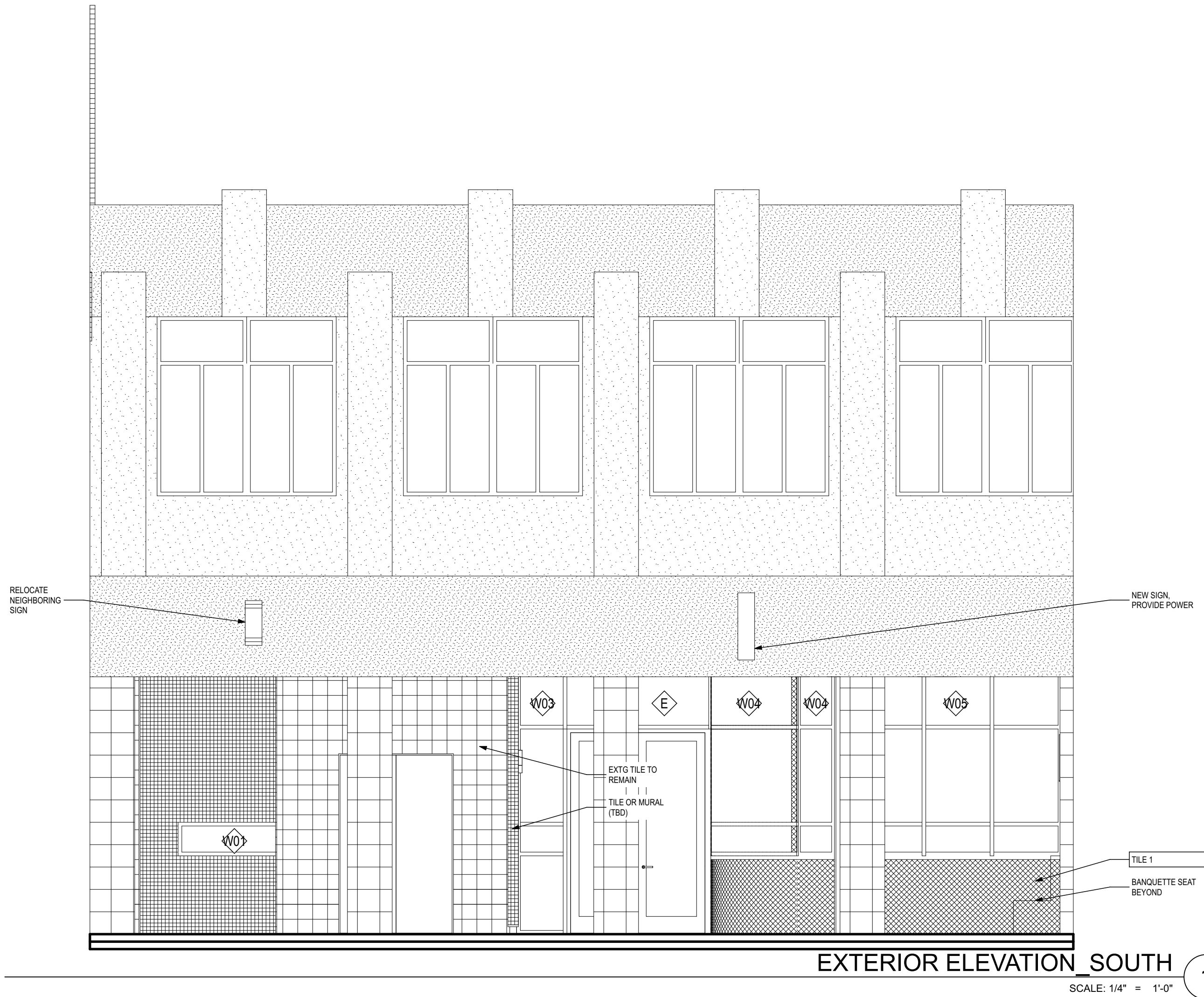
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231 E HOUSTON STREET, SAN ANTONIO, TEXAS 78205

PROJECT NUMBER: 2017-006
ISSUED SETS DATE
PRELIM PRICING 07/24/17
PERMIT SET 9/19/17

KEY PLAN

FLOOR PLAN_1ST FLOOR
FLOOR

A1.02

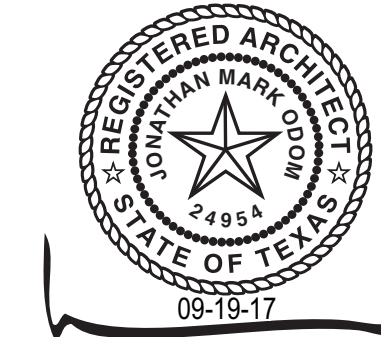


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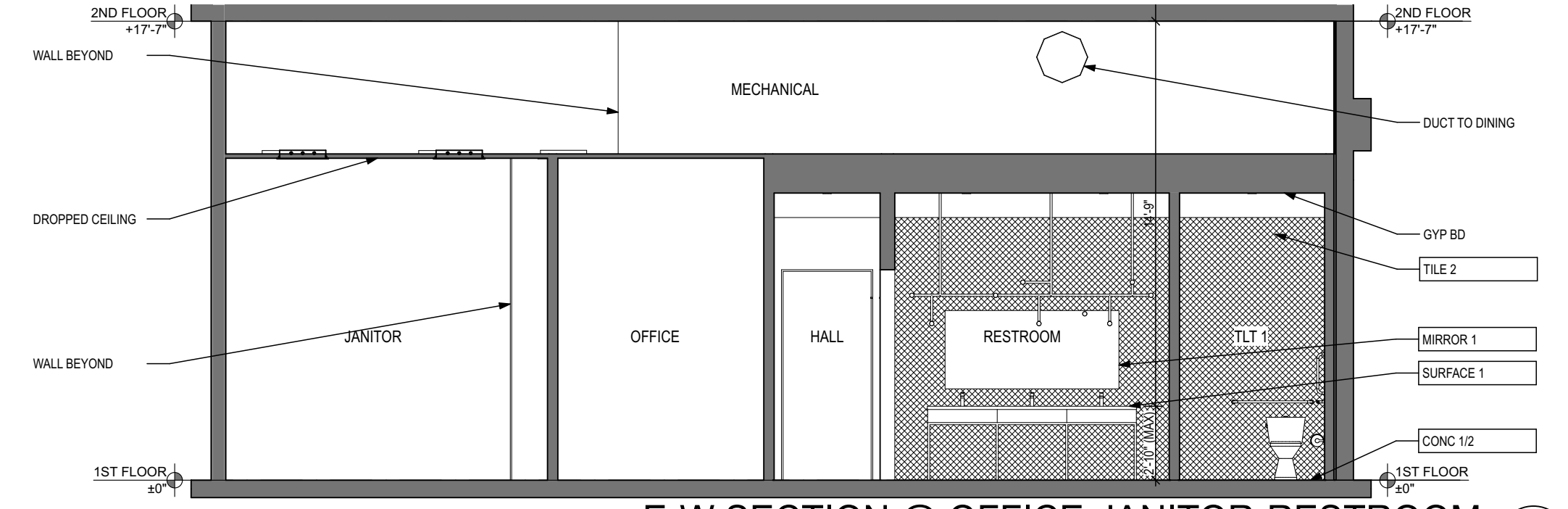
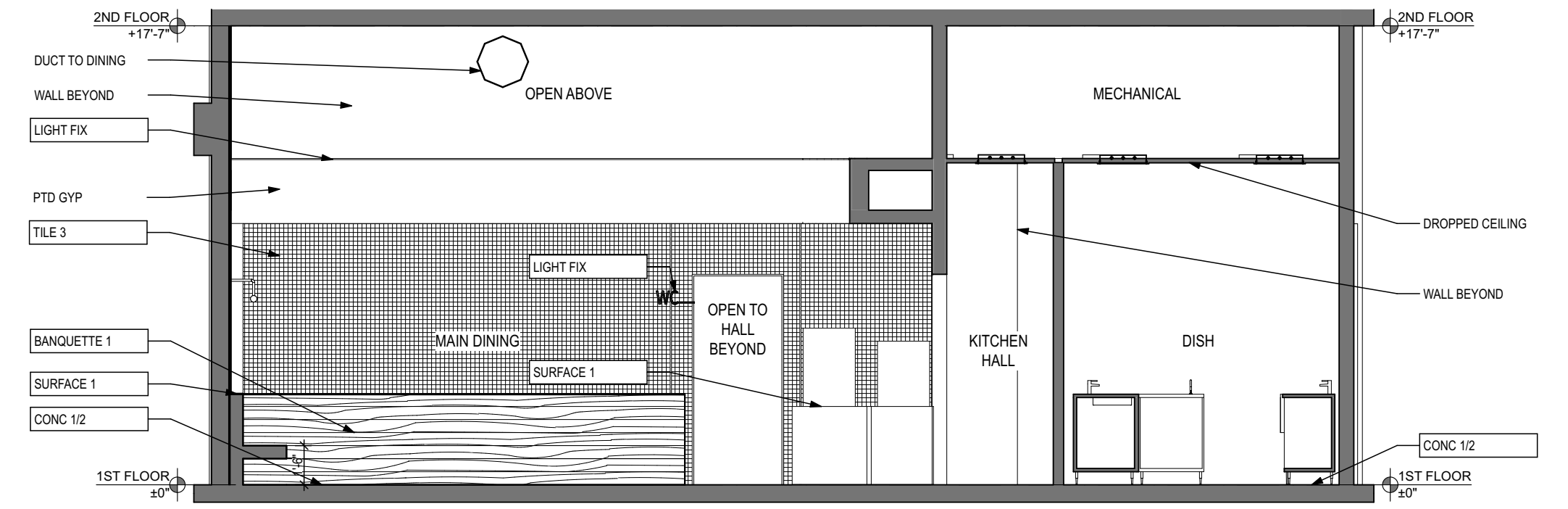
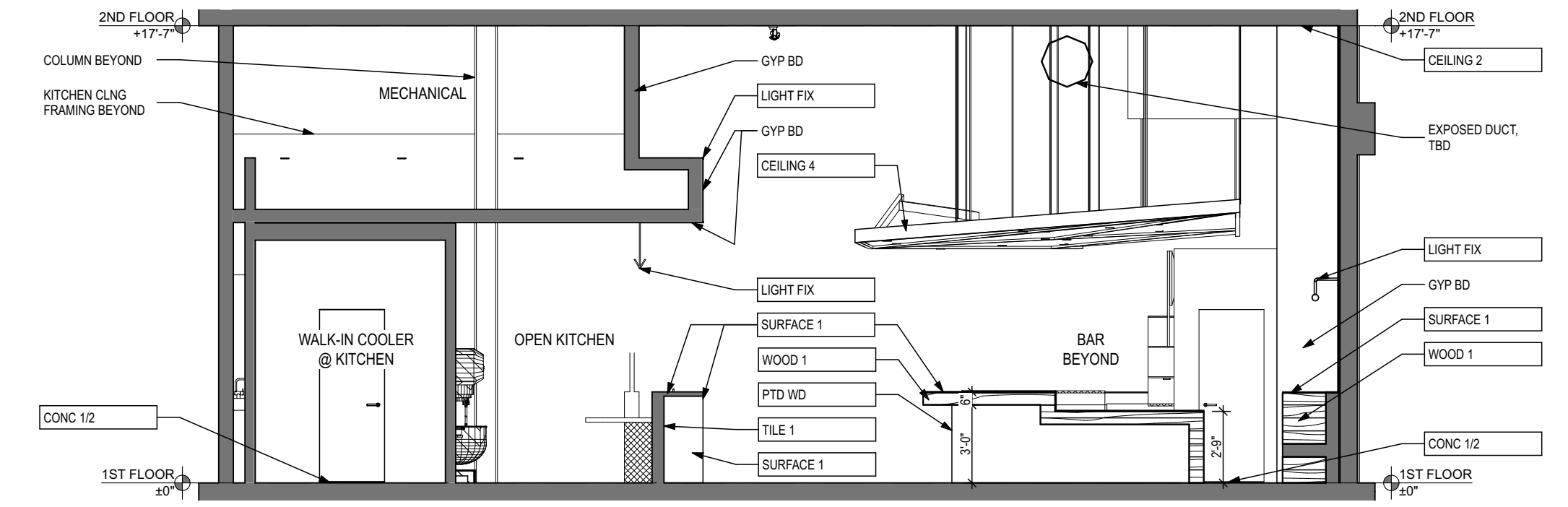
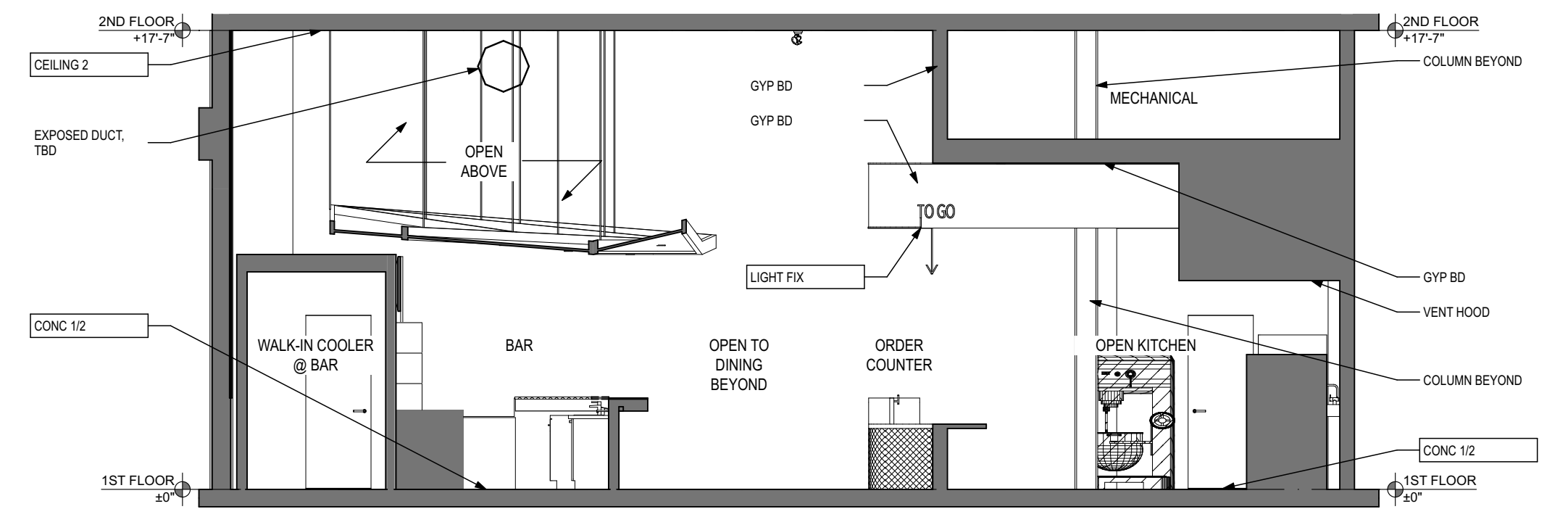
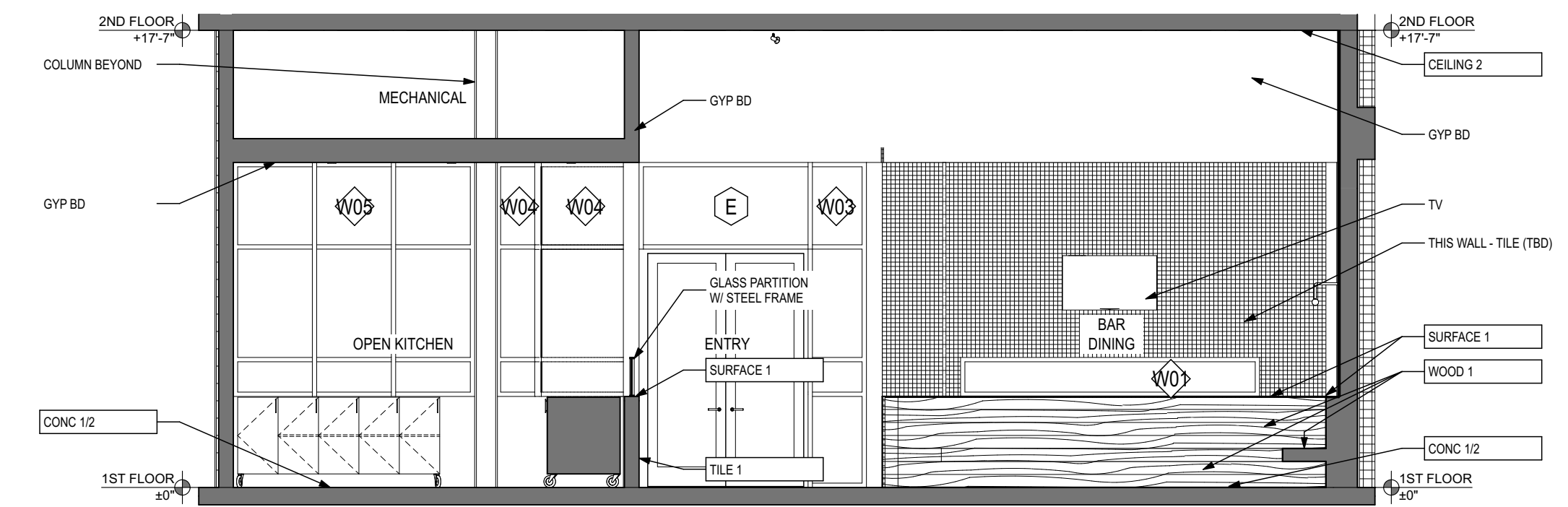
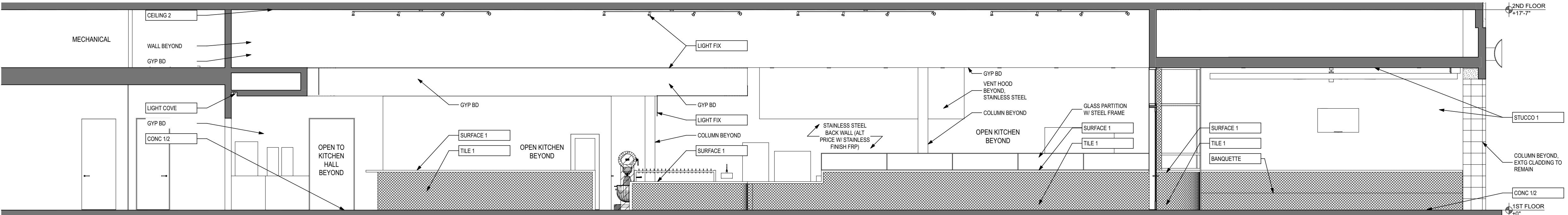
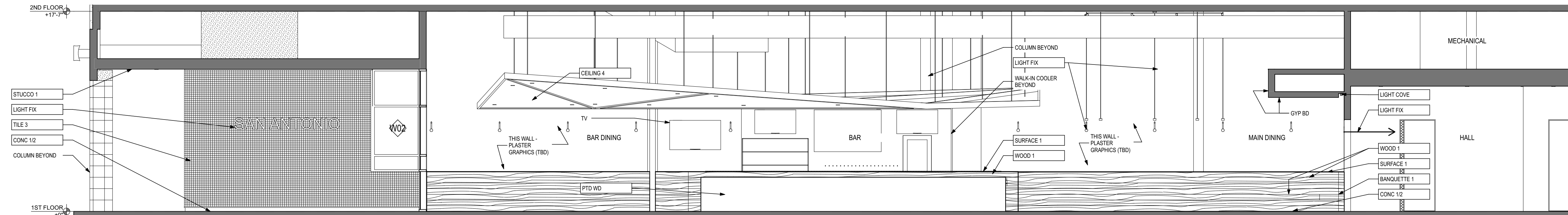
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231 E HOUSTON STREET, SAN ANTONIO, TEXAS 78205

PROJECT NUMBER: 2017-006
ISSUED SETS DATE
PRELIM PRICING 07/21/17
PERMIT SET 9/19/17

KEY PLAN

EXTERIOR ELEVATIONS

A2.02



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PERMIT SET 9/19/17

KEY PLAN

BUILDING SECTIONS

A3.01











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229

FOR LEASE

JOHN
OSTRANDER
JAMES SYKES

210-621-6456

COCKTAIL

ICE
ROOM

231