

## HISTORIC AND DESIGN REVIEW COMMISSION

January 17, 2018

**HDRC CASE NO:** 2018-023  
**ADDRESS:** 121 BUFORD  
**LEGAL DESCRIPTION:** NCB 1369 BLK 6 LOT S 81.3 FT OF 5  
**ZONING:** R-4, H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** Christopher Gill/CGRE LTD CO  
**OWNER:** Christopher Gill/CGRE LTD CO  
**TYPE OF WORK:** Installation of front yard fencing, exterior modifications, skirting modifications, porch column modifications, demolition of original chimney, addition amendments  
**APPLICATION RECEIVED:** January 04, 2018  
**60-DAY REVIEW:** March 05, 2018  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish an original brick chimney.
2. Amend the previously approved rear addition to include changes in fenestration patterns, roof form, siding profile and the construction of a side porch.
3. Install front yard fencing.
4. Install a decomposed granite and concrete paver walkway.

### APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

#### 1. Massing and Form of Residential Additions

##### A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

##### B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

#### 3. Materials and Textures

##### A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

#### B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

#### C. REUSE OF HISTORIC MATERIALS

- i. Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

### 4. Architectural Details

#### A. GENERAL

- i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider characterdefining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

### *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 2. Fences and Walls

#### A. HISTORIC FENCES AND WALLS

- i. Preserve*—Retain historic fences and walls.
- ii. Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

#### B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that

are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 5. Sidewalks, Walkways, Driveways, and Curbing

### A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### FINDINGS:

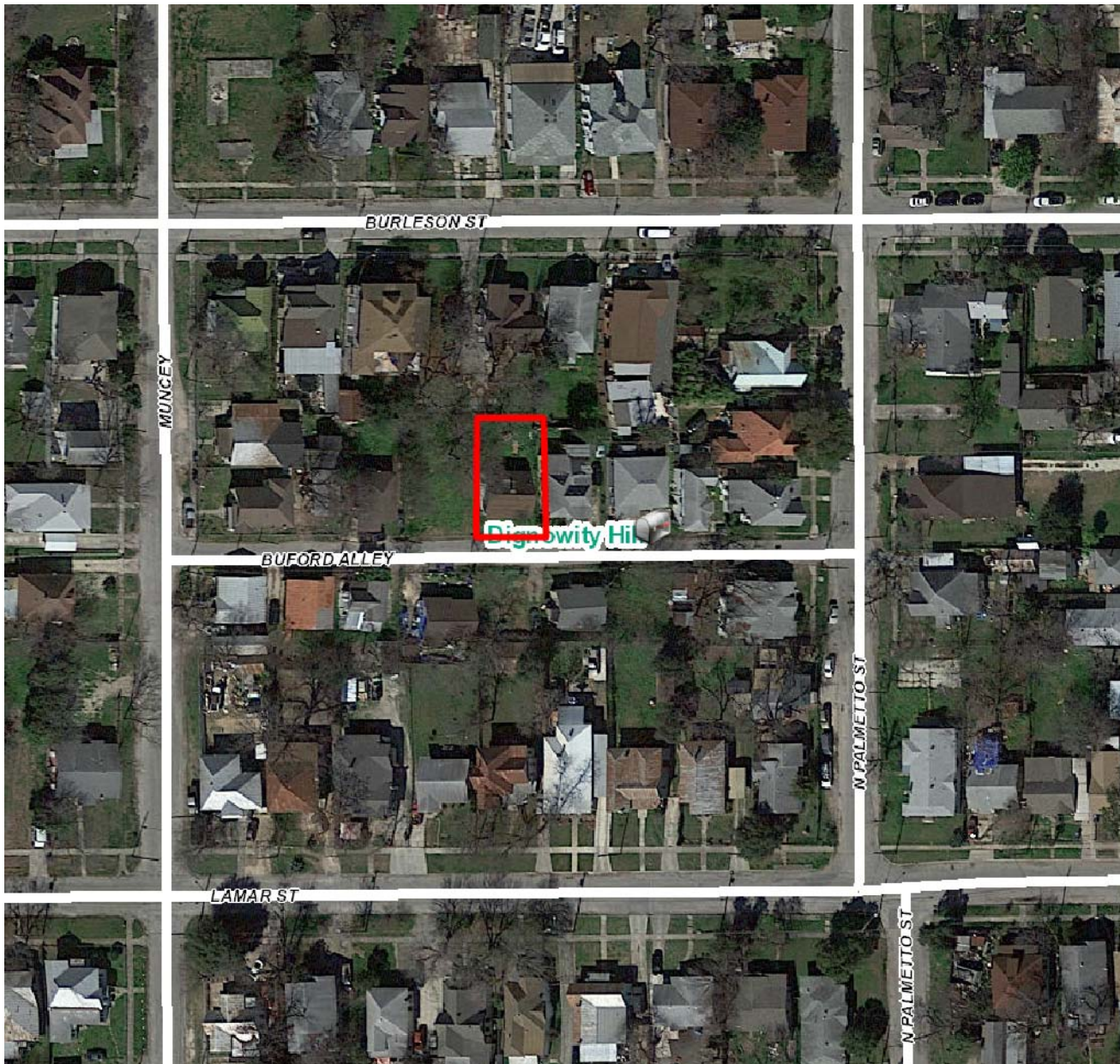
- a. The historic structure at 121 Buford Alley was constructed circa 1930 and feature traditional architectural elements including a recessed front porch, a side gabled roof and small Craftsman elements including roof brackets and exposed rafter tails.
- b. At the March 1, 2017, Historic and Design Review Commission hearing, the applicant received approval to rehabilitate the historic structure including repair to wood windows and architectural elements, construct a rear addition of approximately 500 square feet and received Historic Tax Certification with the following stipulations:
  - i. That the applicant install wood windows and wood doors throughout the addition. The wood windows should feature a profile that matches those of the primary historic structure.
  - ii. That the applicant repair and preserve all existing original materials including wood siding, wood trim, wood windows, wood doors and any other original architectural elements.
- c. CHIMNEY DEMOLITION – The applicant is requesting a Certificate of Appropriateness for removal of an original brick chimney. The applicant has noted that the chimney collapsed during foundation repair. Neither a Certificate of Appropriateness nor a permit from Development Services Department was issued for foundation repair. Staff finds that the chimney should be reconstructed per photos.
- d. REAR ADDITION – The rear addition was constructed inconsistently with the previously approved design. Window and door openings, roof form, a side deck and door canopy and siding installation have been identified as being inconsistent with the previously approved design.
- e. REAR ADDITION – Staff generally finds the constructed window and door openings to be appropriate as well as the constructed roof form. On the east façade of the addition, the applicant has constructed a side porch deck and door canopy, neither of which was included in the previously approved design. Generally, staff finds these installations appropriate; however, the applicant has installed a metal foundation skirting. Staff finds that the side deck should feature wood or Hardi skirting. Metal foundation skirting is not an appropriate foundation skirting material for the Dignowity Hill Historic District.
- f. REAR ADDITION SIDING – The previously approved construction documents noted the rear addition featuring wood siding to match the profile of that of the primary historic structure. The applicant has installed wood siding that features an exposure that is nearly triple that of the primary historic structure’s siding. Staff finds this inappropriate.
- j. FENCING –The applicant has proposed front yard fencing prior to receiving a Certificate of Appropriateness. The front yard fence features four by four wood fence posts with wide horizontal pickets. This is not an appropriate front yard fence for the Dignowity Hill Historic District. Staff finds that the fence should be removed.
- g. WALKWAY – The applicant has installed a front yard walkway consisting of decomposed granite and concrete pavers. The historic pattern on Buford as well as throughout the Dinowity Hill Historic District is for the installation of concrete walkways. A photo from March 2011 notes the original front walkway of concrete. Staff does not find the installed walkway to be appropriate or consistent with the Guidelines for Site ELEMENTS 5.a.ii.
- h. HISTORIC TAX CERTIFICATION – This property will not be eligible for Historic Tax Verification until the above noted request items are corrected per staff’s recommendation or receive approval from the Historic and

**RECOMMENDATION:**

1. Staff does not recommend approval of item #1, the demolition of an original brick chimney based on finding c. Staff recommends the applicant reconstruct the chimney per photos.
2. Staff recommends approval of item #2, amendments to the rear addition, based on findings d through f with the following stipulations:
  - i. That wood or Hardi foundation skirting be installed on the side deck.
  - ii. That the installed HVAC unit be screened with shrubbery or another screening element.
  - iii. That wood siding that matches the profile of that found on the historic structure is installed.
3. Staff does not recommend approval of item #3, the front yard fence based on finding j. Staff recommends that the fence be removed. The applicant may return to the HDRC with an appropriate fencing proposal.
4. Staff does not recommend approval of item #4, the front yard sidewalk based on finding g. Staff recommends the decomposed granite and concrete paver walkway be replaced with a concrete walkway not to exceed three feet in width based on finding h.

**CASE MANAGER:**

Edward Hall



## Flex Viewer

Powered by ArcGIS Server

Printed: Feb 20, 2017

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Alder St

Alder St

Alder St

Rudolph St

N Palmetto

Burleson

Burleson

Burleson

Muncey St

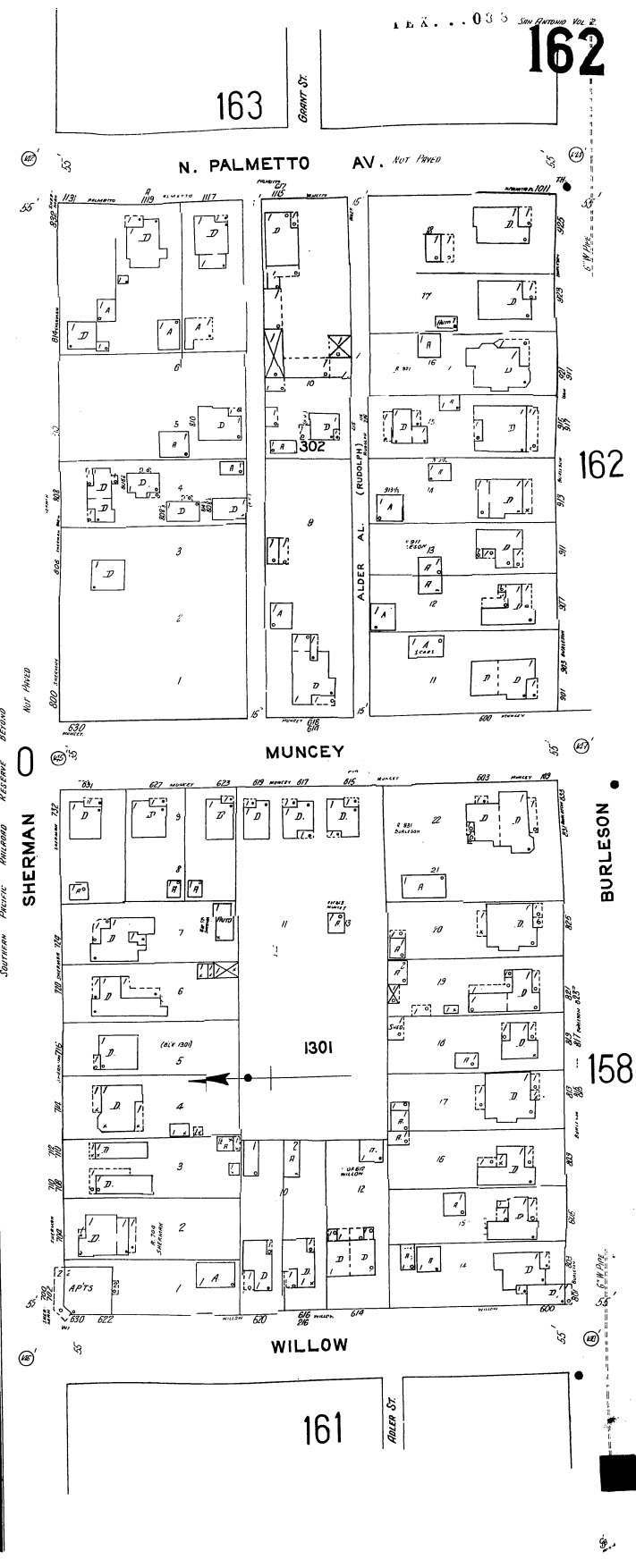
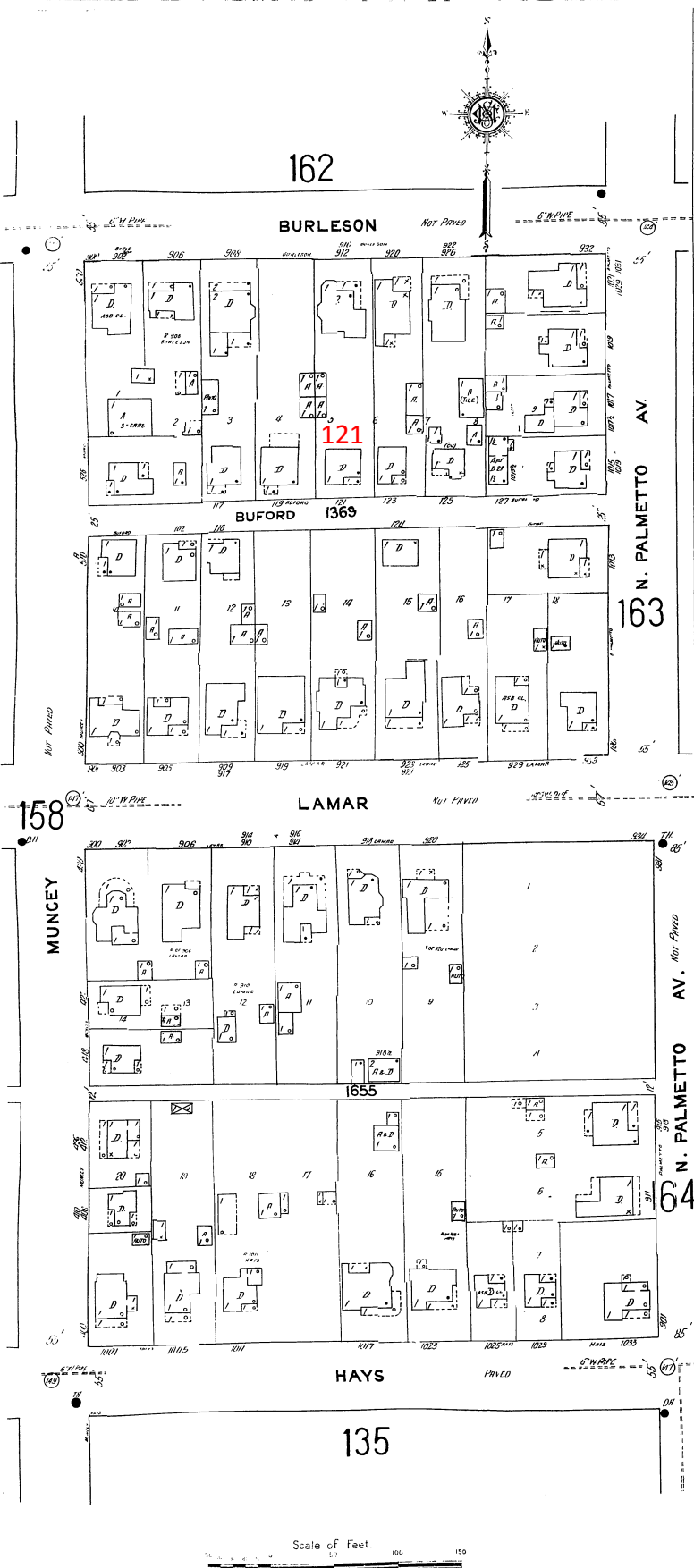
121 Buford Alley

Buford Alley

Horizon Charter

Muncey St

N Palmetto



11/13/17, 3:32 PM  
Burford  
COSA-OHP





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1994 SURVEY PHOTO

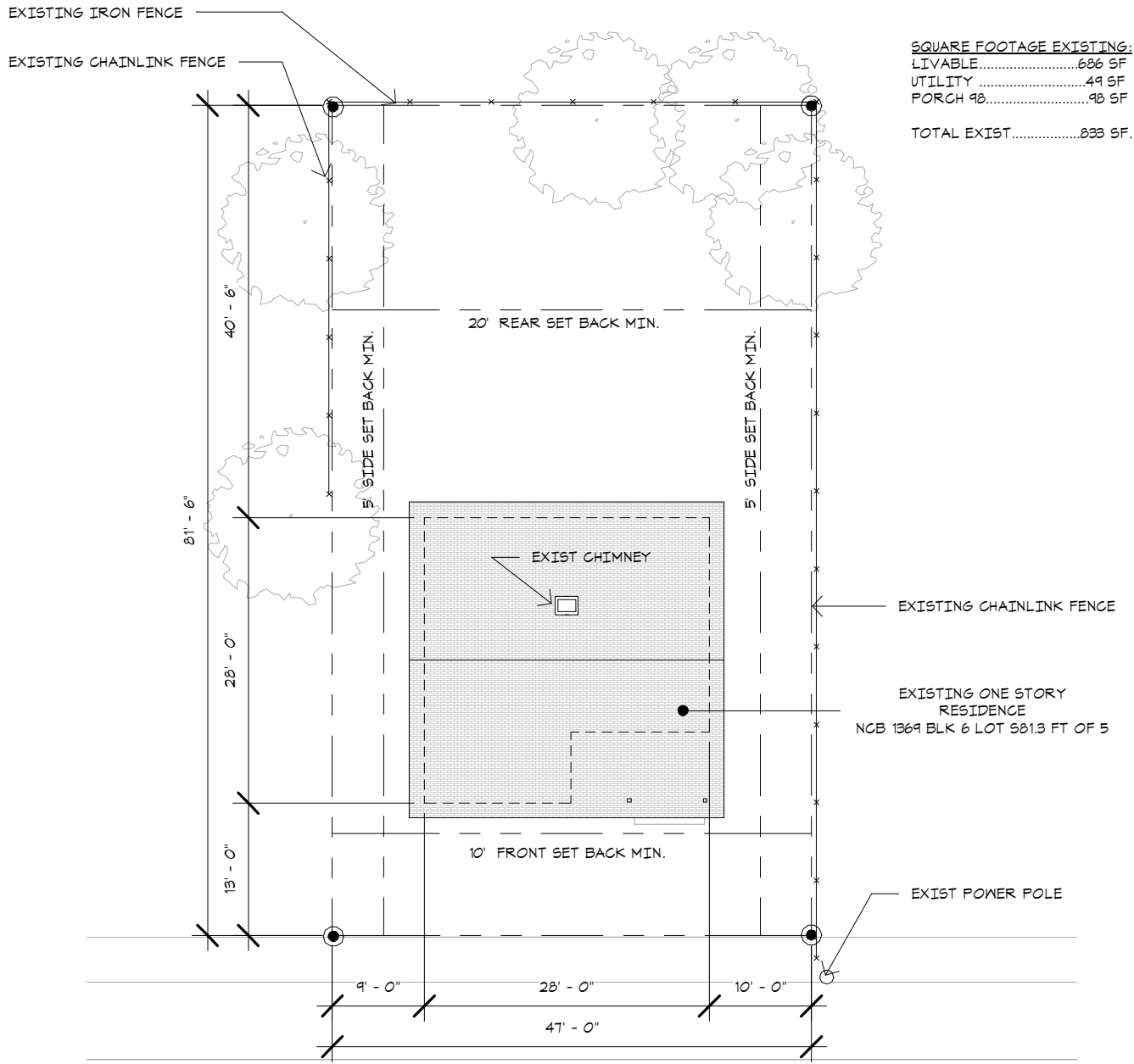




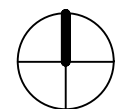
# 121 BUFORD

## EXISTING SITE PLAN

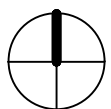
**HDRC APPROVED DESIGN - MARCH 1, 2017.**



BUFORD



PLAN  
NORTH



TRUE  
NORTH

## 1 EXISTING SITE PLAN

1/16" = 1'-0"

\*NOTE:  
- DIMENSIONS INDICATED ARE APPROXIMATE  
- TREE LOCATIONS INDICATED ARE APPROXIMATE  
- FENCE LOCATION= ASSUMED PROPERTY LINE

2.10.2017

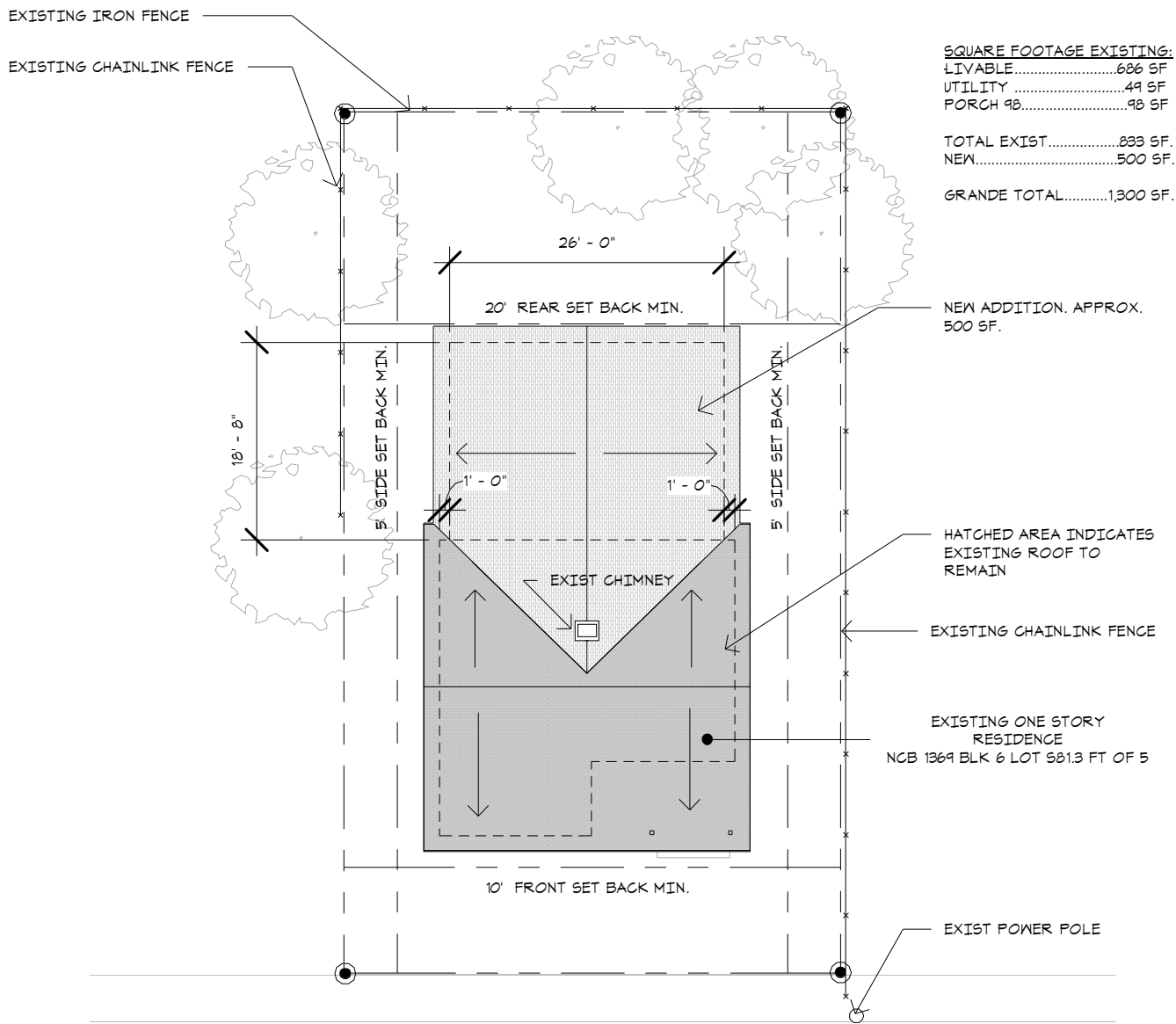
**Jason Moran**

Design  
Planning

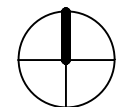
# 121 BUFORD

PROPOSED SITE

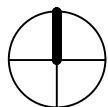
HDRC APPROVED DESIGN - MARCH 1, 2017.



BUFORD



PLAN  
NORTH



TRUE  
NORTH

1

## PROPOSED SITE PLAN

1/16" = 1'-0"

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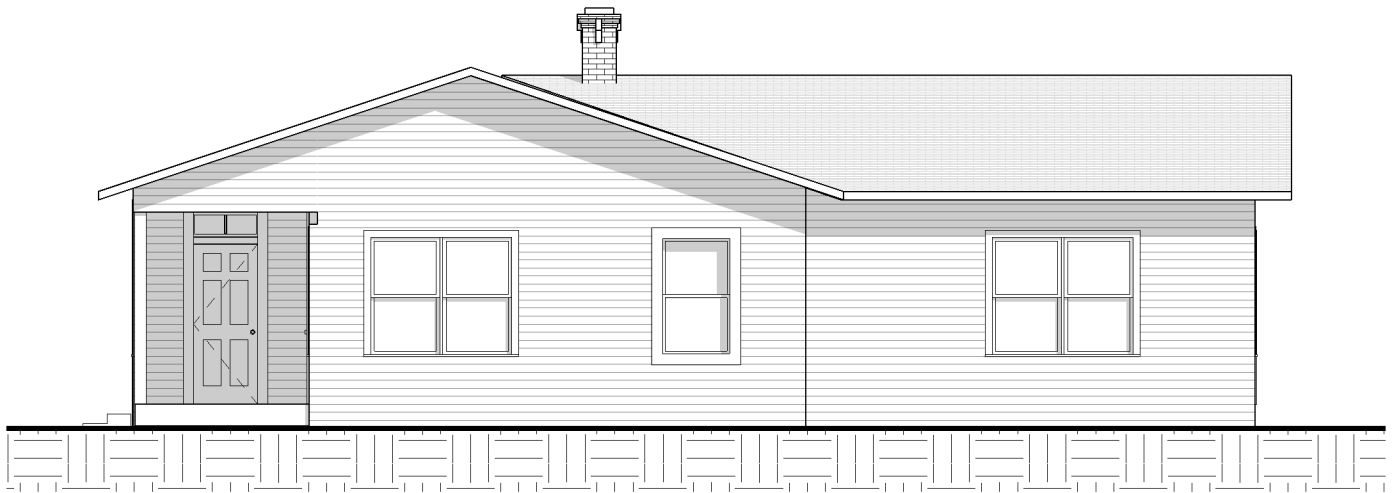
# 121 BUFORD

## PROPOSED ELEVATIONS

**HDRC APPROVED DESIGN - MARCH 1, 2017.**



**1 SOUTH ELEVATION PROPOSED**  
1/8" = 1'-0"



**2 EAST ELEVATION PROPOSED**  
1/8" = 1'-0"

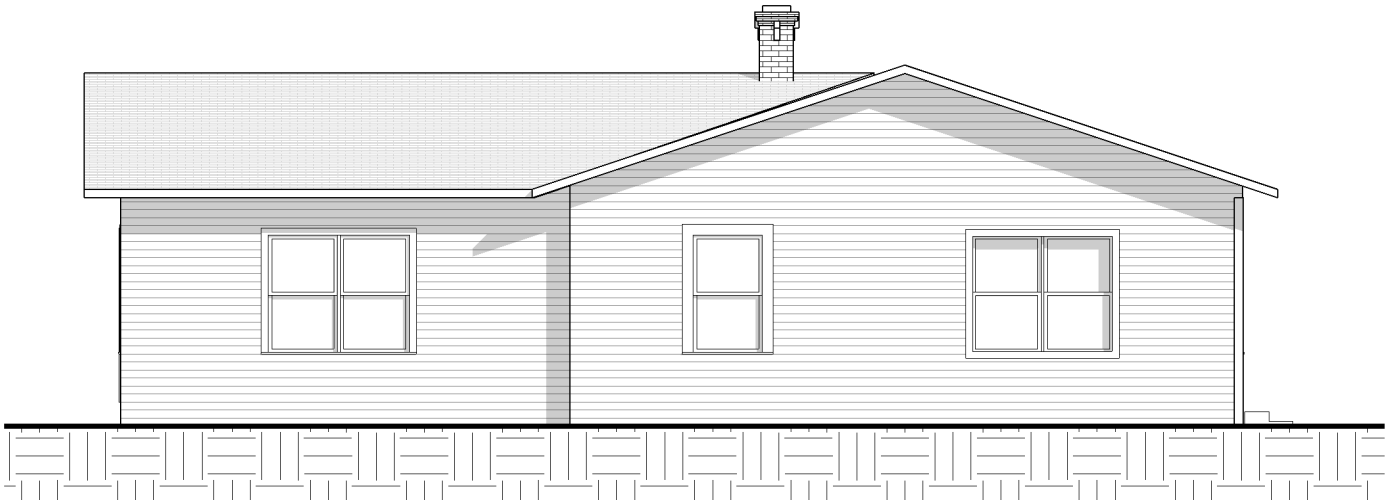
# 121 BUFORD

## PROPOSED ELEVATIONS

**HDRC APPROVED DESIGN - MARCH 1, 2017.**



**1** NORTH ELEVATION PROPOSED  
1/8" = 1'-0"



**2** WEST ELEVATION PROPOSED  
1/8" = 1'-0"









GRAH  
LOVE

R.I.P CC'S

VOLK  
VEE

RIP  
SERB

















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2012 Outback 2.5i  
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**\$21,980**  
**\$21,980**

## **121 Buford St - Tax Certificate Information**

### Scope of Work:

This home located in the Dignowity Hill historic district will be fully updated and remodeled for today's buyer. These updates will include:

1. Electrical updates - \$7,500
2. Plumbing updates - \$7,500
3. New roof install - \$8,300
4. HVAC system - \$7,500
5. Interior sheetrock repairs/paint - \$10,500
6. Exterior siding repairs/paint - \$6,000
7. Windows/door repair - \$6,500
8. Updated kitchen including custom cabinetry & granite countertops - \$9,000
9. Floor repairs - \$7,500
10. Bathroom updates - \$9,500

**Total: \$73,800**

**Timeline: 10 - 12 weeks**



