

HISTORIC AND DESIGN REVIEW COMMISSION

January 17, 2018

HDRC CASE NO:	2018-002
COMMON NAME:	PHIL HARDBERGER PARK
ADDRESS:	13203 BLANCO RD 8400 NW MILITARY HWY
LEGAL DESCRIPTION:	NCB 11672 P-1B ABS 124 NCB 11672 P-10 ABS 124 NON-ADJ
ZONING:	R-6
CITY COUNCIL DIST.:	8
APPLICANT:	James Gray/Rialto Studio, Inc.
OWNER:	City of San Antonio
TYPE OF WORK:	Construction of a land bridge
APPLICATION RECEIVED:	December 21, 2017
60-DAY REVIEW:	February 19, 2018
REQUEST:	

The applicant is requesting conceptual approval to construct a land bridge over Wurzbach Parkway to connect Hardberger Park East and Hardberger Park West. The project will include temporary traffic configurations for Wurzbach Parkway, new bridge superstructure, earthwork, rainwater harvesting system, new water and electric utility services, limestone retaining walls, pedestrian trails, a sky walk, wildlife blinds and water guzzlers, signage, plantings, and irrigation systems.

APPLICABLE CITATIONS:

Unified Development Code Sec. 35-640. - Public Property and Rights-of-Way.

(a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.

(b) Public Rights-of-Way. Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

Unified Development Code Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

Unified Development Code Sec. 35-643. - Alteration, Restoration and Rehabilitation.

In considering an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure the historic and design review commission shall be guided by the following general standards of the Secretary of the Interior's Standards for Rehabilitation in addition to any specific design guidelines included in this article:

(a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building,

structure, object, or site and its environment.

(b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

(c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

(d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

(e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.

(f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

(g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting, high pressure washes and other cleaning methods that will damage the historic building's materials shall not be undertaken.

(h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

(i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

(j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

Unified Development Code Sec. 35-646. - Construction in Public Rights-of-Way.

(a) General Provisions. All construction in the public right-of-way shall conform to all city codes. In considering an application, the historic and design review commission shall be guided by the following:

(1) Sidewalk Zones. Pedestrian movement should be pleasant, allowing for store browsing, comfortable transit waiting and easy accessibility for disabled people. Where possible, sidewalks should at least five (5) feet in width. Existing sidewalks should not be narrowed when replaced.

(2) Sidewalk Paving and Surfaces. Materials should complement stylistic differences of individual buildings, particularly when related to historic buildings.

- A. Materials. Materials should be chosen for beauty, strength, longevity, easy maintenance and traction when dry or wet.
- B. Color and Texture. To ensure the safety of pedestrians, all changes in surfaces should be defined by contrasting color, texture or materials.

(3) Street Features and Arrangements. Historic districts and the downtown, as well as other distinct areas of the city have diverse character and any street furniture selected for these areas should complement these differences. In addition, the clustering of street furniture in one (1) place is recommended. Trash receptacles, seating, telephones and other street furniture should be grouped together.

- A. Circulation. A clear path-of-travel of thirty-six (36) inches wide shall be maintained in and around street features and arrangements.
- B. Seating. Seating should be physically comfortable and inviting, durable and attractive. Plaza and open space seating should also be socially comfortable by offering a variety of choices such as in the sun or shade, near traffic and activity or not, and alone or in groups.
- C. Drinking Fountains. Placing drinking fountains in new development is encouraged. Fountains should be placed within general areas of pedestrian traffic and located on accessible surfaces.
- D. Trash Receptacles. Trash receptacles should blend visually with their surroundings and their design and location should make use as convenient as possible.
- E. Vending Machines. Vending machines will not dispense items other than newspapers and periodicals. Vending

- machines shall be clustered together and away from intersection corners.
- F. Vending Carts and Kiosks. Vending carts and kiosks are encouraged in locations that do not impede normal pedestrian traffic.
- G. Outdoor Dining. Lease of public right-of-way for outdoor dining is encouraged in appropriate locations. Lease of sidewalk space for outdoor dining shall be managed through the department of parks and recreation and shall comply with all city codes. It is recommended that at least eight (8) feet of sidewalk be retained between the curb and the leased or licensed space to provide an uninterrupted public walkway.
- H. Street Objects. Utility boxes, vending machines and so on should not be located in sidewalk zones. Their design and color should be compatible with character of their surroundings.

(4) Streetscape Landscaping. Landscaping, particularly streets trees, are an important addition to the streetscape because of the hot Texas climate. Appropriate application along sidewalks strengthens the visual quality of public streets. Careful selection of plant materials, using native and low-water use plants, is recommended.

(Ord. No. 98697 § 6)

Sec. 35-645. - Signs and Billboards on Public Property or Right-of-Way.

(a) General Provisions. All non-regulatory signage on public property, on the public right-of-way, or overhanging the public right-of-way shall conform to all city codes and must be approved by the historic preservation officer prior to installation. Permits must be obtained following approval of the application. The historic preservation officer may submit an application under this section to the historic and design review commission for their recommendation prior to approving, denying, or approving with conditions the application. Memorials, markers, naming rights of public property, and recognition of charitable donations given to the City of San Antonio shall be additionally governed by existing policies for memorials and markers and/or any formal action passed by city council. Temporary displays approved by the department exercising control of the public property are authorized if in accordance with chapter 28 of the City Code of San Antonio, Texas.

(b) Sign Definitions. For signage definitions, refer to subsection 35-612(b) and chapter 28 of the City Code.

(c) Proportion of Signs. Signage width and height must be in proportion to the facade, respecting the size, scale and mass of the facade, building height, and rhythms and sizes of window and door openings. The building facade shall be considered as part of an overall sign program but the sign shall be subordinate to the overall building composition. Additionally, signs should respect and respond to the character and/or period of the area in which they are being placed.

(d) Standards for Sign Design and Placement. In considering whether to recommend approval or disapproval of an application for a certificate to construct or alter signage on a building, object, site, or structure, the historic and design review commission shall be guided by the following standards in addition to any specific design guidelines adopted by city council:

(1) Primary sign design considerations shall be identification and legibility. Size, scale, height, color and location of signs shall be harmonious with, and properly related to, the overall design of the building or structure and the surrounding area.
 (2) The number of signs on each building shall be kept to a minimum to prevent unsightly clutter and confusion.
 (3) Signs which describe, point, or direct the reader to a specific place or along a specific course, such as "entrance," "exit," and "handicap access" shall be reviewed.

(4) All graphic elements shall reinforce the architectural integrity of any building. Signs should not disfigure, damage, mar, alter, or conceal architectural features or details and should be limited to sizes which are in scale with the architecture and the streetscape. The historic and design review commission shall be guided by the building's proportion and scale when such elements are incorporated.

(5) Additionally, when reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources and established neighborhood character.

(f) Prohibited Signs. Signs that shall not be permitted include:

(1) Any sign placed upon a building, object, site, or structure in any manner so as to disfigure, damage, interrupt, or conceal any window opening, door, or significant architectural feature or detail of any building;
 (2) Roof mounted signs, except in the cases of (i) integral design with the building; (ii) a contributing sign; (iii) or otherwise allowed in this article;

- (3) Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign, with or without rotating, flashing lettering, icons or images. Except as provided below:
- A. A public transportation agency may incorporate transit information signage into transit shelters, utilizing LED or digital technology, provided the signage is contained within or under the transit shelter, and is limited to five (5) square feet of signage area, and one (1) sign per thirty (30) linear feet of pedestrian shelter.
 - B. A public transportation agency may incorporate transit information signage into a monument sign at transit stops, utilizing LED or digital technology, provided it is limited to five (5) square feet of signage area.
 - C. A public transportation agency may incorporate transit information signage into a monument sign at transit facilities (other than transit stops), utilizing LED or digital technology, provided it is limited to seven (7) square feet of signage area.
 - D. The historic preservation officer may impose additional restrictions on illumination to ensure that the character of signs are harmonious with the character of the structures on which they are to be placed and any designated landmarks or districts in the area, provided that such restrictions are reasonably related to other conforming signs and conforming structures in the area, do not unreasonably restrict the amount of signage allowed by this section, and are in keeping with the intent of this section. Among other things, consideration shall be given to the location and illumination of the sign in relation to the surrounding buildings, the use of appropriate materials, the size and style of lettering and graphics, and the type of lighting proposed. Notwithstanding the above, applicants may not exceed illumination restrictions contained in chapter 28.

FINDINGS:

- a. The property located at 13203 Blanco Road/8400 Military Drive is the site of Phil Hardberger Park. The applicant is requesting conceptual approval to construct a land bridge over Wurzbach Parkway to connect Hardberger Park East and Hardberger Park West. The project will include temporary traffic configurations for Wurzbach Parkway, new bridge superstructure, earthwork, rainwater harvesting system, new water and electric utility services, limestone retaining walls, pedestrian trails, a sky walk, wildlife blinds and water guzzlers, signage, plantings, and irrigation systems.
- b. SITE CHARACTER AND SIGNIFICANT ELEMENTS –
- c. PEDESTRIAN SIDEWALKS AND TRAILS – According to UDC Section 35-646, pedestrian movement should be pleasant, allow for a diversity of experiences, be accessible, and should feature durable, aesthetically pleasing materials that feature contrast to ensure pedestrian safety. The proposal includes a primary impervious gravel trail that connects East and West Hardberger Park, as well as several ancillary trails that allow for diverse educational and experiential engagement with the natural environment. While all final material selections have not yet been defined, staff finds the proposal conceptually consistent.
- d. TREE REMOVAL AND PRESERVATION – The proposal will require the removal of several existing trees at the project site. The applicant is responsible for coordinating with the City Arborist's office to develop a comprehensive tree preservation plan.
- e. LANDSCAPING – The proposed land bridge will introduce a variety of new landscaping. Based on the submitted documents, the bridge will be comprised of a primarily natural environment that facilitates the retention and development of local wildlife. The proposal includes native grasses, low and tall shrubbery, flowering plants, and trees. Staff finds the proposal conceptually consistent. A comprehensive landscaping plan with all identified plant species should be submitted for final approval.
- f. SIGNAGE – The proposal will include various signs intended for both vehicular and pedestrian traffic. Based on the submitted documents, a sign reading "Phil Hardberger Park" will be placed underneath the land bridge above Wurzbach Parkway. Additional trail signage will be located throughout the project site. The applicant is responsible for submitting a comprehensive signage package for final approval that indicates all locations of signage, dimensions, material selections, and lighting methods.
- g. SITE ELEMENTS – The proposal also includes several site elements, including trash receptacles, light poles, benches, and fencing. The applicant is responsible for submitting a comprehensive final package that indicates the final locations of all site elements, as well as all material specifications for consideration.

RECOMMENDATION:

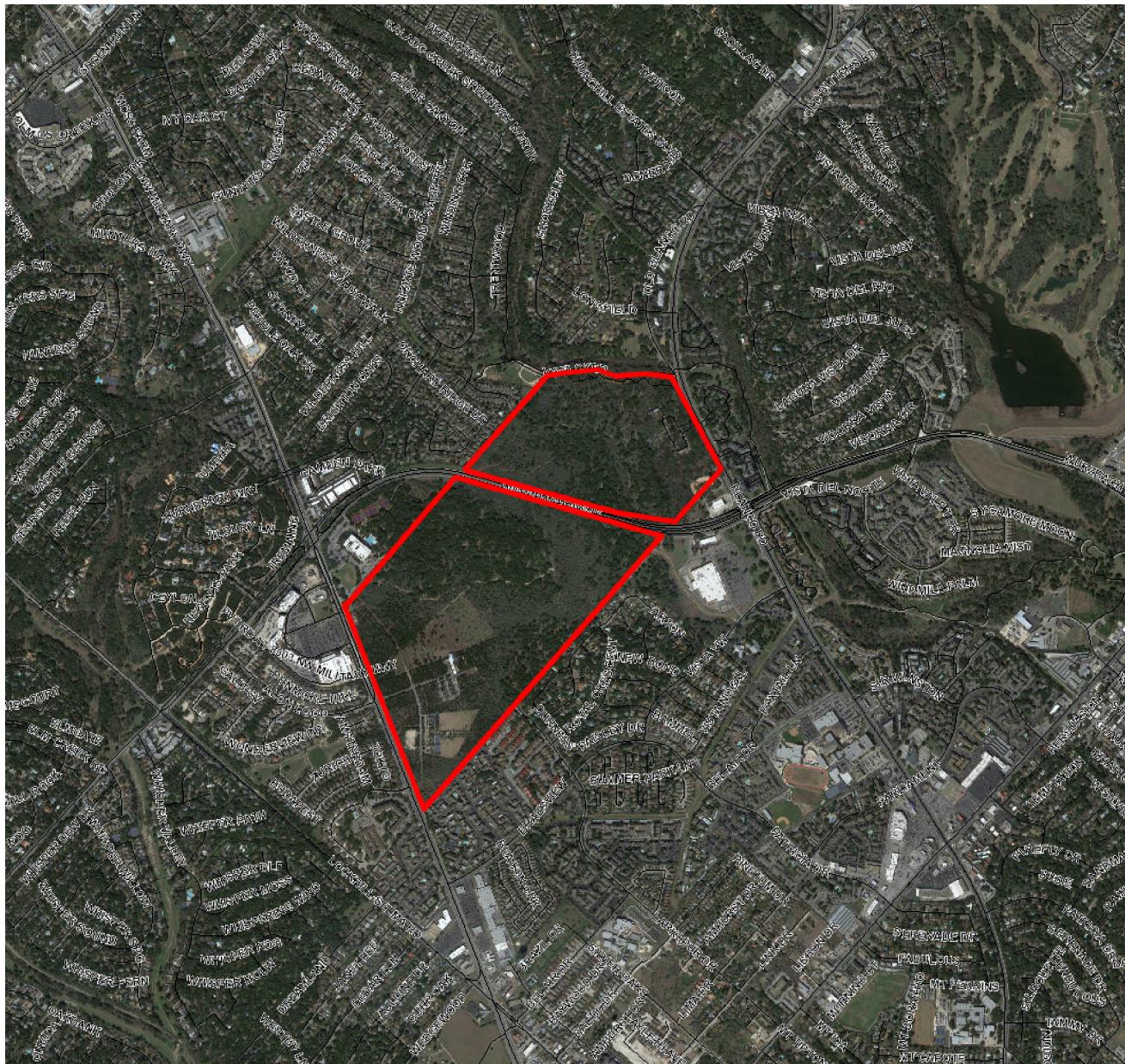
Staff recommends conceptual approval based on findings a through g with the following stipulations:

- i. That the applicant coordinates with the City Arborist's office to develop a comprehensive tree preservation plan

- and landscaping plan for final approval.
- ii. That the applicant submits all additional documentation required for final approval, including locations, material selections, and dimensions of all signage and site elements.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Jan 09, 2018

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19 December 2017

Project Overview / Work Summary

Phil Hardberger Park Land Bridge

Re: Historic & Design Review Commission
Conceptual Submittal

Wurzbach Parkway currently splits the Phil Hardberger Park into two distinct parcels, disconnecting the park and preventing access between the two halves of the park, as well as Salado Creek. The Phil Hardberger Park Land Bridge will allow the park to move up and over Wurzbach Parkway, broad enough for the park experience to feel continuous. Its width is calculated to serve both as a vegetated corridor for wildlife and a unique and educational experience for pedestrians.

The Phil Hardberger Park Master Plan, along with discussions with the Phil Hardberger Park Conservancy, Parks and Recreation, Department, Transportation & Capital Improvements, and the Texas Department of Transportation has led us to a scope of work to be provided. These improvements include:

1. Construction of temporary traffic configurations for Wurzbach Parkway
2. Bridge superstructure
3. Water and electric utility services
4. Limestone retaining walls
5. Way-finding and interpretive signage
6. Pedestrian trails
7. Sky walk (additive alternate)
8. Rainwater harvesting system (additive alternate)
9. Wildlife blinds and water guzzlers (additive alternate)
10. Native planting / seeding irrigation

Rialto Studio, Inc.
Landscape Architecture

2425 Broadway, Suite 105
San Antonio, Texas 78215

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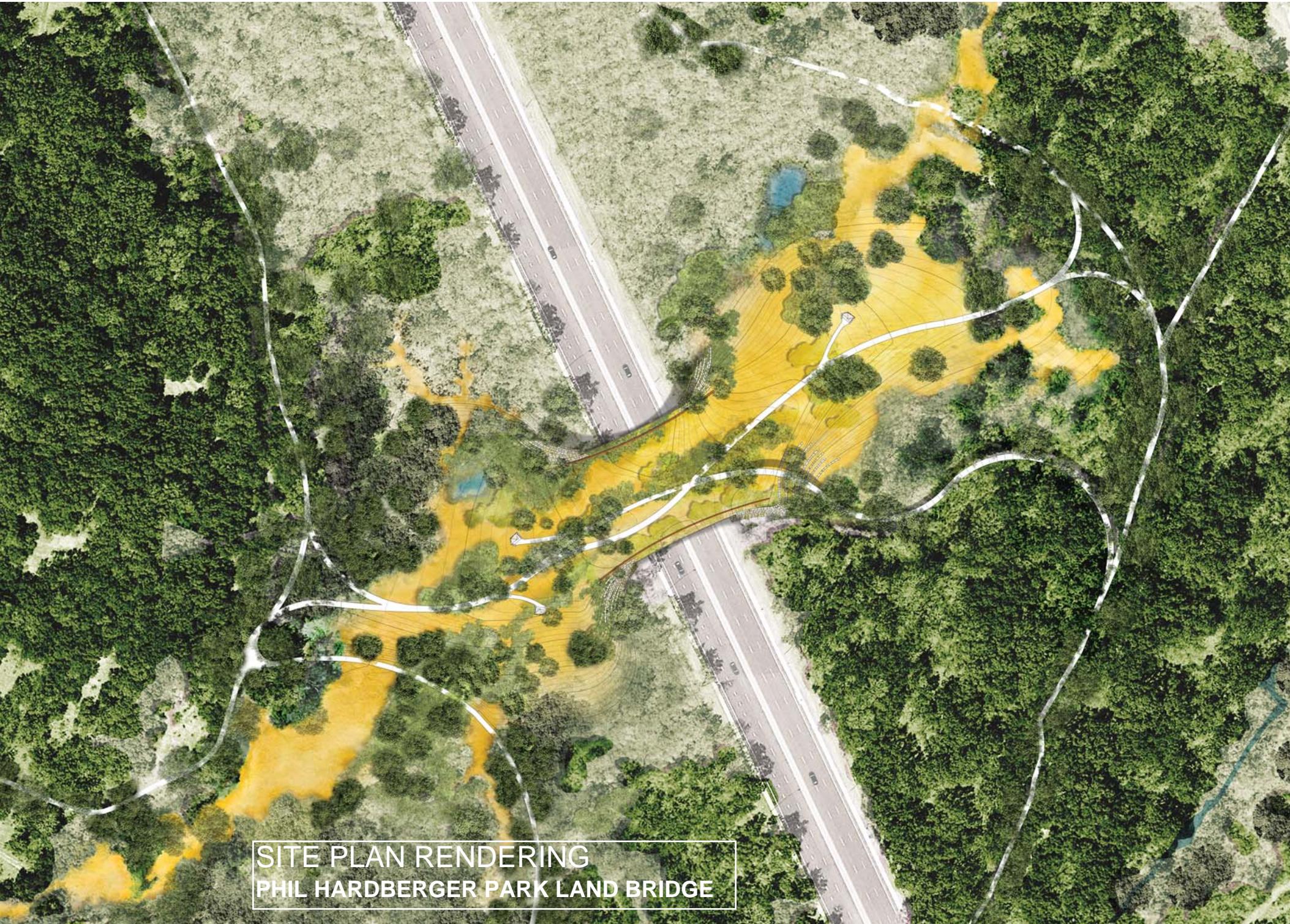
This project is funded by the combination of the 2017 City of San Antonio Bond Program (\$13.5M), Texas Parks and Wildlife (\$1M), and Phil Hardberger Park Conservancy (remaining funds).



EXISTING AERIAL PHOTO
PHIL HARDBERGER PARK LAND BRIDGE



CONCEPTUAL RENDERING
PHIL HARDBERGER PARK LAND BRIDGE



SITE PLAN RENDERING
PHIL HARDBERGER PARK LAND BRIDGE



BRIDGE ELEVATION
PHIL HARDBERGER PARK LAND BRIDGE



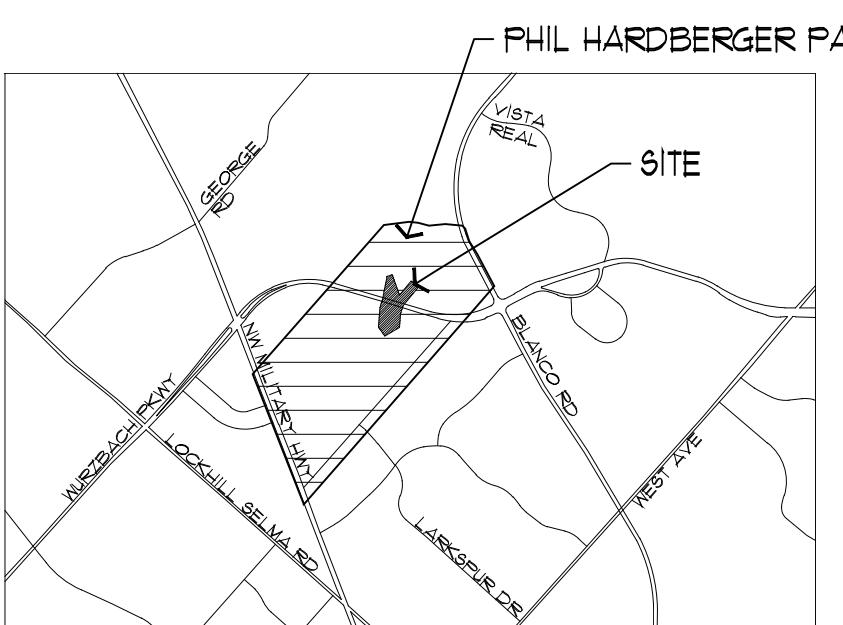
**TRAIL AT TOP OF BRIDGE
PHIL HARDBERGER PARK LAND BRIDGE**



SKY WALK
PHIL HARDBERGER PARK LAND BRIDGE

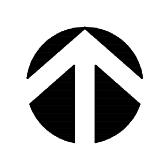


**BRIDGE SECTION
PHIL HARDBERGER PARK LAND BRIDGE**



VICINITY MAP

SCALE: (N.T.S.)



PROPERTY OWNER:
CITY OF SAN ANTONIO
PO BOX 839966, SAN ANTONIO, TX 78283
(210)-207-1111

PHIL HARDBERGER PARK LAND BRIDGE SAN ANTONIO, TX

PROJECT DIRECTOR/
PROJECT LANDSCAPE
ARCHITECT

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PLANNING)

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MEP ENGINEER

CNG ENGINEERING
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AVE, SUITE 201
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COST ESTIMATION
SERVICES

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11503 JONES MALTSBERGER
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78216
T 210.403.2284
F 210.403.2281

60% Construction
Document Set

10.06.2017

PHIL HARDBERGER PARK LAND BRIDGE

San Antonio, TX

60% CONSTRUCTION DOCUMENT SET

INTERIM REVIEW
DOCUMENTS
THE DESIGN DOCUMENTS
HEREIN ARE
INCOMPLETE AND MAY NOT
BE USED FOR REGULATORY
APPROVAL, PERMIT, OR
CONSTRUCTION.
RIALTO STUDIO, INC.

Issue Date **10.06.2017**

Revisions _____

Project Number: **1620**

Drawn By **TL**

Checked By **DW**

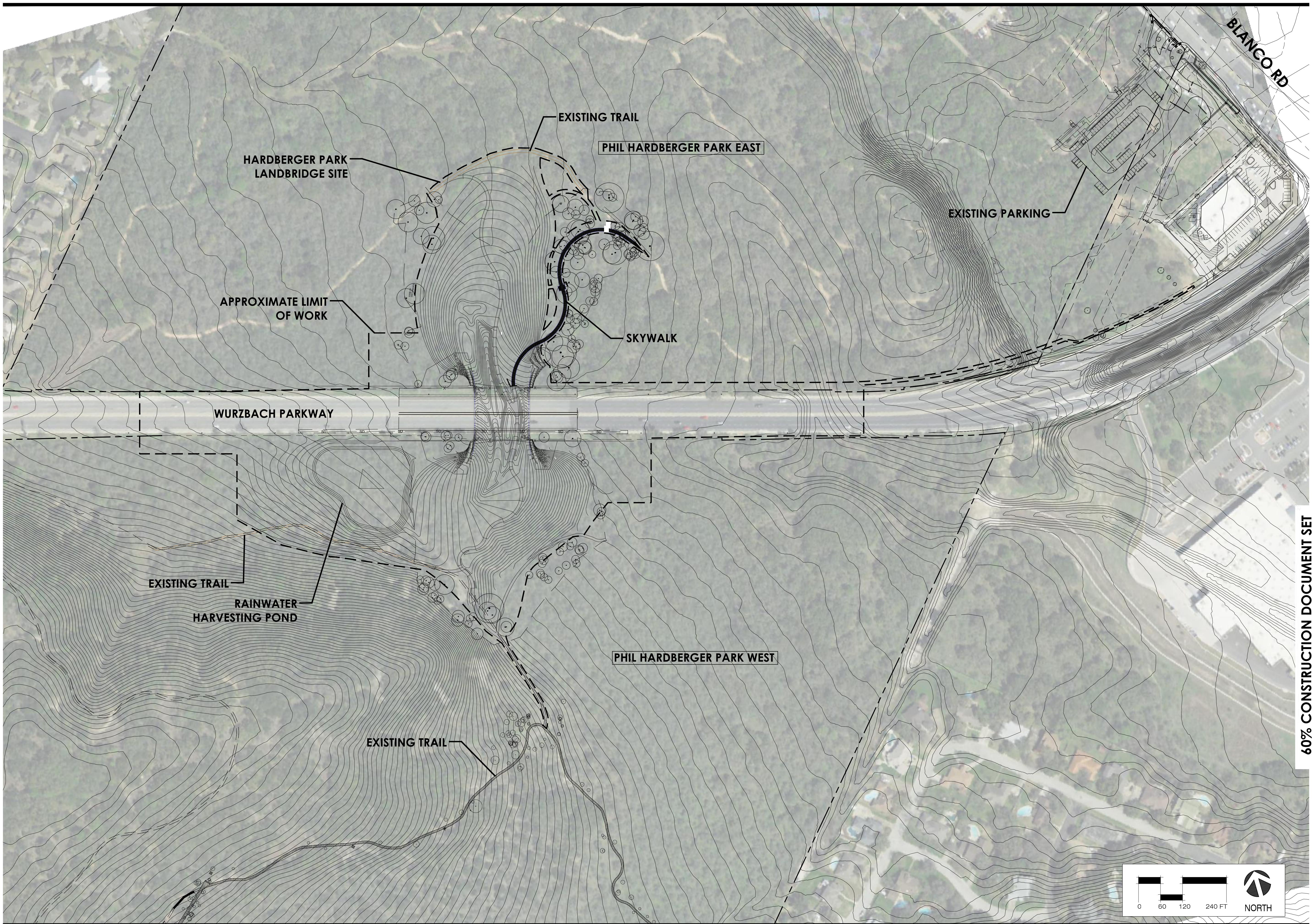
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Sheet Title _____

Site Context Map

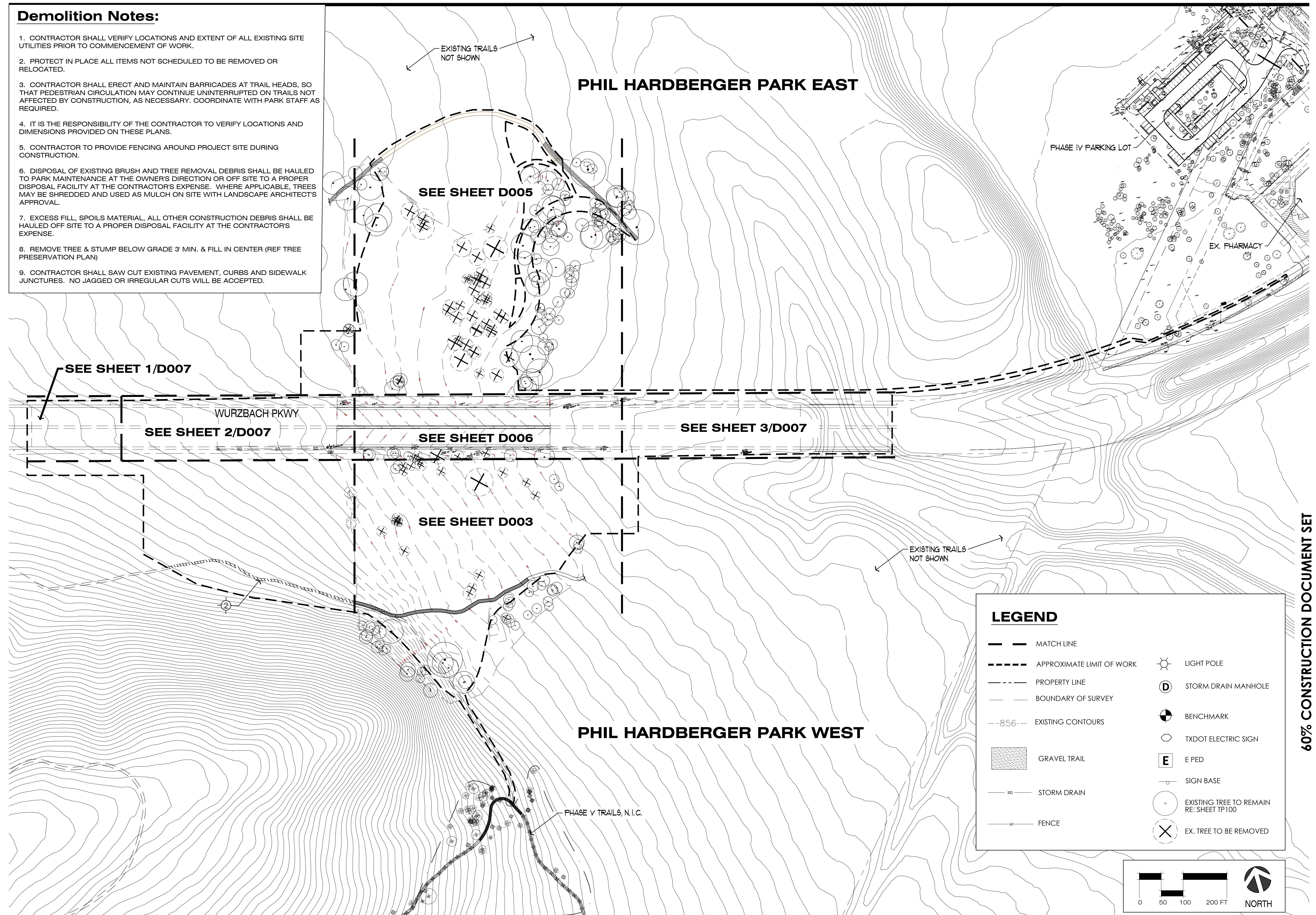
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Sheet _____ of _____



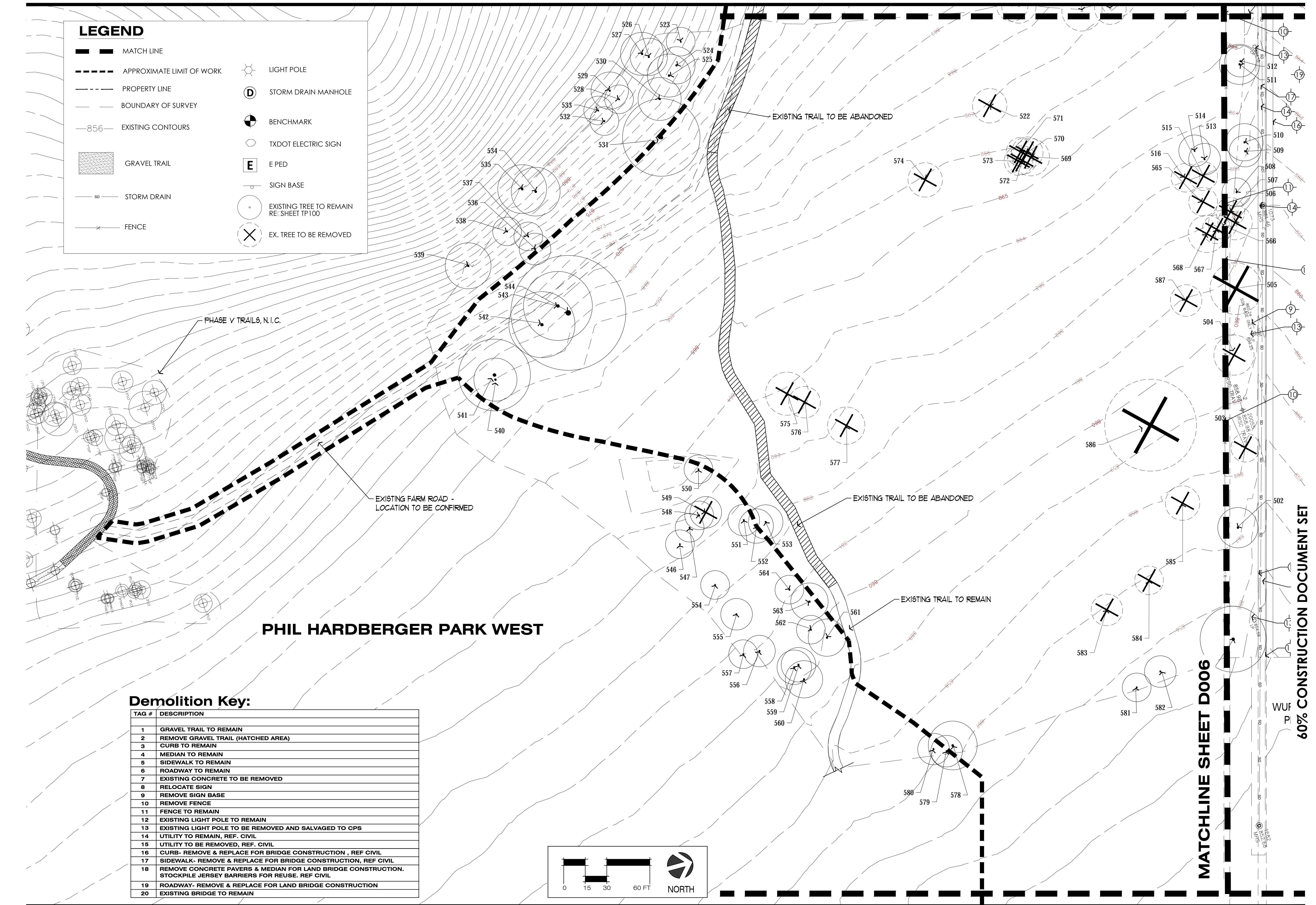
Demolition Notes:

1. CONTRACTOR SHALL VERIFY LOCATIONS AND EXTENT OF ALL EXISTING SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. PROTECT IN PLACE ALL ITEMS NOT SCHEDULED TO BE REMOVED OR RELOCATED.
3. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES AT TRAIL HEADS, SO THAT PEDESTRIAN CIRCULATION MAY CONTINUE UNINTERRUPTED ON TRAILS NOT AFFECTED BY CONSTRUCTION, AS NECESSARY. COORDINATE WITH PARK STAFF AS REQUIRED.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND DIMENSIONS PROVIDED ON THESE PLANS.
5. CONTRACTOR TO PROVIDE FENCING AROUND PROJECT SITE DURING CONSTRUCTION.
6. DISPOSAL OF EXISTING BRUSH AND TREE REMOVAL DEBRIS SHALL BE HAULED TO PARK MAINTENANCE AT THE OWNER'S DIRECTION OR OFF SITE TO A PROPER DISPOSAL FACILITY AT THE CONTRACTOR'S EXPENSE. WHERE APPLICABLE, TREES MAY BE SHREDDED AND USED AS MULCH ON SITE WITH LANDSCAPE ARCHITECTS APPROVAL.
7. EXCESS FILL, SPOILS MATERIAL, ALL OTHER CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE TO A PROPER DISPOSAL FACILITY AT THE CONTRACTOR'S EXPENSE.
8. REMOVE TREE & STUMP BELOW GRADE 3' MIN. & FILL IN CENTER (REF TREE PRESERVATION PLAN)
9. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.



LEGEND

— — — MATCH LINE
- - - APPROXIMATE LIMIT OF WORK
— PROPERTY LINE
— BOUNDARY OF SURVEY
— 856 EXISTING CONTOURS
■ ■ ■ GRAVEL TRAIL
— SD STORM DRAIN
— FENCE
● ● ● LIGHT POLE
(D) STORM DRAIN MANHOLE
(B) BENCHMARK
(O) TXDOT ELECTRIC SIGN
(E) E PED
— SIGN BASE
○ ○ ○ EXISTING TREE TO REMAIN REF SHEET TP100
(X) EX. TREE TO BE REMOVED

**RIALTO
STUDIO**

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**PHIL HARDBERGER PARK
LAND BRIDGE**

San Antonio, TX

**INTERIM REVIEW
DOCUMENTS**
THE DESIGN DOCUMENTS
DISCLOSED HEREIN ARE
INCOMPLETE AND MAY NOT
BE USED FOR REGULATORY
APPROVAL, PERMIT, OR
CONSTRUCTION.
RIALTO STUDIO, INC.

Issue Date **10.06.2017**

Revisions _____

Project Number: **1620**Drawn By **KS**Checked By **DW**Scale: **1"=30'-0"**Sheet Title **Demolition
Plan
West Bridge**Sheet Number **D 003**Sheet **of** _____

HARDBERGER PARK EAST

MATCHLINE SHEET D006

LEGEND

[Match Line icon]	MATCH LINE
[Dashed Line icon]	APPROXIMATE LIMIT OF WORK
[Dashed Line icon]	PROPERTY LINE
[Boundary Line icon]	BOUNDARY OF SURVEY
[Contour Line icon]	EXISTING CONTOURS
[Gravel Trail icon]	GRAVEL TRAIL
[Storm Drain icon]	STORM DRAIN
[Fence icon]	FENCE
[Light Pole icon]	LIGHT POLE
[Storm Drain Manhole icon]	STORM DRAIN MANHOLE
[Benchmark icon]	BENCHMARK
[TxDot Electric Sign icon]	TXDOT ELECTRIC SIGN
[E Ped icon]	E PED
[Sign Base icon]	SIGN BASE
[Existing Tree icon]	EXISTING TREE TO REMAIN REF SHEET TP100
[X Tree icon]	EX. TREE TO BE REMOVED

Demolition Key:

TAG #	DESCRIPTION
1	GRAVEL TRAIL TO REMAIN
2	REMOVE GRAVEL TRAIL (HATCHED AREA)
3	CURB TO REMAIN
4	MEDIAN TO REMAIN
5	SIDEWALK TO REMAIN
6	ROADWAY TO REMAIN
7	EXISTING CONCRETE TO BE REMOVED
8	RELOCATE SIGN
9	REMOVE SIGN BASE
10	REMOVE FENCE
11	FENCE TO REMAIN
12	EXISTING LIGHT POLE TO REMAIN
13	EXISTING LIGHT POLE TO BE REMOVED AND SALVAGED TO CPS
14	UTILITY TO REMAIN, REF. CIVIL
15	UTILITY TO BE REMOVED, REF. CIVIL
16	CURB - REMOVE & REPLACE FOR BRIDGE CONSTRUCTION , REF CIVIL
17	SIDEWALK- REMOVE & REPLACE FOR BRIDGE CONSTRUCTION, REF CIVIL
18	REMOVE CONCRETE PAVERS & MEDIAN FOR LAND BRIDGE CONSTRUCTION. STOCKPILE JERSEY BARRIERS FOR REUSE. REF CIVIL
19	ROADWAY- REMOVE & REPLACE FOR LAND BRIDGE CONSTRUCTION
20	EXISTING BRIDGE TO REMAIN

INTERIM REVIEW DOCUMENTS
THE DESIGN DOCUMENTS
DEPICTED HEREIN ARE
INCOMPLETE AND MAY NOT
BE USED FOR REGULATORY
APPROVAL, PERMIT, OR
CONSTRUCTION, REF.
RIALTO STUDIO, INC.

Issue Date **10.06.2017**

Revisions

Project Number: **1620**

Drawn By **KS**

Checked By **DW**

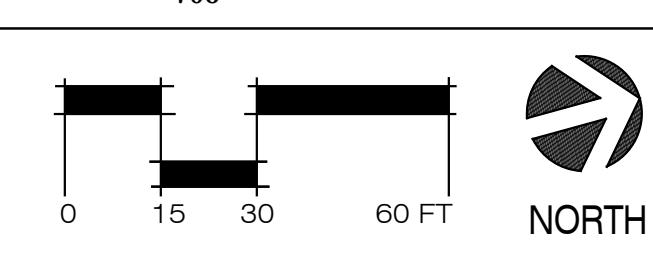
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Sheet Title

**Demolition Plan
East Bridge**

Sheet Number **D 005**

Sheet **of**



**PHIL HARDBERGER PARK
LAND BRIDGE**

San Antonio, TX

60% CONSTRUCTION DOCUMENT SET

INTERIM REVIEW
DOCUMENTS
THE DESIGN DOCUMENTS
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RIALTO STUDIO, INC.

Issue Date 10.06.2017

Revisions _____

Project Number: 1620

Drawn By KS

Checked By DW

Scale: 1"=30'-0"

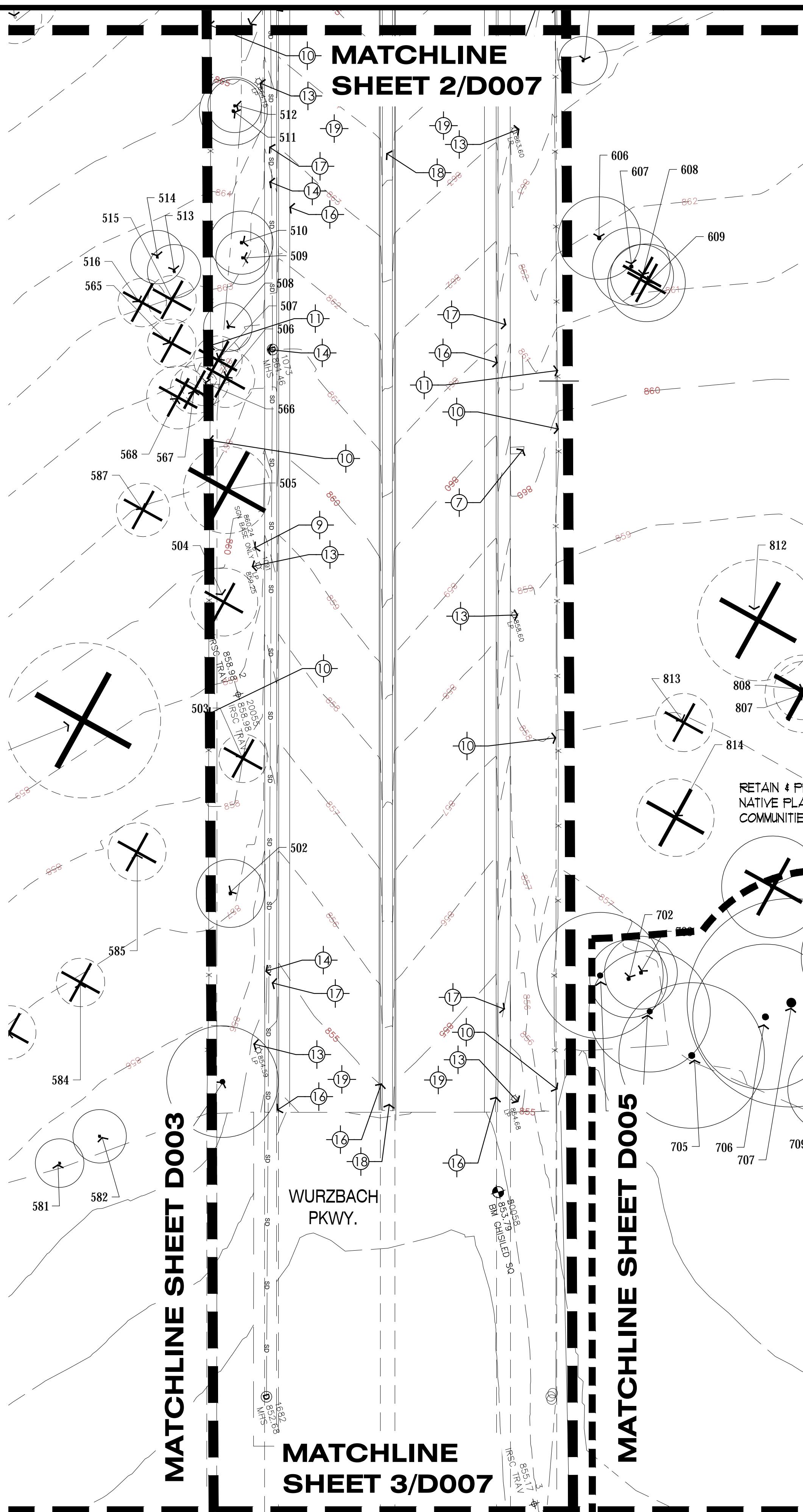
Sheet Title _____

**Demolition
Plan
Wurzbach Pkwy.
Below Bridge**

Sheet Number _____

D 006

Sheet _____ of _____

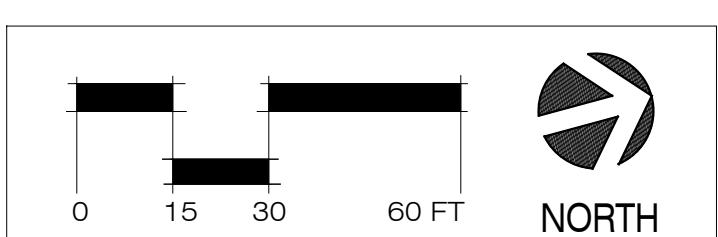


LEGEND

MATCH LINE	
APPROXIMATE LIMIT OF WORK	
PROPERTY LINE	
BOUNDARY OF SURVEY	
EXISTING CONTOURS	
GRAVEL TRAIL	
STORM DRAIN	
SIGN BASE	
EXISTING TREE TO REMAIN REF SHEET TP100	
EX. TREE TO BE REMOVED	

Demolition Key:

TAG #	DESCRIPTION
1	GRAVEL TRAIL TO REMAIN
2	REMOVE GRAVEL TRAIL (HATCHED AREA)
3	CURB TO REMAIN
4	MEDIAN TO REMAIN
5	SIDEWALK TO REMAIN
6	ROADWAY TO REMAIN
7	EXISTING CONCRETE TO BE REMOVED
8	RELOCATE SIGN
9	REMOVE SIGN BASE
10	REMOVE FENCE
11	FENCE TO REMAIN
12	EXISTING LIGHT POLE TO REMAIN
13	EXISTING LIGHT POLE TO BE REMOVED AND SALVAGED TO CPS
14	UTILITY TO REMAIN, REF. CIVIL
15	UTILITY TO BE REMOVED, REF. CIVIL
16	CURB- REMOVE & REPLACE FOR BRIDGE CONSTRUCTION , REF CIVIL
17	SIDEWALK- REMOVE & REPLACE FOR BRIDGE CONSTRUCTION, REF CIVIL
18	REMOVE CONCRETE PAVERS & MEDIAN FOR LAND BRIDGE CONSTRUCTION. STOCKPILE JERSEY BARRIERS FOR REUSE. REF CIVIL
19	ROADWAY- REMOVE & REPLACE FOR LAND BRIDGE CONSTRUCTION
20	EXISTING BRIDGE TO REMAIN



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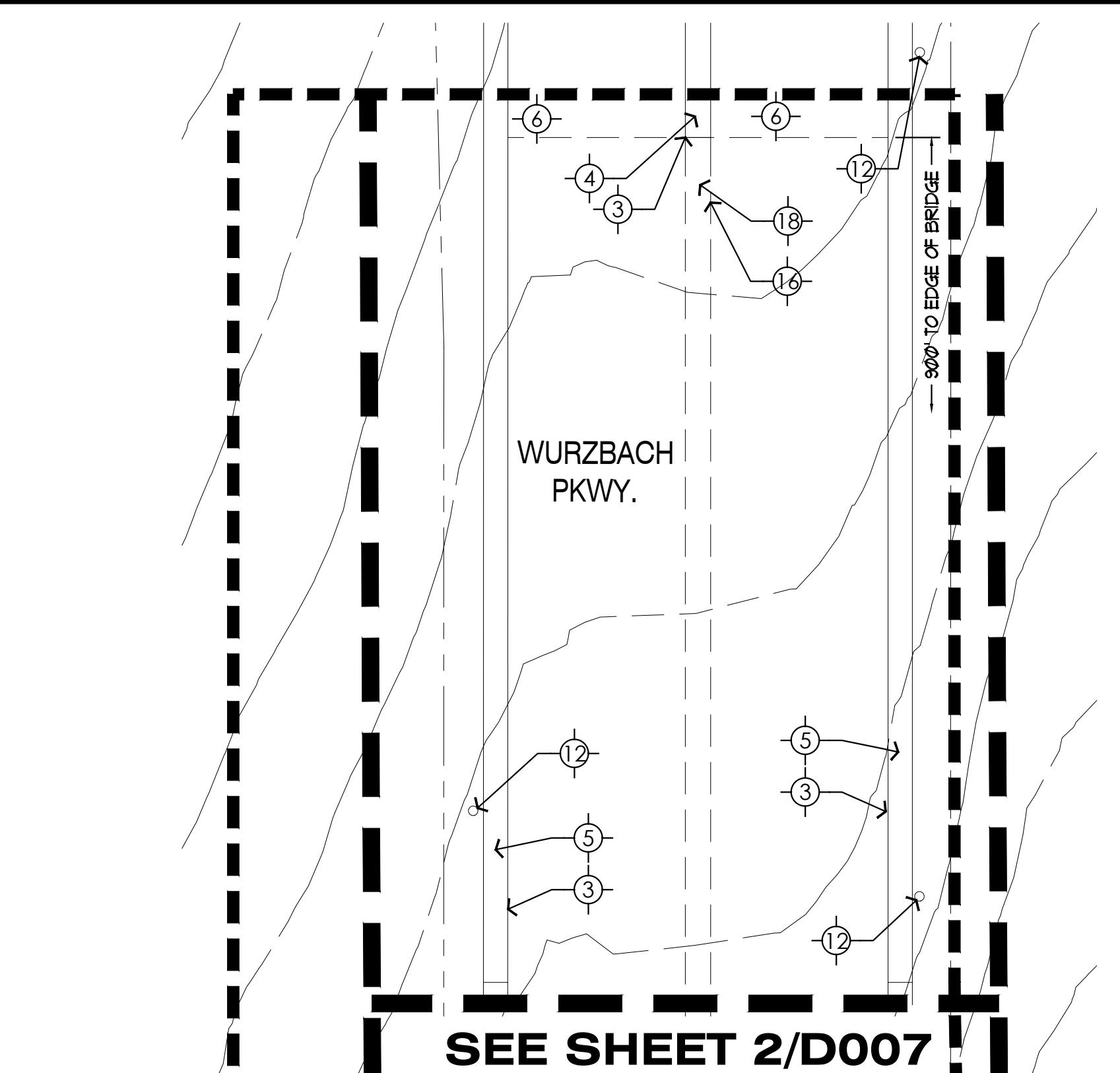
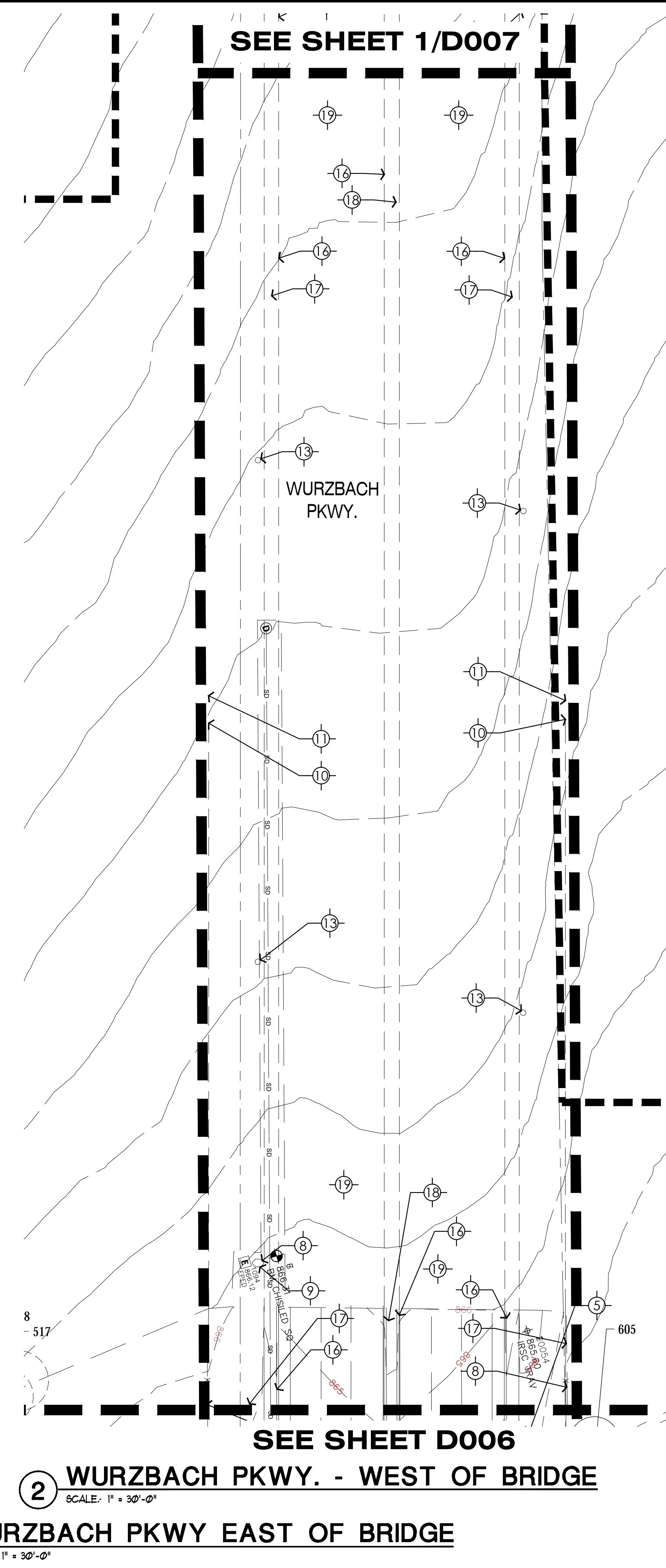
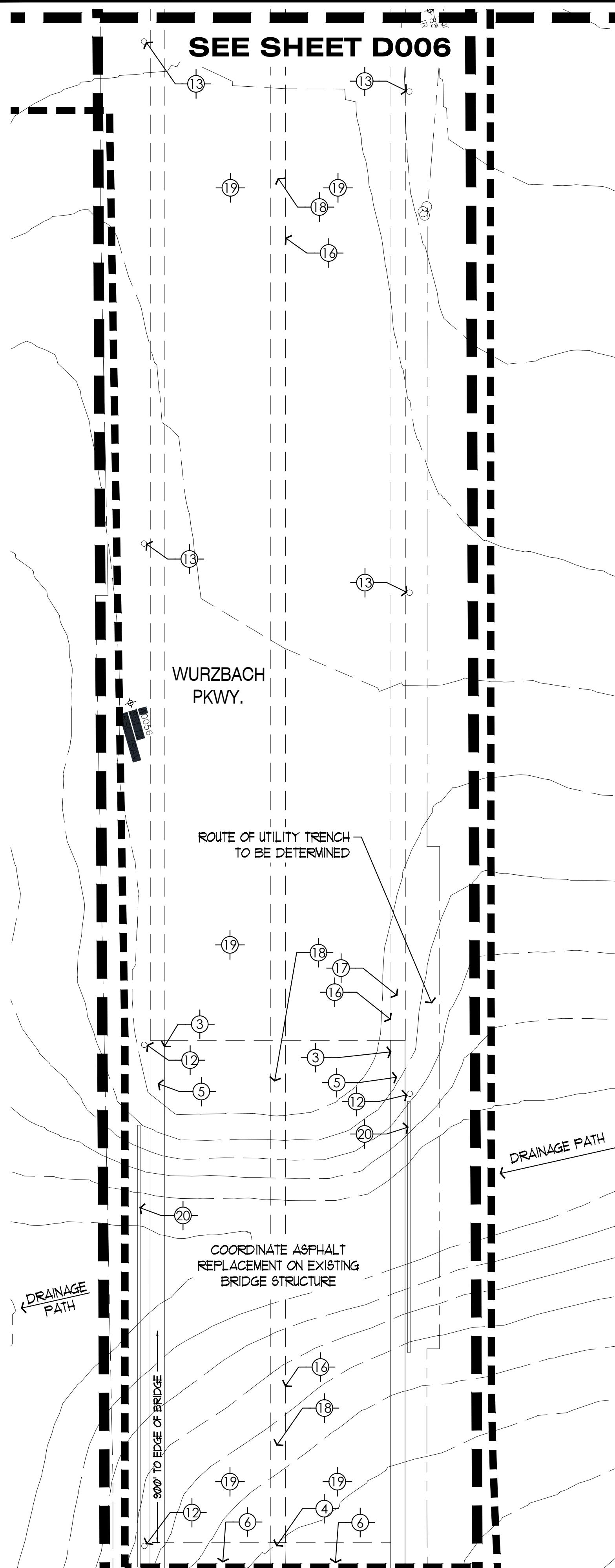
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Sheet Title

**Demolition
Plan
Wurzbach Pkwy.**

Sheet Number D 007

Sheet of 1

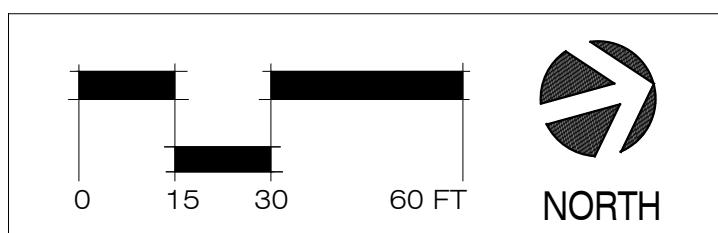


LEGEND

MATCH LINE
APPROXIMATE LIMIT OF WORK
PROPERTY LINE
BOUNDARY OF SURVEY
EXISTING CONTOURS
GRAVEL TRAIL
STORM DRAIN
BENCHMARK
TXDOT ELECTRIC SIGN
E PED
SIGN BASE
EXISTING TREE TO REMAIN RE: SHEET TP100
EX. TREE TO BE REMOVED

Demolition Key:

TAG #	DESCRIPTION
1	GRAVEL TRAIL TO REMAIN
2	REMOVE GRAVEL TRAIL (HATCHED AREA)
3	CURB TO REMAIN
4	MEDIAN TO REMAIN
5	SIDEWALK TO REMAIN
6	ROADWAY TO REMAIN
7	EXISTING CONCRETE TO BE REMOVED
8	RELOCATE SIGN
9	REMOVE SIGN BASE
10	REMOVE FENCE
11	FENCE TO REMAIN
12	EXISTING LIGHT POLE TO REMAIN
13	EXISTING LIGHT POLE TO BE REMOVED AND SALVAGED TO CPS
14	UTILITY TO REMAIN, REF. CIVIL
15	UTILITY TO BE REMOVED, REF. CIVIL
16	CURB REMOVE & REPLACE FOR BRIDGE CONSTRUCTION , REF CIVIL
17	SIDEWALK- REMOVE & REPLACE FOR BRIDGE CONSTRUCTION, REF CIVIL
18	REMOVE CONCRETE PAVERS & MEDIAN FOR LAND BRIDGE CONSTRUCTION. STOCKPILE JERSEY BARRIERS FOR REUSE. REF CIVIL
19	ROADWAY- REMOVE & REPLACE FOR LAND BRIDGE CONSTRUCTION
20	EXISTING BRIDGE TO REMAIN



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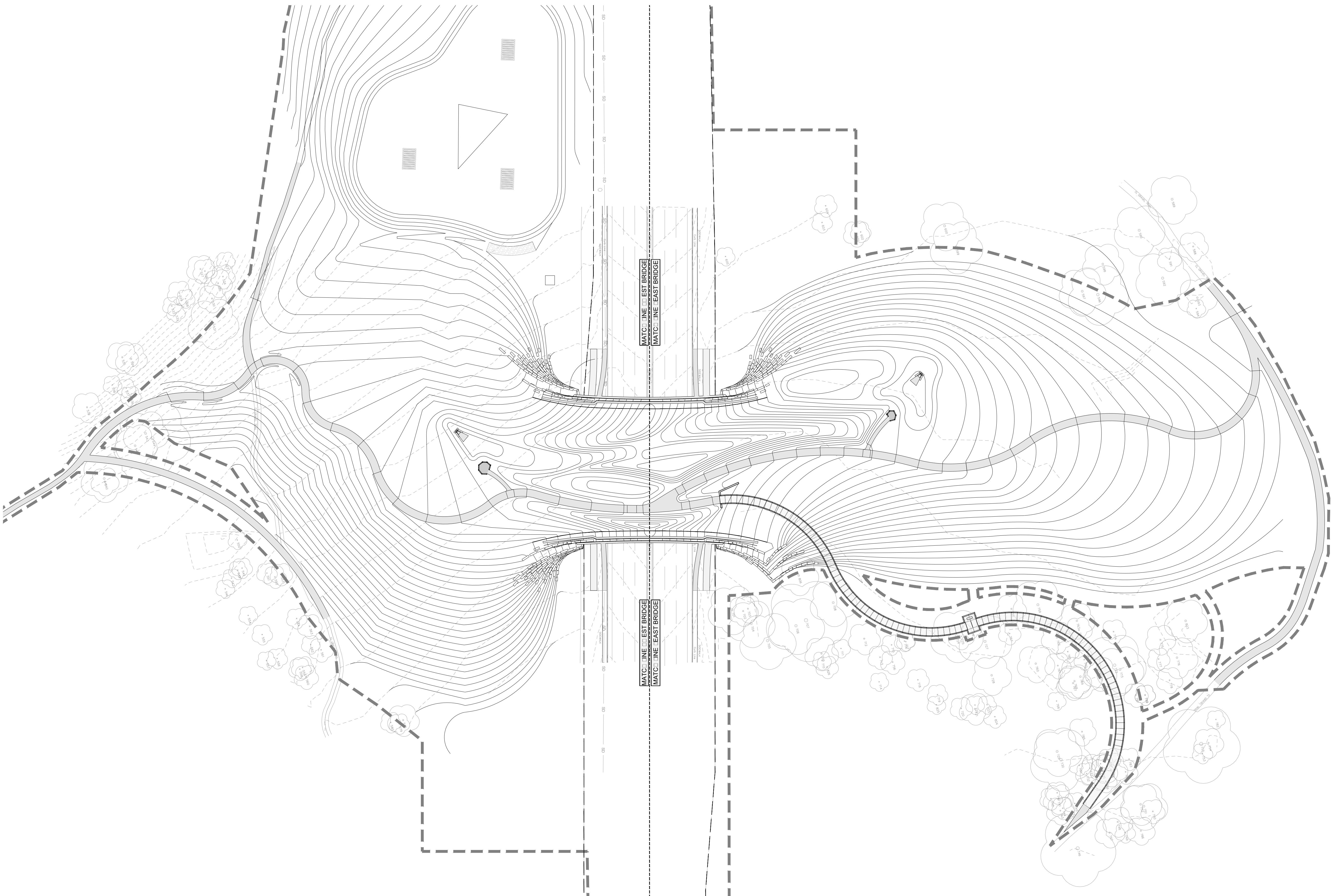
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REFERENCE PLAN

Sheet Number

L102

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REFERENCE PLAN
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MATERIALS PLAN- WEST

Sheet Number

L103

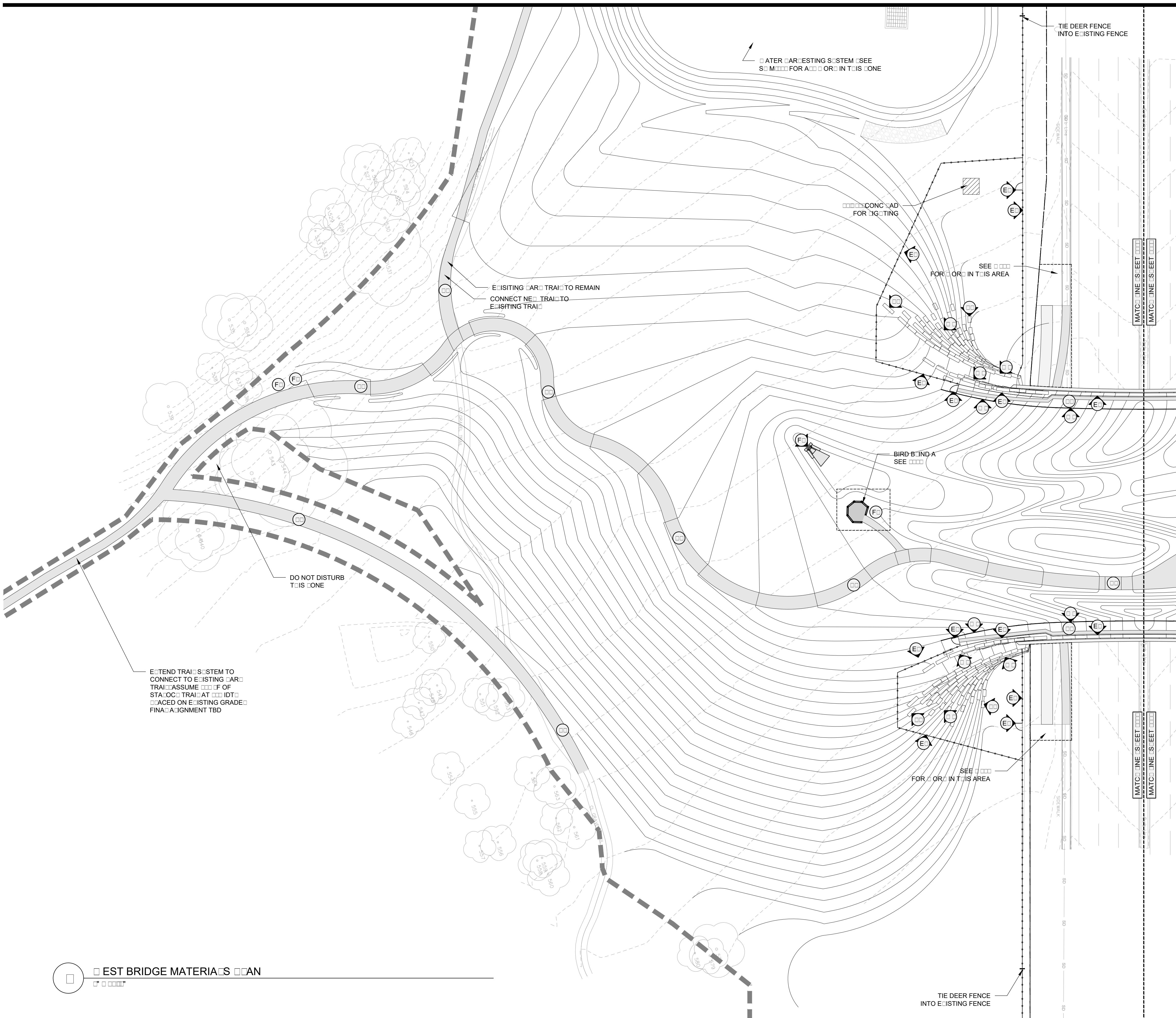
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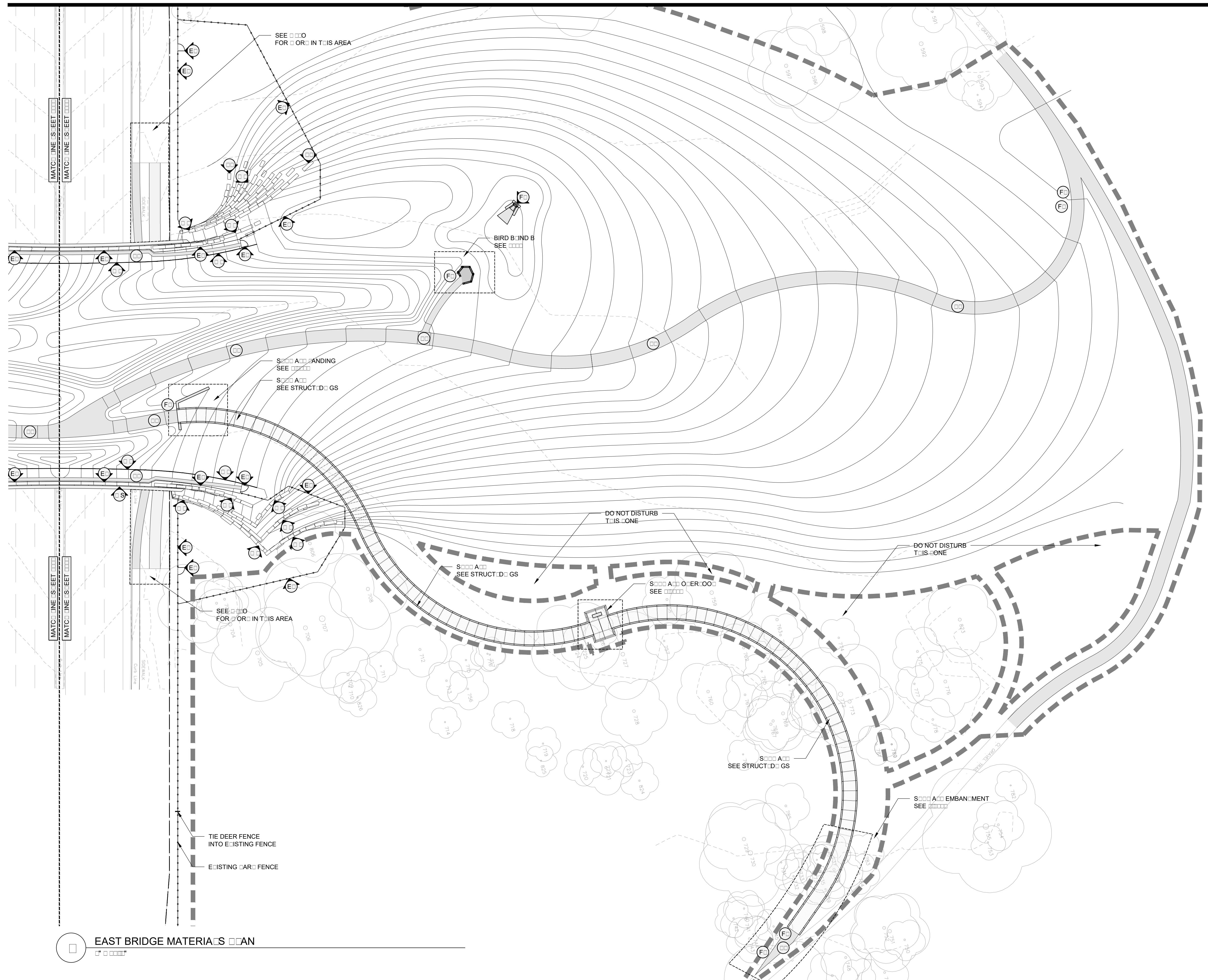
MATERIALS LEGEND

SYMBOL	DESCRIPTION	DETAIL
(C)	STABILIZED AGGREGATE	(C)
(D)	CONCRETE PAVEMENT	(D)
(E)	INSET LIMESTONE BLOCKS	(E)
(F)	SOD INFILTRATION	(F)
(G)	LIMESTONE AREA	(G)
(H)	SEE STRUCT. DETAILS	(H)
(I)	EARTERED STEEL FENCE	(I)
(J)	DEER FENCE	(J)
(K)	GATE	(K)
(L)	SAFETY FENCE	(L)
(M)	EARTERED STEEL SIGNAGE	(M)
(N)	OTTER RECESSION	(N)
(O)	LIMESTONE BENCH	(O)
(P)	ATER GUARD	(P)
(Q)	INTERPRETIVE SIGNAGE	(Q)
(R)	LIMIT OF FOREST	(R)

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RIALTO STUDIO

MATERIALS LEGEND

S■MBO ■	DESCRIPTION	DETAILS
	STABILIZED AGGREGATE	
	CONCRETE ■A■EMENT	
	INSET ■MESTONE ■OC■S	
	SO ■AE INFILTRATION	
	■MESTONE ■ A■O	SEE STRUCT■D■ GS
	■EAT■ERED STEE■FENCE	
	DEER FENCE	
	GATE	
	SAFET■ FENCE	
	■EAT■ERED STEE■ SIGNAGE	
	■TTER RECE■TAC■E	
	■MESTONE BENC■	
	■ATER GU■■■ER	
	INTER■RETI■E SIGNAGE	
	■MIT OF ■ OP■	

**STEPHEN STIMSON ASSOCIATES
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Issue
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Proj
Draw
Chec

MATERIALS PLAN - EAST

Sheet Number

L104

Sheet _____ of _____

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Landscape Architecture

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MATERIALS LEGEND

SYMBO□	DESCRIP□TION	DETAI□
	CONCRETE □A□EMENT □ □EDESTRIAN	
	INSET □MESTONE B□OC□S	
	INFILTRATION S□ A□E	
	STEE□ GRATE	

Issue
Review
Project
Draw
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Scale: **AS DRAWN**

GROUND

GROUNDS MATERIALS

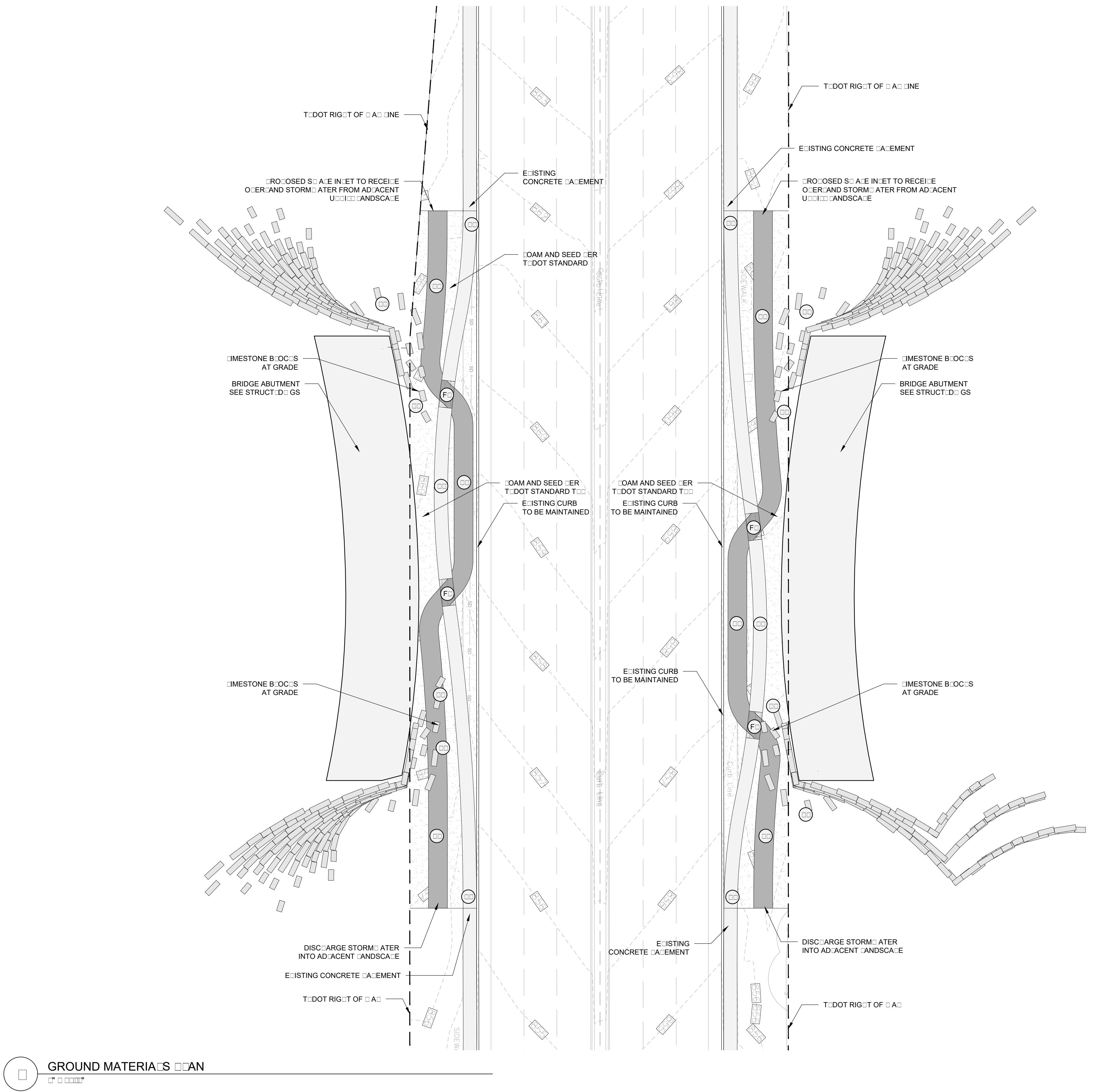
PLAN

GROUND MATERIALS PLAN

Sheet Number

L110

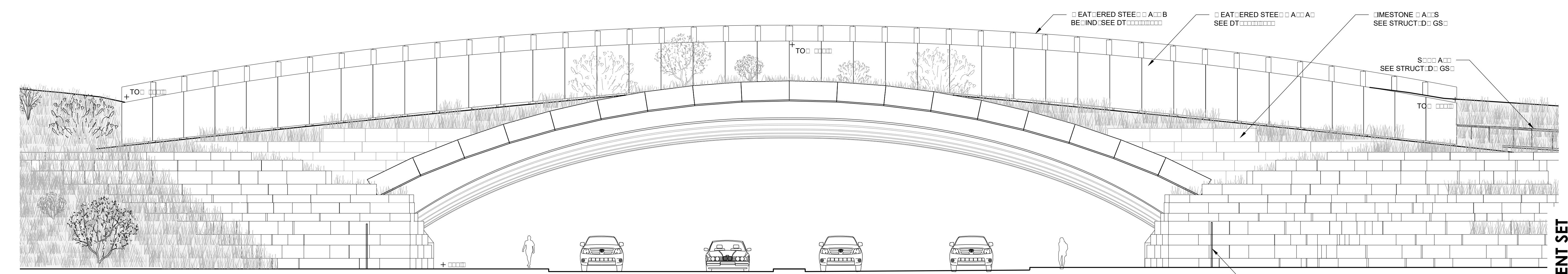
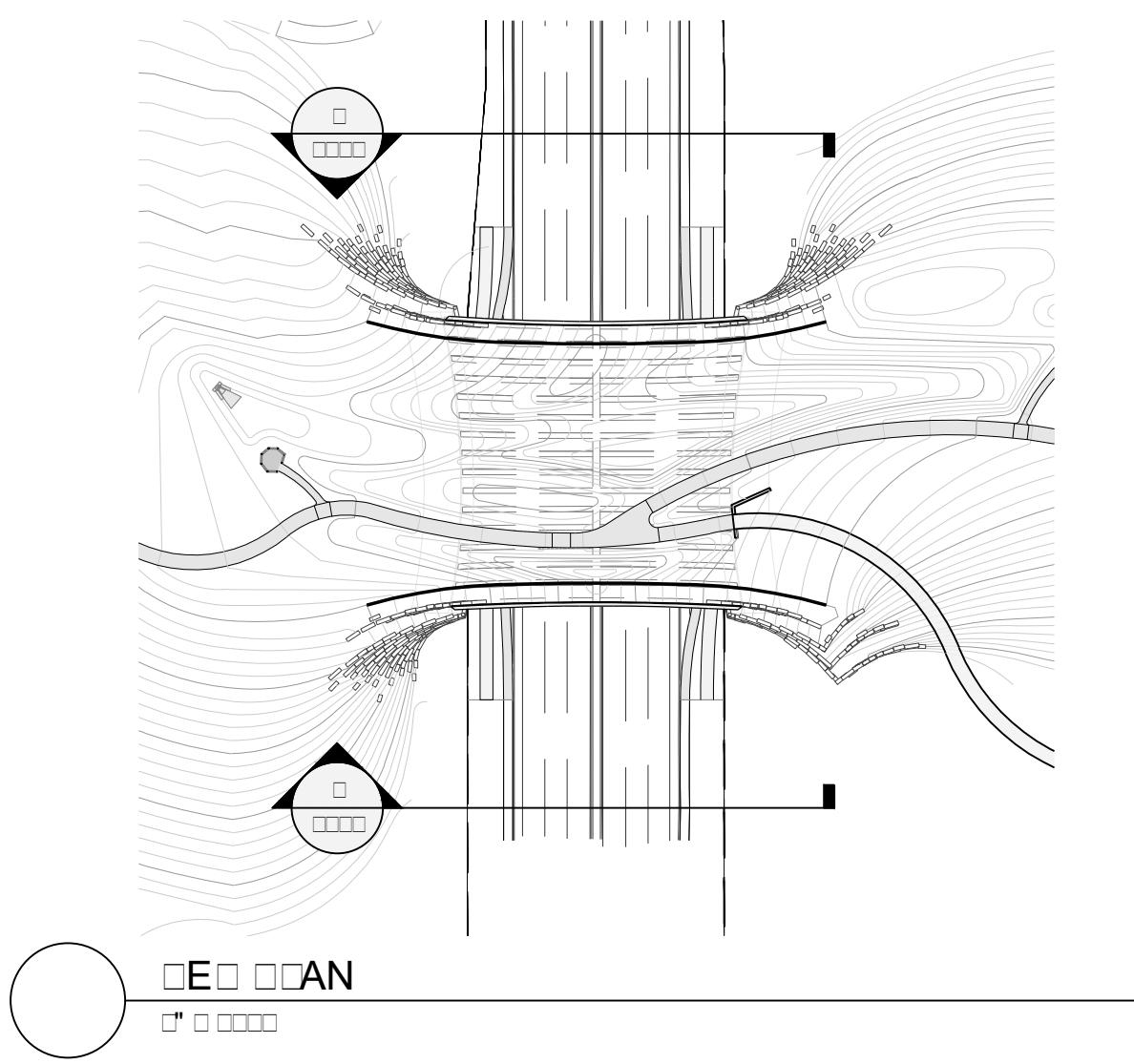
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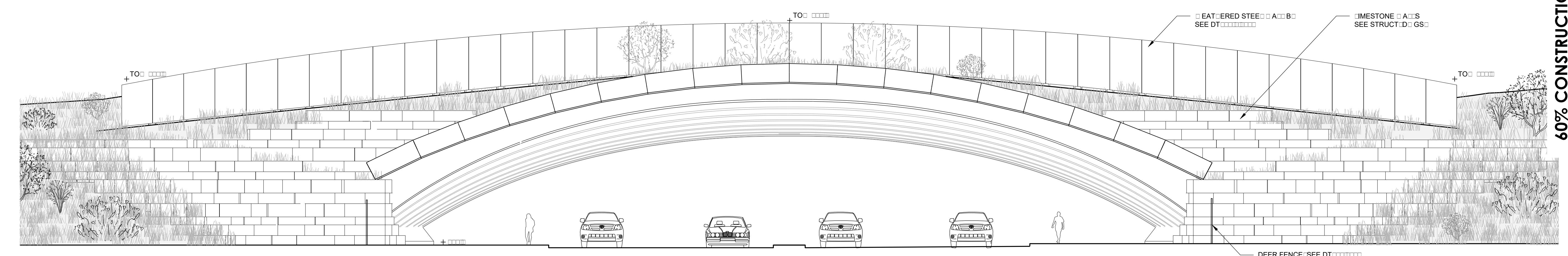
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SOUT ELEVATION
□ □ □ □



NORT ELEVATION
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Sheet Title

**ELEVATION -
NORTH, SOUTH**

Sheet Number

L300

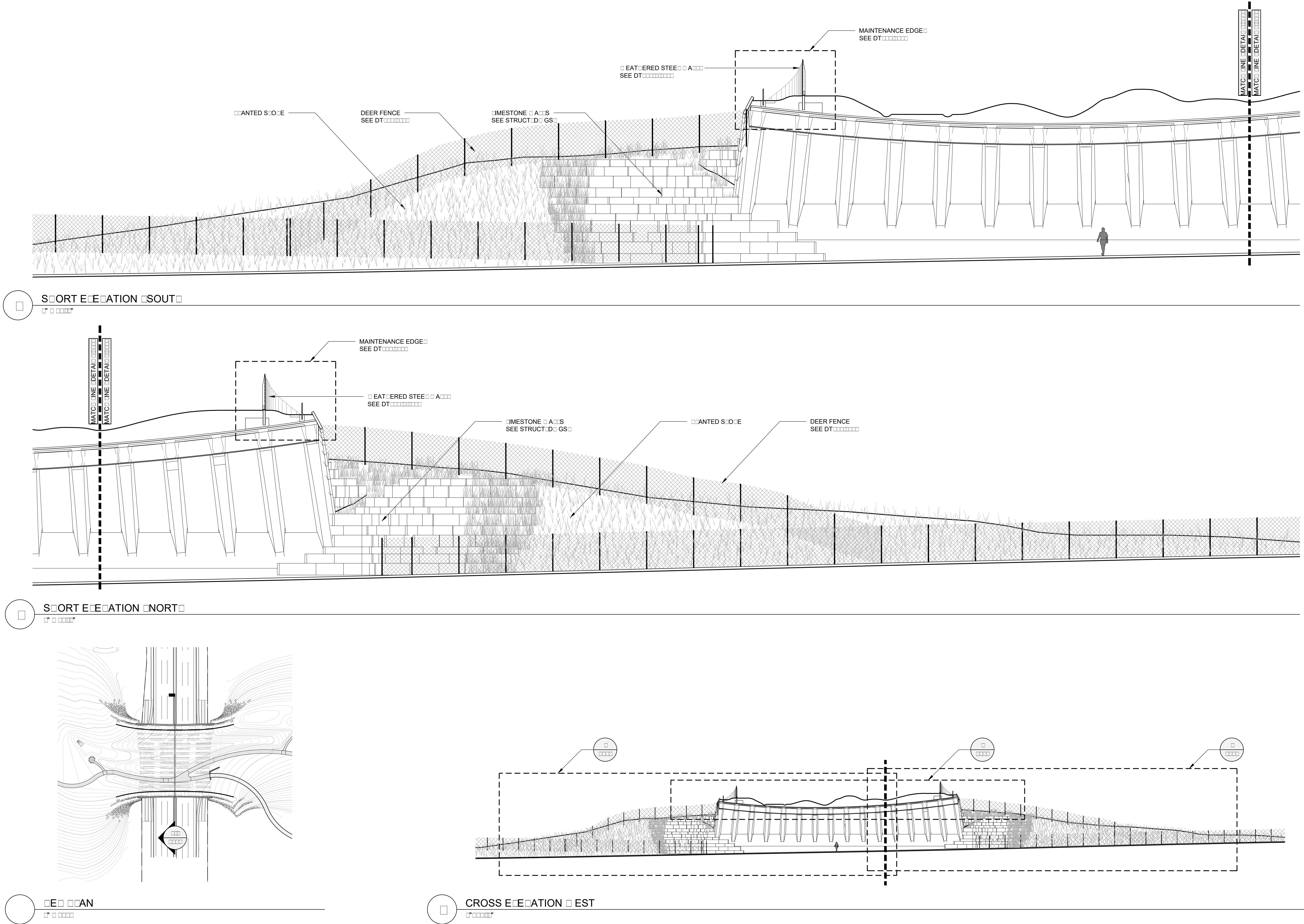
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Sheet Title	ELEVATION - WEST
Sheet Number	L301
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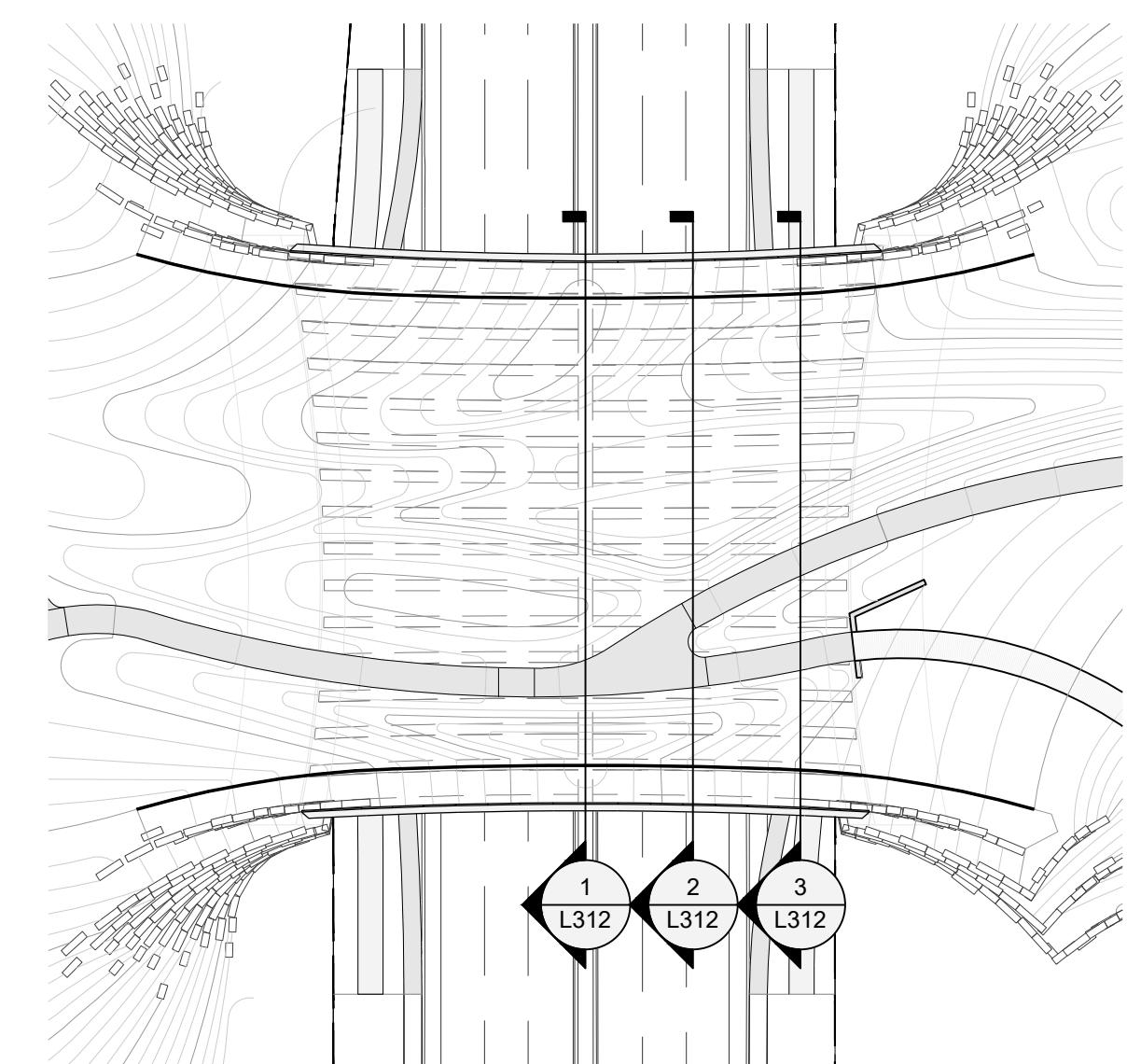
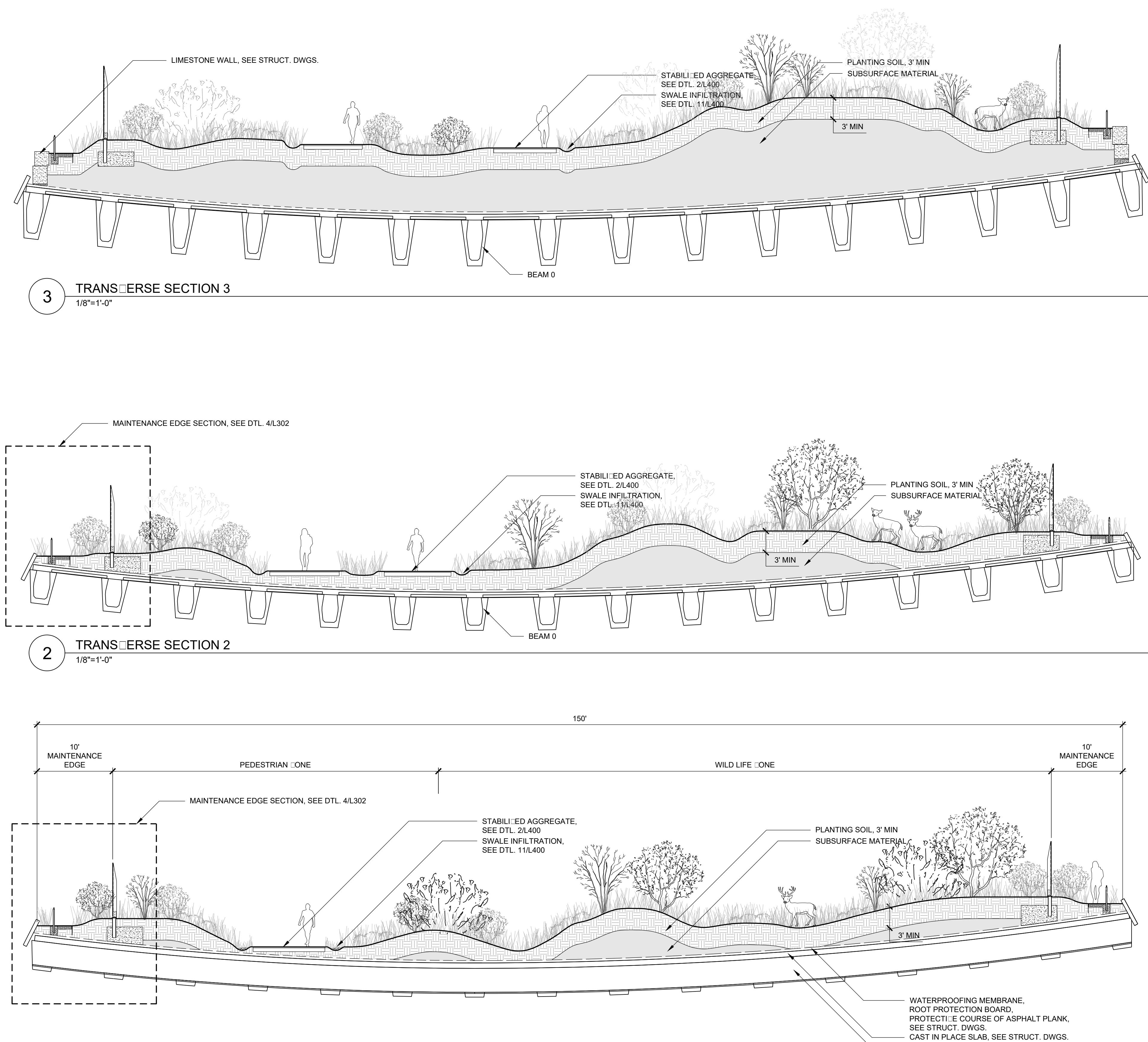
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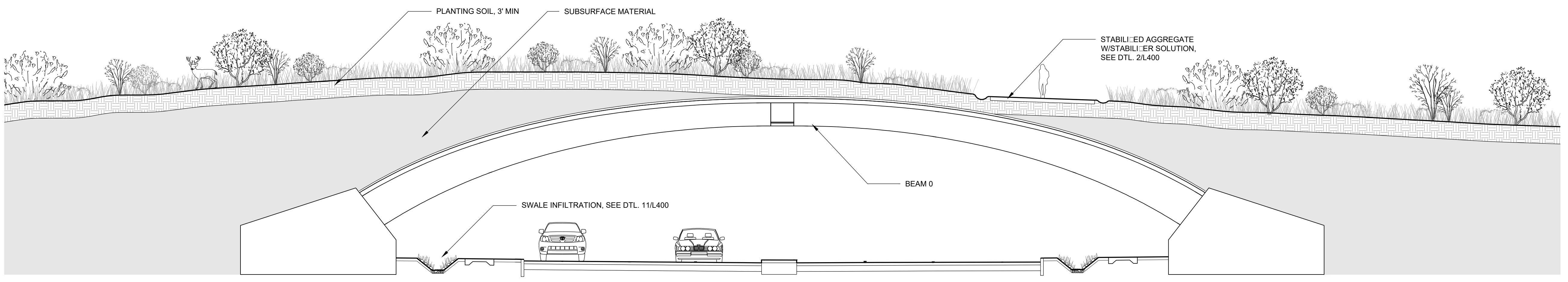
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SECTION - TRANSVERSE

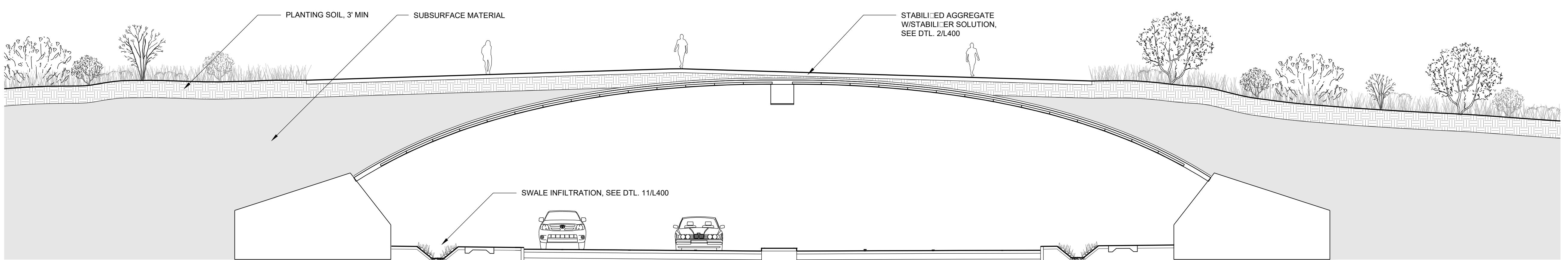
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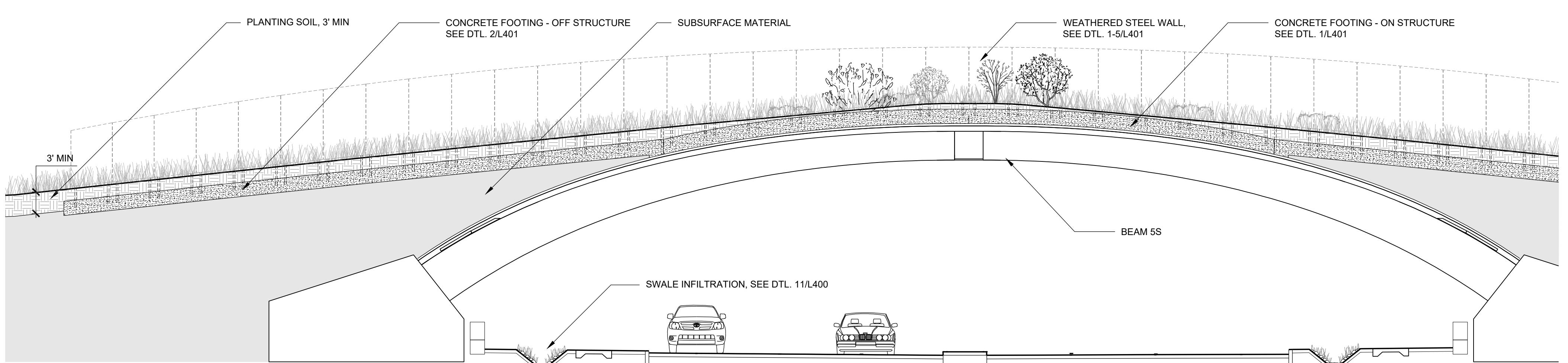




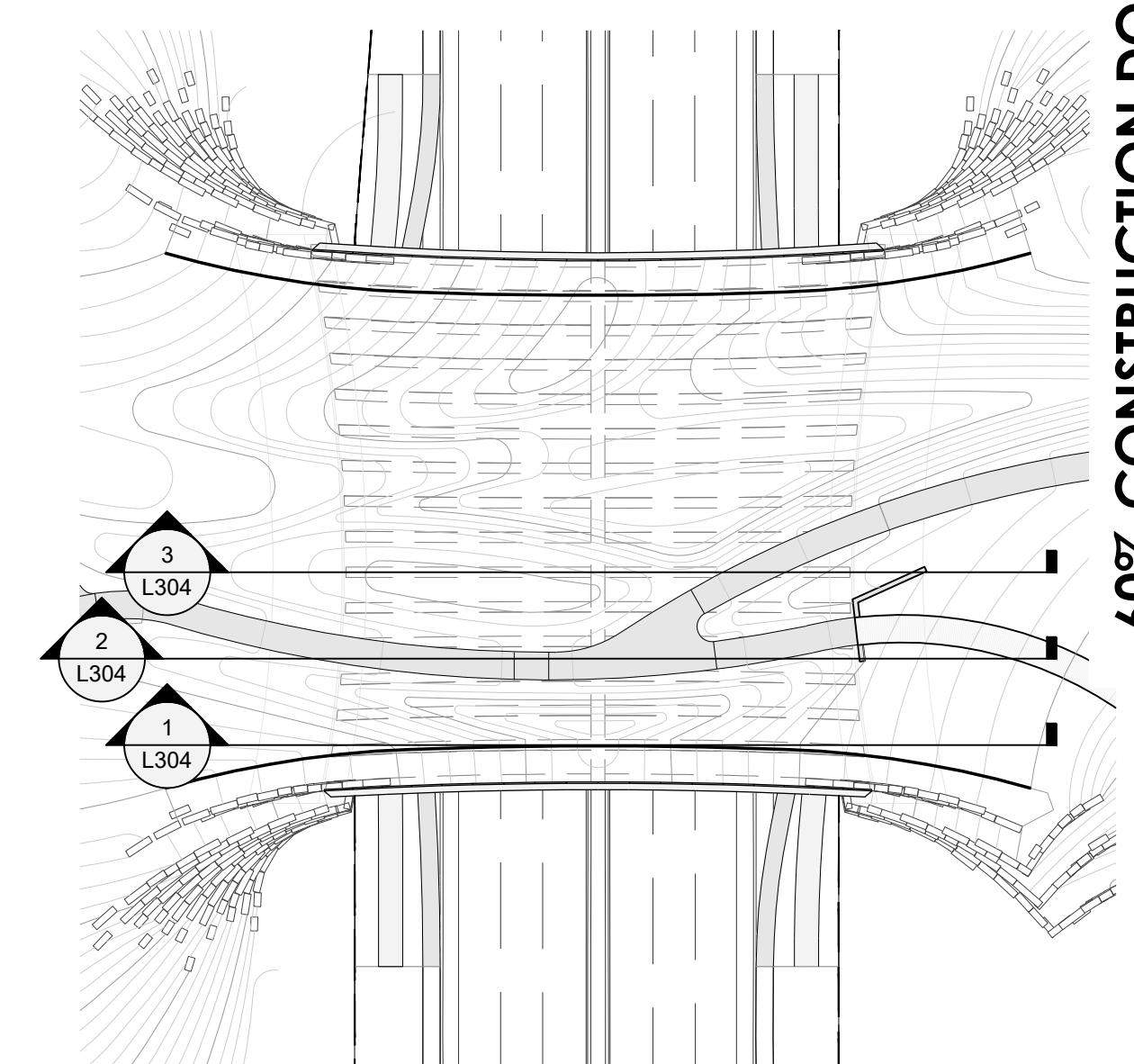
3 LONGITUDINAL SECTION AT BEAM 0
1"-10'-0"



2 LONGITUDINAL SECTION BETWEEN BEAM 2S AND 3S
1"-10'-0"



1 LONGITUDINAL SECTION AT BEAM 5S [STEEL WALL] □
1"-10'-0"



KEY PLAN
1" = 50'

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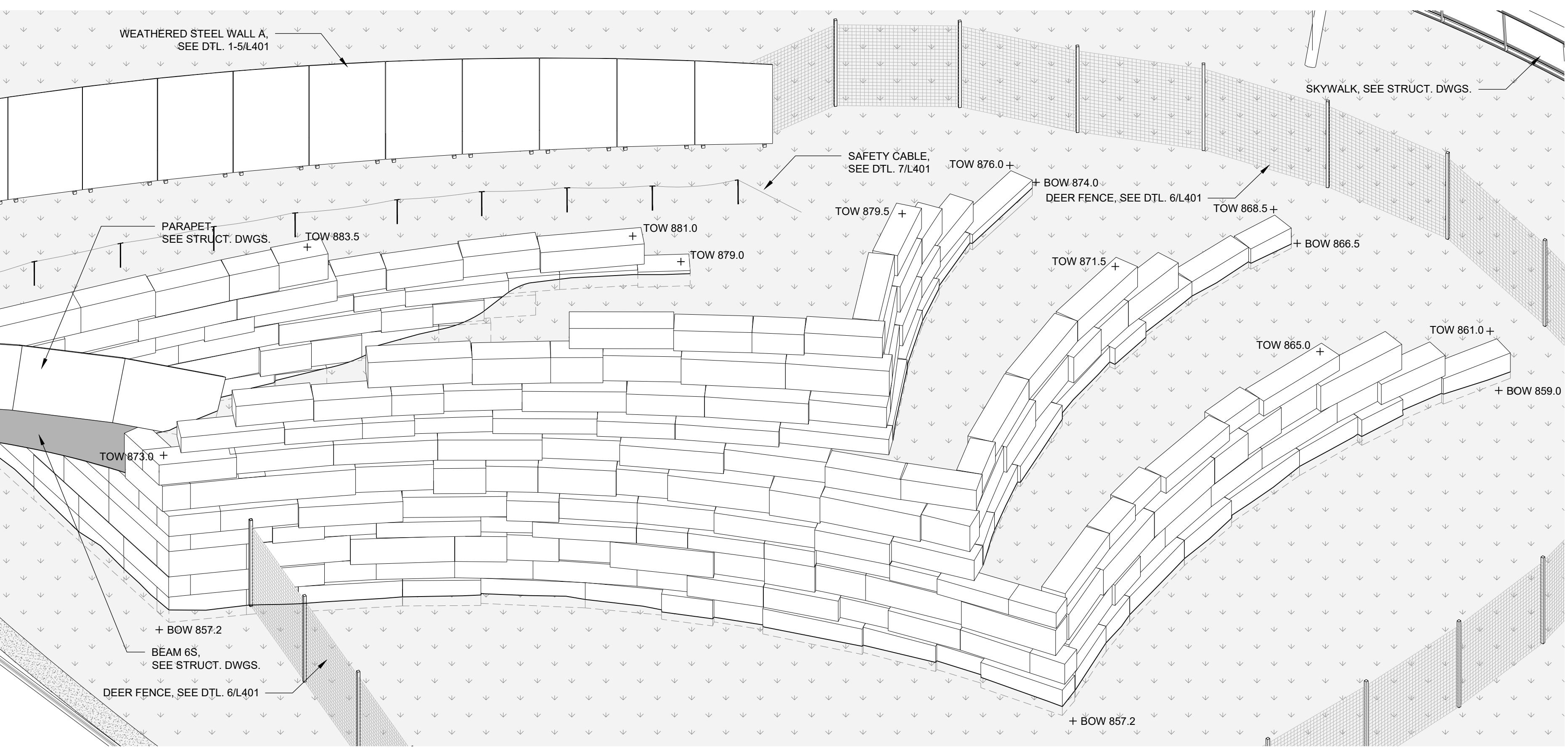
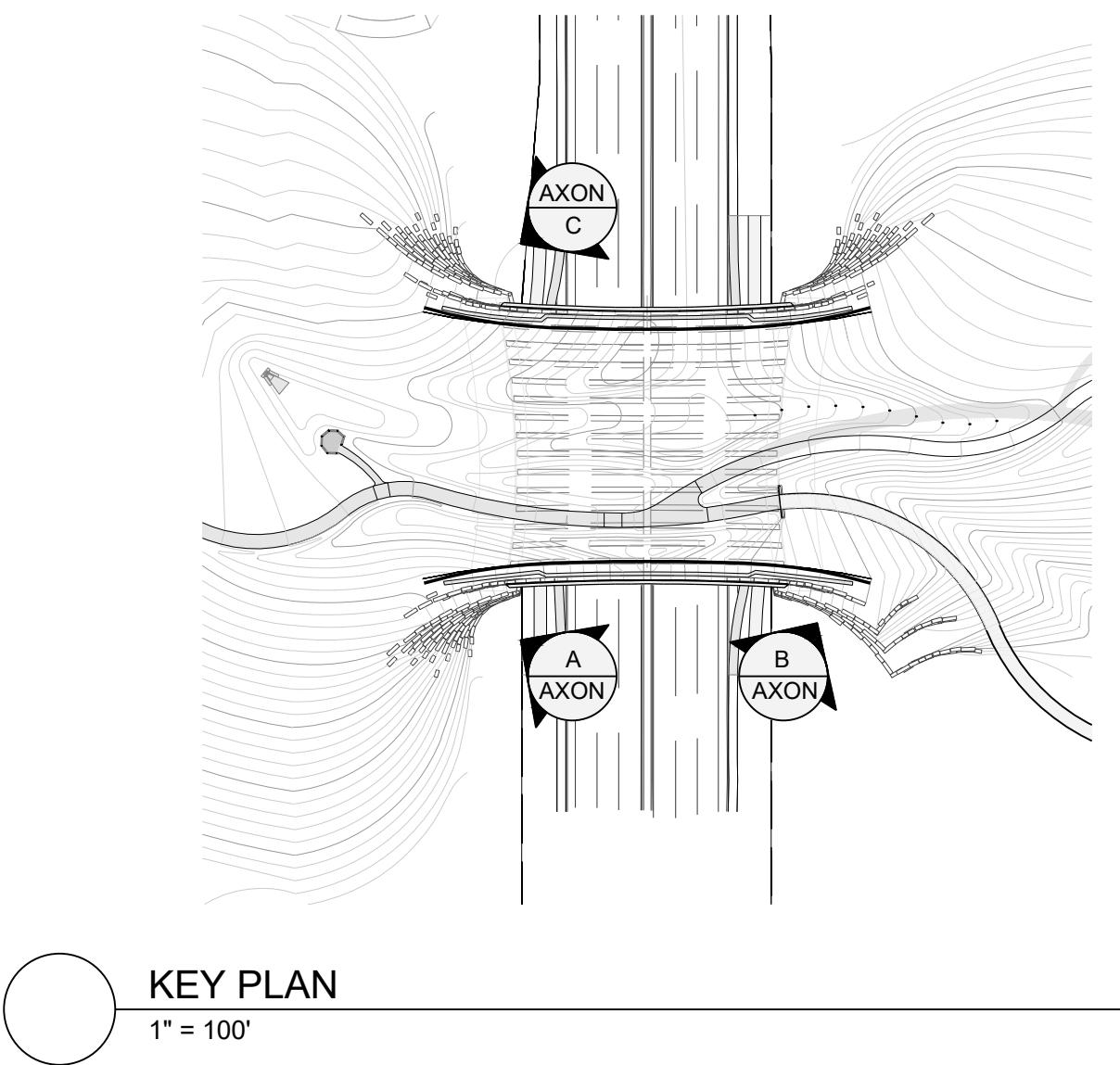
SECTION - LONGITUDINAL

Sheet Number L303

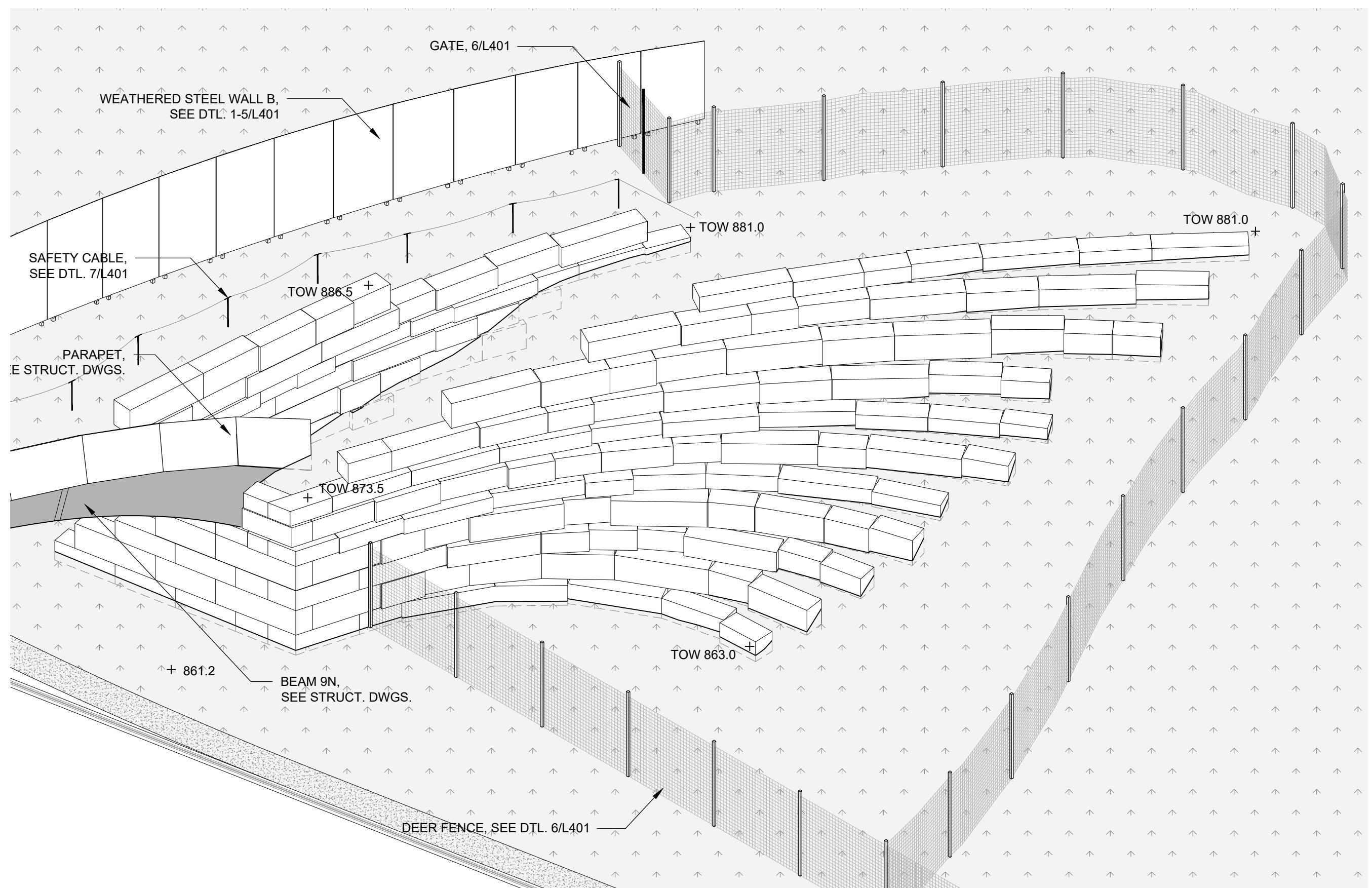
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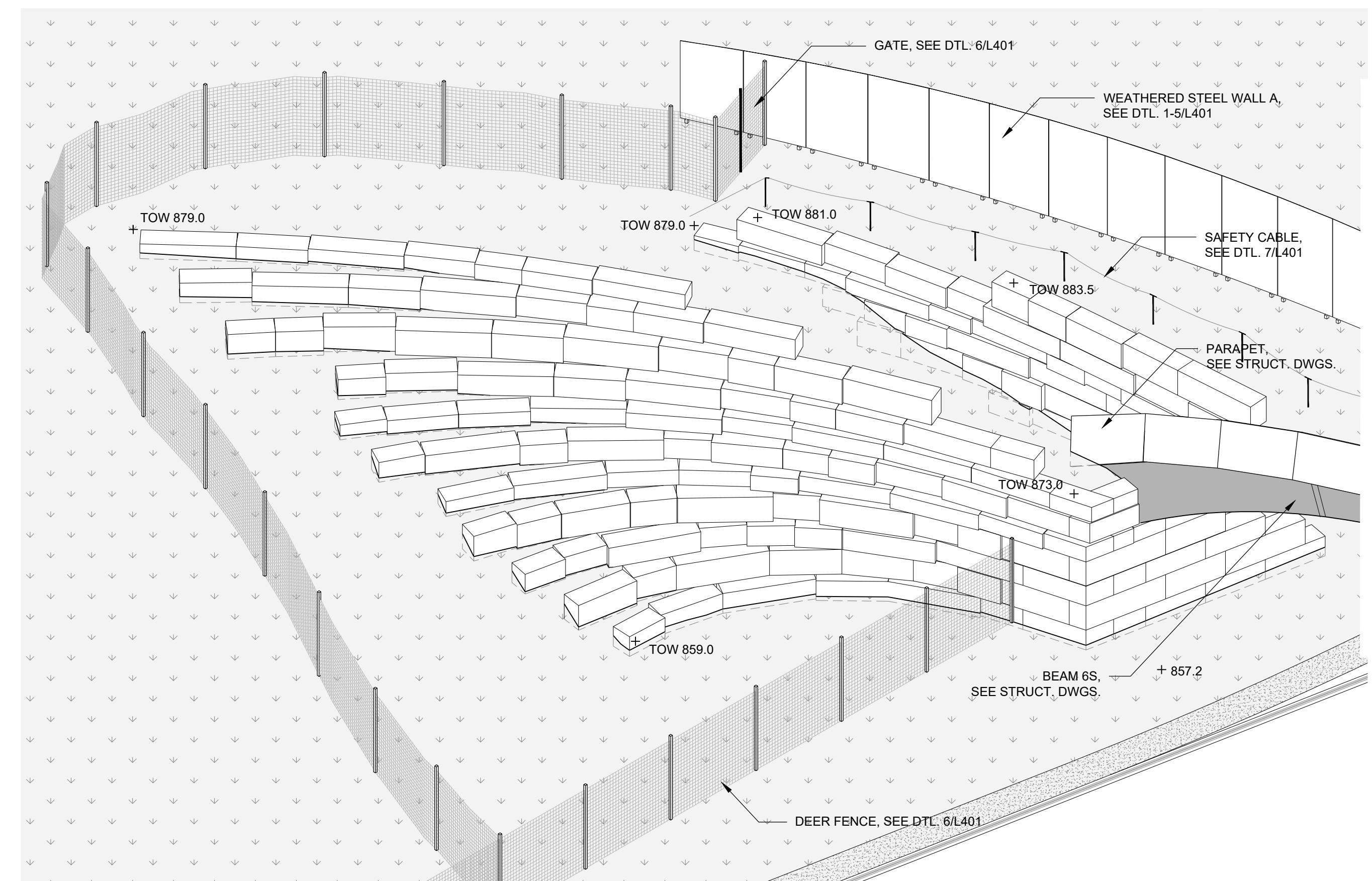
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2 LIMESTONE WALL AXONOMETRIC - B
NTS



3 LIMESTONE WALL AXONOMETRIC - C
NTS



1 LIMESTONE WALL AXONOMETRIC - A
NTS

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AXONOMETRICS

Sheet Number _____

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Sheet Number _____

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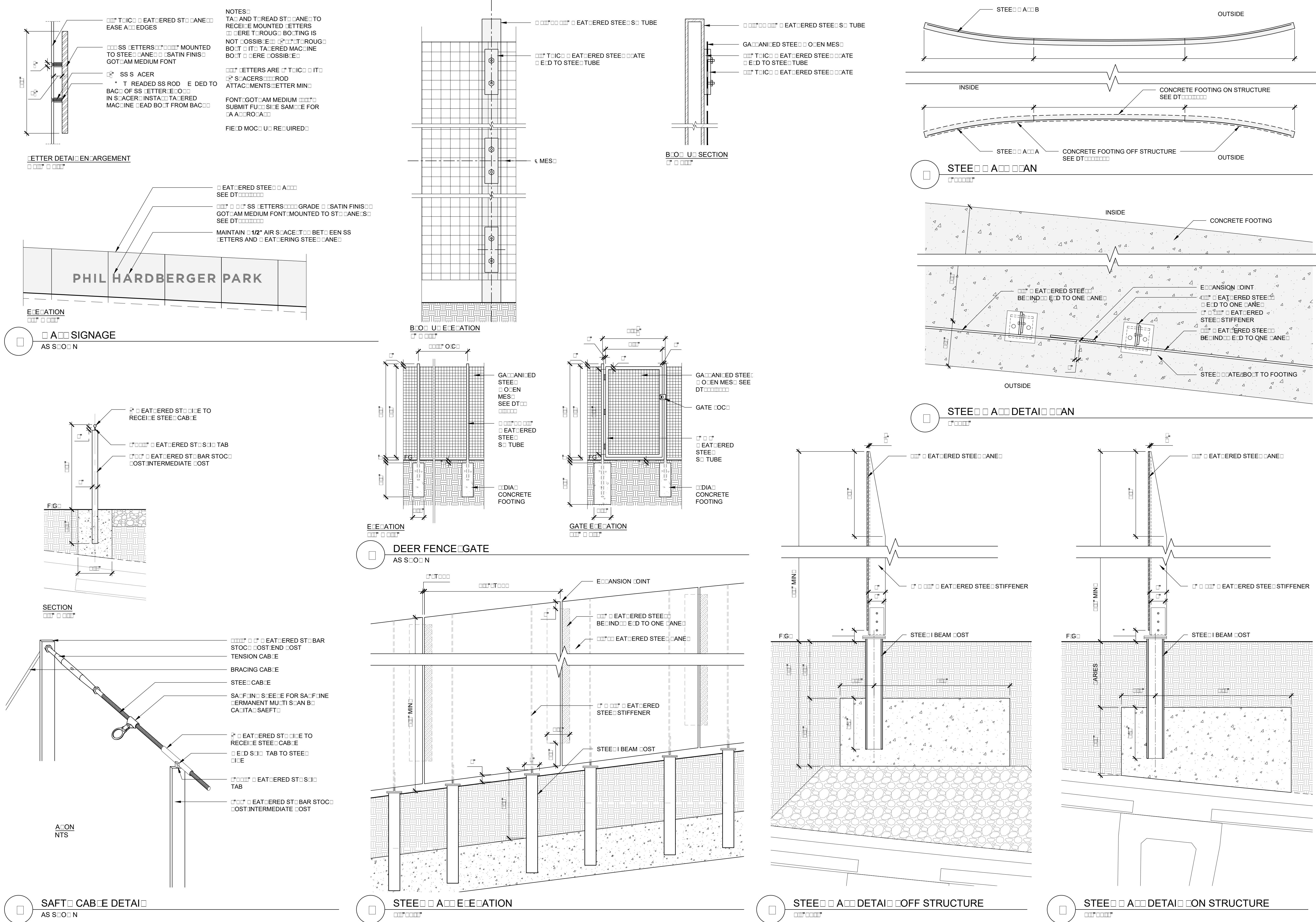
Sheet Title _____

DETAILS - ENCLOSURES

Sheet Number _____

L401

Sheet _____ of _____



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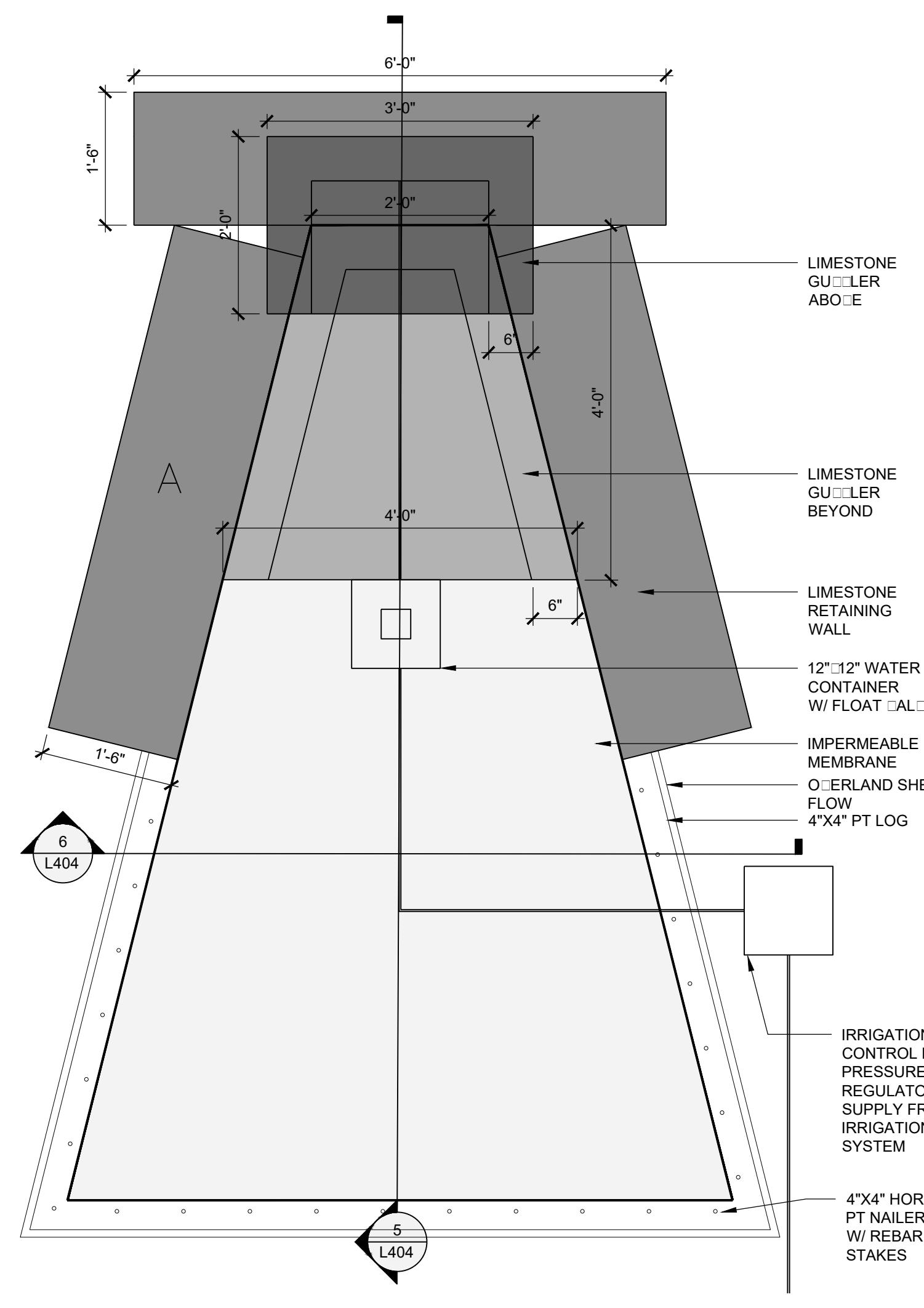
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FURNISHINGS**

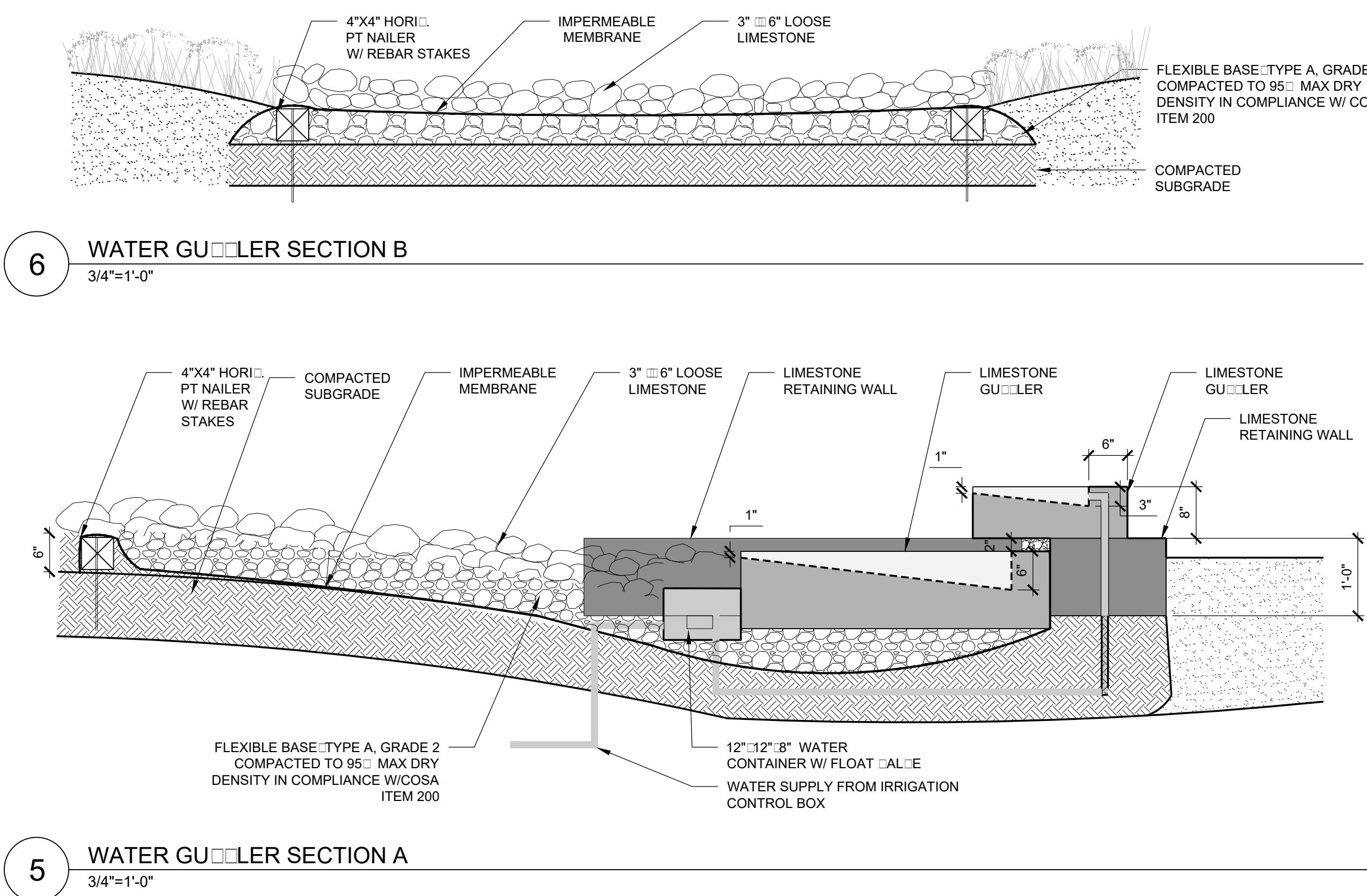
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L404

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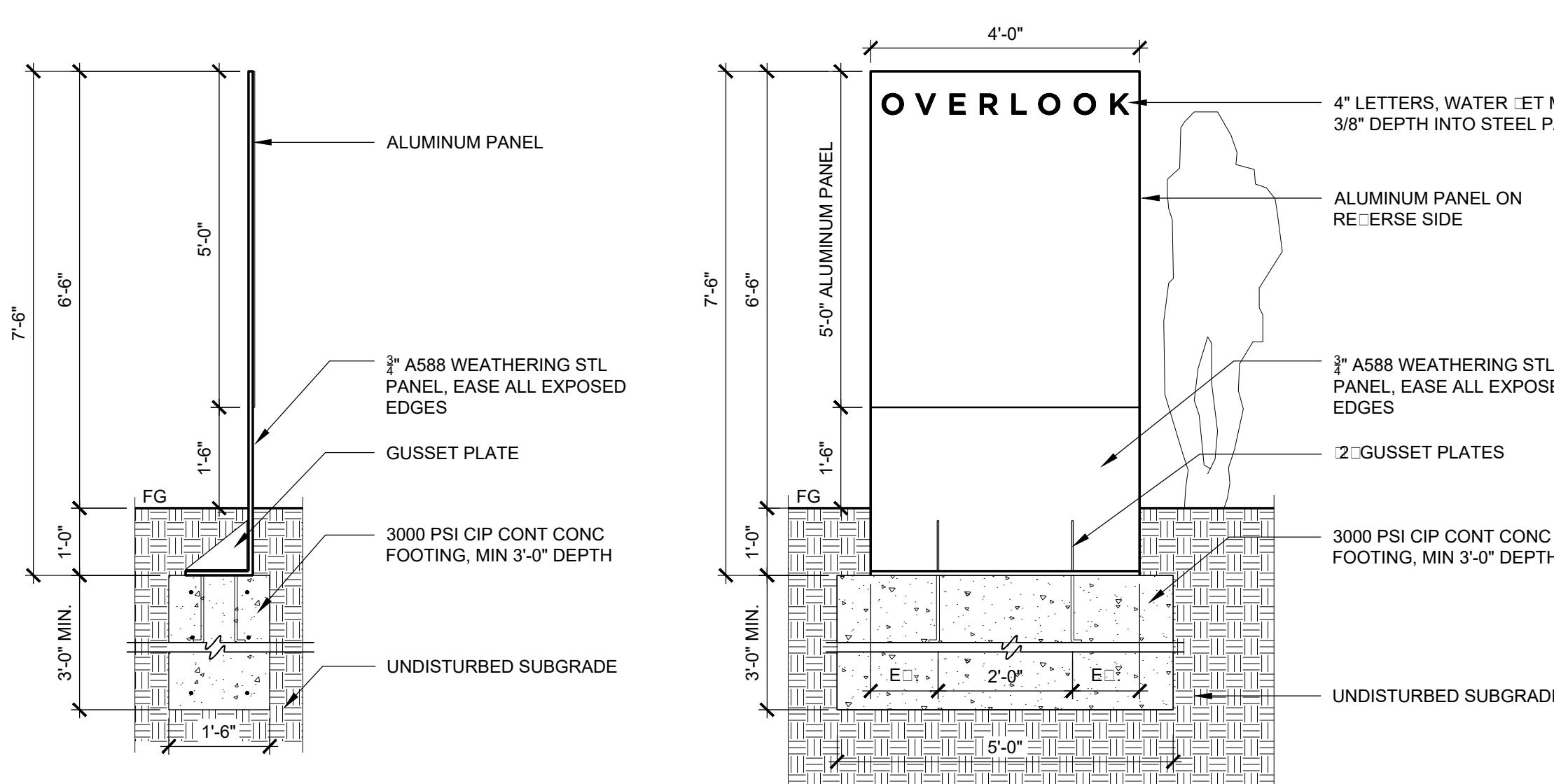


7 WATER GUILLER
3"=1'-0"

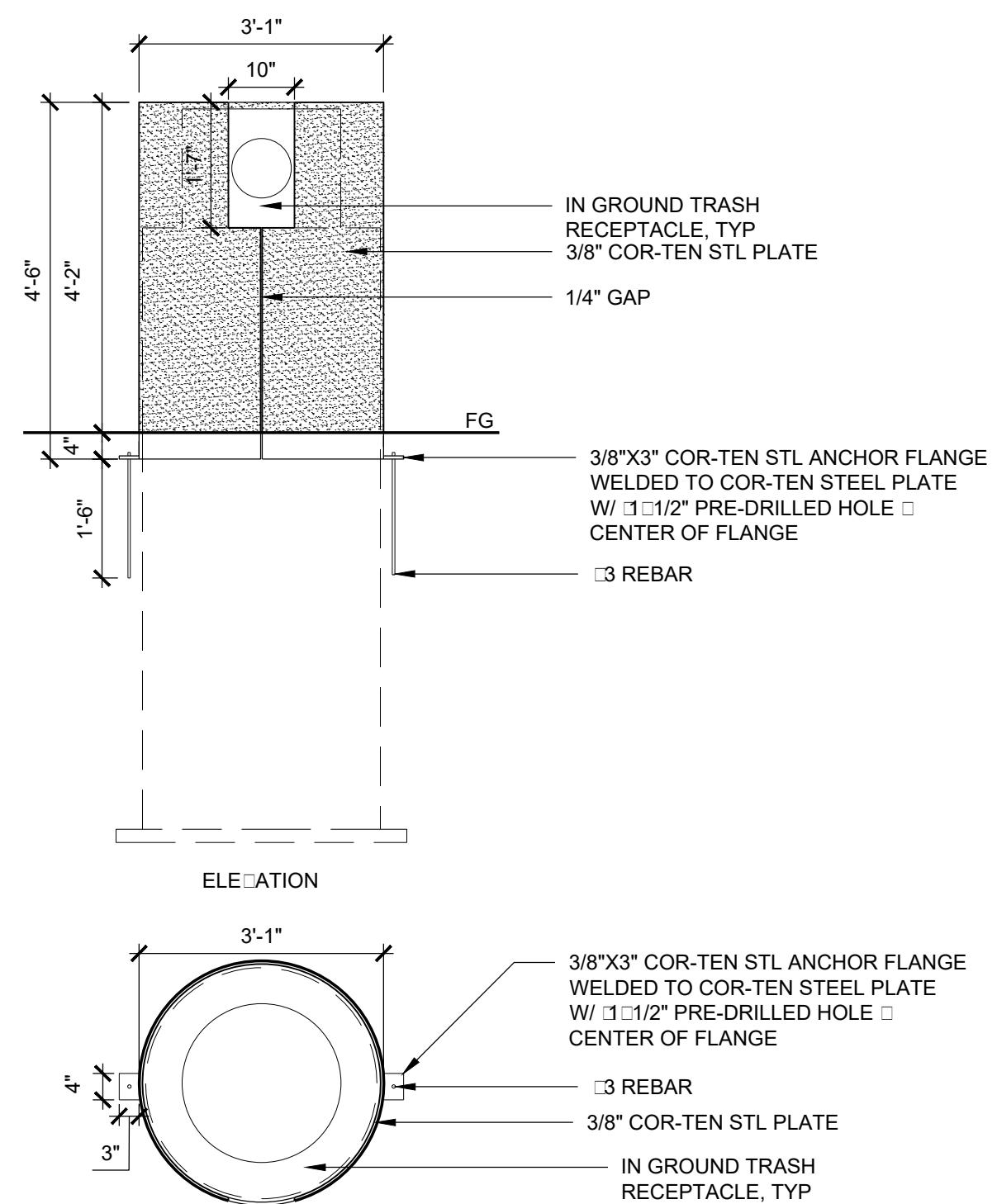


5 WATER GUILLER SECTION A
3/4"=1'-0"

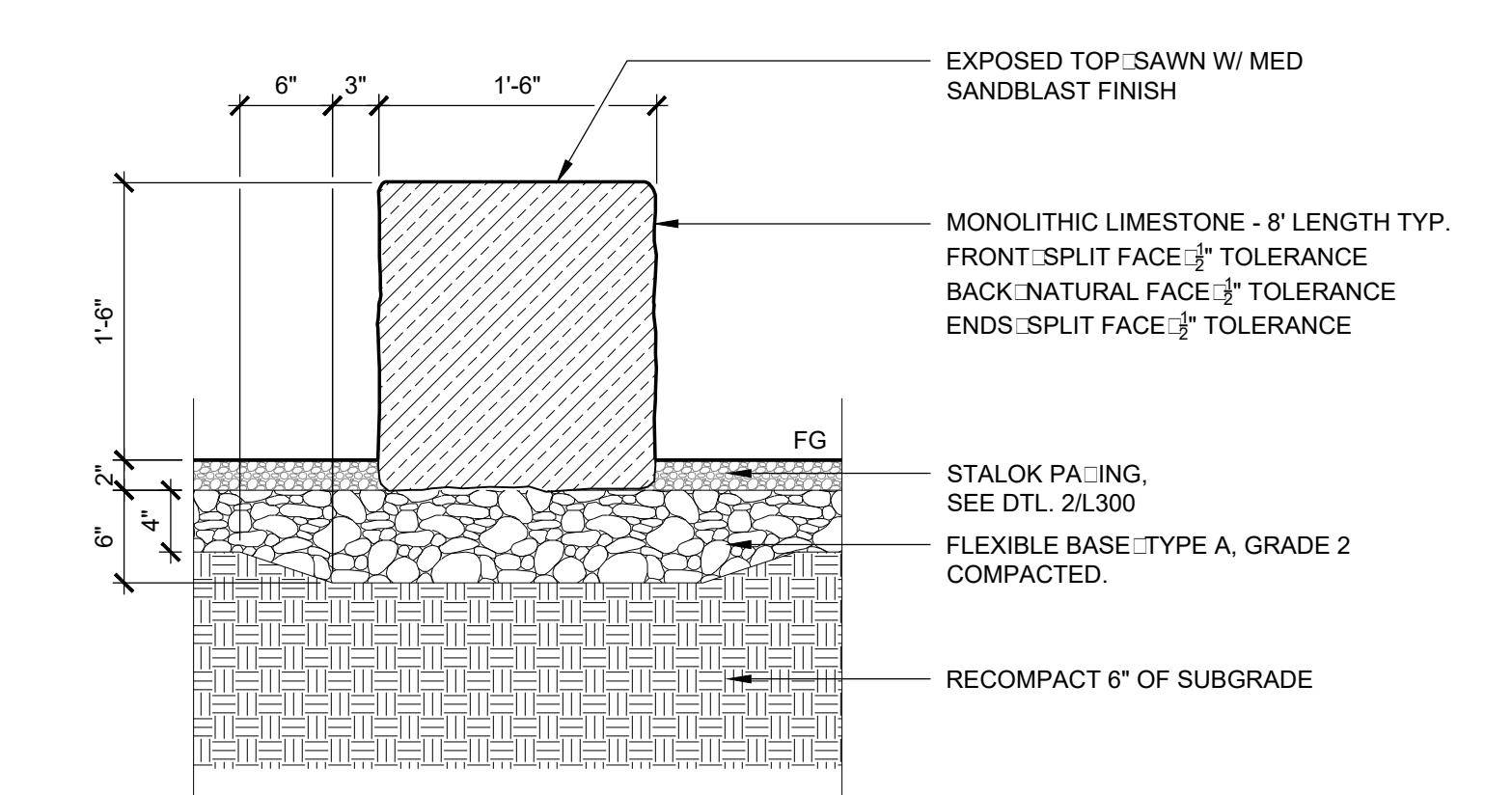
6 WATER GUILLER SECTION B
3/4"=1'-0"



3 INTERPRETIVE SIGNAGE
1/2"=1'-0"



2 LITTER RECEPTEACLE
1/2"=1'-0"

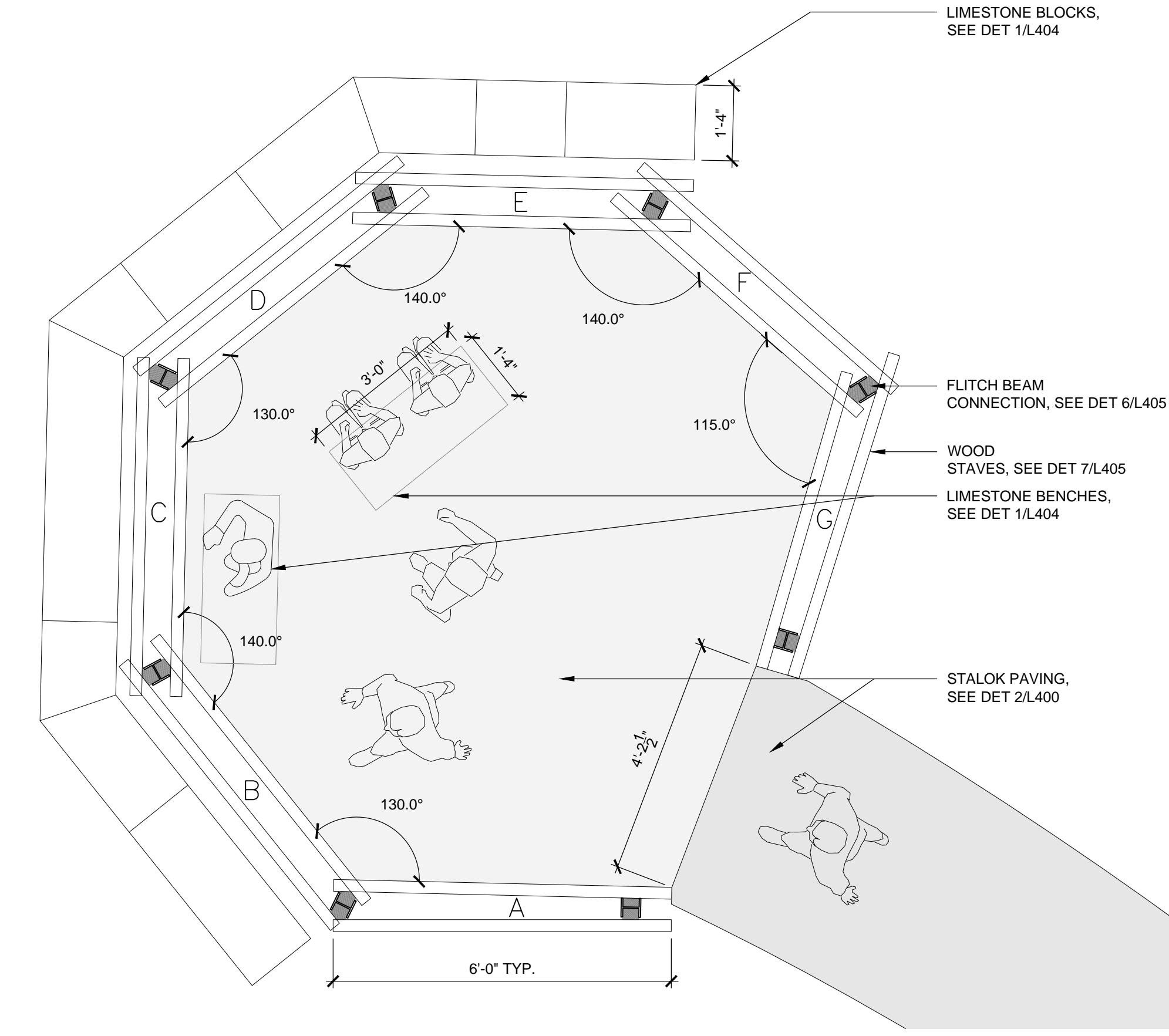


1 LIMESTONE BENCHES
1"=1'-0"

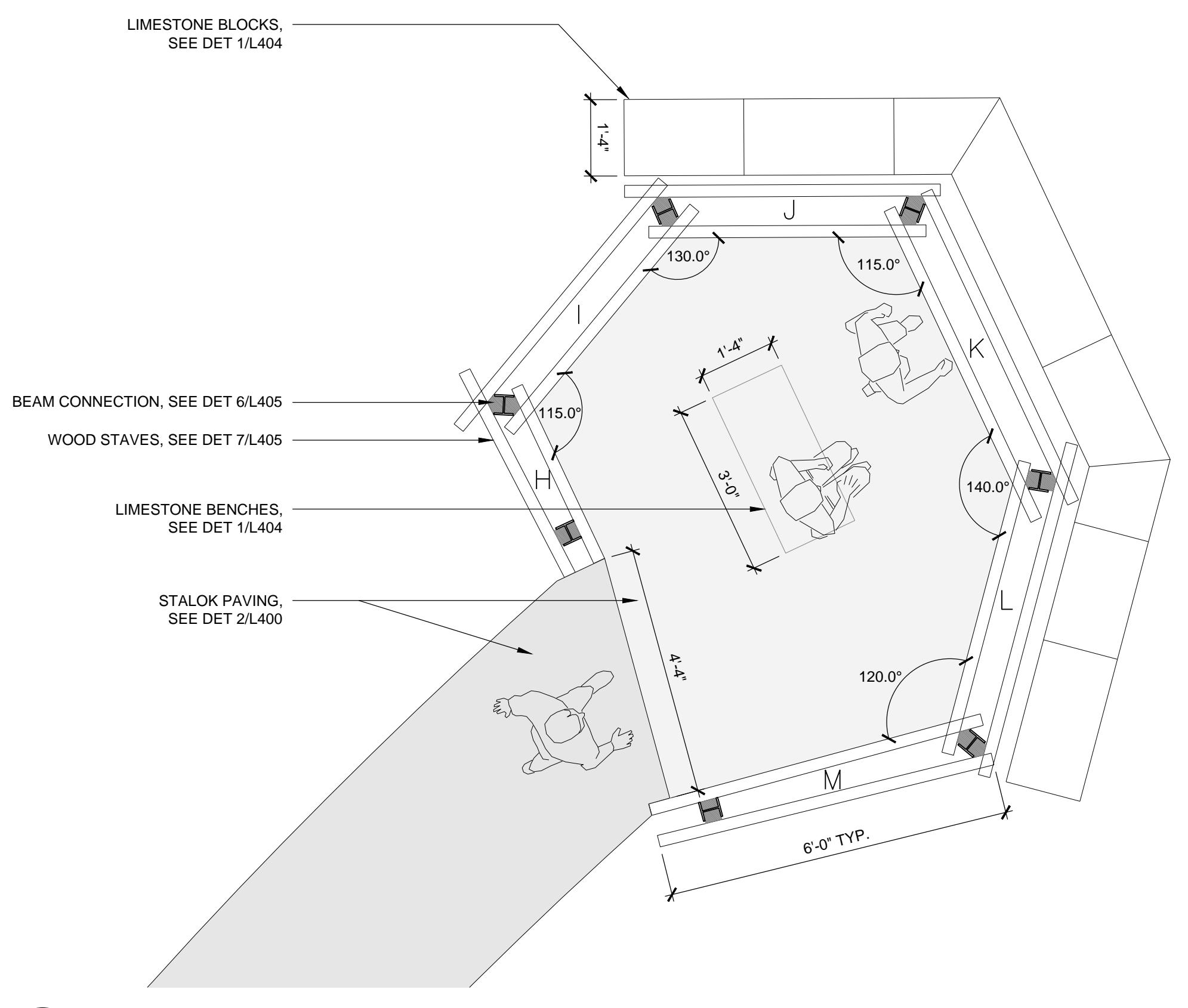
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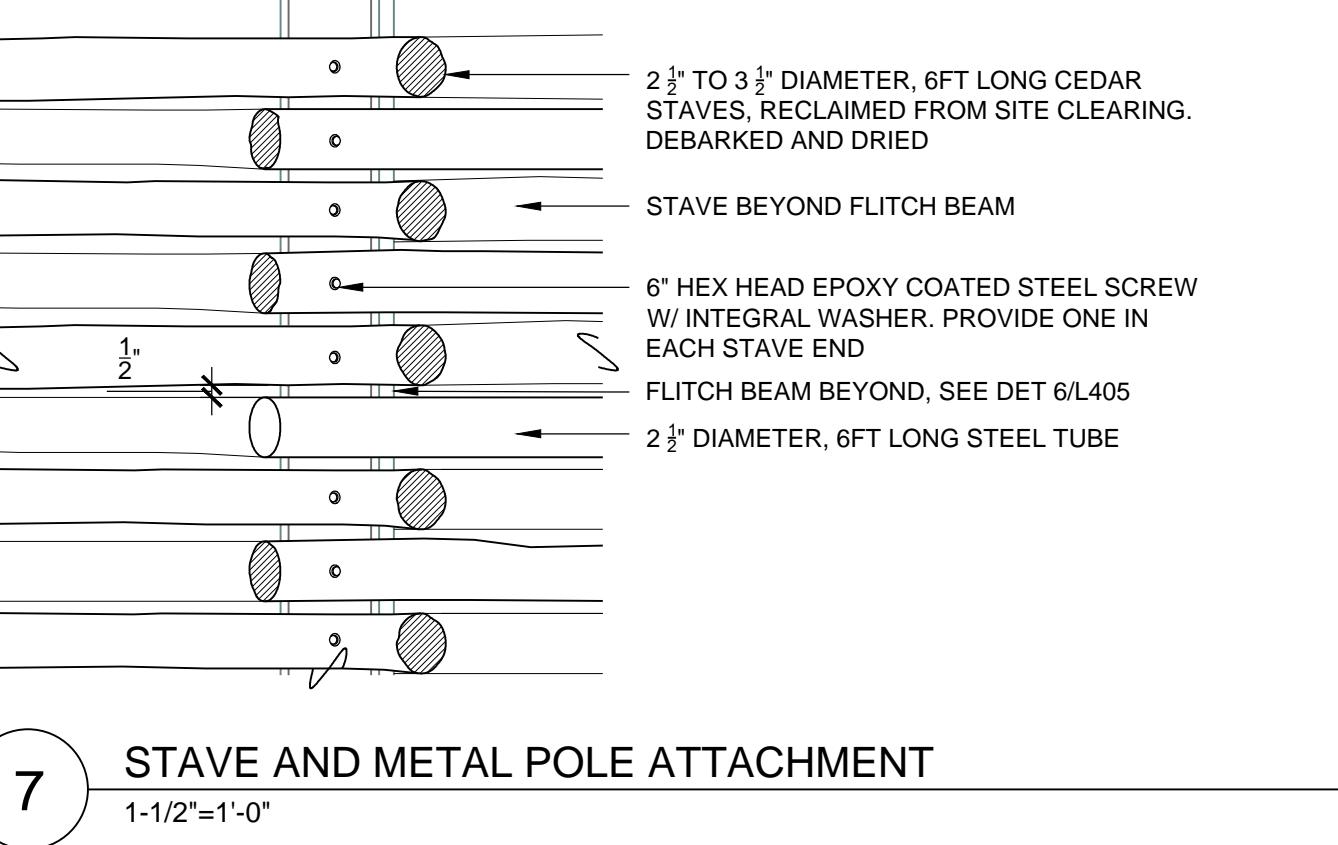
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Sheet Number	L405
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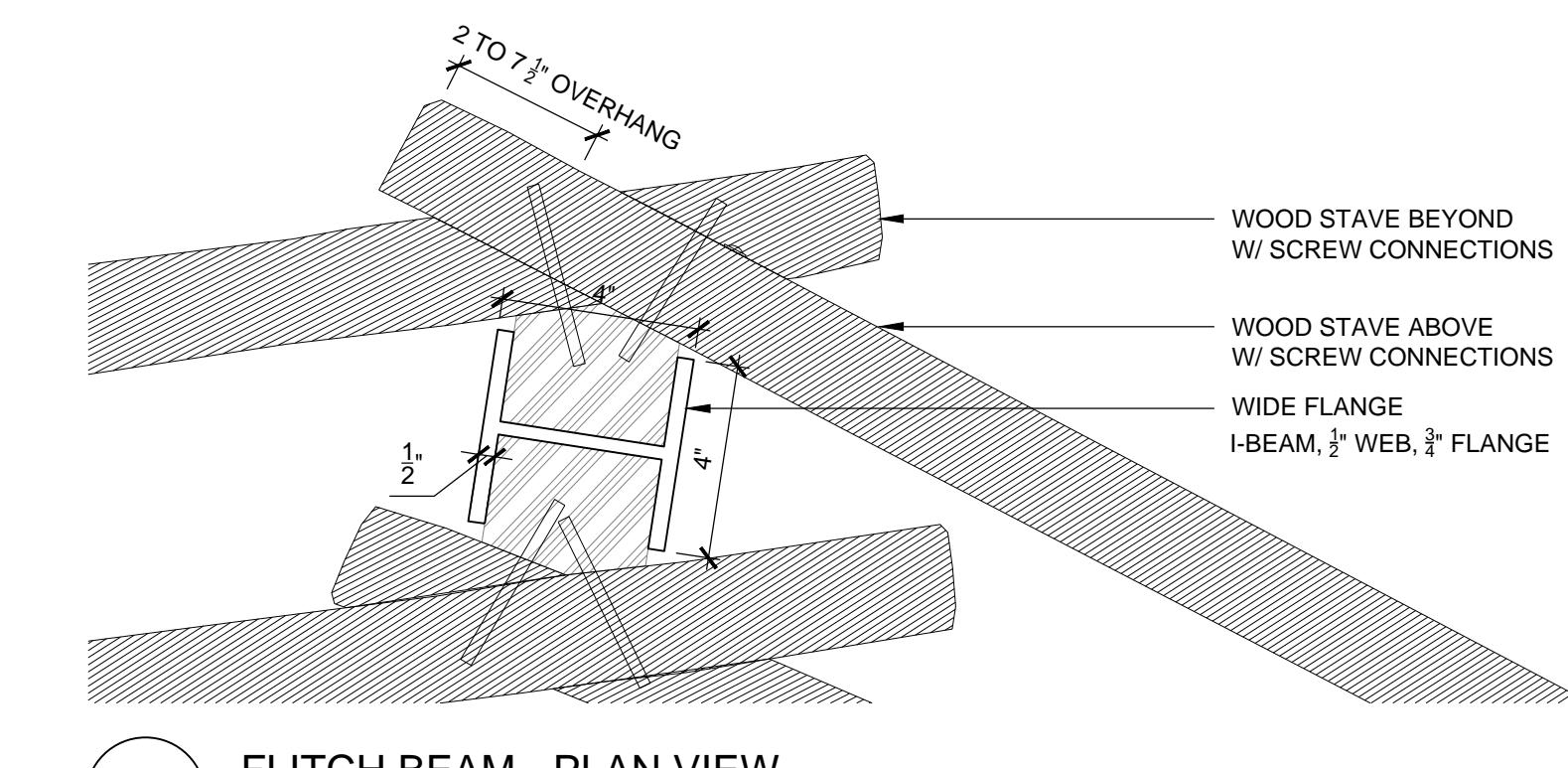
5 BIRDBLIND A
1/2"=1'-0"



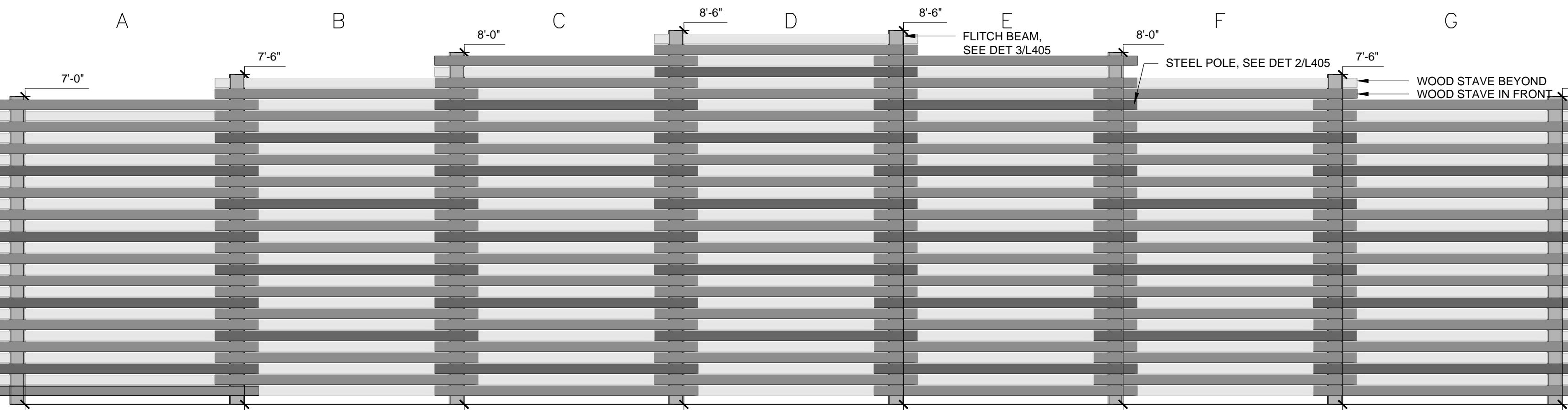
2 BIRDBLIND B
1/2"=1'-0"



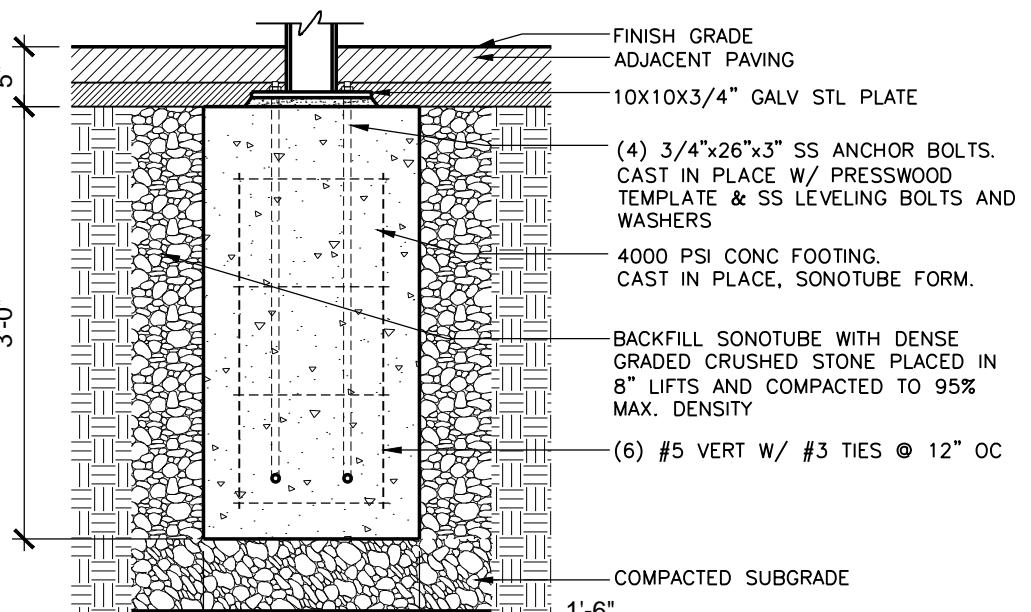
7 STAVE AND METAL POLE ATTACHMENT
1-1/2"=1'-0"



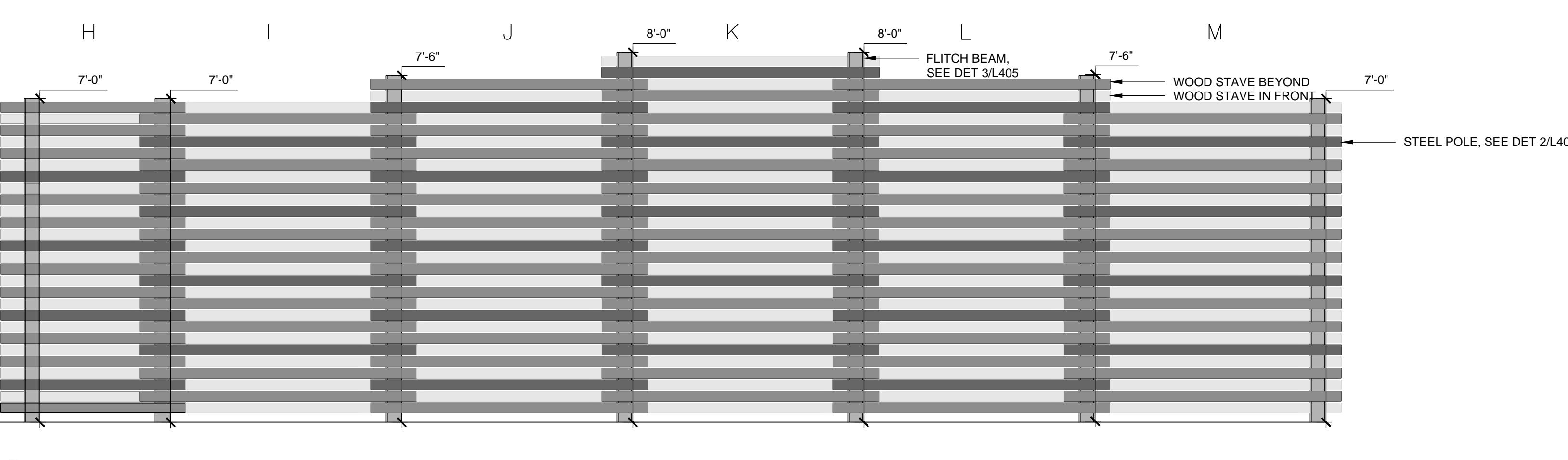
6 FLITCH BEAM - PLAN VIEW
3"=1'-0"



4 BIRDBLIND A - UNFOLDED ELEVATION
1/2"=1'-0"



3 CONCRETE FOOTING @ FLITCH BEAM
3/4"=1'-0"



1 BIRDBLIND B - UNFOLDED ELEVATION
1/2"=1'-0"

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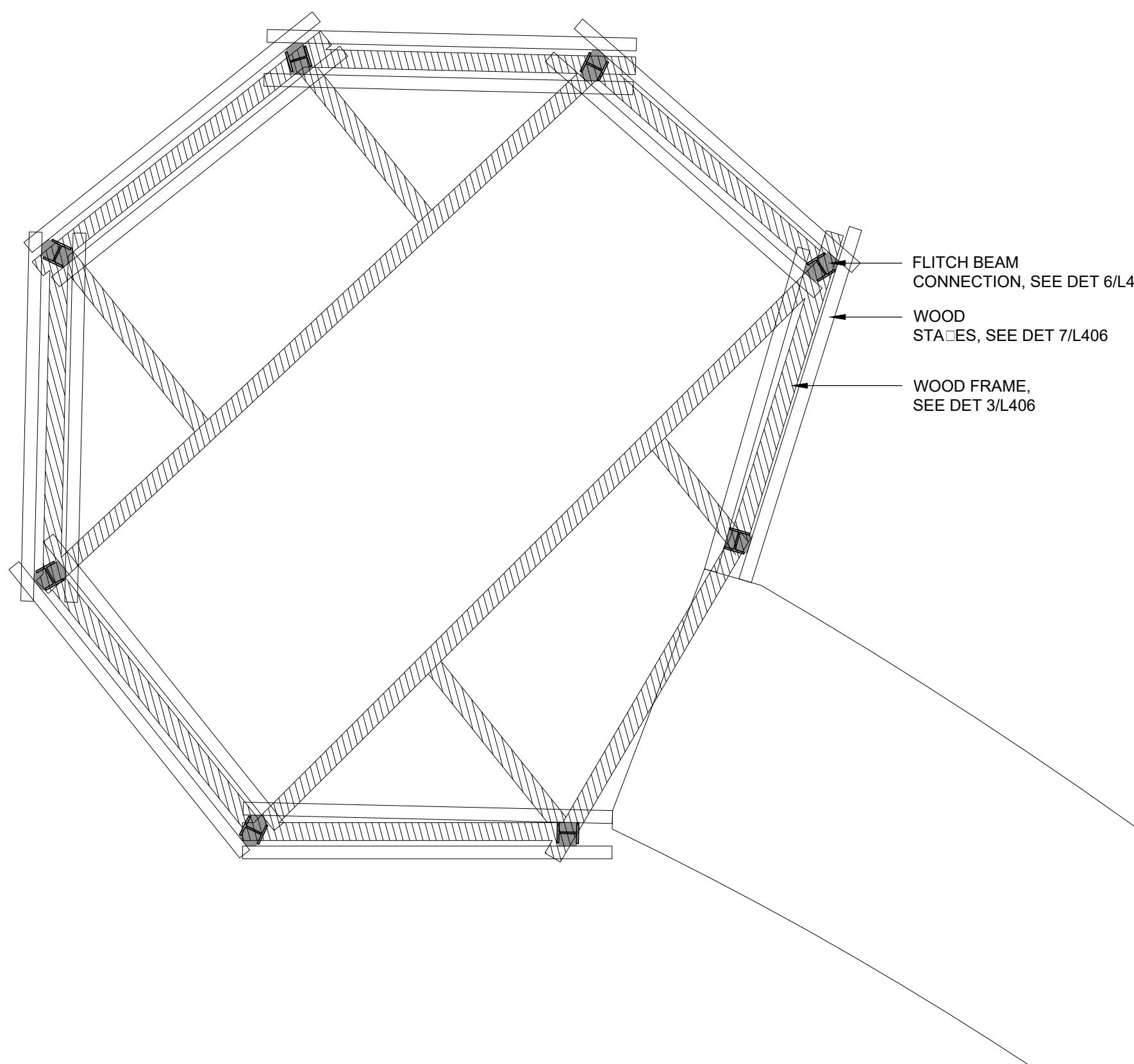
BIRD BLIND

ROOF

Sheet Number

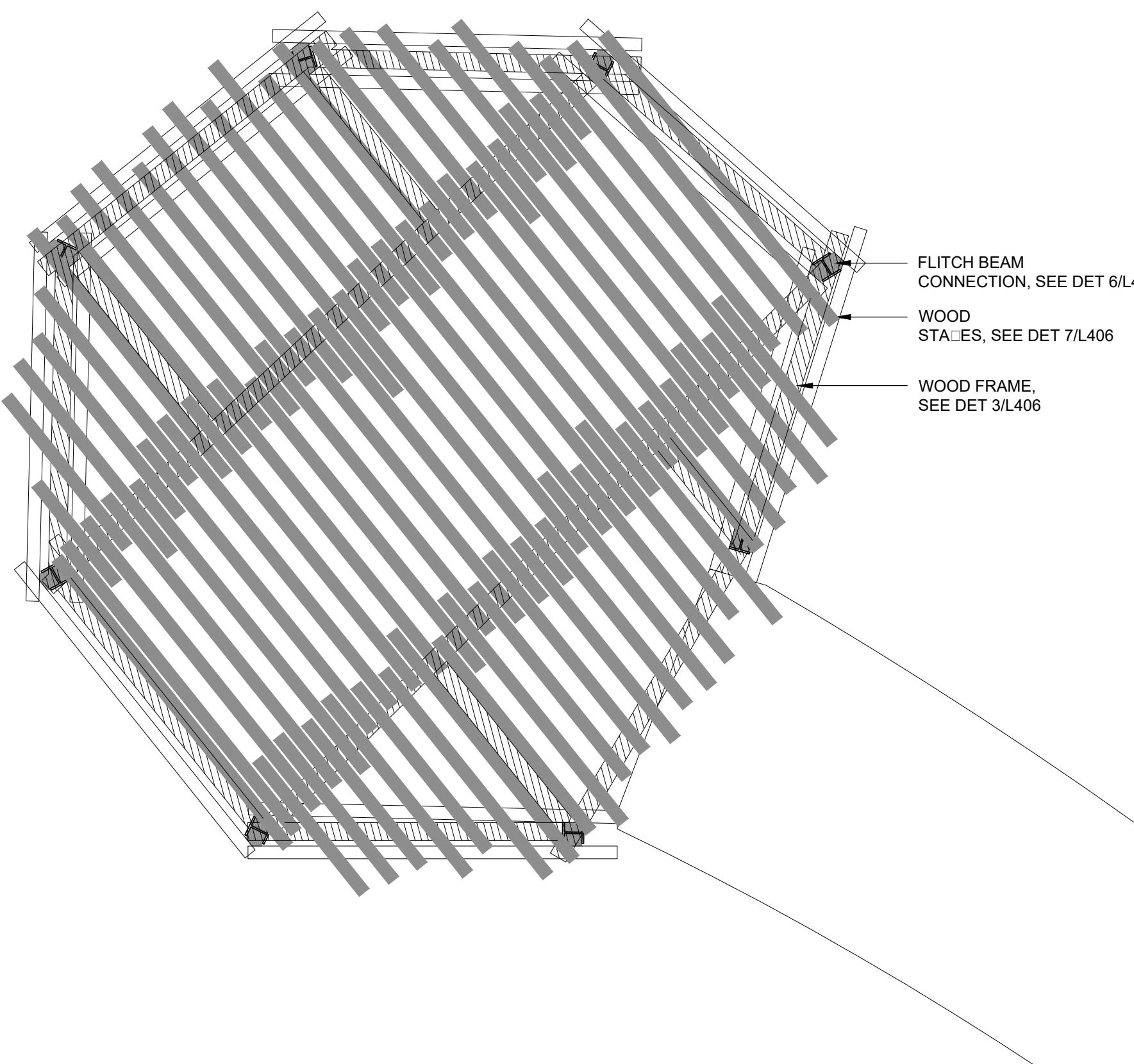
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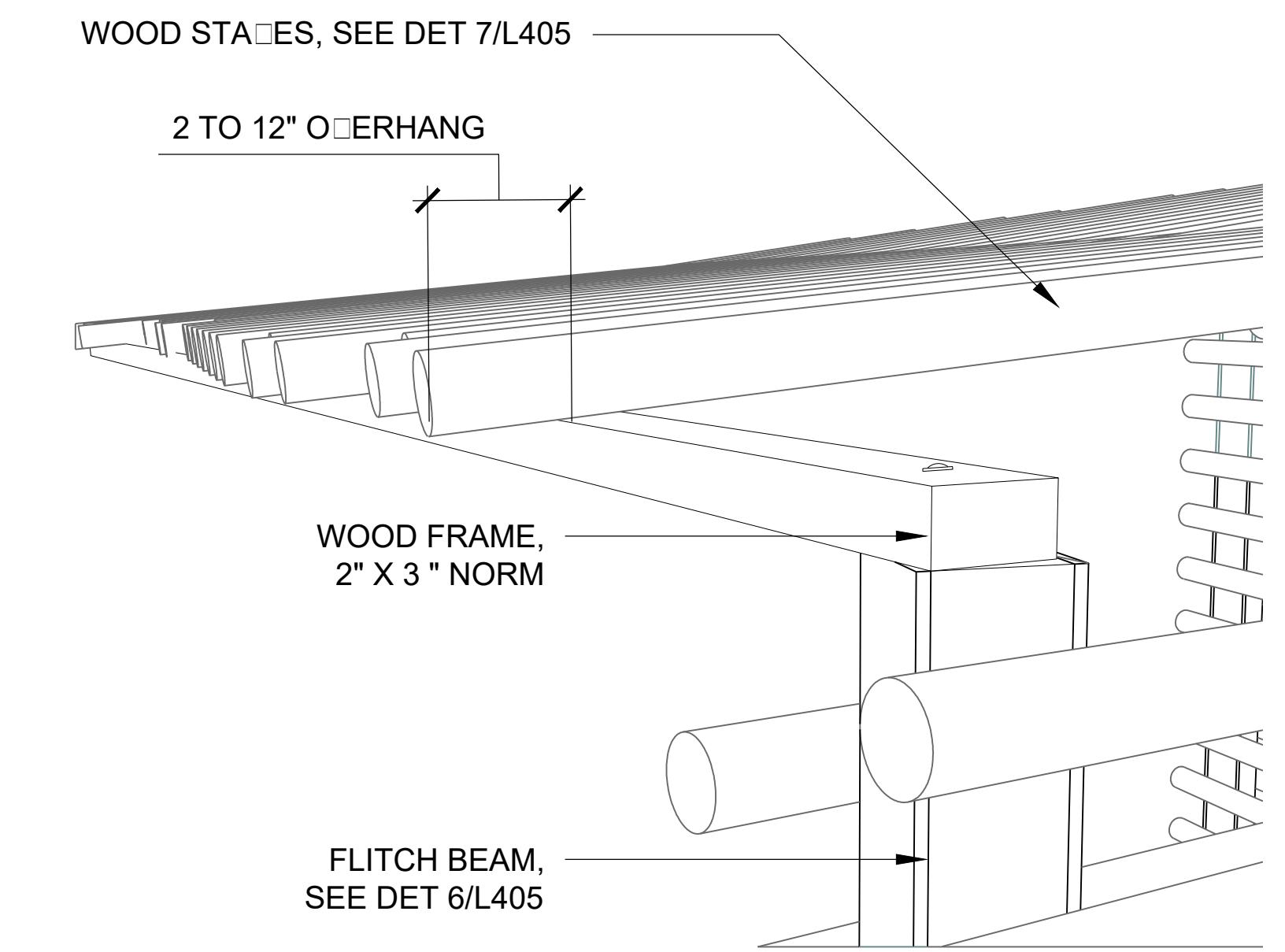
5 BIRDBLIND A - ROOF FRAMING PLAN

1/2"=1'-0"

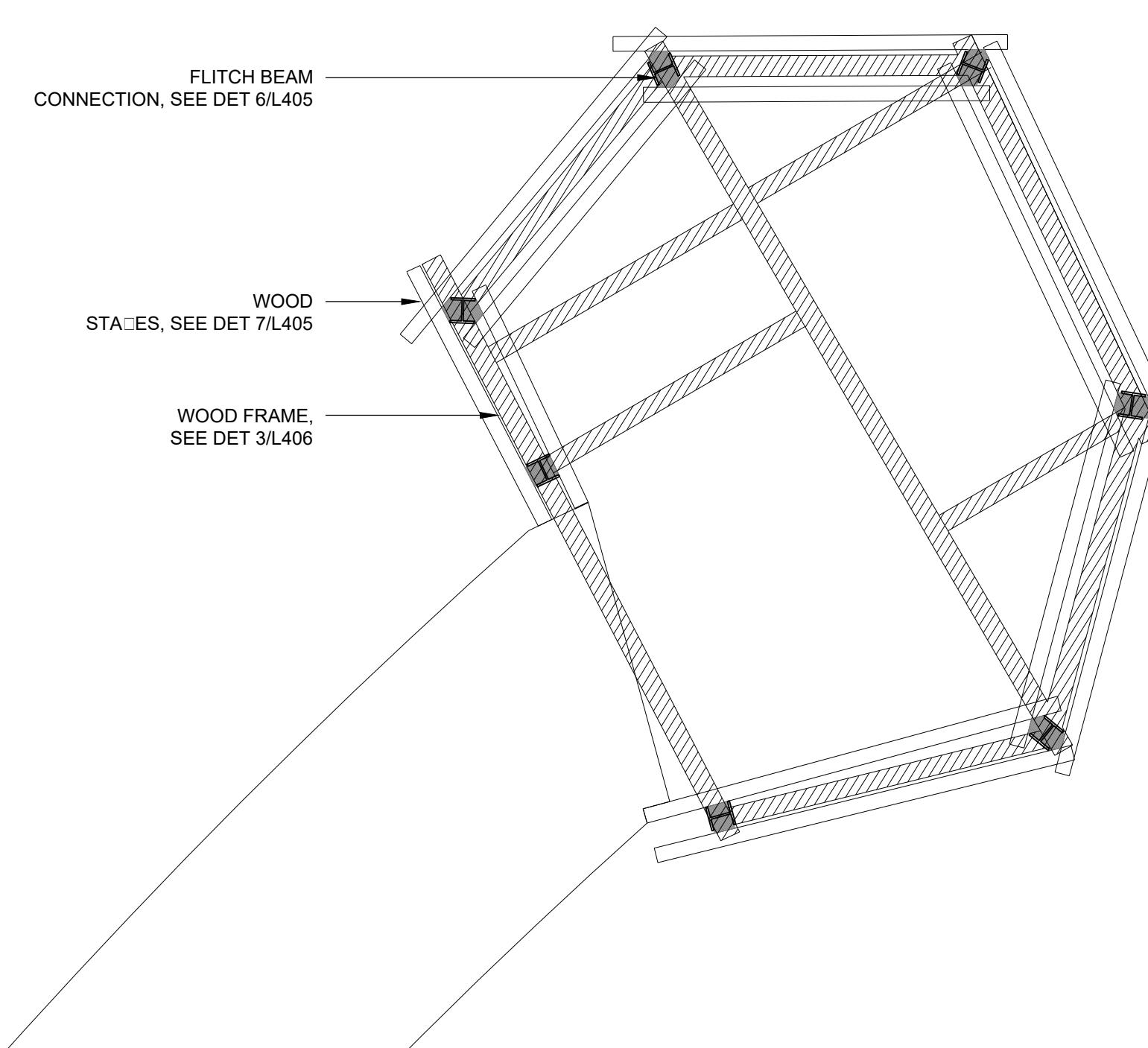


4 BIRDBLIND A - ROOF FINISH PLAN

1/2"=1'-0"

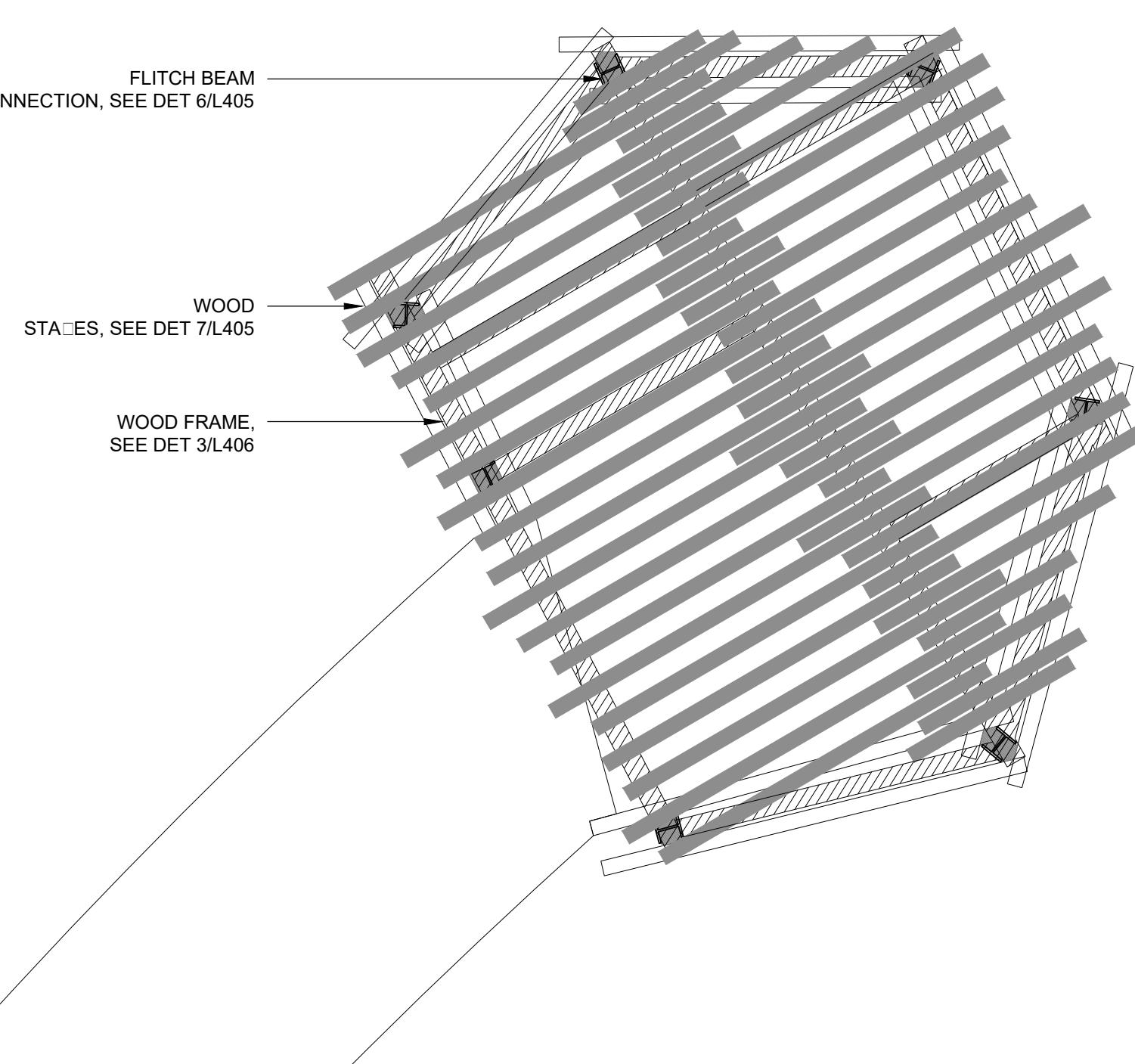


3 ROOF DETAIL



2 BIRDBLIND B - ROOF FRAMING PLAN

1/2"=1'-0"



1 BIRDBLIND B - ROOF FINISH PLAN

1/2"=1'-0"

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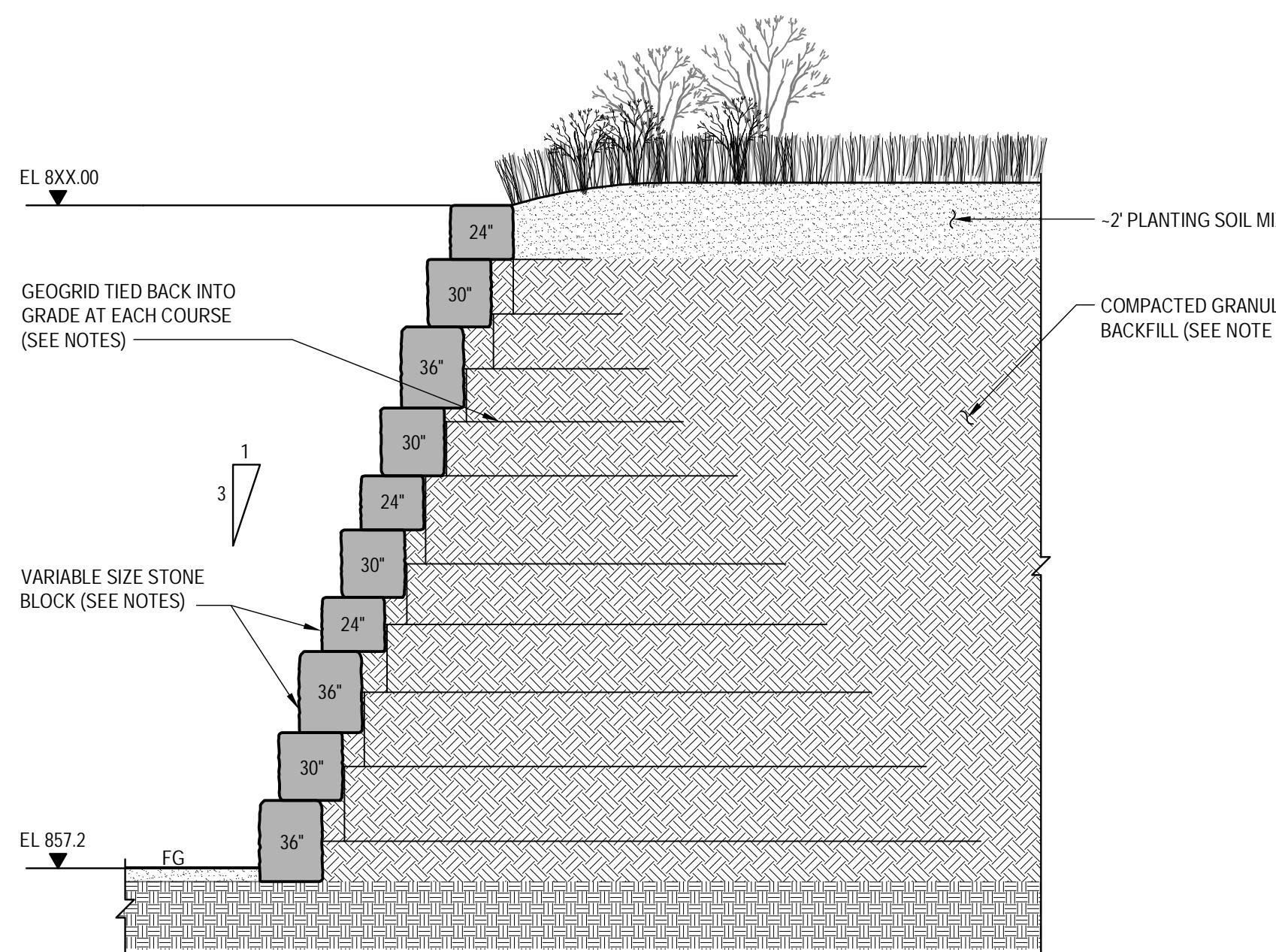
Project Number: **1620**

Drawn By **M. NGUYEN**

Checked By **L. TARASUIK**

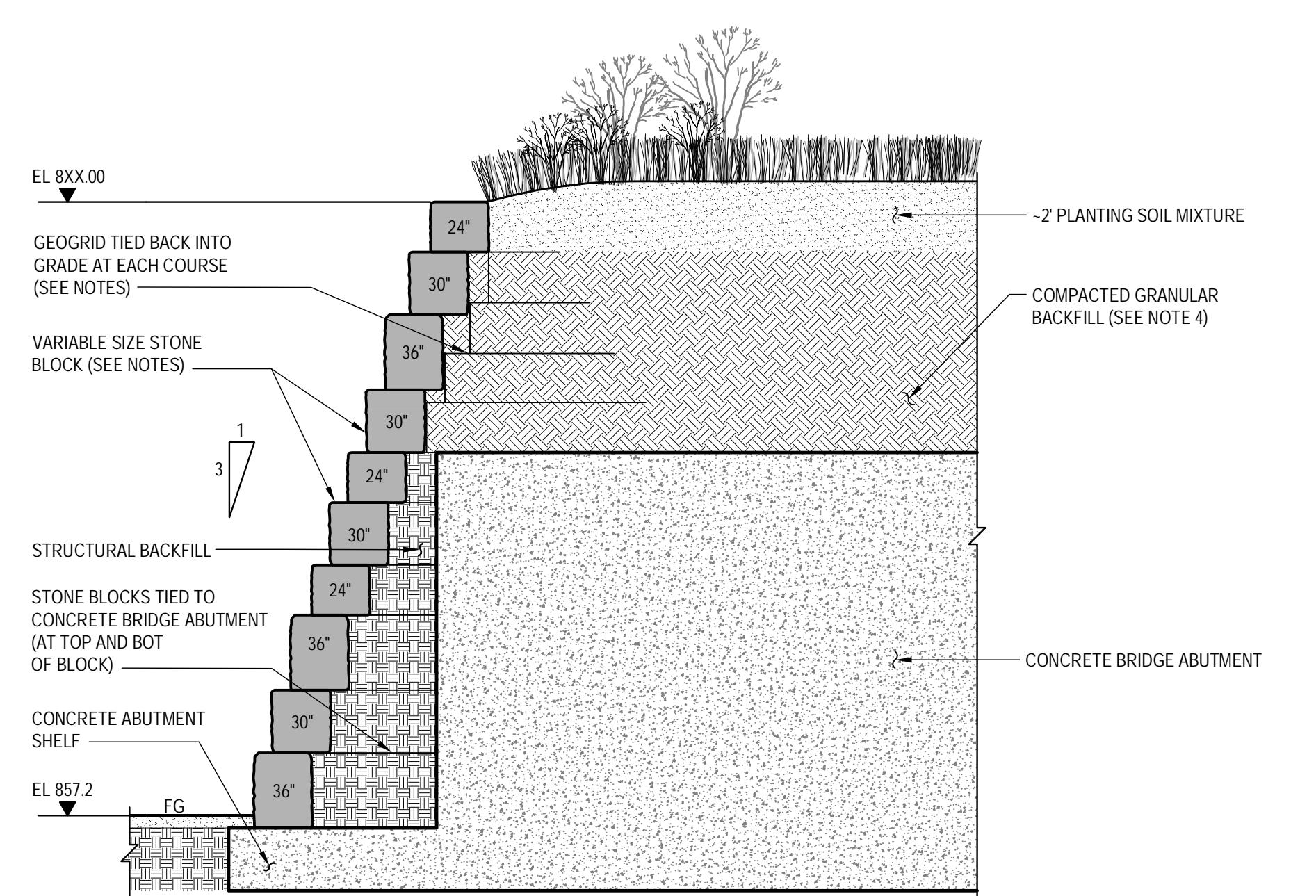
Scale: **3/16"=1'**

Sheet Title _____



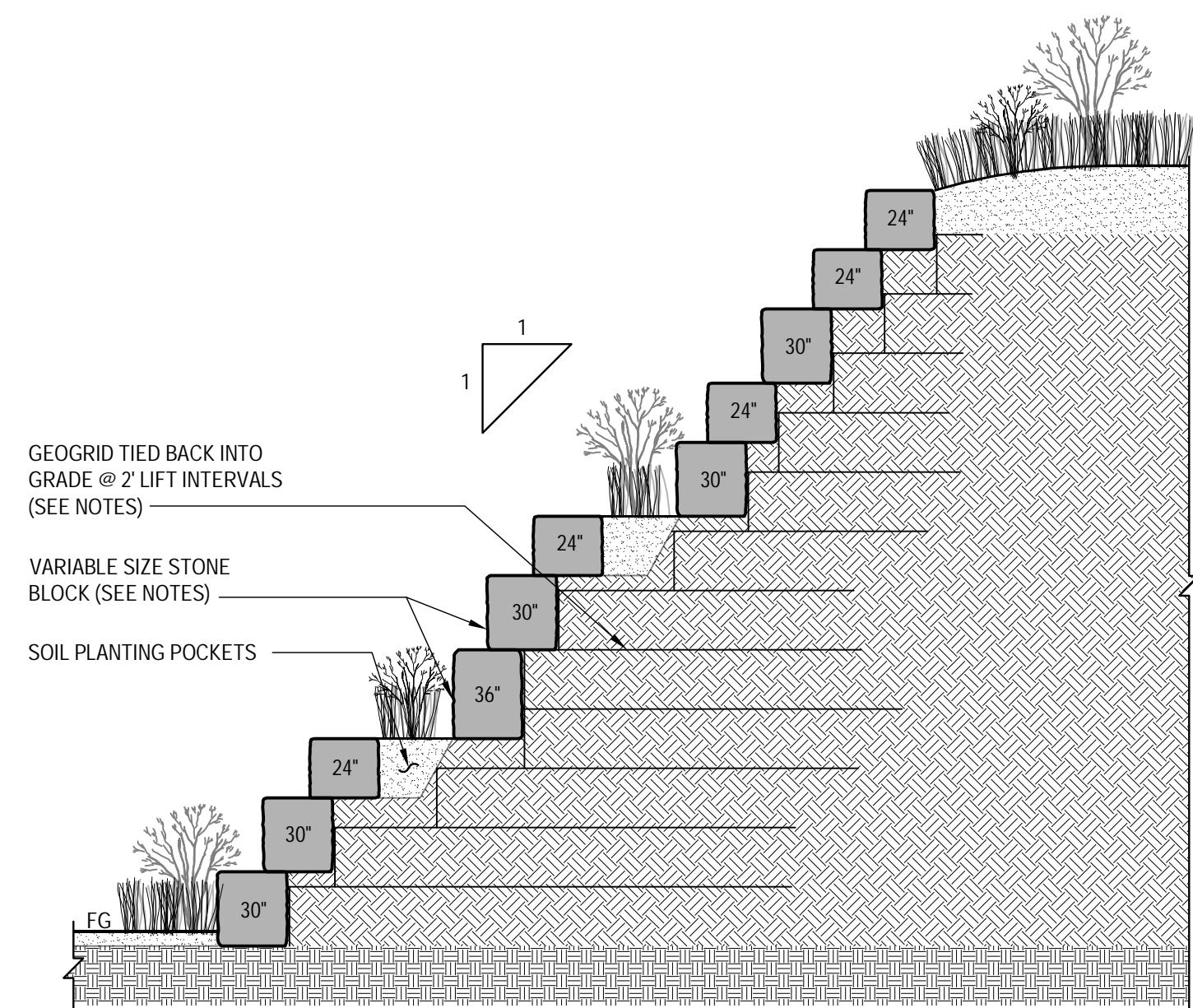
1 SECTION - 1H:3V WITHOUT ABUTMENT CONCRETE

NOTES:
1. 95 FT² OF GEOGRID PER LINEAR FOOT OF SLOPE IN PLAN. FOR COST ESTIMATING, ASSUME 120 LINEAR FOOT ± 20%. NET TOTAL = 11,400 FT².



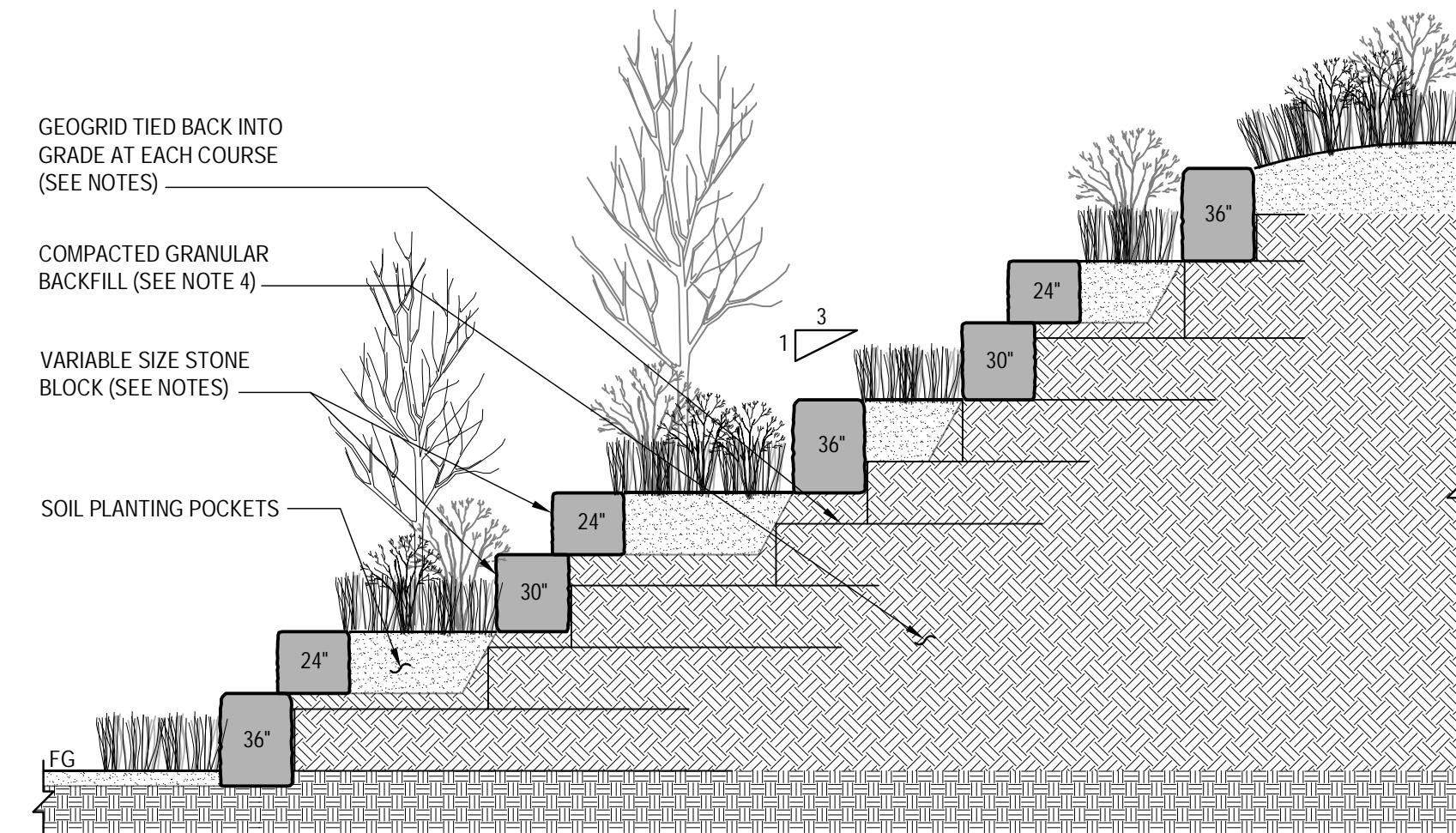
2 SECTION - 1H:3V AT ABUTMENT

NOTES:
1. 20 FT² OF GEOGRID PER LINEAR FOOT OF SLOPE IN PLAN. FOR COST ESTIMATING, ASSUME 200 LINEAR FOOT ± 20%. NET TOTAL = 4,000 FT².



3 SECTION - 1H:1V

NOTES:
1. 150 FT² OF GEOGRID PER LINEAR FOOT OF SLOPE IN PLAN. FOR COST ESTIMATING, ASSUME 160 LINEAR FOOT ± 20%. NET TOTAL = 24,000 FT².



4 SECTION - 3H:1V

NOTES:
1. 110 FT² OF GEOGRID PER LINEAR FOOT OF SLOPE IN PLAN. FOR COST ESTIMATING, ASSUME 135 LINEAR FOOT ± 20%. TOTAL NET = 14,850 FT².

NOTES:

1. FOR GENERAL NOTES AND KEY PLAN REFER TO DRAWING LB-001.
2. QUANTITY FOR GEOGRID ASSUMES NO ALLOWANCE FOR OVERLAPS OR WASTAGE.
3. ALL GEOGRID SHOULD BE TENSOR® STRUCTURAL GEOGRID UX 1500 HS.
4. ENGINEERING FILL WITH 95% COMPACTION.
5. PROVIDE WATERPROOF MEMBRANE AND PROTECTION BOARDS ON ALL NON-VERTICAL CONCRETE SURFACES SUPPORTING SOIL.
6. VARIABLE STONE BLOCK TO LANDSCAPE ARCHITECT'S SPECIFICATION. ALL BLOCKS SHALL BE TIED BACK TO GEOGRID.
7. PLANTING SOIL MIXTURE TO LANDSCAPE ARCHITECT'S SPECIFICATION.

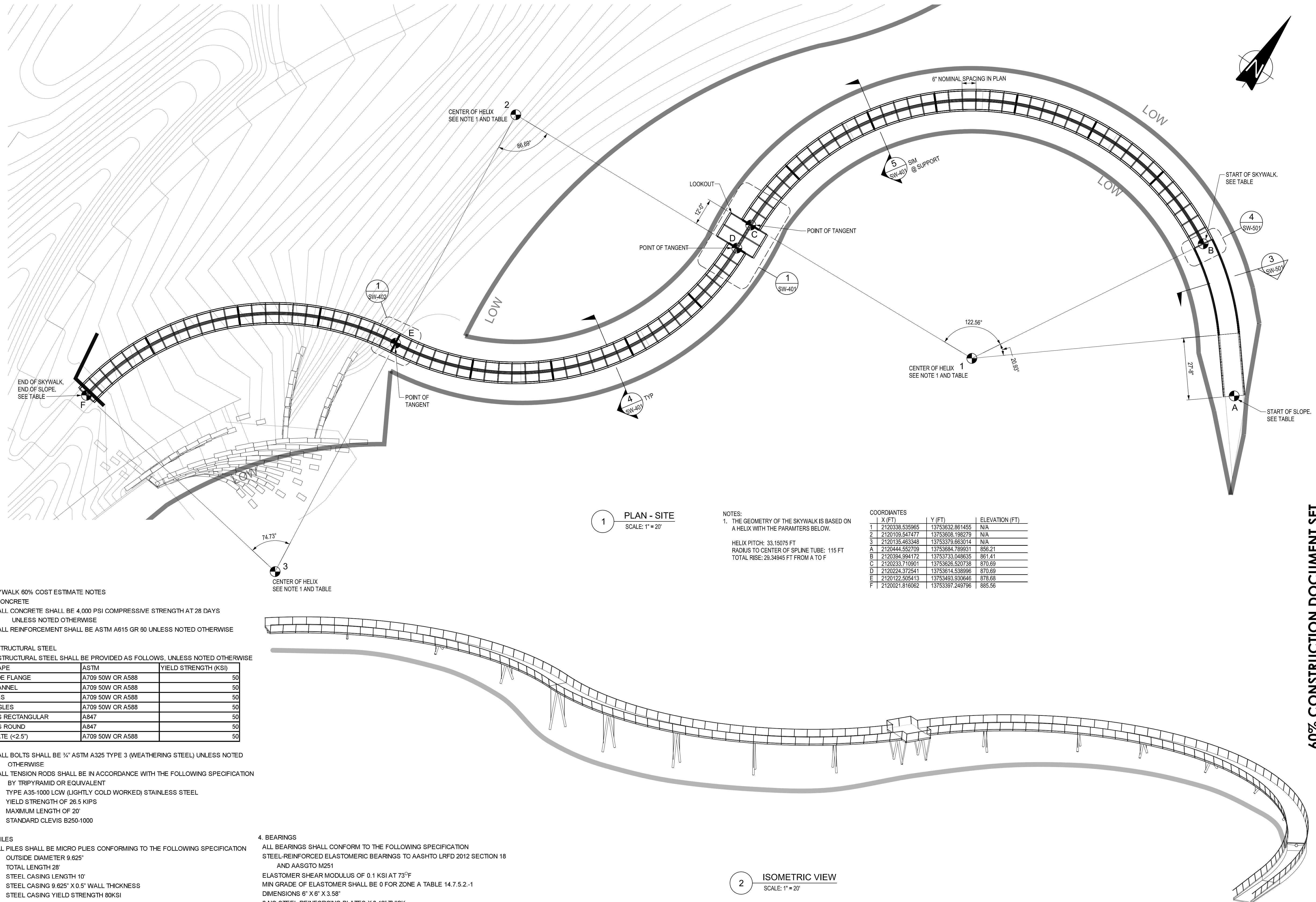
**WINGWALL
DETAILS**

Sheet Number _____

LB-322

Sheet _____ of _____

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**PHIL HARDBERGER PARK
LAND BRIDGE**

San Antonio, TX

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Project Number: **1620**

Drawn By **RG**

Checked By **JP**

Scale: **AS DRAWN**

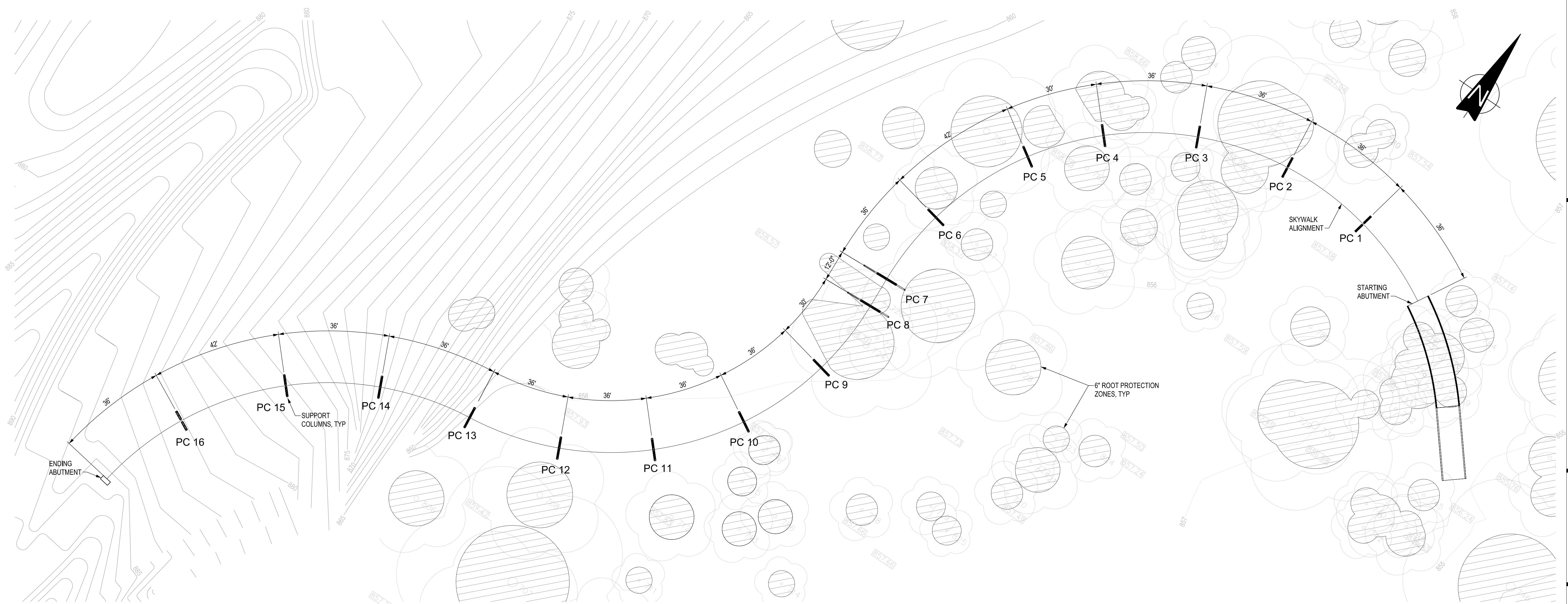
Sheet Title

**SKYWALK
FOUNDATION
PLAN & SIDE
ELEVATION**

Sheet Number

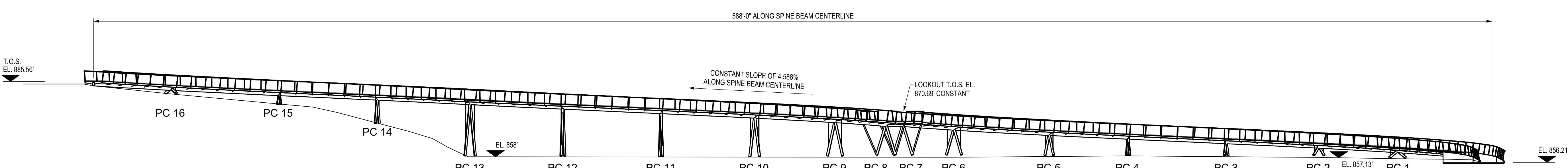
SW-201

Sheet of



1 PLAN - FOUNDATION
SCALE: 1" = 20'

NOTE:
1. SEE SHEET ST-004 FOR ABUTMENT DETAILS.



2 ELEVATION
SCALE: 1" = 20'

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Drawn By **TL**

Checked By **DW**

Scale: **1"=50'-0"**

Sheet Title _____

**Planting
Reference
Plan**

Sheet Number **L 501**

Sheet _____ of _____

