HISTORIC AND DESIGN REVIEW COMMISSION

February 21, 2018

HDRC CASE NO:	**2018-075**
ADDRESS:	315 ARMY
LEGAL DESCRIPTION:	NCB 3593 BLK 1 LOT 17
ZONING:	RM-4 CD,NCD-9
CITY COUNCIL DIST.:	2
APPLICANT:	Gary Mitcham II
OWNER:	George F & Nancy S Burnette
TYPE OF WORK:	Demolition of a rear accessory structure and construction of a two story, rear accessory structure
APPLICATION RECEIVED:	February 01, 2018
60-DAY REVIEW:	April 2, 2018

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish an existing rear accessory structure.
2. Construct a two story, rear accessory structure.

APPLICABLE CITATIONS:

UDC Section 35-614. – Demolition

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners.

(a)Applicability. The provisions of this section apply to any application for demolition of a historic landmark (including those previously designated as historic exceptional or historic significant) or a historic district.

(3)Property Located in Historic District and Contributing to District Although Not Designated a Landmark. No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided is subsection (c)(3) in order to receive a certificate for demolition of the property.

(b)Unreasonable Economic Hardship.

(1)Generally. The historic and design review commission shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular landmark or eligible landmark against the special merit of the proposed replacement project. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate).

(2)Burden of Proof. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate). When a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that:

A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return; and

C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on

the structure or property.

(3)Criteria. The public benefits obtained from retaining the cultural resource must be analyzed and duly considered by the historic and design review commission.

As evidence that an unreasonable economic hardship exists, the owner may submit the following information to the historic and design review commission by affidavit:

A. For all structures and property:

i. The past and current use of the structures and property;

ii. The name and legal status (e.g., partnership, corporation) of the owners;

iii. The original purchase price of the structures and property;

iv. The assessed value of the structures and property according to the two (2) most recent tax assessments;

v. The amount of real estate taxes on the structures and property for the previous two (2) years;

vi. The date of purchase or other acquisition of the structures and property;

vii. Principal balance and interest rate on current mortgage and the annual debt service on the structures and property, if any, for the previous two (2) years;

viii. All appraisals obtained by the owner or applicant within the previous two (2) years in connection with the owner's purchase, financing or ownership of the structures and property;

ix. Any listing of the structures and property for sale or rent, price asked and offers received;

x. Any consideration given by the owner to profitable adaptive uses for the structures and property;

xi. Any replacement construction plans for proposed improvements on the site;

xii. Financial proof of the owner's ability to complete any replacement project on the site, which may include but not be limited to a performance bond, a letter of credit, a trust for completion of improvements, or a letter of commitment from a financial institution; and

xiii. The current fair market value of the structure and property as determined by a qualified appraiser.

xiv. Any property tax exemptions claimed in the past five (5) years.

B. For income producing structures and property:

i. Annual gross income from the structure and property for the previous two (2) years;

ii. Itemized operating and maintenance expenses for the previous two (2) years; and

iii. Annual cash flow, if any, for the previous two (2) years.

C. In the event that the historic and design review commission determines that any additional information described above is necessary in order to evaluate whether an unreasonable economic hardship exists, the historic and design review commission shall notify the owner. Failure by the owner to submit such information to the historic and design review commission within fifteen (15) days after receipt of such notice, which time may be extended by the historic and design review commission, may be grounds for denial of the owner's claim of unreasonable economic hardship.

When a low-income resident homeowner is unable to meet the requirements set forth in this section, then the historic and design review commission, at its own discretion, may waive some or all of the requested information and/or request substitute information that an indigent resident homeowner may obtain without incurring any costs. If the historic and design review commission cannot make a determination based on information submitted and an appraisal has not been provided, then the historic and design review commission may request that an appraisal be made by the city.

(d)Documentation and Strategy.

(1)Applicants that have received a recommendation for a certificate shall document buildings, objects, sites or structures which are intended to be demolished with 35mm slides or prints, preferably in black and white, and supply a set of slides or prints to the historic preservation officer.

(2)Applicants shall also prepare for the historic preservation officer a salvage strategy for reuse of building materials deemed valuable by the historic preservation officer for other preservation and restoration activities.

(3)Applicants that have received an approval of a certificate regarding demolition shall be permitted to receive a demolition permit without additional commission action on demolition, following the commission's recommendation of a certificate for new construction. Permits for demolition and construction shall be issued simultaneously if requirements of section 35-609, new construction, are met, and the property owner provides financial proof of his ability to complete the project.

(4)When the commission recommends approval of a certificate for buildings, objects, sites, structures designated as landmarks, or structures in historic districts, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Permits for parking lots shall not be issued, nor shall an applicant be allowed to operate a parking lot on such property, unless such parking lot plan was approved as a replacement element for the demolished object or structure.

(e)Issuance of Permit. When the commission recommends approval of a certificate regarding demolition of buildings, objects, sites, or structures in historic districts or historic landmarks, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Once the replacement plans are approved a fee shall be assessed for the demolition based on the approved replacement plan square footage. The fee must be paid in full prior to issuance of any permits and shall be deposited into an account as directed by the historic preservation officer for the benefit, rehabilitation or acquisition of local historic resources. Fees shall be as follows and are in addition to any fees charged by planning and development services:

0—2,500 square feet = $2,000.00
2,501—10,000 square feet = $5,000.00
10,001—25,000 square feet = $10,000.00
25,001—50,000 square feet = $20,000.00
Over 50,000 square feet = $30,000.00

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Repair

9. Outbuildings, Including Garages
A. MAINTENANCE (PRESERVATION)
i. Existing outbuildings—Preserve existing historic outbuildings where they remain.
ii. Materials—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
i. Garage doors—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.
ii. Replacement—Replace historic outbuildings only if they are beyond repair. In-kind replacement is preferred; however, when it is not possible, ensure that they are reconstructed in the same location using similar scale, proportion, color, and materials as the original historic structure.
iii. Reconstruction—Reconstruct outbuildings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the primary building and historic patterns in the district. Add permanent foundations to existing outbuildings where foundations did not historically exist only as a last resort.

UDC Section 35-618. Tax Exemption Qualifications:

(a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
(1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
(b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
(c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
(1) State the legal description of the property proposed for certification;
(2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
(3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
(4) Include a statement of costs for the restoration or rehabilitation work;

(5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
(6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
(7) Include a detailed statement of the proposed use for the property; and
(8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.
Each application shall contain sufficient documentation confirming or supporting the information submitted therein.
(e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.
(f) Historic Preservation Tax Exemptions.
(1) Historic Preservation Tax Exemption for Residences in Need of Substantial Repair. In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:
A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.
(g) Eligibility.
(1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER
i. Massing and form—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
ii. Building size – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
iii. Character—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
iv. Windows and doors—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION
i. Orientation—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages

or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
ii. Setbacks—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

FINDINGS:

a. The primary structure located at 315 Army was constructed circa 1915 features Craftsman style architectural elements. At the rear of the primary structure, the applicant has proposed to demolish a one story accessory structure and to construct a two story, rear accessory structure in its place.
b. DEMOLITION – The applicant is requesting approval of the demolition of the rear accessory structure and the construction of a two story accessory structure in its place. In general, accessory structures contribute to the character of historic properties and the historical development pattern within a historic district.
c. CONTRIBUTING STATUS – The rear accessory structure appears on the 1922 Sanborn Map and is noted as parking for an automobile. Staff performed a site visit on February 12, 2018, to evaluate the condition of the property. At that site visit, staff found that original materials such as wood windows and wood board and batten siding were in disrepair; however, were still present. Additionally, staff observed roof sag, wall listing and other structure displacement.
d. UNREASONABLE ECONOMIC HARDSHIP – In accordance with UDC Section 35-614, no certificate shall be issued for demolition of a historic landmark unless the applicant provides sufficient evidence to support a finding by the commission of unreasonable economic hardship on the applicant. In the case of a historic landmark, if an applicant fails to prove unreasonable economic hardship, the applicant may provide to the historic and design review commission additional information regarding loss of significance. In order for unreasonable economic hardship to be met, the owner must provide sufficient evidence for the HDRC to support a finding in favor of demolition. At this time, the applicant has not provided a report on the condition of the structure or a cost estimate for the structure's rehabilitation.
e. LOSS OF SIGNIFICANCE – In accordance with UDC Section 35-614(c), demolition may be recommended if the owner has provided sufficient evidence to support a finding that the structure has undergone significant and irreversible changes which have caused it to lose the historic, cultural, architectural or archaeological significance, qualities or features which qualified the structure or property for such designation. Staff finds that the applicant should provide additional information including a report or additional information on the structure's condition as well as cost estimates for rehabilitation.
f. NEW CONSTRUCTION (MASSING) – To replace the proposed demolition, the applicant has proposed to construct a two story, rear accessory structure. Per the Guidelines for New Construction 5.A.i and ii., new garages and outbuildings should be designed to be visually subordinate to the primary historic structure in terms of their height, massing and form and should be no larger in plan than forty (40) percent of the primary historic structure's footprint. The proposed new construction will feature a footprint of approximately 830 square feet and an overall height of approximately twenty-seven (27) feet. This block of Army features many two story primary structures which feature large massing. Generally staff finds the proposed accessory structure's massing to be appropriate and consistent with the Guidelines.
g. MATERIALS – Per the Guidelines for New Construction 5.A.iii and iv., new accessory structures should feature materials that relate to the period of construction of the primary structure on the lot through the use of complementary materials and simplified architectural details; should feature similar window and door openings to those found on traditional accessory structures nearby or those of the primary historic structure and should feature garage doors that feature similar proportions to those found historically in the district. The applicant has noted the use of composite siding, single hung vinyl windows and an asphalt shingle roof. Staff finds the use of composite siding appropriate; however, the siding should feature a smooth finish and an exposure of four inches.
h. WINDOW MATERIALS – Regarding window materials, the applicant has proposed single hung vinyl windows. Staff finds that wood or aluminum clad wood windows should be installed that feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
i. SETBACKS & ORIENTATION – Per the Guidelines for New Construction 5.B.i and ii., the primary accessory

structure orientation along the block and historic setback patterns should be matches. The applicant has proposed for the accessory structure to be located at the rear of the lot, consistent with the existing accessory structure's location.

j. ARCHITECTURAL DETAILS – Generally, the proposed new construction features window and door openings that are comparable to those found on the primary structure. The applicant has proposed a cantilevered balcony above the proposed garage door that does not feature support of columns. This is atypical for construction on a property with historic structures. Staff finds that columns should be added on each side of the proposed garage door opening. Columns design should be submitted to staff for review and approval.

k. GARAGE DOOR – The applicant has proposed a garage door to feature a width of sixteen (16) feet. This is not consistent with the Guidelines for New Construction 5.A.v. Staff finds that the garage door opening should be widened to accommodate two separate doors that feature a profile consistent with the Guidelines. Staff finds that a wood door with a top row of window lites to be appropriate.

RECOMMENDATION:

Staff recommends approval of the proposed demolition and new construction with the following stipulations:

i. That all composite siding feature a smooth finish and an exposure of four (4) inches.

ii. That wood or aluminum clad wood windows should be installed that feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.

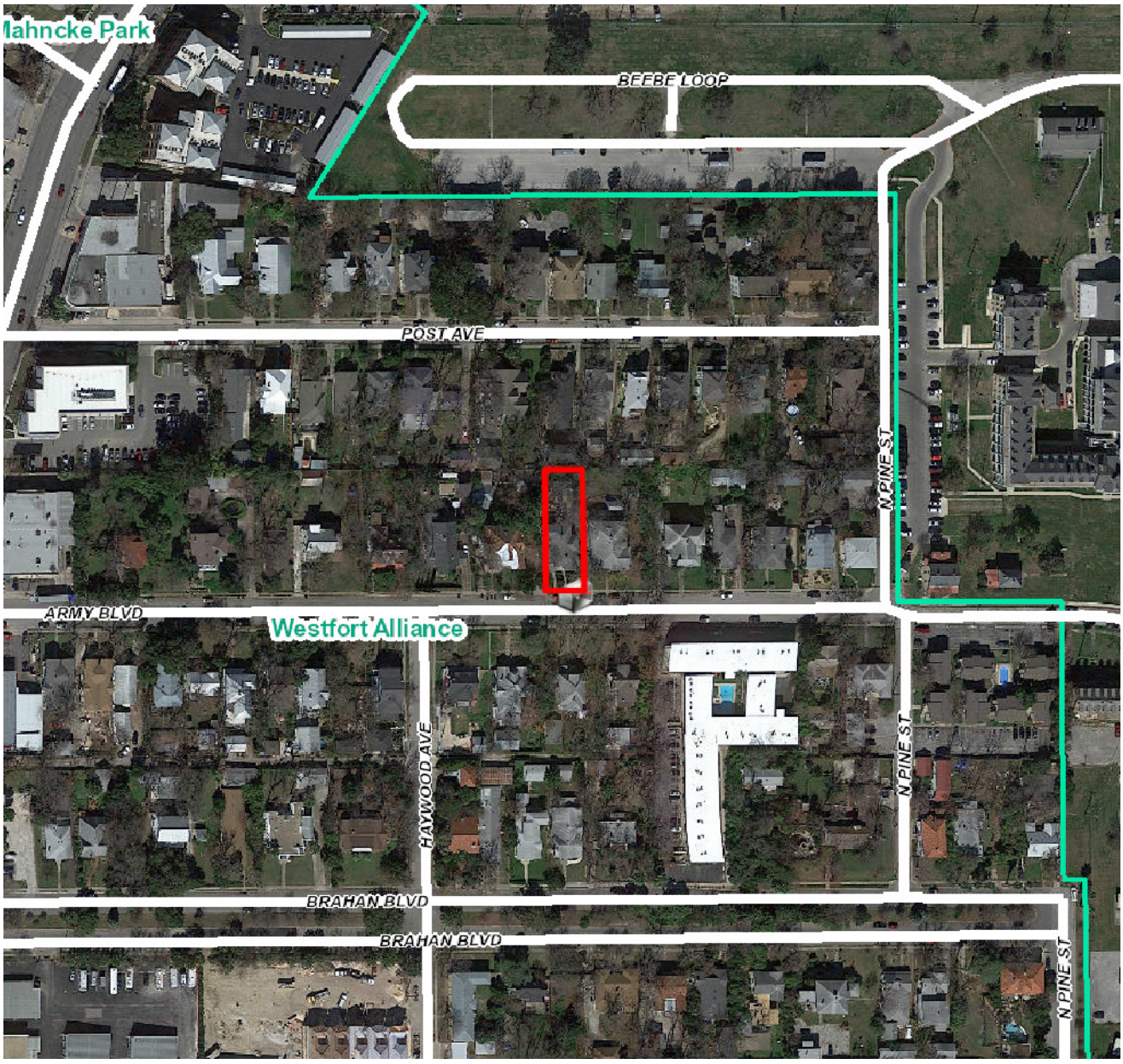
iii. That siding and wood windows be salvaged from the demolished accessory structure and used on site in the construction of the new structure.

iv. That the garage door opening be widened to accommodate two separate doors that feature a profile consistent with the Guidelines. Staff finds that a wood door with a top row of window lites to be appropriate.

v. That columns should be added on each side of the proposed garage door openings. Column design should be submitted to staff for review and approval.

CASE MANAGER:

Edward Hall



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Flex Viewer

Powered by ArcGIS Server

Printed:Feb 13, 2018


315 Army Boulevard
Army Blvd
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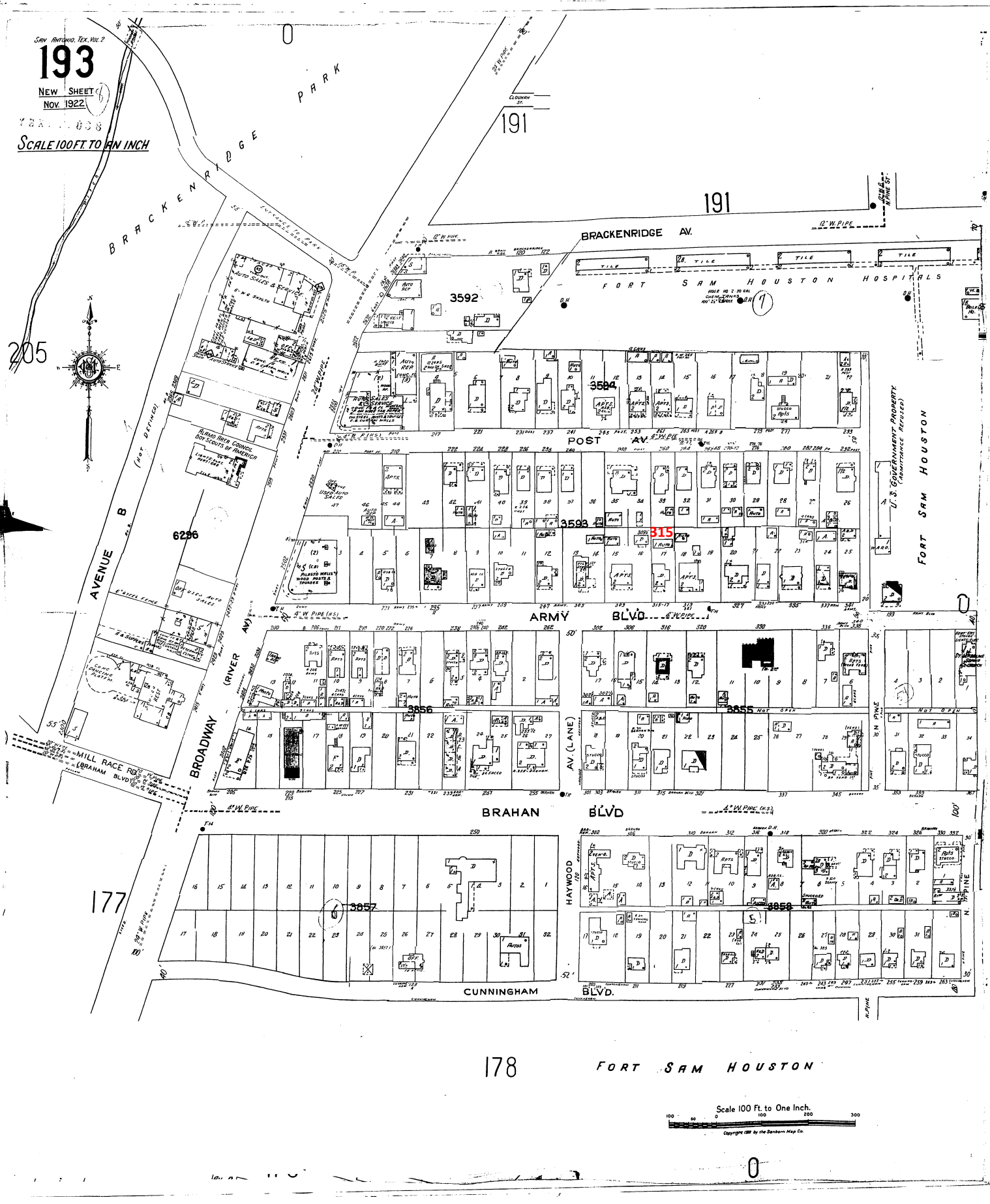
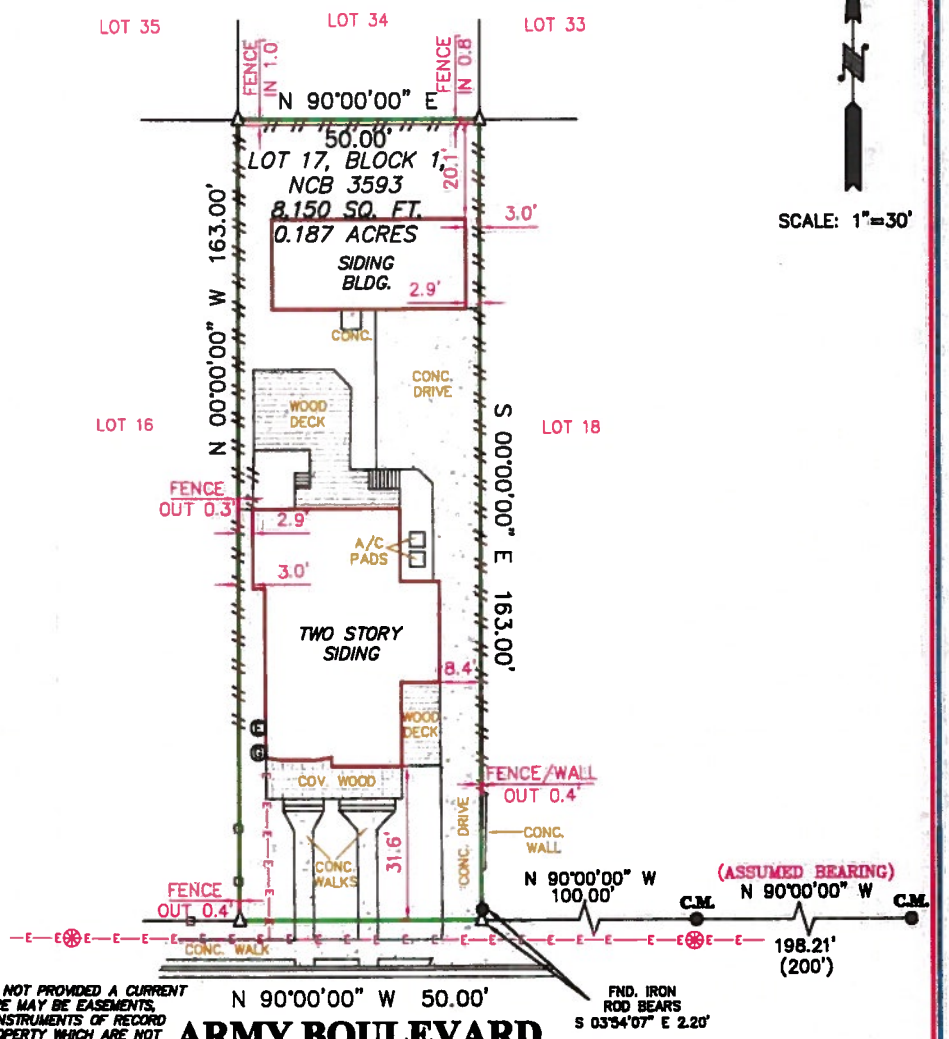
Army Blvd
Haywood Ave


TEXAS
FYT-9058

1922 SANBORN MAP





NOTE:
THE SIGNING SURVEYOR WAS NOT PROVIDED A CURRENT TITLE COMMITMENT AND THERE MAY BE EASEMENTS, RIGHTS OF WAY OR OTHER INSTRUMENTS OF RECORD WHICH MAY AFFECT THIS PROPERTY WHICH ARE NOT SHOWN ON THE FACE OF THIS SURVEY.

NOTE: NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE:
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS. THIS IS REPRESENTATION OF THIS SURVEYORS BEST INTERPRETATION OF RECORD INFORMATION.

NOTE:
BEARINGS SHOWN HEREON ARE ASSUMED.

THIS SURVEY IS ACKNOWLEDGED AND IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 480259C, Panel No. 0405 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at http://www.fema.gov/index.shtm.

Property Address:
315 ARMY BOULEVARD

Property Description:
LOT 17, BLOCK 1, NEW CITY BLOCK 3593, ARMY TERRACE, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 105, PAGE 194, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

Owner:
T.B.D.

FIRM REGISTRATION NO. 10111700
Westar Alamo
LAND SURVEYORS, LLC.
P.O. BOX 1036 HELOTES, TEXAS 78023-1036
PHONE (210) 372-9500 FAX (210) 372-9999

LEGEND

Δ	= CALCULATED POINT
●	= FND 1/2" IRON ROD
( )	= RECORD INFORMATION
B.S.	= BUILDING SETBACK
C.M.	= CONTROLLING MONUMENT
	= POWER POLE
E	= ELECTRIC METER
G	= GAS METER
—E—	= OVERHEAD ELECTRIC
-o-o-	= METAL FENCE
-/-/-	= WOOD FENCE

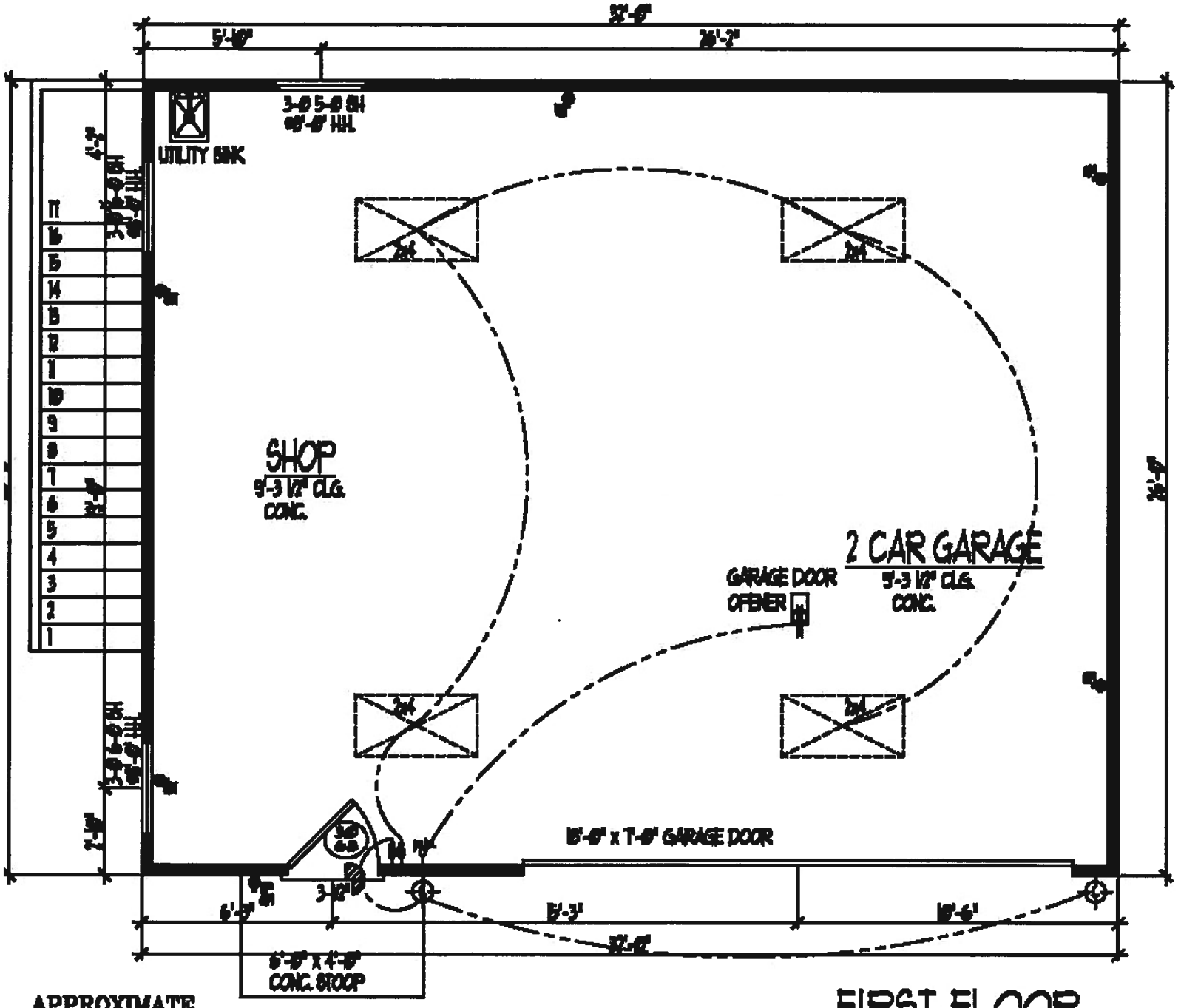
STATE OF TEXAS REGISTERED MARK J. EWALD 5095 PROFESSIONAL LAND SURVEYOR

I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

DRAWN BY: JS

G.F. NO. N/A | JOB NO. 78457 | TITLE COMPANY: N/A | DATE: 08/25/2017

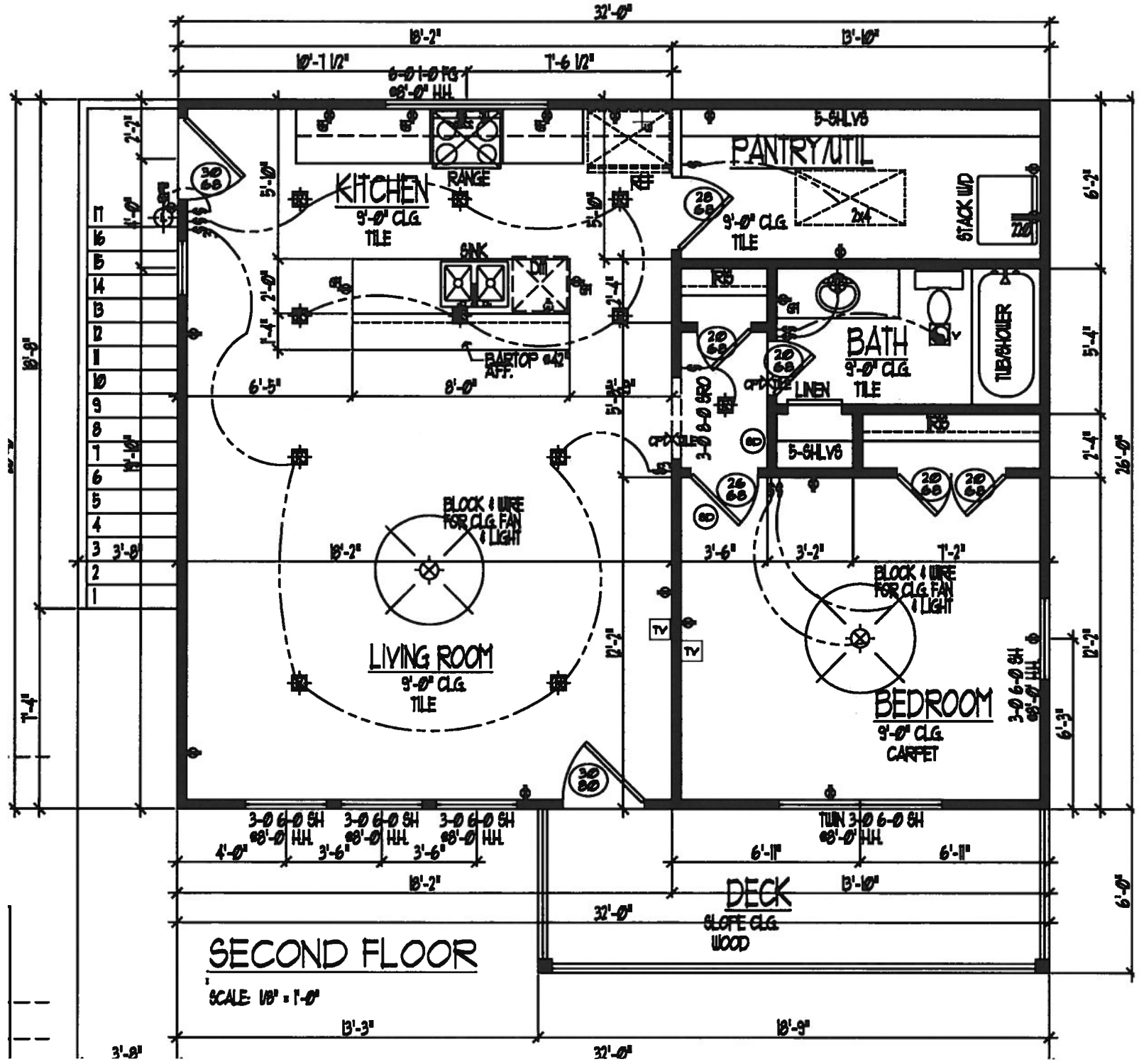


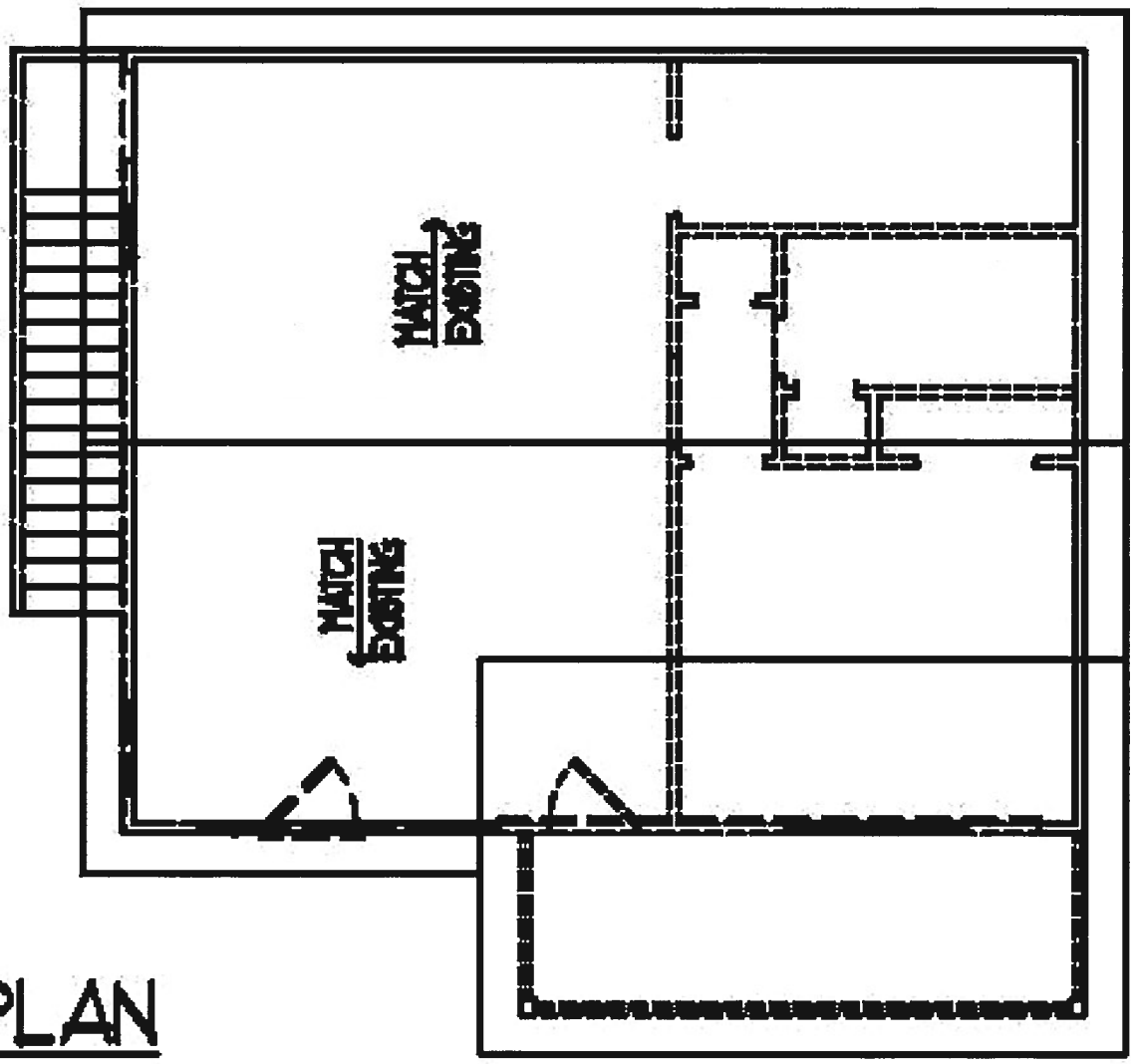
FIRST FLOOR

SCALE: 1/8" = 1'-0"

APPROXIMATE SQUARE FOOTAGE:

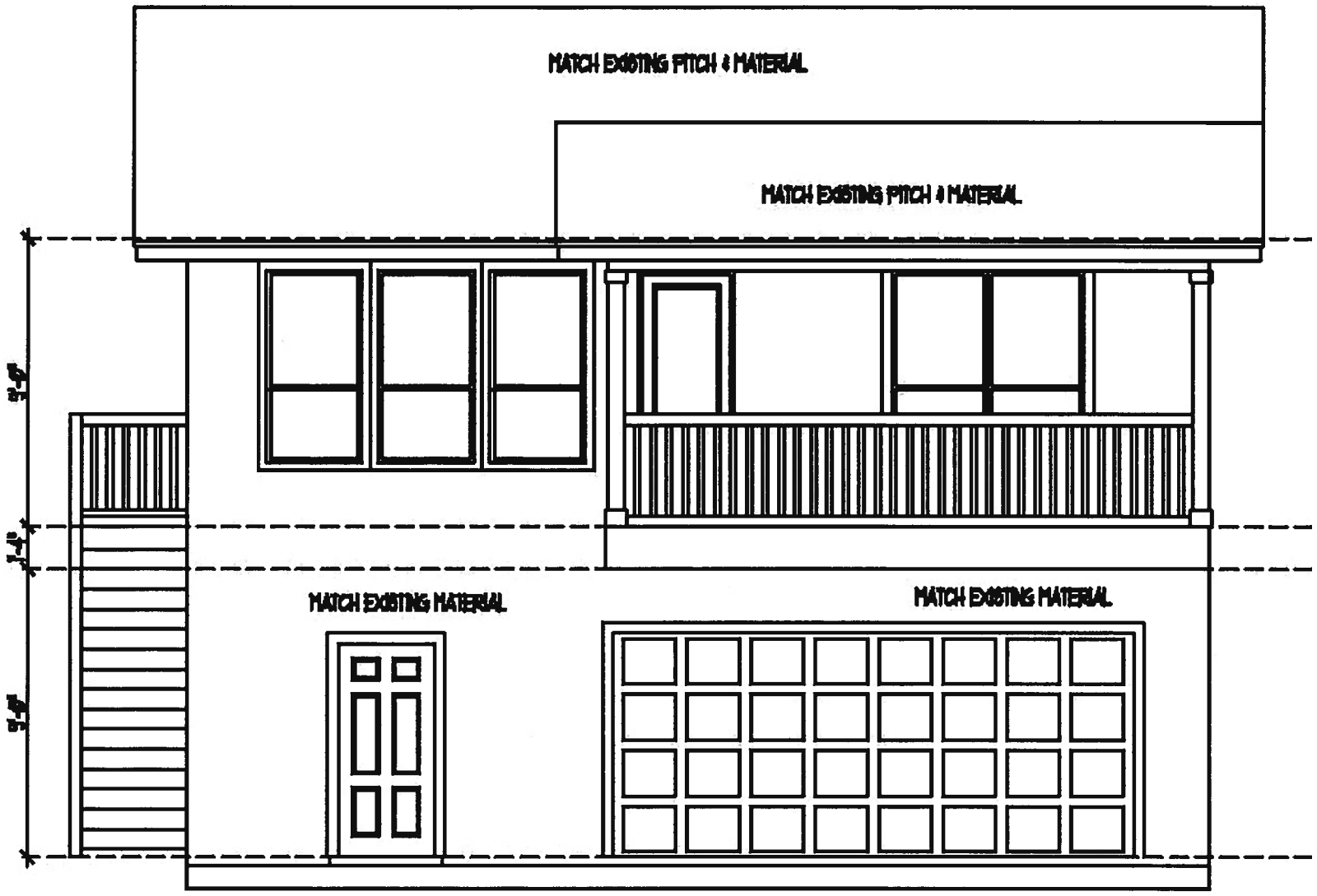
1st FLOOR:	832 SQ. FT.
2nd FLOOR:	832 SQ. FT.
DECK	112 SQ. FT.
TOTAL:	1776 SQ. FT.


32'-0"
18'-2"
13'-10"
10'-7 1/2"
7'-6 1/2"
6-0 1-0 FIG
68'-0" H.H.
KITCHEN
9'-0" CLG.
TILE
RANGE
SINK
DW
BARTOP @42" AFF.
PANTRY/UTIL
5-SHLVS
9'-0" CLG.
TILE
STACK W/D
2x4
BATH
9'-0" CLG.
TILE
TUB/SHOWER
LINEN
5-SHLVS
3-0 8-0 GRD
BLOCK & WIRE FOR CLG. FAN & LIGHT
LIVING ROOM
9'-0" CLG.
TILE
BLOCK & WIRE FOR CLG. FAN & LIGHT
BEDROOM
9'-0" CLG.
CARPET
TV
TV
3-0 6-0 SH
68'-0" H.H.
3-0 6-0 SH
68'-0" H.H.
3-0 6-0 SH
68'-0" H.H.
TWIN 3-0 6-0 SH
68'-0" H.H.
4'-0"
3'-6"
3'-6"
6'-11"
6'-11"
DECK
GLOFE CLG.
WOOD
SECOND FLOOR
SCALE: 1/8" = 1'-0"
13'-3"
18'-9"
32'-0"



ROOF PLAN

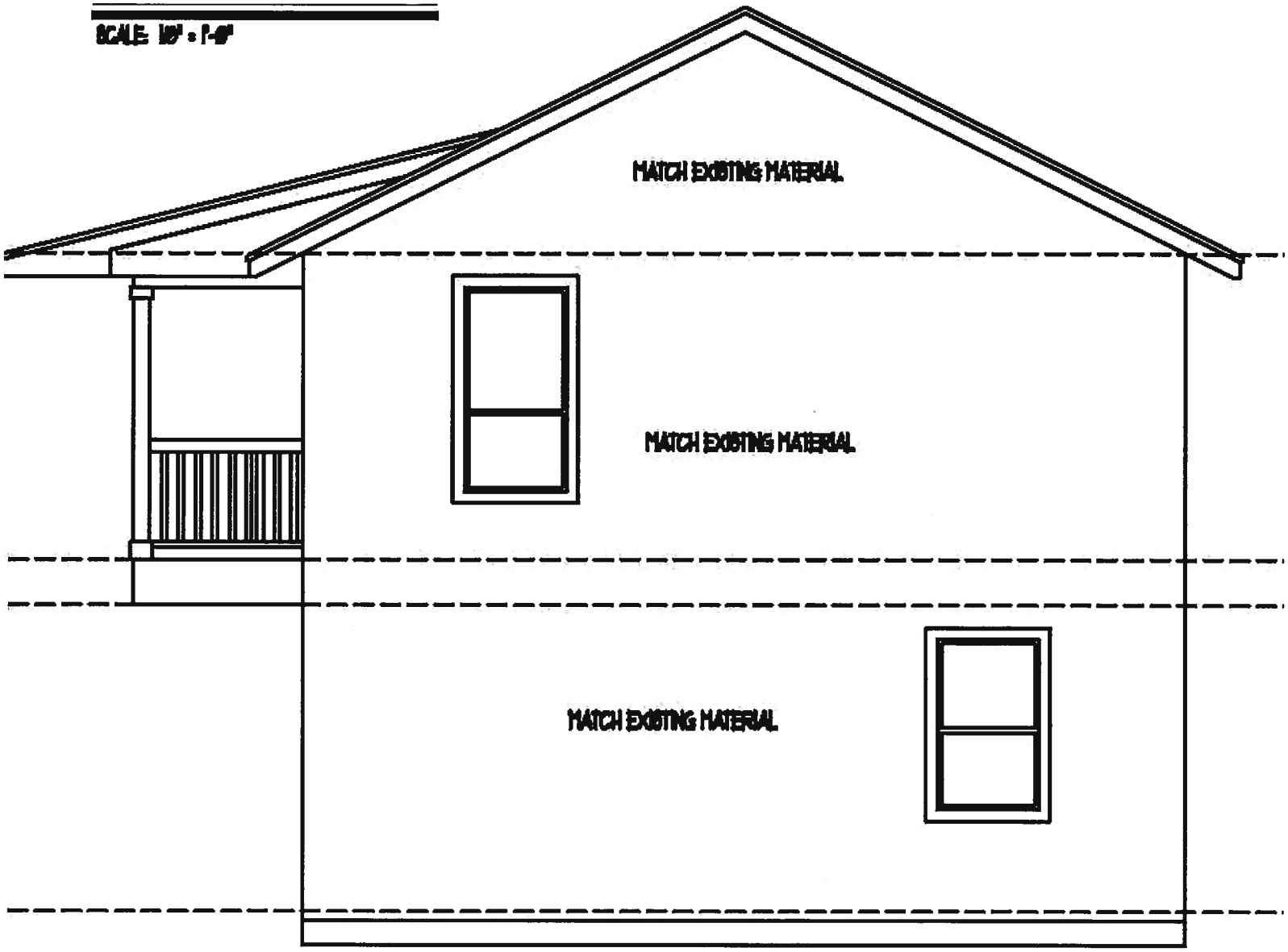
SCALE: 1/8" = 1'-0"



FRONT ELEVATION

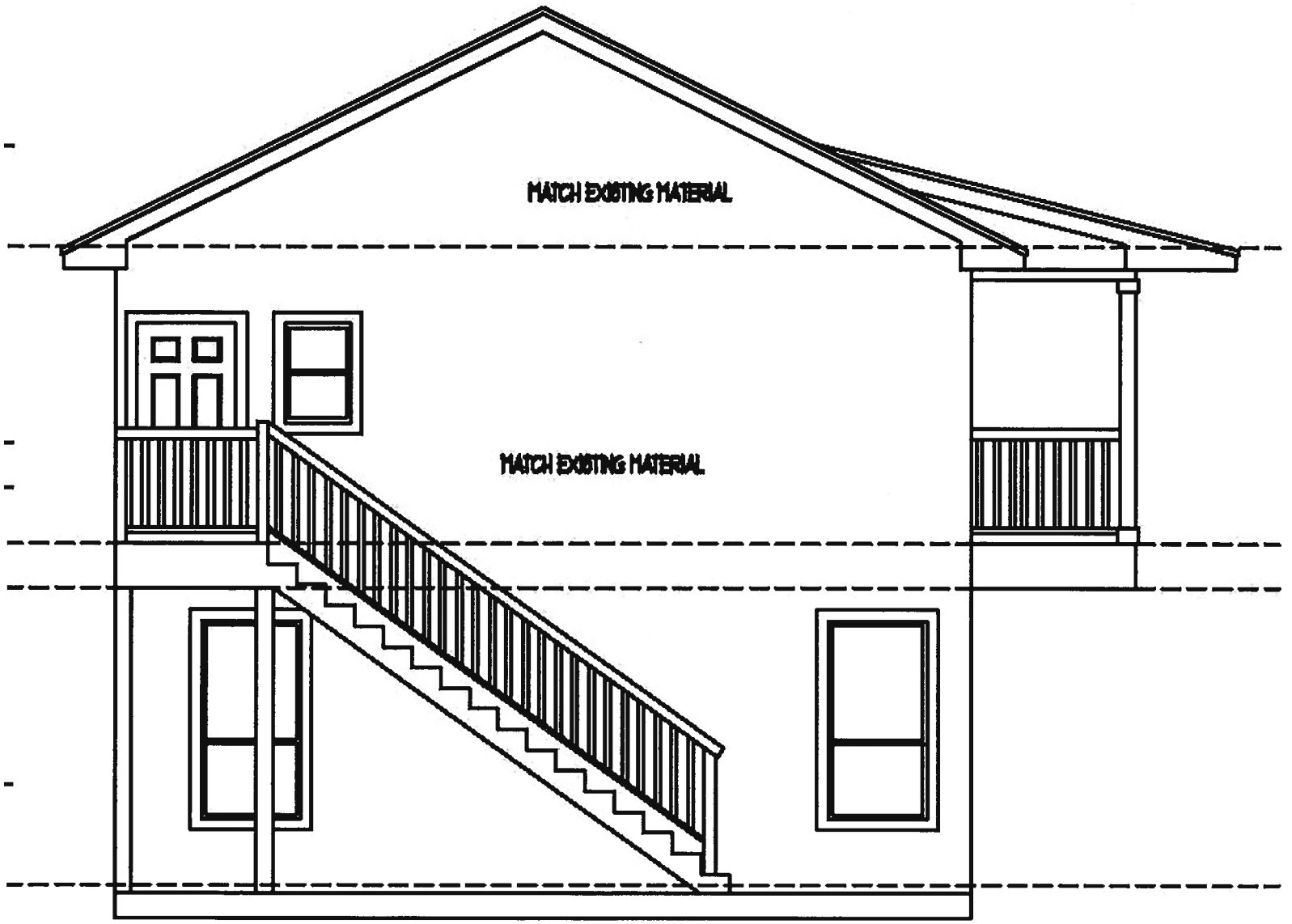
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



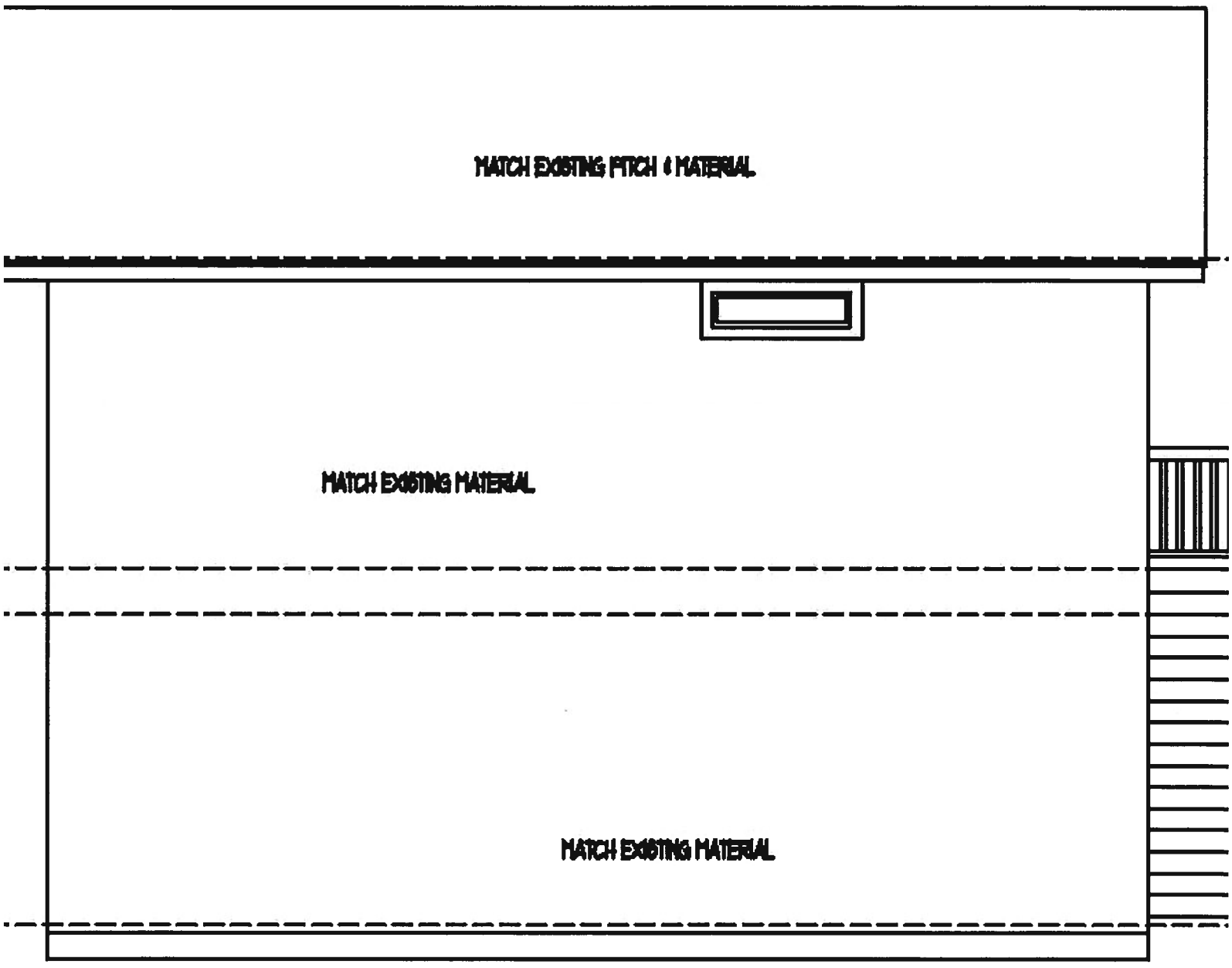
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



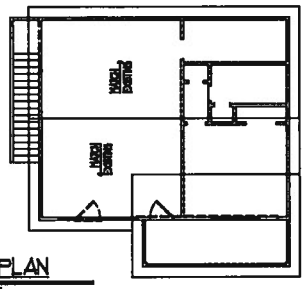
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



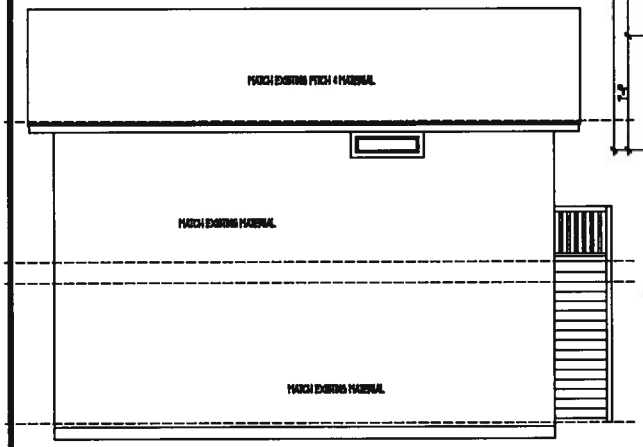
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

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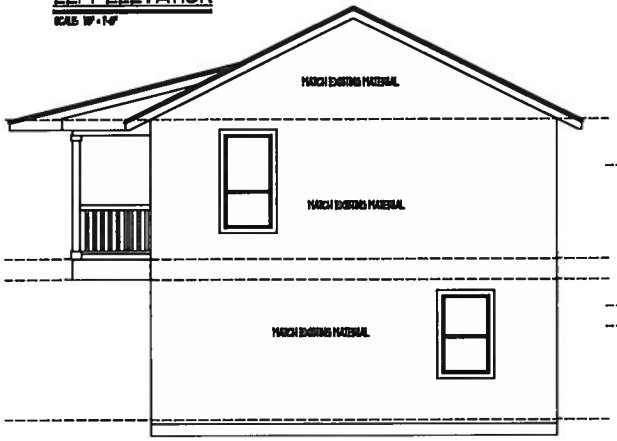

RIGHT ELEVATION

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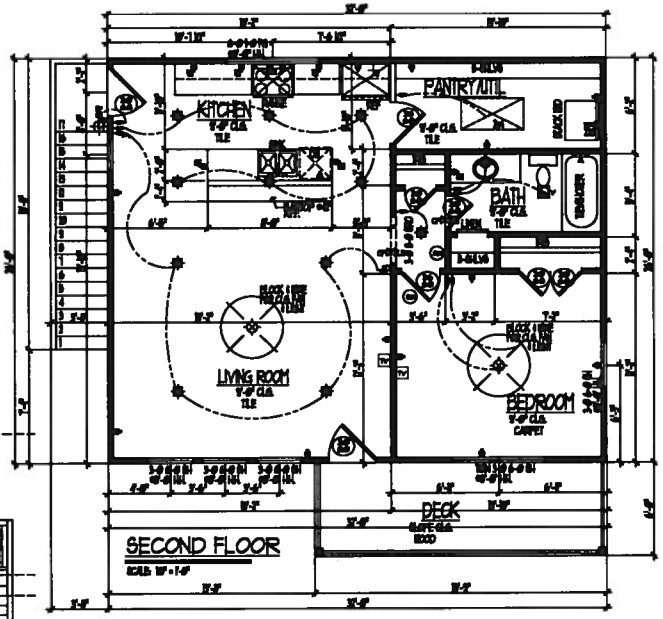
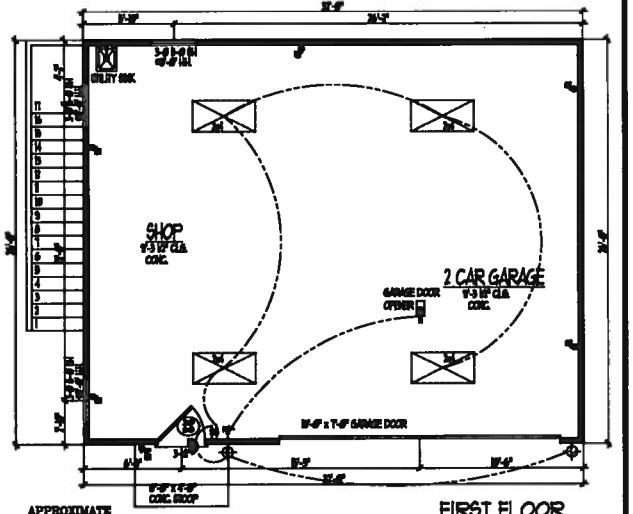


SECOND FLOOR

SCALE: 1/8" = 1'-0"



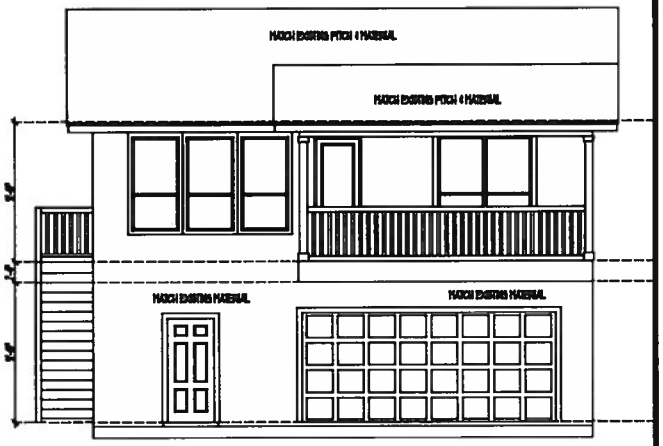
FIRST FLOOR

SCALE: 1/8" = 1'-0"

APPROXIMATE SQUARE FOOTAGE:

LEFT ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

THE BURNETTE FAMILY

AUTREY DESIGN SERVICES LLC
SAN ANTONIO, TEXAS
TEL: (210) 391-6253

APPROXIMATE SQUARE FOOTAGE:

LIVING:
GARAGE:
PORCH:
COVERED PATIO:
TOTAL:

PLAN NO.:

DESIGN BY:
TGA

DATE:
9/14/2017

SHEET NO.
1 OF 1

DESIGN LOADING

ROOF LIVE LOAD 25psf
ATTIC LIVE LOAD 20psf (LIMITED ATTIC STORAGE)
SECOND FLOOR LIVE LOAD 40psf
FOUNDATION LIVE LOAD 50psf

WIND LOAD: 115mph, RISK CATEGORY-II, EXPOSURE-C,

GENERAL NOTES:

GN-1 GOVERNING DESIGN CODE: IRC 2015.

GN-2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, ELEVATIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR AND FABRICATOR SHALL COORDINATE ALL REQUIREMENTS OF OTHER TRADES PRIOR TO FABRICATION OR INSTALLATION. NOTIFY ARCHITECT/ENGINEER (A/E) TEAM IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES.

GN-3 CONFLICTS BETWEEN DRAWINGS, NOTES AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E TEAM. WORK SHALL NOT PROCEED UNTIL A WORKABLE ANSWER HAS BEEN GIVEN BY THE A/E TEAM. THE MOST STRINGENT REQUIREMENT SHALL BE USED UNLESS DIRECTED OTHERWISE BY A/E TEAM.

GN-4 ALL UTILITY CONDUIT PENETRATING BUILDING SHALL BE FLEXIBLE AND ALLOW FOR DIFFERENTIAL MOVEMENT.

GN-5 THE ENGINEER SHALL NOT BE RESPONSIBLE FOR TEMPORARY SHORING, CONSTRUCTION MEANS & METHODS, CONSTRUCTION TECHNIQUES, CONSTRUCTION SEQUENCES, WATERPROOFING, DRAINAGE, JOB SITE CONDITIONS AND JOB SITE SAFETY DURING THE COURSE OF CONSTRUCTION.

GN-6 THE PROPOSED STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL CONSTRUCTION LOADS THAT WILL BE APPLIED TO THE PARTIALLY COMPLETED STRUCTURE. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE PARTIALLY COMPLETED STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

EARTHWORK NOTES:

EW-1 BEFORE ANY CONSTRUCTION IS BEGUN, PERFORM ROUGH GRADING AND CUT SWALES SO THAT GROUNDS WILL DRAIN AWAY FROM THE BUILDING. MAINTAIN DRAINAGE DURING ALL PHASES OF CONSTRUCTION SO THAT STORM WATER WILL BE CONDUCTED AWAY FROM THE BUILDING. KEEP EXCAVATIONS PUMPED FREE OF STORM WATER AT ALL TIMES.

EW-2 PRECAUTIONS SHALL BE TAKEN TO PROTECT OPEN EXCAVATIONS FROM EXCESSIVE LOSS OR GAIN IN NATURAL MOISTURE LEVEL PRIOR TO PLACEMENT OF BASE MATERIAL. KEEP MOIST DURING DRY WEATHER AND KEEP STORM WATER PUMPED OUT, INCLUDING NIGHTS AND WEEKENDS, DURING RAINS.

EW-3 IN THE AREA OCCUPIED BY THE FOUNDATION PLUS 5'-0", REMOVE A MINIMUM OF 1'-0" OF THE EXISTING SOIL INCLUDING ALL ORGANIC MATERIAL, LOOSE ROCKS/SOIL, ROOTS, TRASH, ETC. FROM THE SITE. IF REQUIRED DUE TO EXISTING GRADE, REMOVE ADDITIONAL SOIL AS REQUIRED TO ALLOW FOR MINIMUM 1'-0" OF SELECT FILL BELOW THE SOFFIT OF THE PROPOSED SLAB. THE REMOVED SOIL SHALL NOT BE USED AS FILL UNDER THE FOUNDATION.

EW-4 AFTER EXCAVATION, THE RESULTING SUBGRADE SHALL BE PROOFROLLED WITH A FULLY LOADED DUMP TRUCK (15 TON MIN.) TO LOCATE ANY SOFT SPOTS. A MINIMUM OF 3 PASSES OF THE TRUCK IS REQUIRED. ANY SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT FILL. TRENCH FOR THE REQUIRED BEAM PENETRATIONS INTO NATURAL UNDISTURBED EXISTING GRADE. AFTER TRENCHING, THE AREA SHALL THEN BE BUILT-UP TO THE SOFFIT OF THE PROPOSED SLAB WITH COMPACTED SELECT FILL.

EW-5 FACES OF GRADE BEAMS ARE TO BE FORMED WITH "BAGGED" COMPACTED SELECT FILL. THE SELECT FILL BETWEEN BAGS SHALL BE "3/4 TO DUST" MANUFACTURED BASE MATERIAL, HAND COMPACTED.

EW-6 THE FILL WITHIN THE BAGGED AREA SHALL BE PLACED IN 8" LIFTS AND HAND COMPACTED. THE TOP 4" SHALL BE FREE DRAINING CLEAN CRUSHED STONE, GRADED 1/4" TO 1/2". COMPACT EACH LIFT OF THE SELECT FILL TO A DENSITY OF 95% OF STANDARD PROCTOR, WHICH SHALL BE VERIFIED BY FIELD TESTS.

EW-7 EMPLOY AN INDEPENDENT TESTING LABORATORY TO TAKE FIELD TESTS TO VERIFY COMPACTION OF FILL. TESTS SHALL INCLUDE FIELD DENSITY AND MOISTURE CONTENT TESTS ON EACH LIFT AND EVERY 5,000 SQ. FT. PER LIFT (MINIMUM OF 2-TESTS PER LIFT). THE TEST REPORTS SHOULD BE SUBMITTED TO THE A/E TEAM FOR REVIEW AND APPROVAL.

EW-8 THE FINISH GRADE AT THIS SITE MUST BE GRADED TO ENSURE POSITIVE DRAINAGE OF ALL WATER AWAY FROM THE FOUNDATION.

EW-9 TREES PLANTED AFTER FOUNDATION CONSTRUCTION SHALL BE PLANTED NO CLOSER TO THE FOUNDATION THAN ONE-HALF THE POTENTIAL HEIGHT OF THE TREE.

EW-10 EXCAVATING THE EXISTING ROCK STRATA MAY BE DIFFICULT AT THIS SITE. THE EXCAVATOR SHOULD HAVE EXPERIENCE IN THIS AREA AND EXPECT TO USE HEAVY ROCK EXCAVATING EQUIPMENT.

EW-11 MAXIMUM COMPACTED SELECT FILL TOTAL THICKNESS SHALL BE 48". CONTRACTOR SHALL DETERMINE, PRIOR TO CONSTRUCTION, IF TOTAL THICKNESS WILL BE MORE THAN 48". IF IT IS, CONTACT A/E TEAM FOR FURTHER DIRECTIONS. FOUNDATION MAY REQUIRE DEEPENED BEAMS OR CONCRETE PIERS.

FOUNDATION NOTES:

FN-1 SLAB SHALL BE A 5" CONCRETE SLAB REINFORCED W/ #4 @ 12"o.c., EACH WAY. SUPPORT AT 4'-0"o.c. EACH WAY AND SUPPORT BOTTOM BEAM REINFORCEMENT AT 4'-0" INTERVALS. SUPPORT REBAR WITH PLASTIC CHAIRS, METAL CHAIRS OR SOLID CONCRETE BRICKS (NO ROCKS OR CLAY BRICKS).

FN-2 PROVIDE A MINIMUM OF 10 MIL. YELLOW STEGO WRAP VAPOR RETARDER BENEATH THE SLAB. THE VAPOR RETARDER SHALL BE LAPPED 12" AT SPLICES. TAPE ALL SPLICES AND TEARS WITH STEGO WRAP TAPE. EXTEND VAPOR RETARDER TO WITHIN 12" OF BOTTOM OF BEAM TRENCHES.

FN-3 ALL BEAM SOFFITS SHALL BEAR 24" MINIMUM INTO NATURAL UNDISTURBED EXISTING GRADE. IF NECESSARY DUE TO GRADES, INCREASE SCHEDULED BEAM DEPTH AS REQUIRED FOR SOFFIT TO BEAR 24" MINIMUM INTO EXISTING GRADE. BEAMS MUST BEAR FLAT ON SUBGRADE, DO NOT SLOPE SOFFITS OF BEAM. BEAMS MAY BE STEPPED AS NECESSARY DUE TO GRADES. REFER TO DETAIL 4/S1 FOR STEPPING OF BEAM AND REBAR.

FN-4 GRADE BEAMS AND SLAB THICKENINGS, BELOW EXISTING GRADE, SHALL BE FORMED BY WALLS AND SOFFIT OF CAREFULLY SHAPED TRENCH. USE A SMOOTH-MOUTHED BUCKET. IF A TOOTHED BUCKET IS USED, EXCAVATION SHALL BE STOPPED 6" ABOVE FINAL GRADE AND THE REMAINING EXCAVATION ACCOMPLISHED WITH A SMOOTH MOUTHED BUCKET OR BY HAND LABOR TO REMOVE ALL LOOSE SOILS DISTURBED BY THE BUCKET TEETH. WOOD-FORM EXPOSED FACES TO A DEPTH OF 8" BELOW FINAL GRADE.

FN-5 AT ALL BEAM CORNERS & T-INTERSECTIONS, PROVIDE MATCHING SIZE L-SHAPED CORNER BARS FOR ALL HORIZONTAL BARS. EACH CORNER BAR SHALL HAVE 40-BAR DIAMETER LENGTHS FOR EACH LEG, REF. DETAIL 9/S1.

FN-6 TRENCHES SHALL BE VERIFIED, BY CONTRACTOR, FOR SIZE TO MAINTAIN CLEARANCES AROUND REINFORCEMENT PRIOR TO PLACING REINFORCEMENT.

FN-7 WHERE BEAM DEPTH EXCEEDS 36", ADD #5 @ 12"o.c. IN EACH FACE OF BEAM AND PLACE STIRRUPS @ 12"o.c.

FN-8 THE EXISTING SOIL AT THE SITE IS EXPANSIVE. SOME DIFFERENTIAL FOUNDATION MOVEMENT AND CONCRETE CRACKING IS A POSSIBILITY.

SITE OBSERVATION NOTES:

SO-1 CONTRACTOR MUST CONTACT ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR SITE OBSERVATIONS. SITE OBSERVATIONS REQUIRED ARE FOR VISUAL OBSERVATION OF ALL STRUCTURAL ITEMS PRIOR TO COVER UP WITH CONCRETE, ROOFING, SHEATHING WRAP OR ARCHITECTURAL FINISH MATERIALS. SITE OBSERVATIONS ARE REQUIRED TO CONFIRM THAT THE STRUCTURE IS IN GENERAL CONFORMANCE TO THE STRUCTURAL PLANS.

CONCRETE NOTES:

CN-1 CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301 AND ACI 318.

CN-2 CONCRETE SHALL BE NORMAL WEIGHT WITH A 3,000psi 28-DAY COMPRESSIVE STRENGTH. MAX AGGREGATE SIZE SHALL BE 3/4" AND MAX WATER CEMENT RATIO SHALL BE 0.50. ALL AGGREGATE SHALL COMPLY WITH ASTM C33.

CN-3 CEMENT SHALL BE A SINGLE BRAND OF PORTLAND CEMENTS AND COMPLY WITH ASTM C-150, TYPE I OR TYPE II. FLY ASH WILL BE PERMITTED UP TO 20% PORTLAND CEMENT REPLACEMENT.

CN-4 U.N.O., CONCRETE REBAR CLEAR COVER SHALL BE AS FOLLOWS: 3" NOT ADJACENT TO SOIL AND 3" ADJACENT TO SOIL.

CN-5 ALL REBAR AND INSERTS SHALL BE ADEQUATELY SECURED IN PLACE TO PREVENT MOVEMENT, PRIOR TO CONCRETE POUR.

CN-6 REBAR SHALL COMPLY WITH ASTM-615 GRADE 60. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM-4185 70ksi MINIMUM YIELD STRENGTH (USE FLAT SHEETS ONLY). ALL REINFORCING SHALL BE FREE OF RUST, SCALE, DIRT, OIL, DRIED CONCRETE OR ANY OTHER DELETERIOUS COATINGS THAT MAY PREVENT BONDING WITH CONCRETE.

CN-7 CONCRETE SHALL BE MIXED AND DELIVERED PER ASTM C-94.

CN-8 CONCRETE SHALL BE PLACED, FINISHED AND CURED PER ACI 302.1R. CONTRACTOR SHALL VERIFY FLATNESS/LEVELNESS REQUIREMENTS WITH ARCHITECT AND OWNER. CONCRETE CURING COMPOUND MUST BE DISSIPATING TYPE AND BE COMPATIBLE WITH FLOORING. CONCRETE TOLERANCES SHALL BE PER ACI 117.

CN-9 CONCRETE SHALL COMPLY WITH ACI 305 FOR HOT WEATHER CONCRETE AND ACI 306 FOR WINTER CONCRETE.

CN-10 CONCRETE FORMWORK SHALL COMPLY WITH ACI 347.

CN-11 DETAILING OF REBAR AND ACCESSORIES SHALL BE IN ACCORDANCE WITH LATEST ACI SP-66 DETAILING MANUAL. BAR SUPPORTS FOR SUSPENDED CONCRETE SHALL HAVE PLASTIC COATED LEGS OR BE HOT-DIPPED GALVANIZED AFTER FABRICATION. BAR SUPPORTS FOR ON-GRADE CONCRETE MAY BE SUPPORTED WITH SOLID CONCRETE BRICKS HAVING A COMPRESSIVE STRENGTH AT LEAST EQUAL TO THAT OF THE CONCRETE.

CN-12 U.N.O., THE MINIMUM REBAR LAPS AND SPLICES SHALL BE AS FOLLOWS: #4=20", #5=34", #6=42" #7=48", #8=54". SPIRALS SHALL BE LAPPED 1-1/2 TURNS. WELDED WIRE FABRIC SHALL BE LAPPED 8" MINIMUM AT SPLICE POINTS, OR 1-1/2 MESHES, WHICHEVER IS GREATEST.

CN-13 CONCRETE SHALL BE PLACED MONOLITHICALLY WITH NO CONSTRUCTION JOINTS. CONSTRUCTION JOINT DETAILS ARE SHOWN IF IT IS DESIRED TO POUR FOUNDATION IN TWO-POURS. CONTRACTOR SHALL PLACE CONSTRUCTION JOINTS ONLY IN THE MIDDLE THIRD OF BEAM SPANS AND SUBMIT CONSTRUCTION JOINT LAYOUT PLAN TO A/E TEAM FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION.

CN-14 SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZES OF ALL SLAB FINISHES, DROPS, DEPRESSIONS, OPENINGS, SLEEVES, INSERTS AND ANCHORS REQUIRED BY ABOVE.

CN-15 COORDINATE REBAR PLACEMENT WITH WITH ALL POST-INSTALLED ANCHOR BOLTS. DO NOT DAMAGE REBAR DURING ANCHOR BOLT INSTALLATION.

CN-16 MECHANICAL AND ELECTRICAL CONDUITS IN SLABS-ON-GRADE SHALL RUN UNDER THE TOP LAYER OF SLAB REINFORCING AND WITHIN THE MIDDLE THIRD OF SLAB DEPTH. PROVIDE A MINIMUM OF 1-1/2" CLEAR BETWEEN INDIVIDUAL CONDUITS, AND BETWEEN CONDUIT AND PARALLEL REINFORCING. DO NOT "BUNDLE" CONDUITS. MAXIMUM CONDUIT SIZE FOR CONDUITS RUNNING WITHIN SLAB IS 1"O.D. CONDUITS LARGER THAN 1"O.D. SHALL BE PLACED AND RUN UNDER THE SLAB IN THE FILL AND SUBGRADE. FOR CONDUITS PENETRATING GRADE BEAMS AND SLAB REF DETAILS ON SHEET S1

CN-17 AREAS WHERE EXCAVATION IS TO BE MADE SHALL BE RESEARCHED AND/OR PROBED FOR UNDERGROUND UTILITIES BEFORE ANY EXCAVATION IS BEGUN.

CN-18 CONTRACTOR SHALL HAVE AN INDEPENDENT TESTING LABORATORY TAKE SAMPLES AND PERFORM SLUMP, CONCRETE TEMPERATURE AND COMPRESSION TESTS PER ASTM C-39. A SET OF SIX CYLINDERS (3-DAY, 7-DAY AND 28-DAY) SHALL BE MADE FOR EACH DESIGN MIX, BATCH AND FOR EVERY 100 CU. YDS. OF CONCRETE PLACED. THE TEST REPORTS SHOULD BE SUBMITTED TO THE A/E TEAM FOR REVIEW AND APPROVAL.

CN-19 CONTRACTOR MUST SUBMIT REBAR SHOP DRAWINGS AND CONCRETE MIX DESIGN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND CONSTRUCTION.

CN-20 ALL SMOOTH SLIP DOWELS IN CONCRETE AND/OR CMU TO BE PLACED STRAIGHT AND PARALLEL.

CN-21 CONTRACTOR MUST NOTIFY A/E TEAM AT LEAST 48 HOURS PRIOR TO CONCRETE POUR, FOR REBAR SITE OBSERVATION VISIT.

WOOD NOTES:

WN-1 U.N.O., ALL LUMBER SHALL CONSIST OF NO.2 S. DOUGLAS FIR LARCH OR BETTER. LUMBER NOTED AS "LVL" SHALL BE MICROLAM LVL 2.0E BY TRUSS JOIST. LUMBER NOTED AS "PSL" SHALL BE PARALLAM PSL 2.2E BY TRUSS JOIST. LUMBER NOTED AS "PARALLAM PLUS" SHALL BE PRESSURE TREATED PARALLAM PLUS PSL SERVICE LEVEL-2 BY TRUSS JOIST.

WN-2 ALL LUMBER SHALL BE GRADE STAMPED.

WN-3 ALL SILLS ON CONCRETE SHALL BE PRESSURE TREATED.

WN-4 ALL NAILS, BOLTS, NUTS AND WASHERS CONNECTING PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED.

WN-5 ROOF DECKING SHALL BE 5/8" EXTERIOR RATED STRUCTURAL 1, PLYWOOD WITH TONGUE AND GROOVE EDGES OR PLYCLIPS. USE 8d NAILS @ 6"o.c. AT PLYWOOD END JOINTS, WALL SUPPORTS, BLOCKING, FACIA BOARD AND BEAM SUPPORTS. USE 8d NAILS @ 12"o.c. @ PLYWOOD INTERMEDIATE SUPPORTS.

WN-6 FLOOR DECKING SHALL BE 3/4" EXTERIOR STRUCTURAL 1, PLYWOOD WITH TONGUE AND GROOVE EDGES. USE 8d NAILS @ 6"o.c. AT PLYWOOD END JOINTS, WALL SUPPORTS AND BEAM SUPPORTS. USE 8d NAILS @ 10"o.c. @ PLYWOOD INTERMEDIATE SUPPORTS (FIELD NAILING). FLOOR DECKING SHALL BE GLUED AND NAILED.

WN-7 ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 7/16" EXTERIOR RATED STRUCTURAL-1 PLYWOOD. SPECIFIC SHEATHING AND NAILING FOR WOOD STRUCTURAL PANEL "CS-WSP" WALL BRACING SHALL BE PER WALL BRACING DETAILS. ALL OTHER AREAS OF THE WALL SHEATHING CAN BE NAILED PER CONTRACTOR'S AND CITY OF SAN ANTONIO RECOMMENDATIONS.

WN-8 PLACE PLYWOOD ROOF PANELS WITH LONG DIMENSION RUNNING PERPENDICULAR TO RAFTERS WITH END JOINTS STAGGERED 1/2 PANEL. PLACE PLYWOOD WALL WOOD STRUCTURAL PANELS "CS-WSP" WALL BRACING WITH LONG DIMENSION RUNNING PARALLEL (VERTICAL) TO STUDS WITH END JOINTS STAGGERED 1/2 PANEL. ALL OTHER AREAS OF THE WALL CAN BE SHEATHED PER CONTRACTOR'S AND CITY OF SAN ANTONIO RECOMMENDATIONS.

WN-9 U.N.O., PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. ALL EXTERIOR PERIMETER WALL SILL PLATES SHALL BE BOLTED TO FOUNDATION WITH (ONLY) 1/2"ø ANCHOR BOLTS SPACED AT 4'-0"o.c. MAXIMUM. AT BREAKS IN SILL PLATE AND AT CORNERS PLACE J-BOLTS MAXIMUM OF 6" FROM END OF SILL PLATE. 2-BOLT MIN. PER PLATE. J-BOLT MINIMUM CONCRETE EMBEDMENT SHALL BE 7".

WN-10 U.N.O., STUDS SHALL BE DOUBLED AT ALL ANGLES, CORNERS, BEAM SUPPORTS AND AROUND ALL OPENINGS.

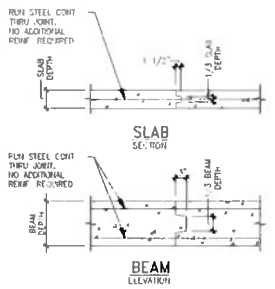
WN-11 ALL SIMPSON STRONG-TIE PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. U.N.O., ALL FACE MOUNTED JOIST TO BE ATTACHED WITH SIMPSON STRONG-TIE "LU" HANGER FOR SINGLE MEMBERS AND "LUS" HANGER FOR DOUBLE MEMBERS.

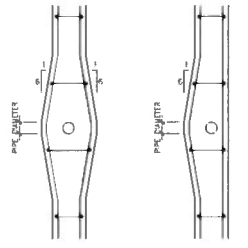
WN-12 PROVIDE FULL DEPTH SOLID BLOCKING AT ALL RAFTER AND JOIST BEARING LOCATIONS. PROVIDE FULL DEPTH SOLID BLOCKING IN ALL RAFTER AND JOIST SPANS OVER 8'-0". SEE PLANS. MAXIMUM DISTANCE BETWEEN BLOCKING AND BEARING SHALL BE 8'-0". PROVIDE FULL DEPTH SOLID BLOCKING IN FLOOR JOISTS @ 48"o.c.

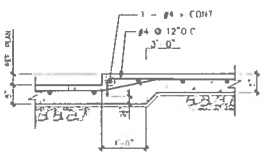
WN-13 CONTRACTOR MUST NOTIFY A/E TEAM AT LEAST 48 HOURS PRIOR TO WOOD STRUCTURE BEING COVERED BY ROOFING, SHEATHING WRAP AND ARCHITECTURAL FINISH, FOR SITE OBSERVATION VISIT.

WN-14 JOISTS, RAFTERS AND BEAMS MUST HAVE FULL BEARING ON SUPPORTING WALLS AND BEAMS.

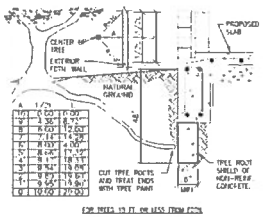
WN-15 U.N.O., ALL NAILING SHALL BE PER 2015 IRC.





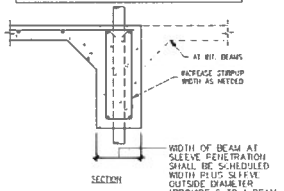


1 **DETAIL - CONSTR. JOINTS**
SCALE: N.T.S



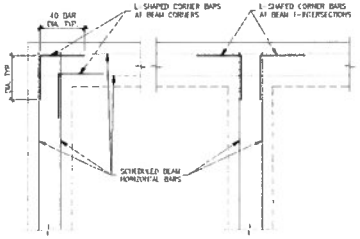
2 **DETAIL - TREE ROOT SHIELD**
SCALE: N.T.S

NOTE:
SLEEVES SHALL NOT RUN LONGITUDINALLY THRU BEAMS WITHOUT PRIOR APPROVAL OF ENGINEER.

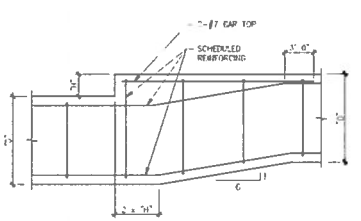


VERTICAL SLEEVES THROUGH BEAM

5 **DETAIL**
SCALE: N.T.S.

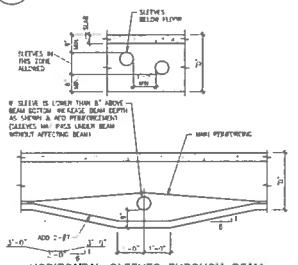


8 **DETAIL - SLAB DROP**
SCALE: N.T.S



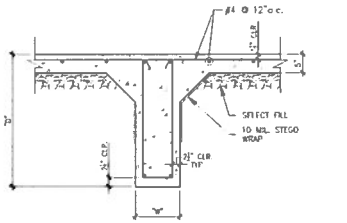
BEAM ELEVATION WHERE BEAM DROPS DUE TO FINISH FLOOR DROP

3 **DETAIL - BEAM DROP**
SCALE: N.T.S

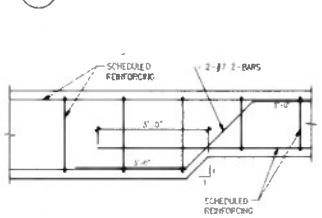


HORIZONTAL SLEEVES THROUGH BEAM

6 **DETAIL**
SCALE: N.T.S

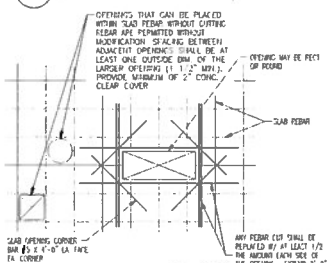


9 **DETAIL - BEAM CORNER BARS**
SCALE: N.T.S



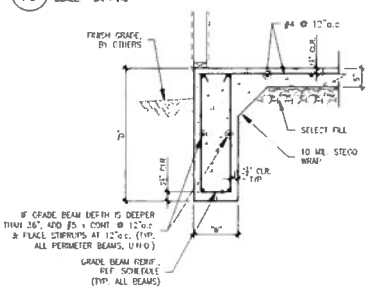
BEAM ELEVATION WHERE SOFFIT OF BEAM DROPS DUE TO GRADE CHANGES

4 **DETAIL - BEAM DROP**
SCALE: N.T.S



SLEEVES THROUGH SLAB

7 **DETAIL**
SCALE: N.T.S



10 **SECTION**
SCALE: 3/4"=1'-0"

11 **SECTION**
SCALE: 3/4"=1'-0"

Structech Consulting, LLC
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BURNETTE RESIDENCE
315 Army Blvd., San Antonio, Texas

DATE: 10/20/17

ALLEN KEITH SHELLEY
97395
LICENSED PROFESSIONAL ENGINEER

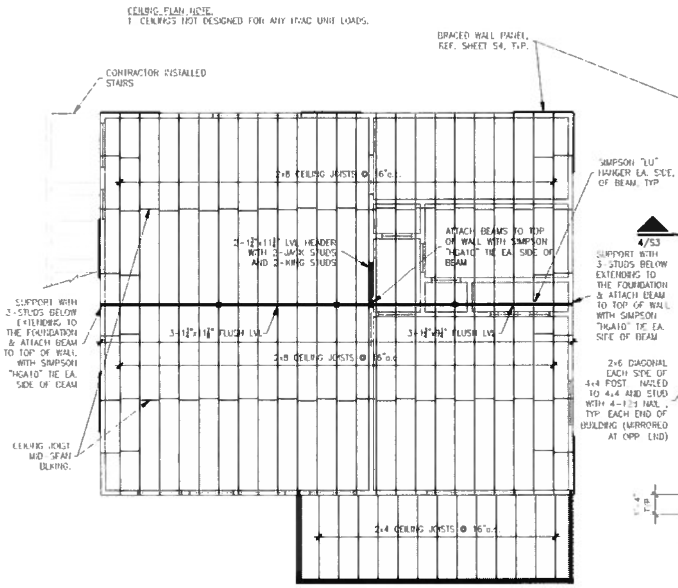
REVISIONS

No	Description	Date
1	Revised	01-05-18

ACLLC PROJ NO.: 040-002-017-00
DATE: 10/20/2017
DRAWN BY: RH
CHECKED BY: AKS

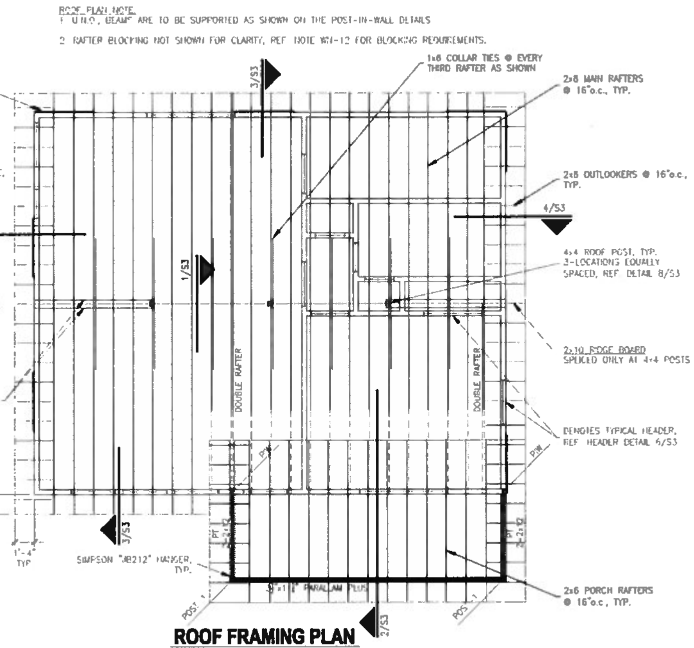
NOTES, DETAILS & SECTIONS

SHEET
S1


CEILING PLAN NOTE:
1. CEILINGS NOT DESIGNED FOR ANY HVAC UNIT LOADS.
BRACED WALL PANEL, REF. SHEET S4, TYP.
CONTRACTOR INSTALLED STAIRS
2x8 CEILING JOISTS @ 16"o.c.
SIMPSON "LU" HANGER EA. SIDE OF BEAM, TYP
ATTACH BEAMS TO TOP OF WALL WITH SIMPSON "HGA10" TIE EA. SIDE OF BEAM
SUPPORT WITH 3-STUDS BELOW EXTENDING TO THE FOUNDATION & ATTACH BEAM TO TOP OF WALL WITH SIMPSON "HGA10" TIE EA. SIDE OF BEAM
2x6 DIAGONAL EACH SIDE OF 4x4 POST NAILED TO 4x4 AND STUD WITH 4-12d NAIL TYP. EACH END OF BUILDING (MIRRORED AT OPP. END)
CEILING JOIST MID-SPAN BLKING.
2x4 CEILING JOISTS @ 16"o.c.

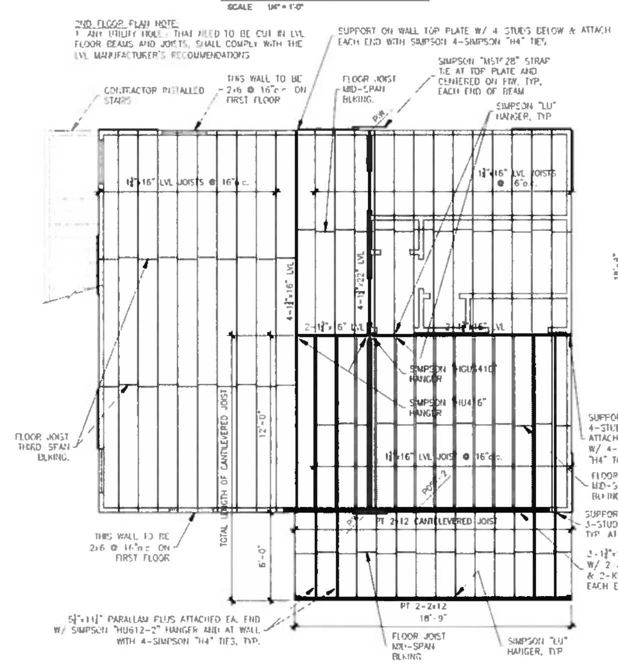
CEILING FRAMING PLAN

SCALE 1/4" = 1'-0"


ROOF PLAN NOTE:
1. U.N.O., BEAMS ARE TO BE SUPPORTED AS SHOWN ON THE POST-IN-WALL DETAILS
2. RAFTER BLOCKING NOT SHOWN FOR CLARITY, REF. NOTE WF-12 FOR BLOCKING REQUIREMENTS.
1x6 COLLAR TIES @ EVERY THIRD RAFTER AS SHOWN
2x8 MAIN RAFTERS @ 16"o.c., TYP.
2x8 OUTLOOKERS @ 16"o.c., TYP.
4x4 ROOF POST, TYP. 3-LOCATIONS EQUALLY SPACED, REF. DETAIL 8/S3
2x10 RIDGE BOARD SPLICED ONLY AT 4x4 POSTS
DOUBLE RAFTER
DENOTES TYPICAL HEADER, REF. HEADER DETAIL 6/S3
SIMPSON "JB212" HANGER, TYP.
2x6 PORCH RAFTERS @ 16"o.c., TYP.

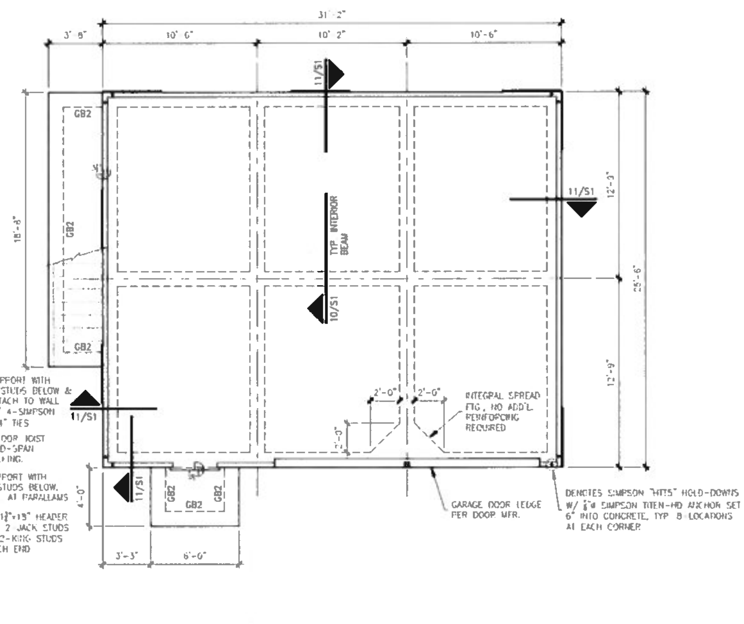
ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"


2ND FLOOR PLAN NOTE:
1. ANY UTILITY HOLES THAT NEED TO BE CUT IN LVL FLOOR BEAMS AND JOISTS, SHALL COMPLY WITH THE LVL MANUFACTURER'S RECOMMENDATIONS
SUPPORT ON WALL TOP PLATE W/ 4 STUDS BELOW & ATTACH EACH END WITH SIMPSON 4-SIMPSON "H4" TIES
SIMPSON "MST28" STRAP TIE AT TOP PLATE AND CENTERED ON FIW, TYP. EACH END OF BEAM
SIMPSON "LU" HANGER, TYP
CONTRACTOR INSTALLED STAIRS
THIS WALL TO BE 2x6 @ 16"o.c. ON FIRST FLOOR
FLOOR JOIST MID-SPAN BLKING.
SIMPSON "HGUS410" HANGER
SIMPSON "HU416" HANGER
SUPPORT WITH 4-STUDS BELOW & ATTACH TO WALL W/ 4-SIMPSON "H4" TIES
FLOOR JOIST MID-SPAN BLKING.
SUPPORT WITH 3-STUDS BELOW, TYP. AT PARALLAMS
2-1¾"x18" HEADER W/ 2 JACK STUDS & 2-KING STUDS EACH END
PT 2-2x12 CANTILEVERED JOIST
5¼"x11" PARALLAM PLUS ATTACHED EA. END W/ SIMPSON "HU612-2" HANGER AND AT WALL WITH 4-SIMPSON "H4" TIES, TYP.
FLOOR JOIST MID-SPAN BLKING
SIMPSON "LU" HANGER, TYP

SECOND FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"



FOUNDATION FRAMING PLAN

SCALE 1/4" = 1'-0"

NAILING SCHEDULE

CONNECTION	NAILING
JOIST TO PLATE OR BEAM, TOENAIL	(3) 8d
BLOCKING TO JOIST OR RAFTERS, TOENAIL EACH END	(2) 8d
BLOCKING BETWEEN JOIST OR RAFTER TO TOP PLATE, TOE NAIL	(3) 8d
RAFTER TO PLATE OR BEAM, TOE NAIL	(3) 16d
TOP PLATE TO STUD, FACE NAIL	(2) 16d
SILL PLATE TO STUD, FACE NAIL	(2) 16d
MULTIPLE BUILT UP STUDS, FACE NAIL EACH STUD	16d AT 16"o.c. STAGGERED
DOUBLE TOP PLATE, FACE NAIL	16d AT 16"o.c. STAGGERED
DOUBLE TOP PLATE, LAPS AND INTERSECTIONS, FACE NAIL	(4) 16d
DOUBLE HEADER OR BEAM, TWO PIECES	16d AT 16"o.c. STAGGERED
RAFTER TO RIDGE, VALLEY OR HIP BOARD, TOE NAIL	(4) 16d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(5) 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(5) 16d
HIP BOARD TO PLATE, TOE NAIL	(4) 16d
2ND FLOOR BOTTOM PLATE TO JOISTS OR BLOCKING	(2) 16d AT 16"o.c.

NOTES:

1. MINIMUM NAILING SPECIFIED HEREIN SHALL BE PROVIDED UNLESS NOTED OTHERWISE ON DETAILS, SECTIONS OR STRUCTURAL NOTES.

2. U.N.O., COMMON OR BOX NAILS MAY BE USED. 16d NAILS MAY BE EITHER COMMON OR SINKER.

3. DOUBLE TOP PLATE SPLICES TO HAVE MINIMUM 24-INCH OFFSETS. SPLICES MUST OCCUR OVER STUDS.

POST SCHEDULE:

POST-1 – 4x4 PT WOOD POST – TOP=SIMPSON "PC44", BOTTOM=SIMPSON "BC40"

POST-2 – 5¼"x5¼" PARALLAM POST – TOP=SIMPSON "CCQ5-6SDS2.5", BOTTOM=SIMPSON "ABU5-5" BASE W/ ⅝"ø SIMPSON TITEN-HD ANCHOR SET 6" INTO CONCRETE. FULLY GROUT VOID UNDER BASE WITH 5,000psi, NOT-SHRINK GROUT

PIW – POST-IN-WALL PER DETAILS 10/S3 & 11/S3

GRADE BEAM SCHEDULE

MARK	W x D	MAIN REINFORCING	STIRRUPS
GB1	12 x 36	2-#7 TOP & 2-#7 BOTTOM	#3 @ 18"o.c.
GB2	12 x 32.5	2-#6 TOP & 2-#6 BOTTOM	#3 @ 36"o.c.

FOUNDATION PLAN NOTES:

1. ALL GRADE BEAMS ARE MARK GB1, U.N.O

2. SLAB THICKNESS AND BEAM DEPTHS SHALL NOT BE LESS THAN THE SCHEDULED VALUES. MAINTAIN THESE MINIMUM VALUES AT ALL DROPPED AND WARPED AREAS.

3. 6x6-W1.4xW1.4 WELDED WIRE FABRIC IS RECOMMENDED, TIED TO TOP OF MAT STEEL, IN TILED AND STAINED CONCRETE AREAS. WWF IS IN ADDITION TO REQUIRED SLAB/BEAM STEEL (REF. ARCHITECTURAL FLOOR PLAN FOR LOCATION)

4. REF. DETAILS 5, 6 & 7 ON SHEET S1 FOR BEAM AND SLAB CONDUIT PENETRATIONS.

Consultech Consultants LLC
Structural Engineers

BURNETTE RESIDENCE
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STATE OF TEXAS — ALLEN KEITH SHELLEY — 97595 — LICENSED PROFESSIONAL ENGINEER

REVISIONS

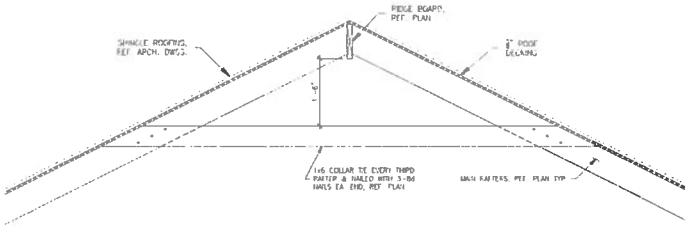
No	Description	Date
1	Revision 1	[illegible]

CHECKED BY: AKS

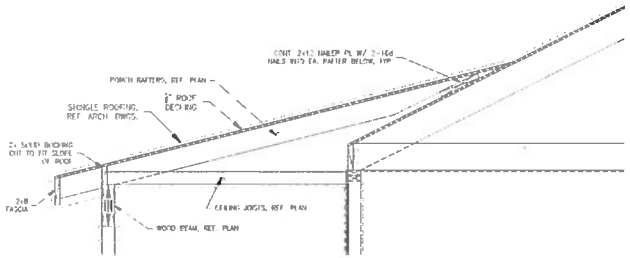
PLANS, NOTES & SCHEDULE

SHEET

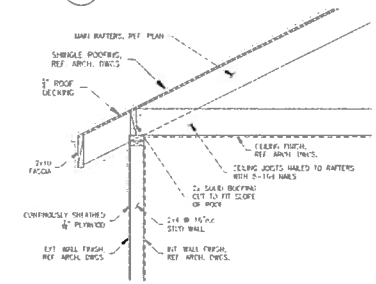
S2



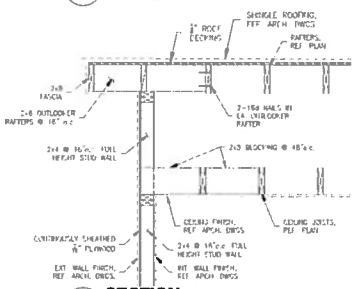
1 **SECTION**
SCALE 3/4" = 1'-0"



2 **SECTION**
SCALE 3/4" = 1'-0"



3 **SECTION**
SCALE 3/4" = 1'-0"



4 **SECTION**
SCALE 3/4" = 1'-0"

HEADER SCHEDULE:

U.N.O., HEADERS SHALL BE AS SHOWN ON THIS HEADER SCHEDULE.

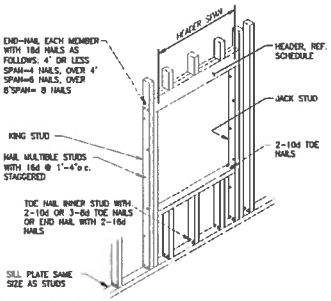
2x6 WALLS

MAXIMUM SPAN	FIRST FLOOR	SECOND FLOOR
2'-0"	3-2x6	2-2x6
4'-0"	3-2x6	3-2x6
6'-0"	3-2x8	3-2x6
8'-0"	3-2x10	3-2x8
10'-0"	3-2x12	3-2x10

2x4 WALLS

MAXIMUM SPAN	FIRST FLOOR	SECOND FLOOR
2'-0"	2-2x4	2-2x4
4'-0"	2-2x8	2-2x6
5'-0"	2-2x10	2-2x8
6'-0"	2-2x12	2-2x10
8'-0"	2-1¾"x9¼" LVL	2-2x12
10'-0"	2-1¾"x11¾" LVL	2-1¾"x9¼" LVL

ALL SECOND FLOOR NON-LOAD BEARING HEADERS SHALL BE 1-2x4 FLAT.



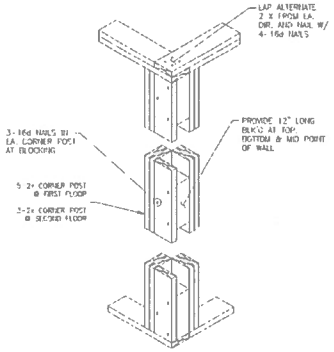
JACK & KING STUDS:

MAXIMUM SPAN	JACK STUD	KING STUD
2'-0"	1-STUD	1-STUD
4'-0"	1-STUD	1-STUD
6'-0"	1-STUD	2-STUD
8'-0"	1-STUD	2-STUDS
10'-0"	2-STUDS	3-STUDS

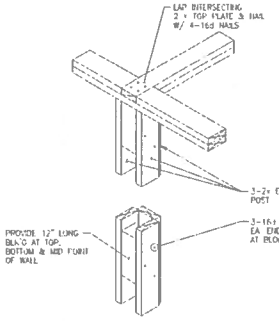
2x4 NON-LVL WALL HEADERS SHALL BE FUTCHED W/ 1-LAYER OF ½" PLYWOOD

2x6 NON-LVL WALL HEADERS SHALL BE FUTCHED W/ 2-LAYERS OF ½" PLYWOOD

6 **DETAIL - TYP. HEADER**
SCALE NTS

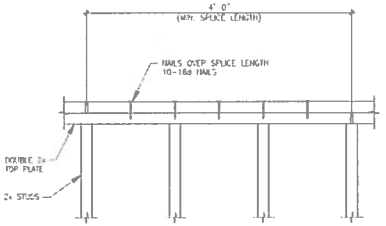


5 **DETAIL - TYP. WALL CORNER**
SCALE NTS

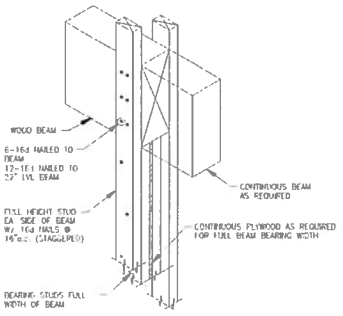


7 **DETAIL - TYP. WALL INT.**
SCALE NTS

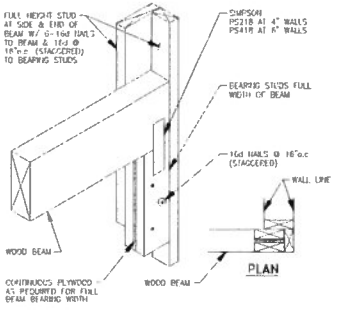
8 **DETAIL - ROOF POST**
SCALE NTS



9 **DETAIL - TOP PLATE SPLICE**
SCALE NTS



10 **DETAIL - POST IN WALL (PIW)**
SCALE NTS



11 **DETAIL - POST IN WALL (PIW)**
SCALE NTS

Structural Engineers

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315 Army Blvd., San Antonio, Texas

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STATE OF TEXAS
ALLEN WOTH SHELLY
97365
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PROFESSIONAL ENGINEER

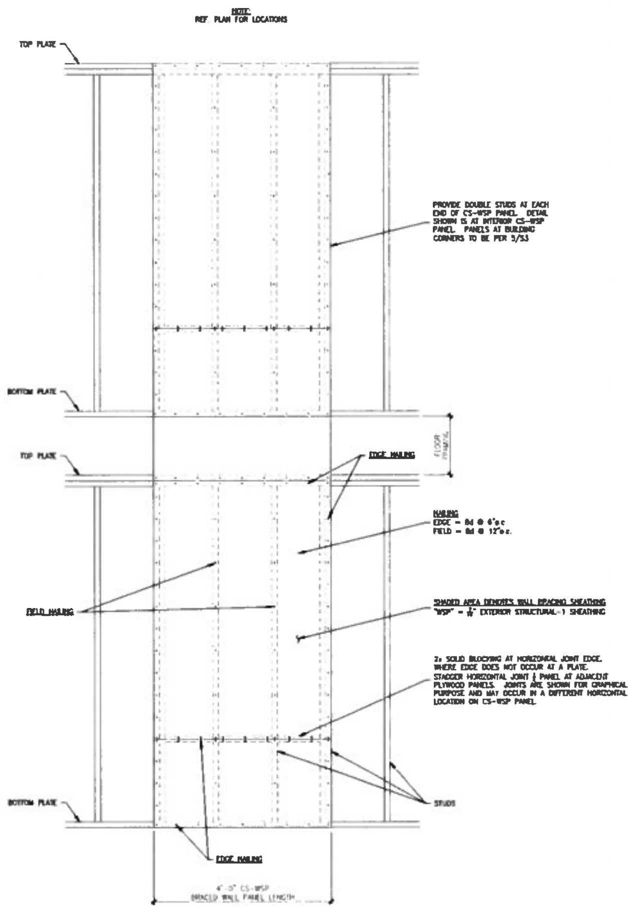
REVISIONS

No	Description	Date

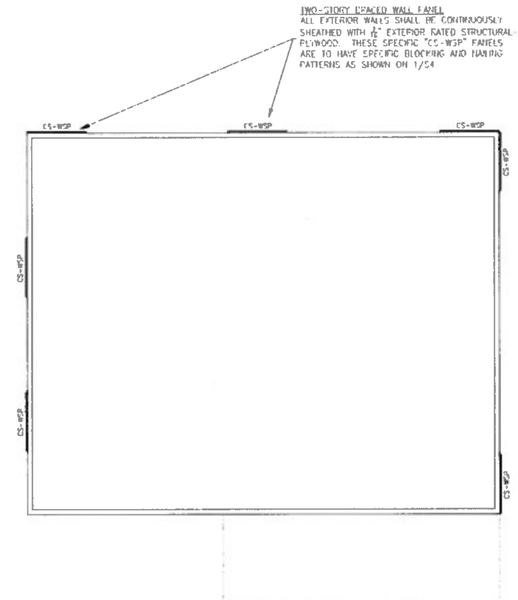
AC.LLC PROJ NO.: 040-003-017-00
DATE: 10/20/2017
DRAWN BY: RR
CHECKED BY: AKS
BLDG. NO.

SECTIONS & DETAILS

SHEET
S3


NOTE:
REF. PLAN FOR LOCATIONS
TOP PLATE
PROVIDE DOUBLE STUDS AT EACH END OF CS-WSP PANEL. DETAIL SHOWN IS AT INTERIOR CS-WSP PANEL. PANELS AT BUILDING CORNERS TO BE PER 5/S3
BOTTOM PLATE
FLOOR FRAMING
TOP PLATE
EDGE NAILING
NAILING
EDGE = 8d @ 6"o.c.
FIELD = 8d @ 12"o.c.
FIELD NAILING
SHADED AREA DENOTES WALL BRACING SHEATHING
STAGGER HORIZONTAL JOINT ½ PANEL AT ADJACENT PLYWOOD PANELS. JOINTS ARE SHOWN FOR GRAPHICAL PURPOSE AND MAY OCCUR IN A DIFFERENT HORIZONTAL LOCATION ON CS-WSP PANEL.
BOTTOM PLATE
STUDS
EDGE NAILING
BRACED WALL PANEL LENGTH

1 **DETAIL - TYP. CS-WSP BRACED WALL PANEL COMPONENTS**
SCALE: N.T.S.


TWO-STORY BRACED WALL PANEL
ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH EXTERIOR RATED STRUCTURAL-1 PLYWOOD. THESE SPECIFIC "CS-WSP" PANELS ARE TO HAVE SPECIFIC BLOCKING AND NAILING PATTERNS AS SHOWN ON 1/S4
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP

CS-WSP BRACED WALL PANEL FRAMING PLAN
SCALE: 1/4" = 1'-0"

Structural Engineers

BURNETTE RESIDENCE
315 Army Blvd., San Antonio, Texas

DATE: 10/20/17

STATE OF TEXAS
ALLEN KEITH SHELLEY
97595
LICENSED
PROFESSIONAL ENGINEER

REVISIONS		
No	Description	Date

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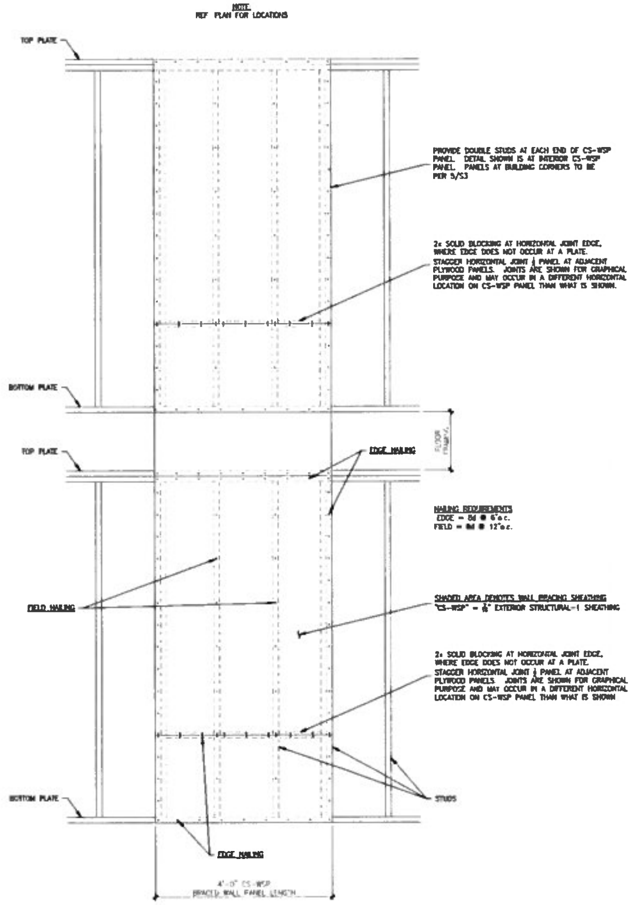
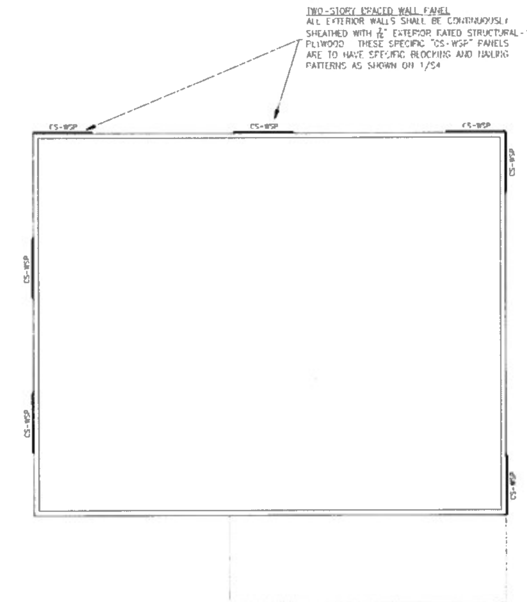
BRACED WALL FRAMING

SHEET
S4


NOTE:
REF PLAN FOR LOCATIONS
TOP PLATE
PROVIDE DOUBLE STUDS AT EACH END OF CS-WSP PANEL. DETAIL SHOWN IS AT INTERIOR CS-WSP PANEL. PANELS AT BUILDING CORNERS TO BE PER 5/S3
2x SOLID BLOCKING AT HORIZONTAL JOINT EDGE, WHERE EDGE DOES NOT OCCUR AT A PLATE.
STAGGER HORIZONTAL JOINT ½ PANEL AT ADJACENT PLYWOOD PANELS. JOINTS ARE SHOWN FOR GRAPHICAL PURPOSE AND MAY OCCUR IN A DIFFERENT HORIZONTAL LOCATION ON CS-WSP PANEL THAN WHAT IS SHOWN.
BOTTOM PLATE
TOP PLATE
EDGE NAILING
NAILING REQUIREMENTS
EDGE = 8d @ 6" o.c.
FIELD = 8d @ 12" o.c.
FIELD NAILING
SHADED AREA DENOTES WALL BRACING SHEATHING
"CS-WSP" = 7/16" EXTERIOR STRUCTURAL-1 SHEATHING
2x SOLID BLOCKING AT HORIZONTAL JOINT EDGE, WHERE EDGE DOES NOT OCCUR AT A PLATE.
STAGGER HORIZONTAL JOINT ½ PANEL AT ADJACENT PLYWOOD PANELS. JOINTS ARE SHOWN FOR GRAPHICAL PURPOSE AND MAY OCCUR IN A DIFFERENT HORIZONTAL LOCATION ON CS-WSP PANEL THAN WHAT IS SHOWN
STUDS
BOTTOM PLATE
EDGE NAILING
4'-0" CS-WSP
BRACED WALL PANEL LENGTH

1 DETAIL - TYP. CS-WSP BRACED WALL PANEL COMPONENTS

SCALE: N T S


TWO-STORY BRACED WALL PANEL
ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 7/16" EXTERIOR RATED STRUCTURAL-1 PLYWOOD. THESE SPECIFIC "CS-WSP" PANELS ARE TO HAVE SPECIFIC BLOCKING AND NAILING PATTERNS AS SHOWN ON 1/S4
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP
CS-WSP

CS-WSP BRACED WALL PANEL FRAMING PLAN

SCALE: 1/4" = 1'-0"

Structural Engineers

BURNETTE RESIDENCE
315 Army Blvd., San Antonio, Texas

DATE: 10/28/17

STATE OF TEXAS
ALLEN KEITH SHELLEY
LICENSED PROFESSIONAL ENGINEER

REVISIONS

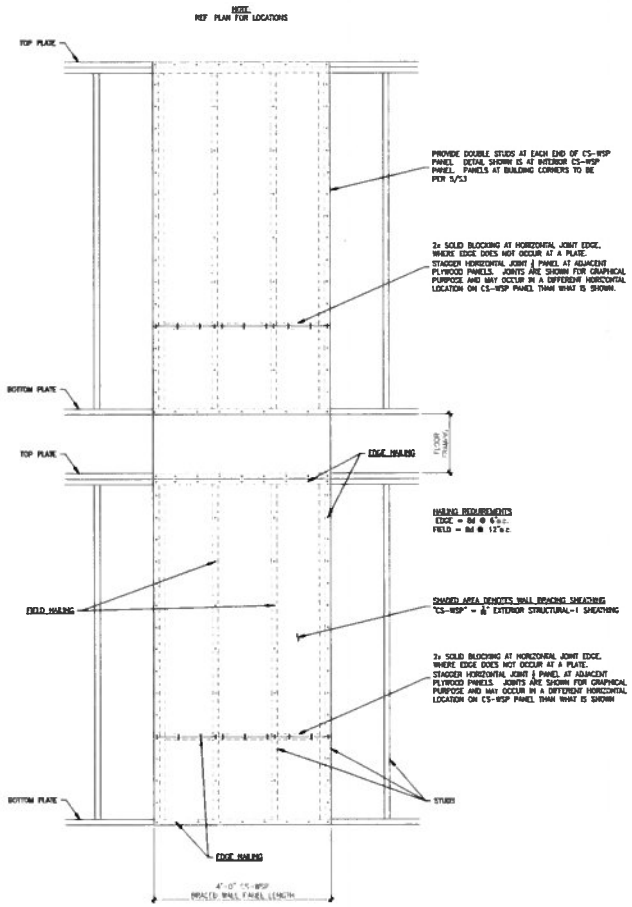
No	Description	Date
1	Revision-1	[illegible]

AC,LLC PROJ. NO. - [illegible]
DATE: [illegible]
DRAWN BY: [illegible]
CHECKED BY: AKS
BLDG. NO.

BRACED WALL FRAMING

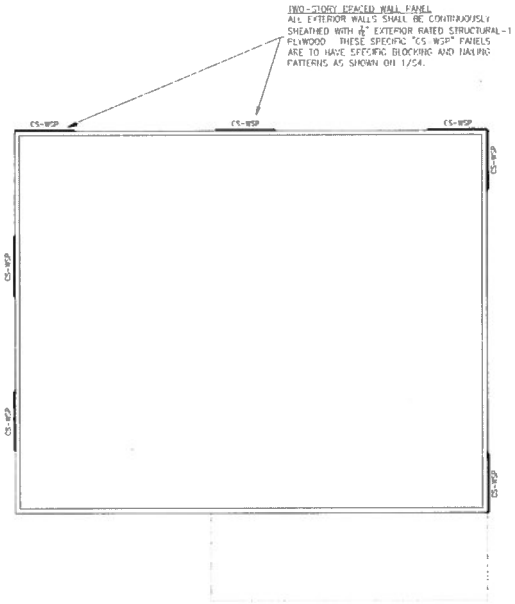
SHEET

S4



1 DETAIL - TYP. CS-WSP BRACED WALL PANEL COMPONENTS

SCALE: NTS



CS-WSP BRACED WALL PANEL FRAMING PLAN

SCALE: 1/4" = 1'-0"

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BURNETTE RESIDENCE

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DATE: 10/26/17

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PROFESSIONAL ENGINEER

REVISIONS

No.	Description	Date
1	Revision-1	01-05-2

ACLLC PROJ. NO. - 040-003-017-0

DATE: 10/26/2017

DRAWN BY: KH

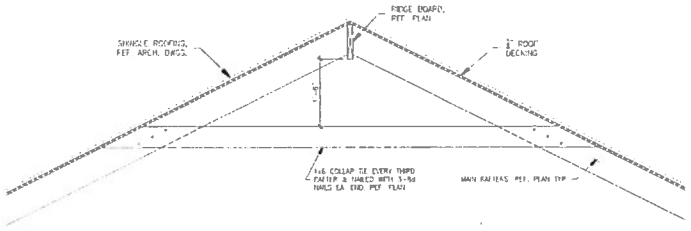
CHECKED BY: AKS

BLDG. NO.

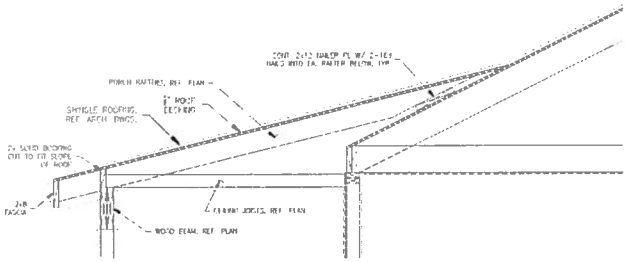
BRACED WALL FRAMING

SHEET

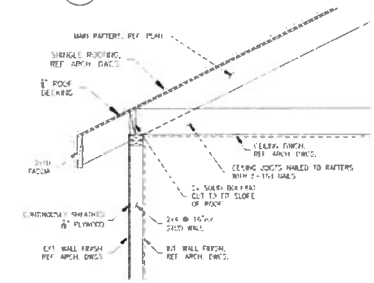
S4



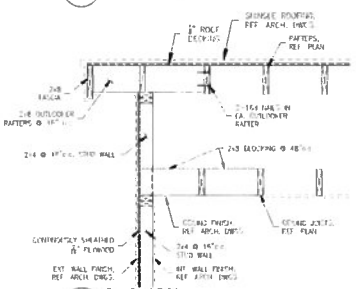
1 SECTION
SCALE 3/4" = 1'-0"



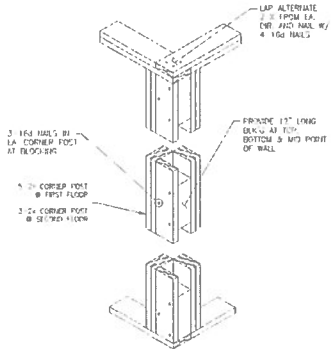
2 SECTION
SCALE 3/4" = 1'-0"



3 SECTION
SCALE 3/4" = 1'-0"



4 SECTION
SCALE 3/4" = 1'-0"



5 DETAIL - TYP. WALL CORNER
SCALE NTS

HEADER SCHEDULE:

U.N.O., HEADERS SHALL BE AS SHOWN ON THIS HEADER SCHEDULE.

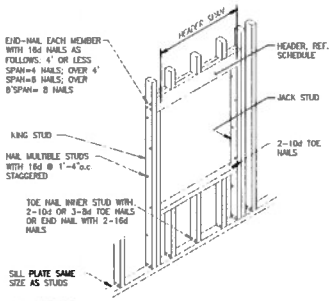
2x6 WALLS

MAXIMUM SPAN	FIRST FLOOR	SECOND FLOOR
2'-0"	3-2x6	2-2x6
4'-0"	3-2x6	3-2x6
6'-0"	3-2x8	3-2x8
8'-0"	3-2x10	3-2x8
10'-0"	3-2x12	3-2x10

2x8 WALLS

MAXIMUM SPAN	FIRST FLOOR	SECOND FLOOR
2'-0"	2-2x6	2-2x6
4'-0"	2-2x8	2-2x6
5'-0"	2-2x10	2-2x8
6'-0"	2-2x12	2-2x10
8'-0"	2-1¾"x9¼" LVL	2-2x12
10'-0"	2-1¾"x11¾" LVL	2-1¾"x9¼" LVL

ALL SECOND FLOOR NON-LOAD BEARING HEADERS SHALL BE 1-2x4 FLAT.



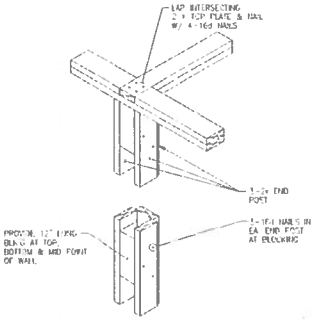
JACK & KING STUDS:

MAXIMUM SPAN	JACK STUD	KING STUD
2'-0"	1-STUD	1-STUD
4'-0"	1-STUD	1-STUD
6'-0"	1-STUD	2-STUD
8'-0"	1-STUD	2-STUDS
10'-0"	2-STUDS	3-STUDS

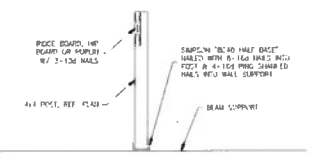
2x4 NON-LVL WALL HEADERS SHALL BE FLITCHED W/ 1-LAYER OF ½" PLYWOOD

2x6 NON-LVL WALL HEADERS SHALL BE FLITCHED W/ 2-LAYERS OF ½" PLYWOOD

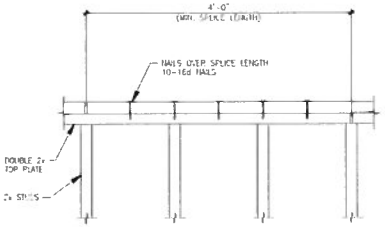
6 DETAIL - TYP. HEADER
SCALE NTS



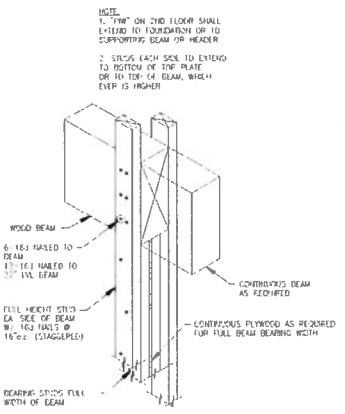
7 DETAIL - TYP. WALL INT.
SCALE NTS



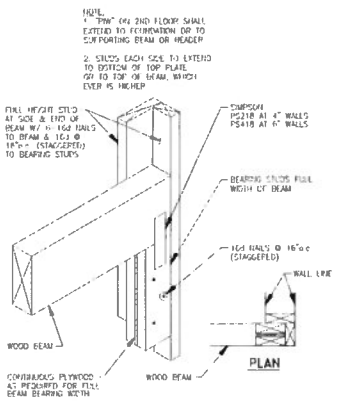
8 DETAIL - ROOF POST
SCALE NTS



9 DETAIL - TOP PLATE SPLICE
SCALE NTS



10 DETAIL - POST IN WALL (PIW)
SCALE NTS



11 DETAIL - POST IN WALL (PIW)
SCALE NTS

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BURNETTE RESIDENCE
315 Army Blvd., San Antonio, Texas

DATE: 10/2/2017

STATE OF TEXAS
ALLEN KEITH SHELLEY
97549
LICENSED
PROFESSIONAL ENGINEER

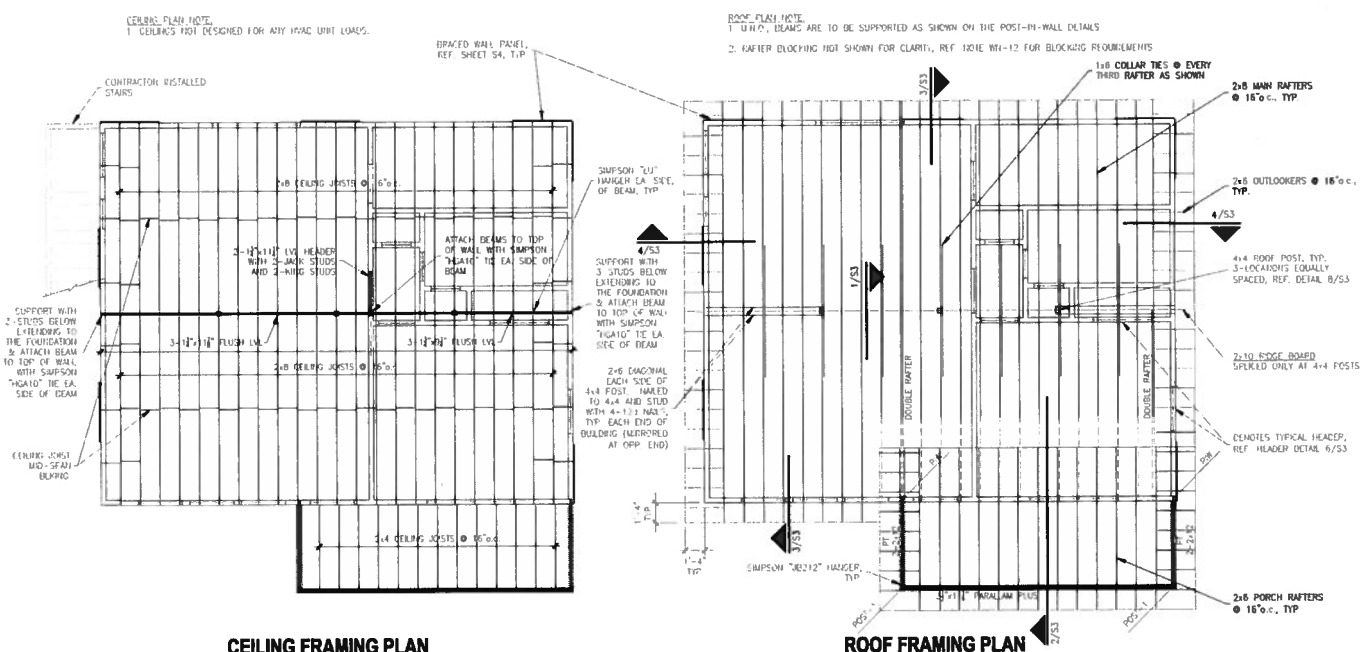
REVISIONS

No	Description	Date
1	Revised	11-24-17

ACALC PROJ NO.: 040-003-017-01
DATE: 10/2/2017
DRAWN BY: RR
CHECKED BY: AKS
BLDG NO:

SECTIONS & DETAILS

SHEET
S3

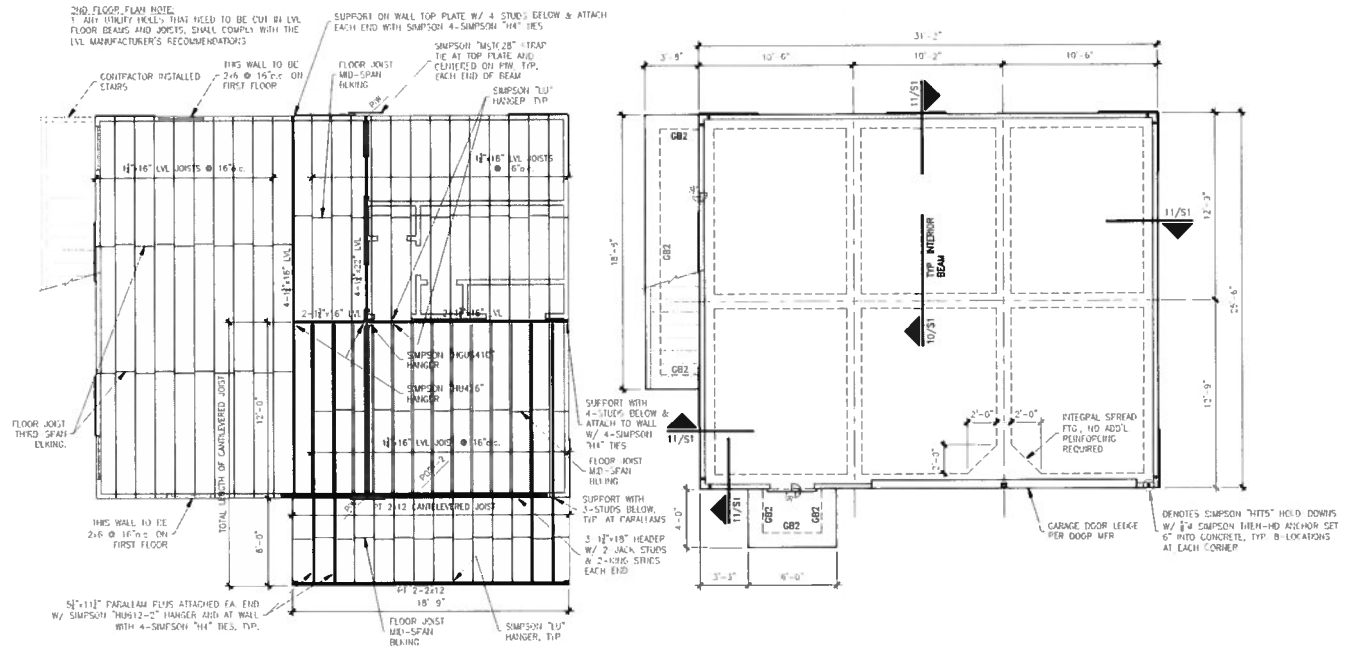


CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION FRAMING PLAN

SCALE: 1/4" = 1'-0"

NAILING SCHEDULE

CONNECTION	NAILING
JOIST TO PLATE OR BEAM, TOENAIL	(3) 8d
BLOCKING TO JOIST OR RAFTERS, TOENAIL EACH END	(2) 8d
BLOCKING BETWEEN JOIST OR RAFTER TO TOP PLATE, TOE NAIL	(3) 8d
RAFTER TO PLATE OR BEAM, TOE NAIL	(3) 16d
TOP PLATE TO STUD, FACE NAIL	(2) 16d
SILL PLATE TO STUD, FACE NAIL	(2) 16d
MULTIPLE BUILT UP STUDS, FACE NAIL EACH STUD	16d AT 16"o.c. STAGGERED
DOUBLE TOP PLATE, FACE NAIL	16d AT 16"o.c. STAGGERED
DOUBLE TOP PLATE, LAPS AND INTERSECTIONS, FACE NAIL	(4) 16d
DOUBLE HEADER OR BEAM, TWO PIECES	16d AT 16"o.c. STAGGERED
RAFTER TO RIDGE, VALLEY OR HIP BOARD, TOE NAIL	(4) 16d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d
HIP BOARD TO PLATE, TOE NAIL	(4) 16d
2ND FLOOR BOTTOM PLATE TO JOISTS OR BLOCKING	(2) 16d AT 16"o.c.

NOTES:

1. MINIMUM NAILING SPECIFIED HEREON SHALL BE PROVIDED UNLESS NOTED OTHERWISE ON DETAILS, SECTIONS OR STRUCTURAL NOTES.
2. U.N.O., COMMON OR BOX NAILS MAY BE USED. 16d NAILS MAY BE EITHER COMMON OR SINKER.
3. DOUBLE TOP PLATE SPLICES TO HAVE MINIMUM 24-INCH OFFSETS. SPLICES MUST OCCUR OVER STUDS.

POST SCHEDULE:

POST-1 – 4x4 PT WOOD POST – TOP=SIMPSON "PC44", BOTTOM=SIMPSON "BC40"

POST-2 – 5¼"x5¼" PARALLAM POST – TOP=SIMPSON "CC05-6SDS2.5", BOTTOM=SIMPSON "ABU5-5" BASE W/ ⅝"ø SIMPSON TITEN-HD ANCHOR SET 8" INTO CONCRETE. FULLY GROUT VOID UNDER BASE WITH 5,000psi, NOT-SHRINK GROUT

PRW – POST-IN-WALL PER DETAILS 10/S3 & 11/S3

GRADE BEAM SCHEDULE

MARK	W x D	MAIN REINFORCING	STIRRUPS
GB1	12 x 36	2-#7 TOP & 2-#7 BOTTOM	#3 @ 18"o.c.
GB2	12 x 32.5	2-#6 TOP & 2-#6 BOTTOM	#3 @ 36"o.c.

FOUNDATION PLAN NOTES:

1. ALL GRADE BEAMS ARE MARK GB1, U.N.O.
2. SLAB THICKNESS AND BEAM DEPTHS SHALL NOT BE LESS THAN THE SCHEDULED VALUES. MAINTAIN THESE MINIMUM VALUES AT ALL DROPPED AND WARPED AREAS.
3. 6x6 W1.4xW1.4 WELDED WIRE FABRIC IS RECOMMENDED. TIED TO TOP OF MAT STEEL, IN SLED AND STAIRED CONCRETE AREAS. MAT IS IN ADDITION TO REQUIRED SLAB/BEAM STEEL (REF. ARCHITECTURAL FLOOR PLAN FOR LOCATION)
4. REF. DETAILS 5, 6 & 7 ON SHEET S1 FOR BEAM AND SLAB CONDUIT PENETRATIONS

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BURNETTE RESIDENCE
315 Amy Blvd, San Antonio, Texas

DATE: 10/20/17

REVISIONS

No	Description	Date
1	Revision-1	01-19

AC,LLC PROJ NO.: 040-053-017-4
DATE: 10/20/2017
DRAWN BY: RB
CHECKED BY: AKS
BLDG NO.

PLANS, NOTES & SCHEDULE

SHEET

S2

DESIGN LOADS:

ROOF LIVE LOAD: 20psf
ATTIC LIVE LOAD: 21psf (LIMITED ATTIC STORAGE)
SECOND FLOOR LIVE LOAD: 40psf
FOUNDATION LIVE LOAD: 50psf

WIND LOAD: 115mph, RISK CATEGORY-II, EXPOSURE-C

GENERAL NOTES:

GN-1 GOVERNING DESIGN CODE: IRC 2015.

GN-2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, ELEVATIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR AND FABRICATOR SHALL COORDINATE ALL REQUIREMENTS OF OTHER TRADES PRIOR TO FABRICATION OR INSTALLATION. NOTIFY ARCHITECT/ENGINEER (A/E) TEAM IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES.

GN-3 CONFLICTS BETWEEN DRAWINGS, NOTES AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E TEAM. WORK SHALL NOT PROCEED UNTIL A WORKABLE ANSWER HAS BEEN GIVEN BY THE A/E TEAM. THE MOST STRINGENT REQUIREMENT SHALL BE USED UNLESS DIRECTED OTHERWISE BY A/E TEAM.

GN-4 ALL UTILITY CONDUIT PENETRATING BUILDING SHALL BE FLEXIBLE AND ALLOW FOR DIFFERENTIAL MOVEMENT.

GN-5 THE ENGINEER SHALL NOT BE RESPONSIBLE FOR TEMPORARY SHORING, CONSTRUCTION MEANS & METHODS, CONSTRUCTION TECHNIQUES, CONSTRUCTION SEQUENCES, WATERPROOFING, DRAINAGE, JOB SITE CONDITIONS AND JOB SITE SAFETY DURING THE COURSE OF CONSTRUCTION.

GN-6 THE PROPOSED STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL CONSTRUCTION LOADS THAT WILL BE APPLIED TO THE PARTIALLY COMPLETED STRUCTURE. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE PARTIALLY COMPLETED STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

EARTHWORK NOTES:

EW-1 BEFORE ANY CONSTRUCTION IS BEGUN, PERFORM ROUGH GRADING AND CUT SWALES SO THAT GROUNDSIDE WILL DRAIN AWAY FROM THE BUILDING. MAINTAIN DRAINAGE DURING ALL PHASES OF CONSTRUCTION SO THAT STORM WATER WILL BE CONDUCTED AWAY FROM THE BUILDING. KEEP EXCAVATIONS PUMPED FREE OF STORM WATER AT ALL TIMES.

EW-2 PRECAUTIONS SHALL BE TAKEN TO PROTECT OPEN EXCAVATIONS FROM EXCESSIVE LOSS OR GAIN IN NATURAL MOISTURE LEVEL PRIOR TO PLACEMENT OF BASE MATERIAL. KEEP MOIST DURING DRY WEATHER AND KEEP STORM WATER PUMPED OUT, INCLUDING NIGHTS AND WEEKENDS, DURING RAINS.

EW-3 IN THE AREA OCCUPIED BY THE FOUNDATION PLUS 3'-0", REMOVE A MINIMUM OF 1'-0" OF THE EXISTING SOIL INCLUDING ALL ORGANIC MATERIAL, LOOSE ROCKS/SOIL, ROOTS, TRASH, ETC. FROM THE SITE. IF REQUIRED DUE TO EXISTING GRADE, REMOVE ADDITIONAL SOIL AS REQUIRED TO ALLOW FOR A MINIMUM 1'-0" OF SELECT FILL BELOW THE SOFFIT OF THE PROPOSED SLAB. THE REMOVED SOIL SHALL NOT BE USED AS FILL UNDER THE FOUNDATION.

EW-4 AFTER EXCAVATION, THE RESULTING SUBGRADE SHALL BE PROOFROLLED WITH A FULLY LOADED DUMP TRUCK (15 TON MIN.), TO LOCATE ANY SOFT SPOTS. A MINIMUM OF 3 PASSES OF THE TRUCK IS REQUIRED. ANY SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT FILL. TRENCH FOR THE REQUIRED BEAM PENETRATIONS INTO NATURAL OR UNDISTURBED EXISTING GRADE. AFTER TRENCHING, THE AREA SHALL THEN BE BUILT-UP TO THE SOFFIT OF THE PROPOSED SLAB WITH COMPACTED SELECT FILL.

EW-5 FACES OF GRADE BEAMS ARE TO BE FORMED WITH "BAGGED" COMPACTED SELECT FILL. THE SELECT FILL BETWEEN BAGS SHALL BE "3/4 TO DUST" MANUFACTURED BASE MATERIAL, HAND COMPACTED.

EW-6 THE FILL WITHIN THE BAGGED AREA SHALL BE PLACED IN 8" LIFTS AND HAND COMPACTED. THE TOP 4" SHALL BE FREE DRAINING CLEAN CRUSHED STONE, GRADED 1/4" TO 1/2". COMPACT EACH LIFT OF THE SELECT FILL TO A DENSITY OF 95% OF STANDARD PROCTOR, WHICH SHALL BE VERIFIED BY FIELD TESTS.

EW-7 EMPLOY AN INDEPENDENT TESTING LABORATORY TO TAKE FIELD TESTS TO VERIFY COMPACTION OF FILL. TESTS SHALL INCLUDE FIELD DENSITY AND MOISTURE CONTENT TESTS ON EACH LIFT AND EVERY 5,000 SQ. FT. PER LIFT (MINIMUM OF 3 TESTS PER LIFT). THE TEST REPORTS SHOULD BE SUBMITTED TO THE A/E TEAM FOR REVIEW AND APPROVAL.

EW-8 THE FINISH GRADE AT THIS SITE MUST BE GRADED TO ENSURE POSITIVE DRAINAGE OF ALL WATER AWAY FROM THE FOUNDATION.

EW-9 TREES PLANTED AFTER FOUNDATION CONSTRUCTION SHALL BE PLANTED NO CLOSER TO THE FOUNDATION THAN ONE-HALF THE POTENTIAL HEIGHT OF THE TREE.

EW-10 EXCAVATING THE EXISTING ROCK STRATA MAY BE DIFFICULT AT THIS SITE. THE EXCAVATOR SHOULD HAVE EXPERIENCE IN THIS AREA AND EXPECT TO USE HEAVY ROCK EXCAVATING EQUIPMENT.

EW-11 MAXIMUM COMPACTED SELECT FILL TOTAL THICKNESS SHALL BE 48". CONTRACTOR SHALL DETERMINE, PRIOR TO CONSTRUCTION, IF TOTAL THICKNESS WILL BE MORE THAN 48". IF IT IS, CONTACT A/E TEAM FOR FURTHER DIRECTIONS. FOUNDATION MAY REQUIRE DEEPENED BEAMS OR CONCRETE PIERS.

FOUNDATION NOTES:

FN-1 SLAB SHALL BE A 5" CONCRETE SLAB REINFORCED W/ #4 @ 12"o.c. EACH WAY. SUPPORT AT 4'-0"o.c. EACH WAY AND SUPPORT BOTTOM BEAM REINFORCEMENT AT 4'-0" INTERVALS. SUPPORT REBAR WITH PLASTIC CHAIRS, METAL CHAIRS OR SOLID CONCRETE BRICKS (NO BLOCKS OR CLAY BRICKS).

FN-2 PROVIDE A MINIMUM OF 10 MIL. YELLOW STEGO WRAP VAPOR RETARDER BENEATH THE SLAB. THE VAPOR RETARDER SHALL BE LAPPED 12" AT SPLICES. TAPE ALL SPLICES AND TEARS WITH RED STEGO WRAP TAPE. EXTEND VAPOR RETARDER TO WITHIN 12" OF BOTTOM OF BEAM TRENCHES.

FN-3 ALL BEAM SOFFITS SHALL BEAR 24" MINIMUM INTO NATURAL UNDISTURBED EXISTING GRADE. IF NECESSARY DUE TO GRADES, INCREASE SCHEDULED BEAM DEPTH AS REQUIRED FOR SOFFIT TO BEAR 24" MINIMUM INTO EXISTING GRADE. BEAMS MUST BEAR FLAT ON SUBGRADE. DO NOT SLOPE SOFFITS. BEAM BEARINGS MAY BE STEPPED AS NECESSARY DUE TO GRADES. REFER TO DETAIL 4/S1 FOR STEPPING OF BEAM AND REBAR.

FN-4 GRADE BEAMS AND SLAB THICKENING, BELOW EXISTING GRADE, SHALL BE FORMED BY WALLS AND SOFFIT OF CAREFULLY SHAPED TRENCH. USE A SMOOTH-MOUTHED BUCKET. IF A TOOTHED BUCKET IS USED, EXCAVATION SHALL BE STOPPED 6" ABOVE FINAL GRADE AND THE REMAINING EXCAVATION ACCOMPLISHED WITH A SMOOTH MOUTHED BUCKET OR BY HAND LABOR TO REMOVE ALL LOOSE SOILS DISTURBED BY THE BUCKET TEETH. WOOD-FORM EXPOSED FACES TO A DEPTH OF 8" BELOW FINISHED GRADE.

FN-5 AT ALL BEAM CORNERS & T-INTERSECTIONS, PROVIDE MATCHING SIZE L-SHAPED CORNER BARS FOR ALL HORIZONTAL BARS. EACH CORNER BAR SHALL HAVE 40-BAR DIAMETER LENGTHS FOR EACH LEG, REF. DETAIL 8/S1.

FN-6 TRENCHES SHALL BE VERIFIED, BY CONTRACTOR, FOR SIZE TO MAINTAIN CLEARANCES AROUND REINFORCEMENT PRIOR TO PLACING REINFORCEMENT.

FN-7 WHERE BEAM DEPTH EXCEEDS 36", ADD #3 @ 12"o.c. IN EACH FACE OF BEAM AND PLACE STIRRUPS @ 12"o.c.

FN-8 THE EXISTING SOIL AT THE SITE IS EXPANSIVE. SOME DIFFERENTIAL FOUNDATION MOVEMENT AND CONCRETE CRACKING IS A POSSIBILITY.

SITE OBSERVATION NOTE:

SO-1 CONTRACTOR MUST CONTACT ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR SITE OBSERVATIONS. SITE OBSERVATIONS REQUIRED ARE FOR VISUAL OBSERVATION OF ALL STRUCTURAL ITEMS PRIOR TO COVER UP WITH CONCRETE, ROOFING, SHEATHING WRAP OR ARCHITECTURAL FINISH MATERIALS. SITE OBSERVATIONS ARE REQUIRED TO CONFIRM THAT THE STRUCTURE IS IN GENERAL CONFORMANCE TO THE STRUCTURAL PLANS.

CONCRETE NOTES:

CN-1 CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301 AND ACI 318.

CN-2 CONCRETE SHALL BE NORMAL WEIGHT WITH A 3,000psi 28-DAY COMPRESSIVE STRENGTH MIN. AGGREGATE SIZE SHALL BE 3/4" AND MAX WATER CEMENT RATIO SHALL BE 0.50. ALL AGGREGATE SHALL COMPLY WITH ASTM C33.

CN-3 CEMENT SHALL BE A SINGLE BRAND OF PORTLAND CEMENT AND COMPLY WITH ASTM C-150, TYPE I OR TYPE II. FLY ASH WILL BE PERMITTED UP TO 20% PORTLAND CEMENT REPLACEMENT.

CN-4 U.N.O., CONCRETE REBAR CLEAR COVER SHALL BE AS FOLLOWS: 2" NOT ADJACENT TO SOIL AND 3" ADJACENT TO SOIL.

CN-5 ALL REBAR AND WELDED SHALL BE ADEQUATELY SECURED IN PLACE TO PREVENT MOVEMENT, PRIOR TO CONCRETE POUR.

CN-6 REBAR SHALL COMPLY WITH ASTM-615 GRADE 60. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM-A185 70ksi MINIMUM YIELD STRENGTH (USE FLAT SHEETS ONLY). ALL REINFORCING SHALL BE FREE OF RUST, SCALE, DIRT, OIL, DRIED CONCRETE OR ANY OTHER DELETERIOUS COATINGS THAT MAY PREVENT BONDING WITH CONCRETE.

CN-7 CONCRETE SHALL BE MIXED AND DELIVERED PER ASTM C-94.

CN-8 CONCRETE SHALL BE PLACED, FINISHED AND CURED PER ACI 302.1R. CONTRACTOR SHALL VERIFY FLATNESS/LEVELNESS REQUIREMENTS WITH ARCHITECT AND OWNER. CONCRETE CURING COMPOUND MUST BE DISSIPATING TYPE AND BE COMPATIBLE WITH FLOORING. CONCRETE TOLERANCES SHALL BE PER ACI 117.

CN-9 CONCRETE SHALL COMPLY WITH ACI 305 FOR HOT WEATHER CONCRETE AND ACI 306 FOR WINTER CONCRETE.

CN-10 CONCRETE FORMWORK SHALL COMPLY WITH ACI 347.

CN-11 DETAILING OF REBAR AND ACCESSORIES SHALL BE IN ACCORDANCE WITH LATEST ACI SP-66 DETAILING MANUAL. BAR SUPPORTS FOR SUSPENDED CONCRETE SHALL HAVE PLASTIC COATED LEGS OR BE HOT-DIPPED GALVANIZED AFTER FABRICATION. BAR SUPPORTS FOR ON-GRADE CONCRETE MAY BE SUPPORTED WITH SOLID CONCRETE BRICKS HAVING A COMPRESSIVE STRENGTH AT LEAST EQUAL TO THAT OF THE CONCRETE.

CN-12 U.N.O. THE MINIMUM REBAR LAPS AND SPLICES SHALL BE AS FOLLOWS: #4=28", #5=34", #6=42", #7=48", #8=54".
SPIRALS SHALL BE LAPPED 1-1/2" MINIMUM. WELDED WIRE FABRIC SHALL BE LAPPED 8" MINIMUM AT SPLICE POINTS, OR 1-1/2 MESHES, WHICHEVER IS GREATEST.

CN-13 CONCRETE SHALL BE PLACED MONOLITHICALLY WITH NO CONSTRUCTION JOINTS. CONSTRUCTION JOINT DETAILS ARE SHOWN IF IT IS DESIRED TO POUR FOUNDATION IN TWO-POURS. CONTRACTOR SHALL PLACE CONSTRUCTION JOINTS ONLY IN THE MIDDLE THIRD OF BEAM SPANS AND SUBMIT CONSTRUCTION JOINT LAYOUT PLAN TO A/E TEAM FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION.

CN-14 SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZES OF ALL SLAB PENETRES, DROPS, DEPRESSIONS, OPENINGS, SLEEVES, INSERTS AND ANCHORS REQUIRED BY ABOVE.

CN-15 COORDINATE REBAR PLACEMENT WITH WITH ALL POST-INSTALLED ANCHOR BOLTS. DO NOT DAMAGE REBAR DURING ANCHOR BOLT INSTALLATION.

CN-16 MECHANICAL AND ELECTRICAL CONDUITS IN SLABS-ON-GRADE SHALL RUN UNDER THE TOP LAYER OF SLAB REINFORCING AND WITHIN THE MIDDLE THIRD OF SLAB DEPTH. PROVIDE A MINIMUM OF 1-1/2" CLEAR BETWEEN INDIVIDUAL CONDUITS, AND BETWEEN CONDUIT AND PARALLEL REINFORCING. DO NOT "BUNDLE" CONDUITS. MAXIMUM CONDUIT SIZE FOR CONDUITS RUNNING WITHIN SLAB IS 1"O.D. CONDUITS LARGER THAN 1"O.D. SHALL BE PLACED AND RUN UNDER THE SLAB IN THE FILL AND SUBGRADE. FOR CONDUITS PENETRATING GRADE BEAMS AND SLAB REF. DETAILS ON SHEET S1.

CN-17 AREAS WHERE EXCAVATION IS TO BE MADE SHALL BE RESEARCHED AND/OR PROBED FOR UNDERGROUND UTILITIES BEFORE ANY EXCAVATION IS BEGUN.

CN-18 CONTRACTOR SHALL HAVE AN INDEPENDENT TESTING LABORATORY TAKE SAMPLES AND PERFORM SLUMP, CONCRETE TEMPERATURE AND COMPRESSION TESTS PER ASTM C-39. A SET OF SIX CYLINDERS (3-DAY, 7-DAY AND 28-DAY) SHALL BE MADE FOR EACH DESIGN MIX, BATCH AND FOR EVERY 100 CU. YDS. OF CONCRETE PLACED. THE TEST REPORTS SHOULD BE SUBMITTED TO THE A/E TEAM FOR REVIEW AND APPROVAL.

CN-19 CONTRACTOR MUST SUBMIT REBAR SHOP DRAWINGS AND CONCRETE MIX DESIGN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND CONSTRUCTION.

CN-20 ALL SMOOTH SLIP DOWELS IN CONCRETE AND/OR CMU TO BE PLACED STRAIGHT AND PARALLEL.

CN-21 CONTRACTOR MUST NOTIFY A/E TEAM AT LEAST 48 HOURS PRIOR TO CONCRETE POUR, FOR REBAR SITE OBSERVATION VISIT.

WOOD NOTES:

WN-1 U.N.O., ALL LUMBER SHALL CONSIST OF NO.2 S. DOUGLAS FIR LARCH OR BETTER. LUMBER NOTED AS "LVL" SHALL BE MICRORAM LVL 2.0E BY TRUSS JOIST. LUMBER NOTED AS "PSL" SHALL BE PARALLAM PSL 2.2E BY TRUSS JOIST. LUMBER NOTED AS "PARALLAM PLUS" SHALL BE PRESSURE TREATED PARALLAM PLUS PSL SERVICE LEVEL-2 BY TRUSS JOIST.

WN-2 ALL LUMBER SHALL BE GRADE STAMPED.

WN-3 ALL SILLS ON CONCRETE SHALL BE PRESSURE TREATED.

WN-4 ALL NAILS, BOLTS, NUTS AND WASHERS CONNECTING PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED.

WN-5 ROOF DECKING SHALL BE 5/8" EXTERIOR RATED STRUCTURAL 1, PLYWOOD WITH TONGUE AND GROOVE EDGES OR PLYCLIPS. USE 8d NAILS @ 6"o.c. AT PLYWOOD END JOINTS, WALL SHEATHING, BLOCKING, FASCIA BOARD AND BEAM SUPPORTS. USE 8d NAILS @ 12"o.c. @ PLYWOOD INTERMEDIATE SUPPORTS.

WN-6 FLOOR DECKING SHALL BE 3/4" EXTERIOR STRUCTURAL 1, PLYWOOD WITH TONGUE AND GROOVE EDGES. USE 8d NAILS @ 6"o.c. AT PLYWOOD END JOINTS, WALL SUPPORTS AND BEAM SUPPORTS. USE 8d NAILS @ 10"o.c. @ PLYWOOD INTERMEDIATE SUPPORTS (FIELD NAILING). FLOOR DECKING SHALL BE GLUED AND NAILED.

WN-7 ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 7/16" EXTERIOR RATED STRUCTURAL-1 PLYWOOD. SPECIFIC SHEATHING AND NAILING FOR WOOD STRUCTURAL PANEL "CS-WSP" WALL BRACING SHALL BE PER WALL BRACING DETAILS. ALL OTHER AREAS OF THE WALL SHEATHING CAN BE NAILED PER CONTRACTOR'S AND CITY OF SAN ANTONIO RECOMMENDATIONS.

WN-8 PLACE PLYWOOD ROOF PANELS WITH LONG DIMENSION RUNNING PERPENDICULAR TO RAFTERS WITH END JOINTS STAGGERED 1/3 PANEL. PLACE PLYWOOD WALL WOOD STRUCTURAL PANELS "CS-WSP" WALL BRACING WITH LONG DIMENSION RUNNING PARALLEL (VERTICAL) TO STUDS WITH END JOINTS STAGGERED 1/3 PANEL. ALL OTHER AREAS OF THE WALL CAN BE SHEATHED PER CONTRACTOR'S AND CITY OF SAN ANTONIO RECOMMENDATIONS.

WN-9 U.N.O. PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. ALL EXTERIOR PERIMETER WALL SILL PLATES SHALL BE BOLTED TO FOUNDATION WITH (SAU) 5/8" ASH J-BOLTS SPACED AT 4'-0"o.c. MAXIMUM AT BREAKS IN SILL PLATE AND AT CORNERS PLACE J-BOLTS MAXIMUM OF 6" FROM END OF SILL PLATE. 2-BOLT MIN. PER PLATE. J-BOLT MINIMUM CONCRETE EMBEDMENT SHALL BE 7".

WN-10 U.N.O., STUDS SHALL BE DOUBLED AT ALL ANGLES, CORNERS, BEAM SUPPORTS AND AROUND ALL OPENINGS.

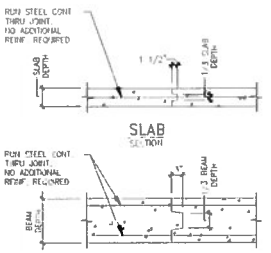
WN-11 ALL SIMPSON STRONG-TIE PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. U.N.O., ALL FACE MOUNTED JOIST TO BE ATTACHED WITH SIMPSON STRONG-TIE "U" HANGER FOR SINGLE MEMBERS AND "LUS" HANGER FOR DOUBLE MEMBERS.

WN-12 PROVIDE FULL DEPTH SOLID BLOCKING AT ALL RAFTER AND JOIST BEARING LOCATIONS. PROVIDE FULL DEPTH SOLID BLOCKING IN ALL RAFTER AND JOIST SPANS OVER 8'-0", SEE PLANS. MAXIMUM DISTANCE BETWEEN BLOCKING AND BEARING SHALL BE 8'-0". PROVIDE FULL DEPTH SOLID BLOCKING IN FLOOR JOISTS @ 48"o.c.

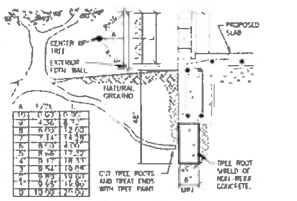
WN-13 CONTRACTOR MUST NOTIFY A/E TEAM AT LEAST 48 HOURS PRIOR TO WOOD STRUCTURE BEING COVERED BY ROOFING, SHEATHING WRAP AND ARCHITECTURAL FINISH, FOR SITE OBSERVATION VISIT.

WN-14 JOISTS, RAFTERS AND BEAMS MUST HAVE FULL BEARING ON SUPPORTING WALLS AND BEAMS.

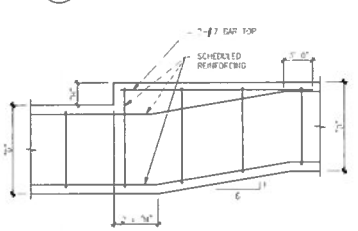
WN-15 U.N.O., ALL NAILING SHALL BE PER 2015 IRC.



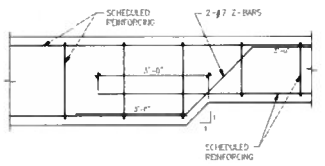
1 DETAIL - CONSTR. JOINTS
SCALE: NTS



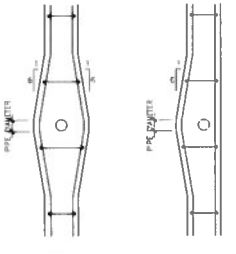
2 DETAIL - TREE ROOT SHIELD
SCALE: NTS



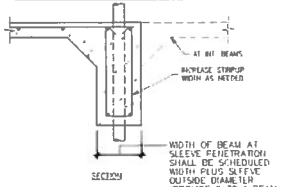
3 DETAIL - BEAM DROP
SCALE: NTS



4 DETAIL - BEAM DROP
SCALE: NTS

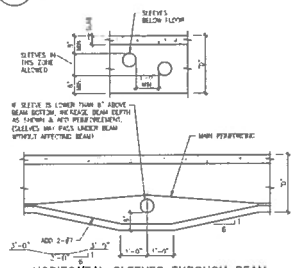


NOTE:
SLEEVES SHALL NOT RUN LONGITUDINALLY THRU BEAMS WITHOUT PRIOR APPROVAL OF ENGINEER

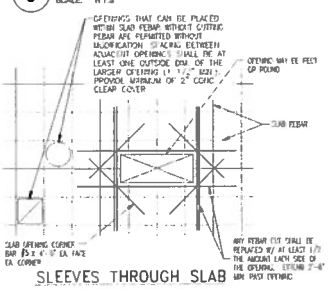


VERTICAL SLEEVES THROUGH BEAM

5 DETAIL
SCALE: NTS

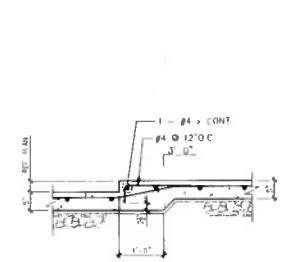


6 DETAIL
SCALE: NTS

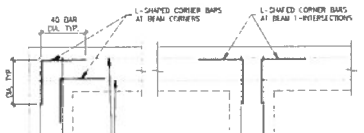


SLEEVES THROUGH SLAB

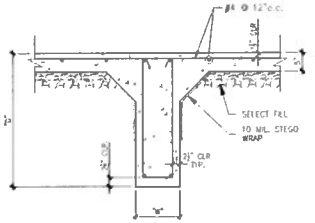
7 DETAIL
SCALE: NTS



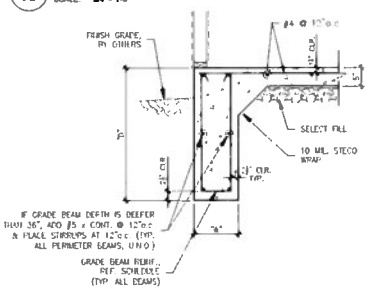
8 DETAIL - SLAB DROP
SCALE: NTS



9 DETAIL - BEAM CORNER BARS
SCALE: NTS



10 SECTION
SCALE: 3/4" = 1'-0"



11 SECTION
SCALE: 3/4" = 1'-0"

Khoubaich Consultants, LLC
Structural Engineers
114 WILLOW WAY
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PH: (210)219-1676
TX FIRM REG. F-15280

BURNETTE RESIDENCE
315 Army Blvd., San Antonio, Texas

DATE: 10/19/17

REVISIONS

No	Description	Date
1	Revision 1	01-04-18

ACAD FILE NO.: 648-853-017-B
DATE: 10/19/2017
DRAWN BY: RR
CHECKED BY: AKS

NOTES, DETAILS & SECTIONS

SHEET
S1

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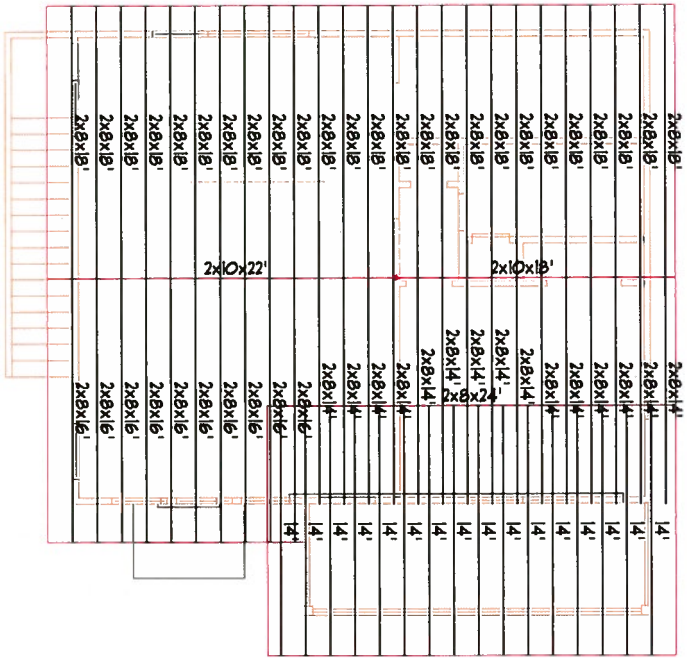

2X6 RAFTERS @ 16" O.C. U.N.O.

ROOF FRAMING

SCALE: N.T.S.

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520 CENTRAL PARKWAY EAST, SUITE 215
PLANO, TEXAS 75074
PHONE (830) 796-8777
WWW.,MATERIALESTIMATES.COM

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BURNETTE RESIDENCE
GARY MITCHAM CONTRACTORS

Sheet Number
3 of 3

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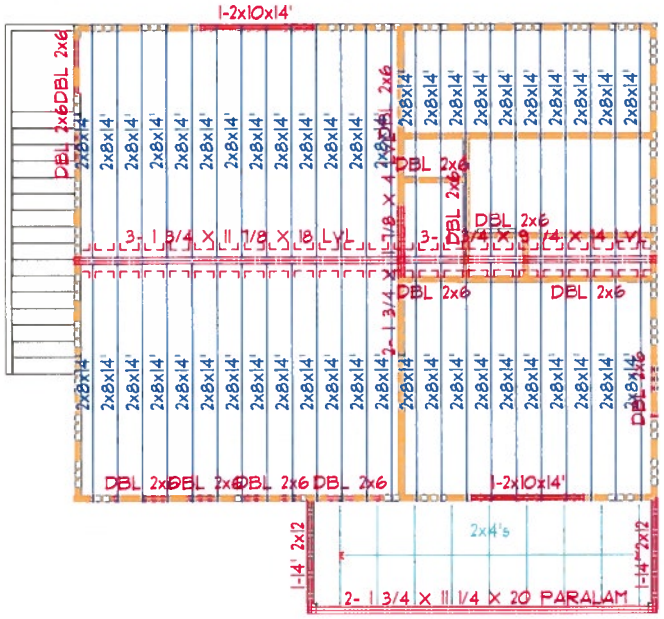
2X4X104 5/8" SPF STUD (9' PLATE)

HEADERS & BEAMS AS NOTED

2X8 CEILING JOISTS @ 16" O.C. U.N.O.



SECOND FLOOR FRAMING

SCALE: N.T.S.

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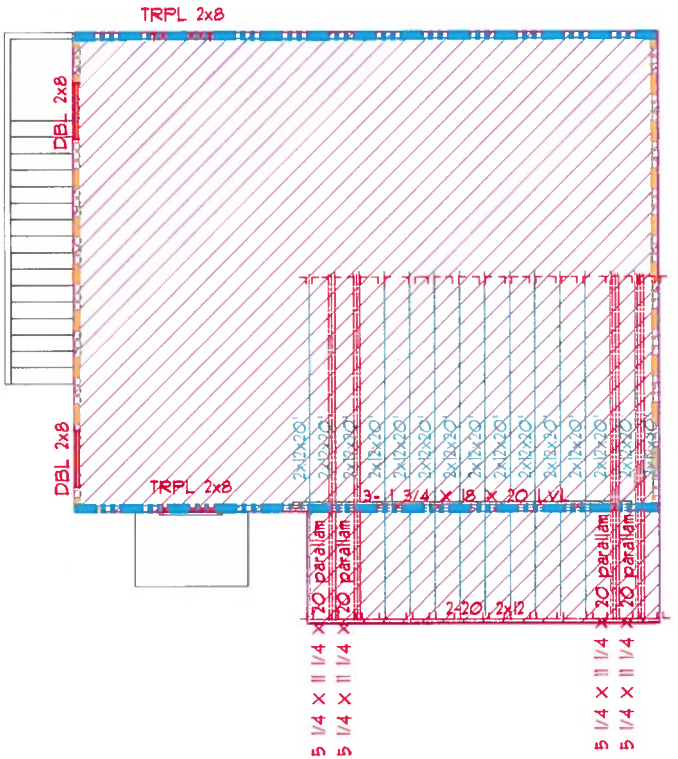
2X4X104 5/8" SPF STUD (9' PLATE)

2X6X104 5/8" SPF STUD (9' PLATE)

HEADERS & BEAMS AS NOTED

2X12 FLOOR JOISTS @ 16" O.C. U.N.O.



FIRST FLOOR FRAMING

SCALE: N.T.S.

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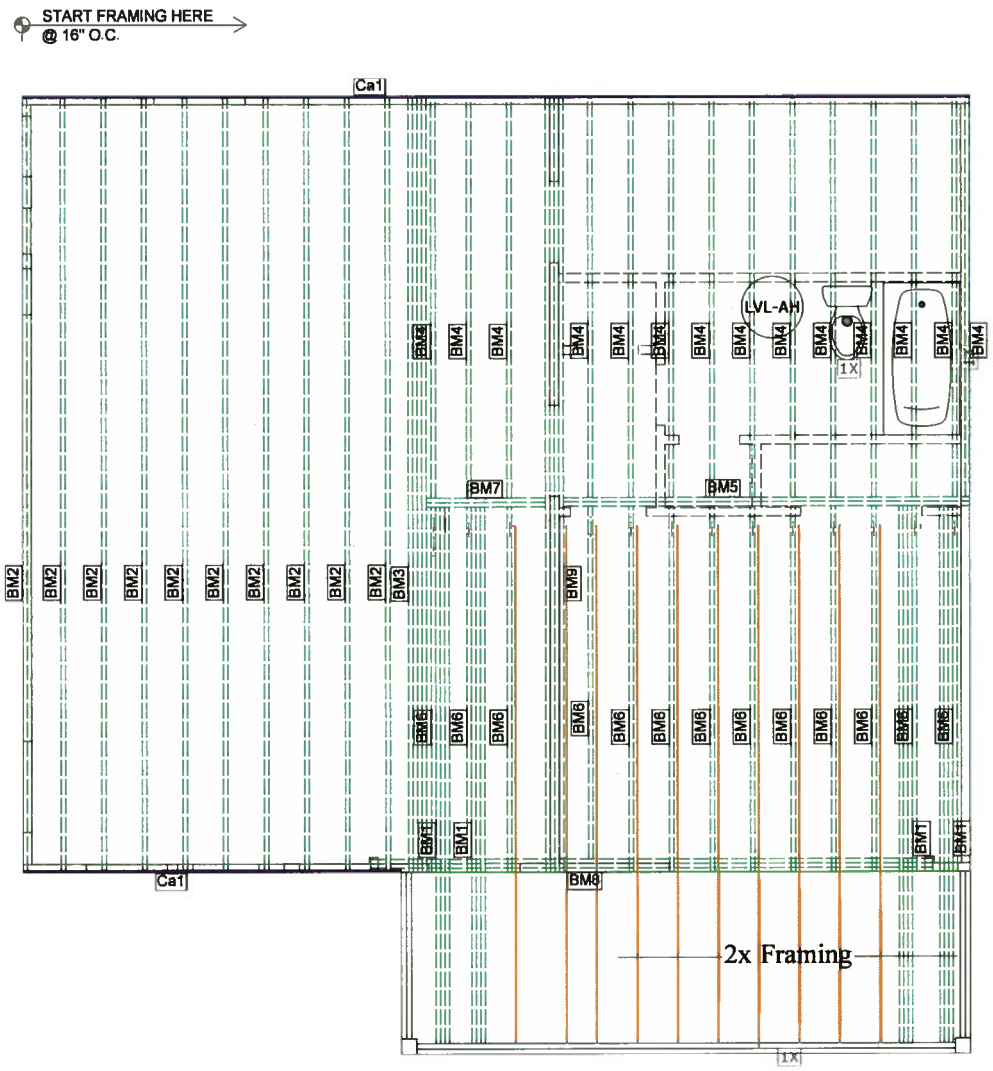

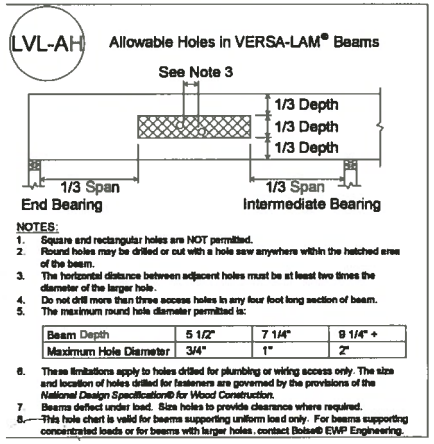

Products				
PlotID	Net Qty	Product	Length	Plies
BM1	12	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	18' 0"	3
BM2	10	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	26' 0"	1
BM3	4	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	26' 0"	4
BM4	14	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	14' 0"	1
BM5	2	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	14' 0"	2
BM6	13	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	12' 0"	1
BM7	2	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	4' 0"	2
BM8	3	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	19' 0"	3
BM9	4	1-3/4" x 24" VERSA-LAM® 2.0 3100 SP	26' 0"	4
Ca1	4	1" x 16" BC RIM BOARD OSB	12' 0"	1

Connector Summary				
PlotID	Qty	Manuf	Product	Flange
Hu1	1	Simpson	HGUS414	None
Hu2	2	Simpson	HU416	None
Hu3	26	Simpson	ITS1.81/16	None
Hu4	4		HGUS5.50/12	None