

## HISTORIC AND DESIGN REVIEW COMMISSION

February 21, 2018

**HDRC CASE NO:** 2018-067  
**ADDRESS:** 427 ADAMS ST  
**LEGAL DESCRIPTION:** NCB 2880 BLK 5 LOT 7&8  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** James Ed Carleton  
**OWNER:** Elaine and Rick Lutton  
**TYPE OF WORK:** Construction of a rear addition  
**APPLICATION RECEIVED:** February 02, 2018  
**60-DAY REVIEW:** April 3, 2018

### REQUEST:

The applicant is requesting conceptual approval for to:

1. Construct a two story rear addition.
2. Remove a second story side window opening.
3. Perform rehabilitative scopes of work to the rear, accessory structure.
4. Remove a first level, side door opening.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 3, Guidelines for Additions*

#### 1. Massing and Form of Residential Additions

##### A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

##### B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

#### 3. Materials and Textures

## A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

## 4. Architectural Details

### A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

## 3. Landscape Design

### B.. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## 5. Sidewalks, Walkways, Driveways and Curbing

### B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## FINDINGS:

- a. The historic structure at 427 Adams was constructed circa 1915 in the Craftsman style and features two stories in height and a façade of stuccoed masonry. The structure features a porte-cochere on its southern façade. This structure first appears on the 1951 Sanborn Map.
- b. ADDITION – At the rear of the primary historic structure, the applicant has proposed to construct an addition to

feature two stories in height and a footprint of approximately 315 square feet. The applicant has noted that the second floor will feature approximately 128 square feet in size. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. Per application documents, the proposed addition will feature a height that is subordinate to that of the primary historic structure, will feature an appropriate roof form and will be inset from the walls of the primary historic structure. The proposed addition is consistent with the Guidelines.

- c. **SCALE, MASS & FORM** – Regarding scale, mass and form, the proposed rear addition features an overall footprint and height that are subordinate to that of the primary historic structure and are not a departure from the historic context of the district.
- d. **MATERIALS** – The applicant has proposed materials that include a stucco façade, a standing seam metal roof and wood casement windows. Staff finds that the stucco finish should match that of the primary historic structure. The standing seam metal roof should feature seams that are 1 to 2 inches in height, panels that are 18 to 21 inches in width and a crimped ridge seam. While inconsistent with the Guidelines, staff finds the proposed bronze colored roof to be appropriate given the color of the existing roof.
- e. **WINDOW MATERIALS** – As noted in finding d, the applicant has proposed wood casement windows; however, at this time the applicant has not provided specifics of the proposed windows. Generally, staff finds the installation of windows that match the profile of those found in the historic structure, one over one, to be most appropriate. The proposed wood windows should feature meeting rails that are no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- f. **ARCHITECTURAL DETAILS** – Generally, the proposed addition is appropriate for the style of the primary historic structure and consistent with the Guidelines. Prior to returning for final approval, the applicant should provide additional information regarding window profiles and exterior elevations of each side of the proposed structure.
- g. **WINDOW REMOVAL** – To the immediate rear of the side porte cochere, the applicant has proposed to infill an existing window opening. The Guidelines for Exterior Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. The applicant’s proposed window removal is not consistent with the Guidelines; however, given its location and low visibility due to the existing porte cochere, staff finds that its removal may be appropriate if the existing window is repaired and installed in the proposed addition.
- h. **DOOR REMOVAL** – Beneath the porte cochere the applicant has proposed to remove an existing door opening. The Guidelines for Exterior Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. The applicant’s proposed door removal is inconsistent with the Guidelines. This door, serving as a historic side entrance location contributes significantly to the architectural integrity of the structure and the historic use of the porte cochere.
- i. **MAINTENANCE** – The applicant has noted repairs to both the historic structure and a historic accessory structure including stucco repair, gutter and downspout replacement and painting of the wood fascia and trim. The proposed scopes of work are to be completed in kind.

## **RECOMMENDATION:**

Staff recommends approval of items #1 through #3 based on findings a through g and i with the following stipulations:

- i. That the proposed standing seam metal roof features seams that are 1 to 2 inches in height, panels that are 18 to 21 inches in height and a crimped ridge seam.
- ii. That the proposed stucco finish matches that of the primary historic structure.
- iii. That one over one wood windows be installed that feature specifications noted in finding e.
- iv. That elevations of each of the addition’s facades be submitted when returning for final approval.
- v. That the removed wood window be salvaged and installed in the proposed addition.

Staff does not recommend approval of item #4, door removal based on finding h.

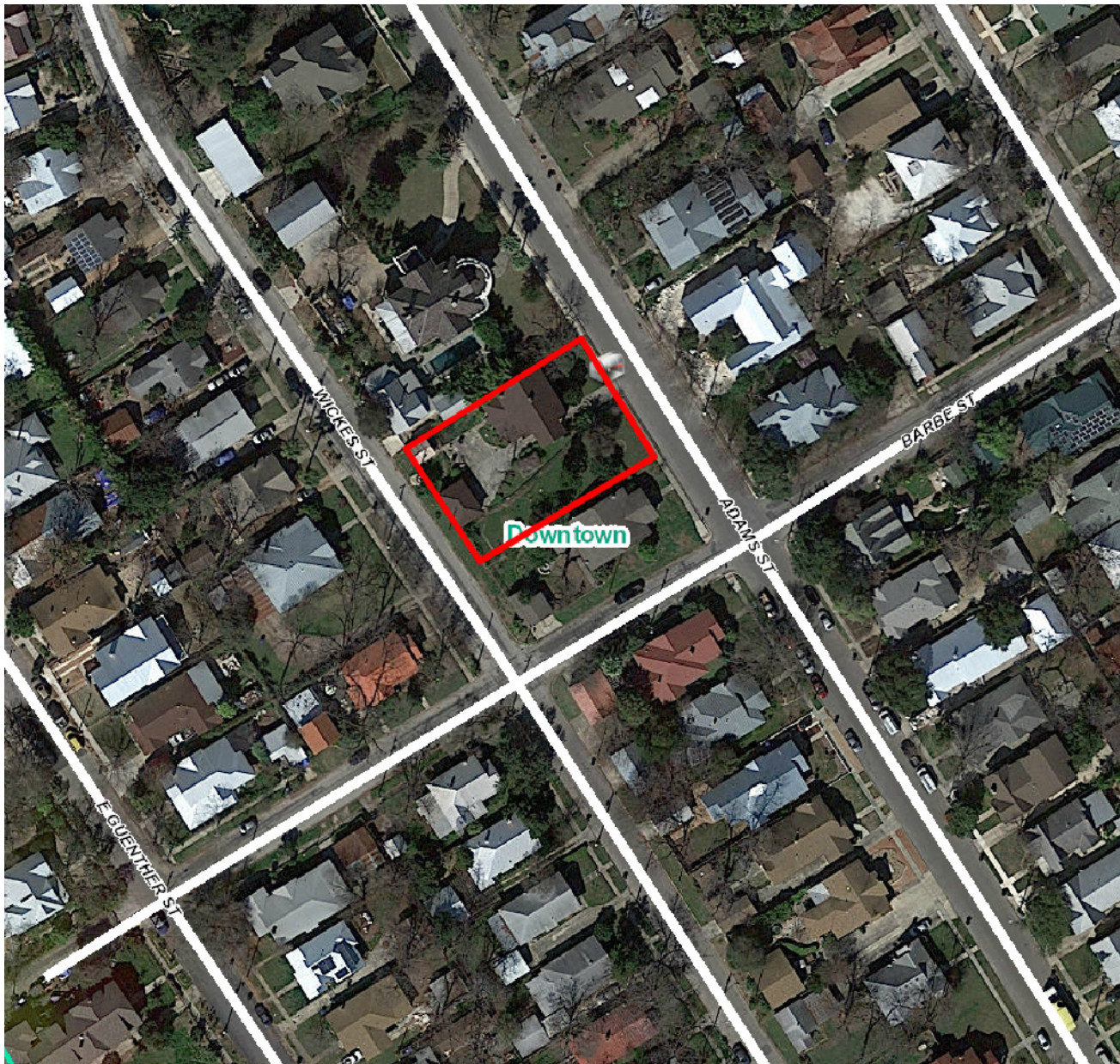
## **CASE MANAGER:**

Edward Hall

**CASE COMMENT:**

A site visit is to be scheduled with staff to inspect roofing materials prior to installation. A site visit can be scheduled by calling (210) 207-0035.





## Flex Viewer

Powered by ArcGIS Server

Printed: Feb 13, 2018

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427 Adams Street

Adams St

Adams St

Wickes St

Barbe St

Barbe St





427 Adams Street



359

TEX

040



358

357

STIEREN

362

WICKES

Macadamized

ADAMS

Macadamized

MISSION

Macadamized

BARBE

Macadamized

440

360

CLAUDIA ST

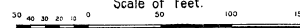
CEDAR (HENRIETTA) MACADAMIZED

CEDAR

Macadamized

363

Scale of Feet.



# 427 Adams

## Historic & Design Review



Additions and Renovations  
To the 100 year old property

FEBRUARY 2

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James Ed Carleton AIA  
Authored by: jec

**jec-aia**

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# Project Description

## 315 sq ft 1<sup>st</sup> Floor Kitchen Addition

- **Suspended Concrete Foundation**
- **Wood Framed Structure**
- **Rain-Screen veneer with stucco exterior**
- **Standing Seam metal roofing**
- **The added space will open to the existing Dining Room**
- **Interior finishes are to be painted drywall on walls and ceiling, ceramic tile flooring, and stained wood cabinets**

## 128 sq ft 2<sup>nd</sup> Floor Closet

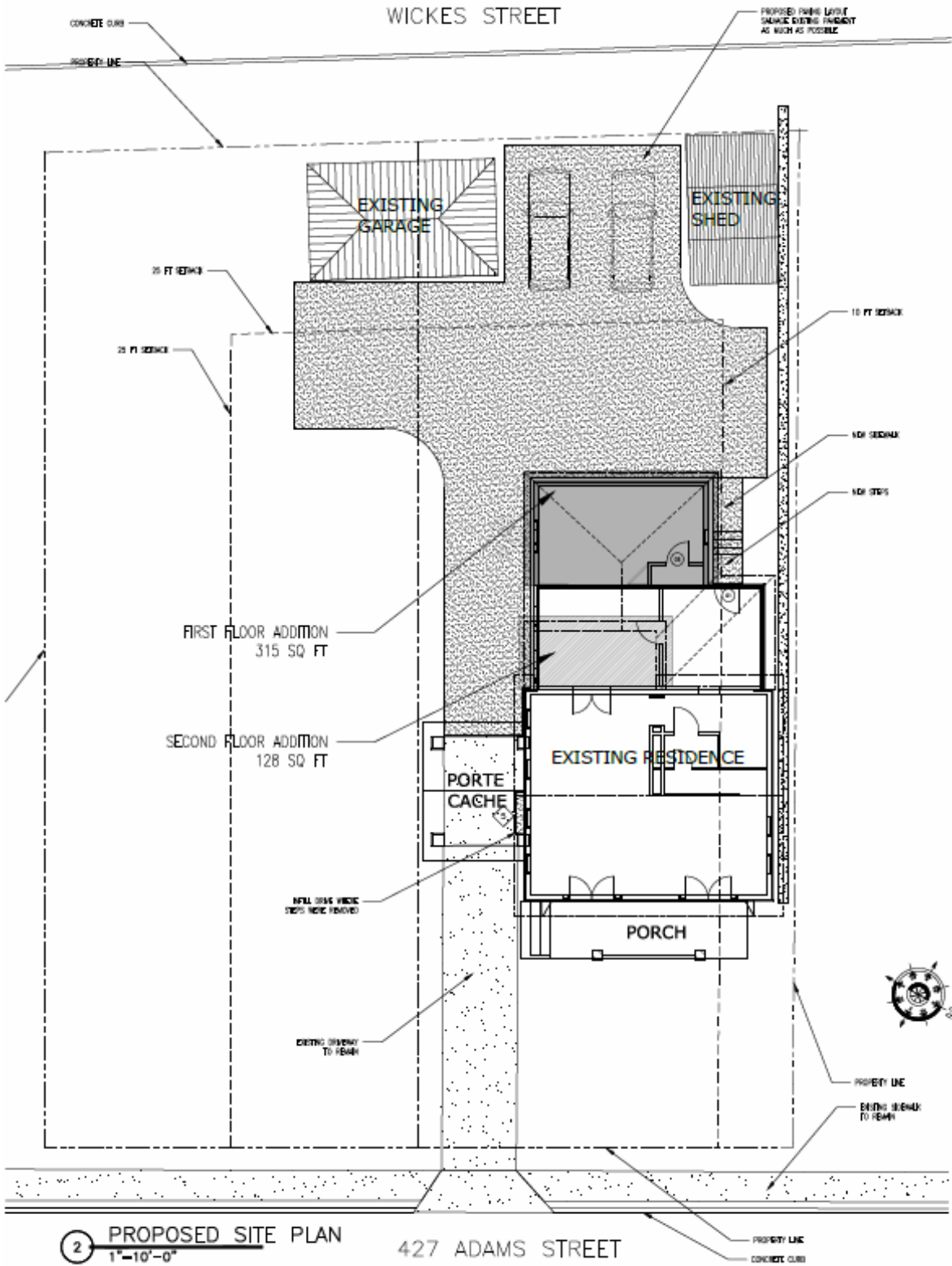
- **Wood Framing Structure**
- **Rain-Screen veneer with stucco exterior**
- **Standing Seam metal roofing**
- **The added space will open a renovated Master Bathroom**
- **Interior finishes are to be painted drywall on walls and ceiling, wood flooring, and stained wood cabinets**

## Exterior renovations

- **Landscape Clean up**
- **Stucco Repair**
- **Gutter & Downspout replacement**
- **Paint wood fascia and trim**
- **No signage will be provided**

***Our concept is to make additions to the home with similar design elements and not detract from the original design.***

Proposed Site Plan





***Existing Adams Street Elevation***



***Existing Rear Elevation***





***Existing Side Yard Elevation:***



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## *Existing Carriage House*



EXTERIOR FINISH UPGRADES TO BE APPLIED TO THIS BUILDING



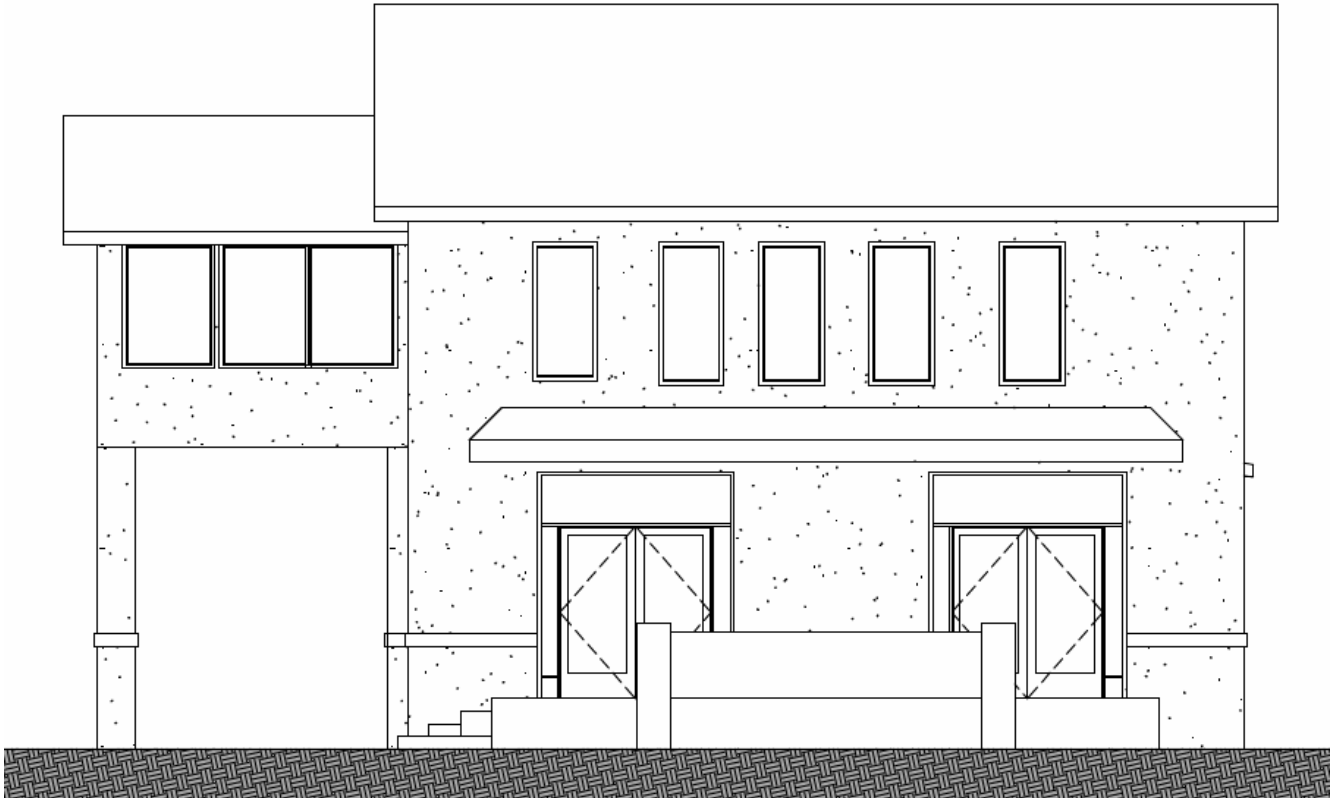
## *Existing Shed*



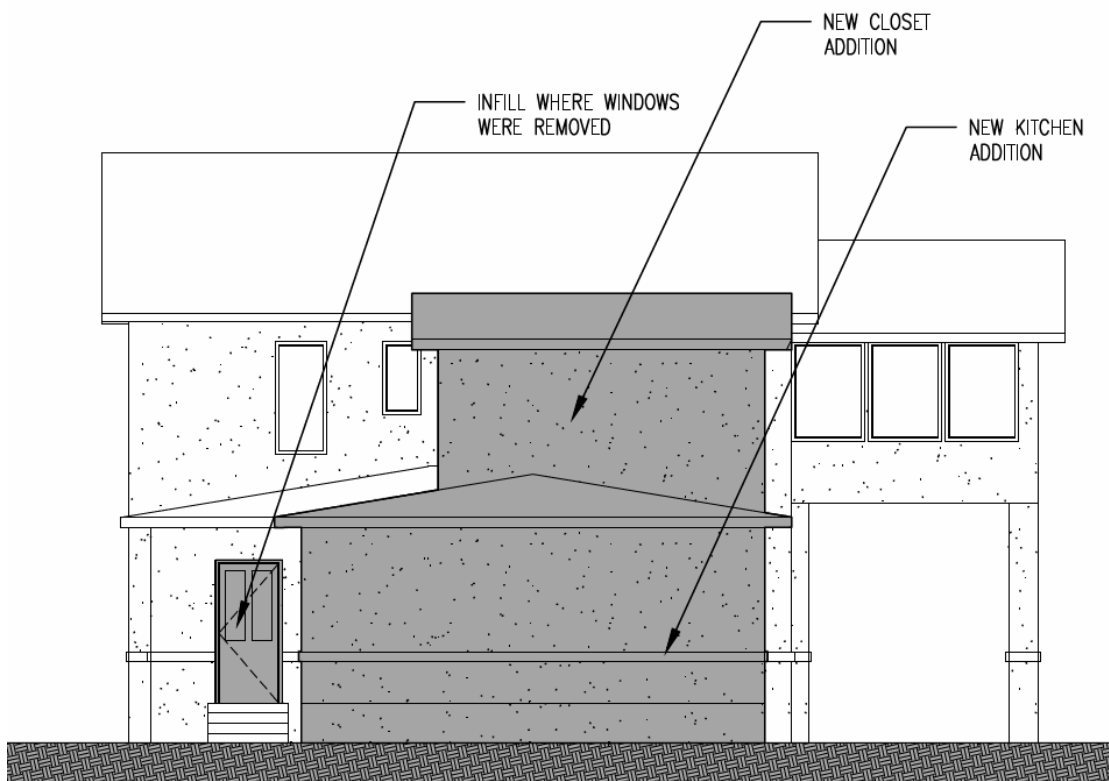
NO CHANGES TO THIS BUILDING

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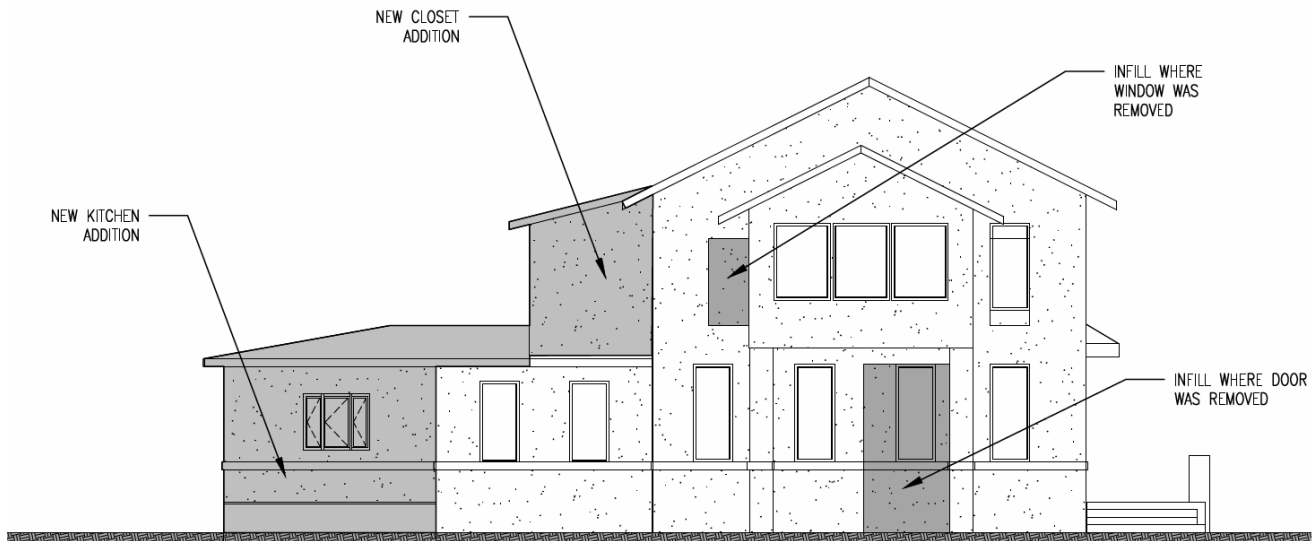
## ***Proposed Front Elevation***



## ***Proposed Rear Elevation***



## ***Proposed Side Elevation***



### ***Materials to be used:***

- Stucco is to be a mixture of portland white cement, sand, water, and binders...installed over a galvanized expanded metal lathe on treated wood nailers. Stucco will be painted.
- Roofing to be installed will match the existing bronze standing seam roofing.
- New Windows will be casement wood frame with insulated glazing.
- Wood fascia and trim will be painted with exterior latex paint.
- An existing door will be relocated to the rear elevation of the home.
- Thin Set ceramic floor tile will be installed in the Kitchen.
- Engineered Wood flooring will be installed in the Closet.
- Interior drywall will be painted with latex paint



# ADAMS STREET RENOVATION

427 ADAMS STREET  
SAN ANTONIO, TEXAS 78212

Date: 01 30 2018

Owner: ELAINE AND RICK LUTTON  
427 ADAMS STREET  
SAN ANTONIO, TEXAS 78212

Architect: JAMES ED CARLETON AIA

## Sheet List Table

General	
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Architectural: Plans	
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Architectural: Elevations	
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S-1	STRUCTURAL PLAN

## General Notes

- THIS SET OF CONSTRUCTION DOCUMENTS IS PRESENTED TO INCLUDE DRAWINGS OF 24" X 36" SHEETS.
- WHEN REFERENCE IS MADE TO A MATERIAL SYSTEM, ALL PARTS AND MATERIALS PERTINENT TO THE MANUFACTURE'S SYSTEM SPECIFIED SHALL BE FURNISHED AND INSTALLED.
- ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE ARCHITECT BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. CONTRACTOR SHALL FAMILIARIZE WITH EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS OF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS, ARCHITECTURAL AND ENGINEERING - ARE TO BE USED TOGETHER. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION..
- FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE GENERAL CONTRACTOR SHALL INCLUDE ALL COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE FULLY OPERATIONAL PERFORMANCE OF THAT SYSTEM.
- THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- CONTRACTOR OF THE WORK SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES. ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTANCE AND LOCATIONS OF ASBESTOS OR ANY OTHER UNKNOWN TOXIC MATERIAL, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS, AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMANCE TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSAL OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
- CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN THE SCOPE OF THE CONTRACT DOCUMENTS. THE LOCATION OF EXISTING EQUIPMENT SHOWN ON THE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL BEFORE STARTING CONSTRUCTION.

No.	Revision/Issue	Date
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## Firm Name and Address

JAMES ED CARLETON AIA  
134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

## Project Name and Address

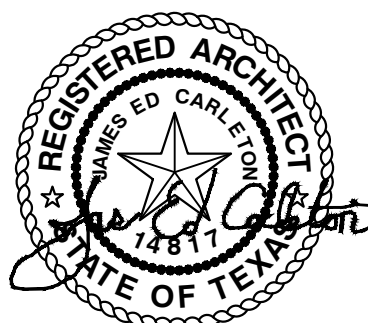
A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

## Project

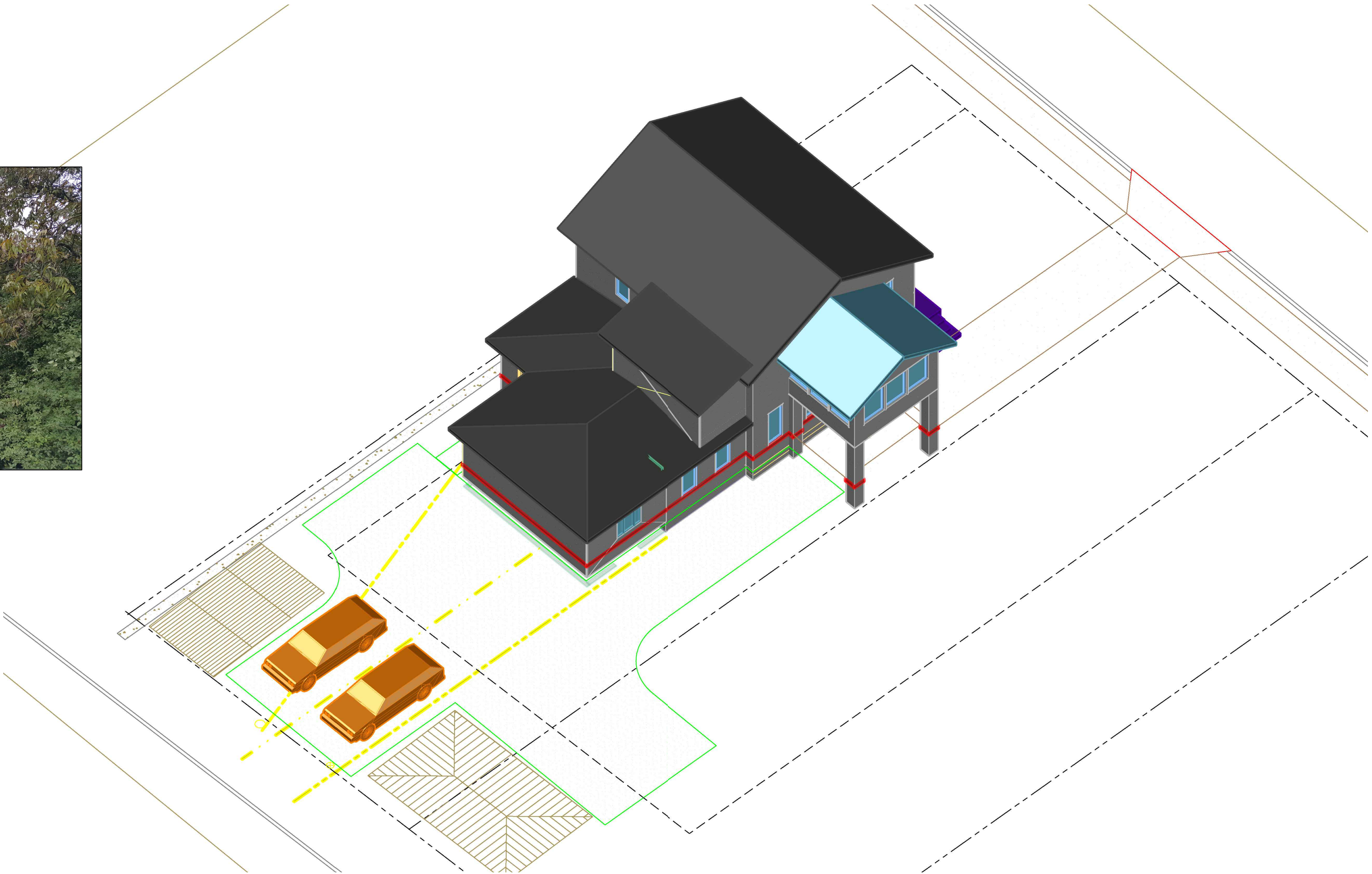
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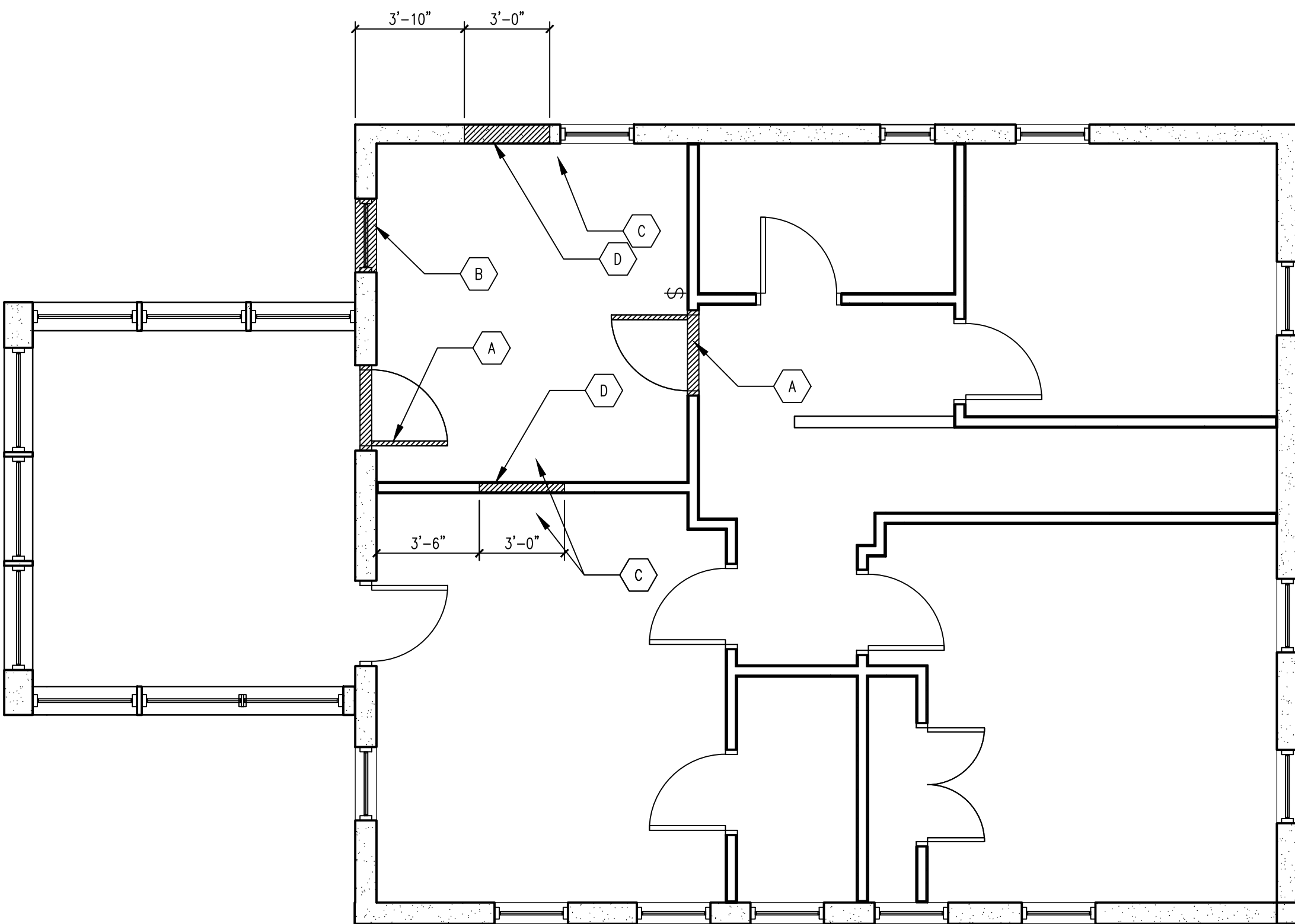
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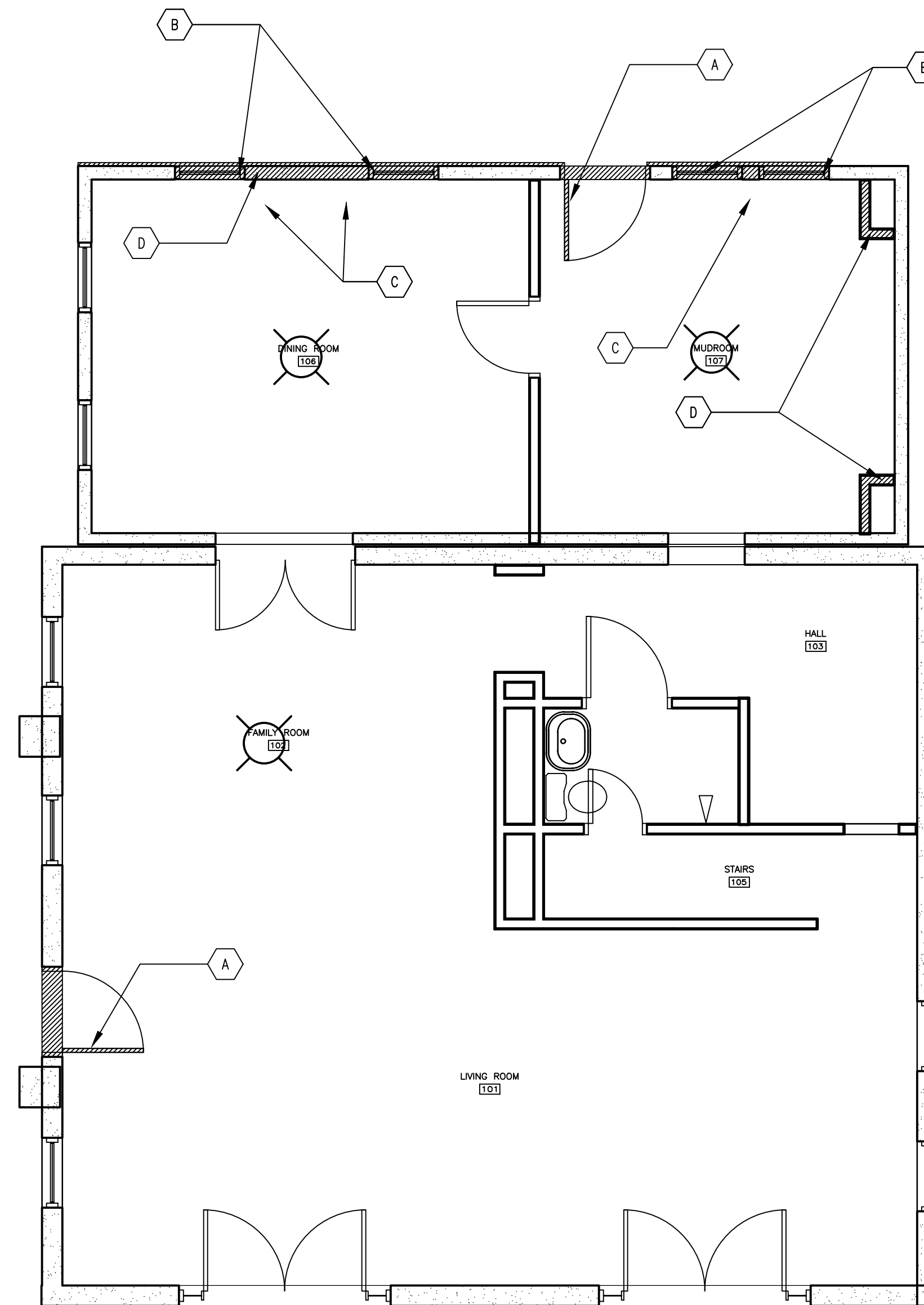
01.30.2018







2 SECOND FLOOR DEMOLITION PLAN  
1/4"=1'-0"



1 FIRST FLOOR DEMOLITION PLAN  
1/4"=1'-0"

General Notes

1. CONTRACTOR IS TO PROTECT ALL EXISTING MATERIALS AND COMPONENTS NOT BEING ALTERED DURING CONSTRUCTION.
2. CONTRACTOR IS TO STORE, PROTECT, AND PREPARE FOR INSTALLATION ALL MATERIALS INDICATED TO BE SALVAGED.

KEYED NOTES.

- A. REMOVE EXISTING DOOR FRAME AND HARDWARE, SALVAGE FOR FUTURE USE.
- B. REMOVE EXISTING WINDOW, TRIM AND SUPPORT MATERIALS, SALVAGE FOR FUTURE USE.
- C. REMOVE EXISTING ELECTRICAL OUTLET.
- D. REMOVE EXISTING PARTITION TO ALLOW INSTALLATION OF NEW MATERIALS.

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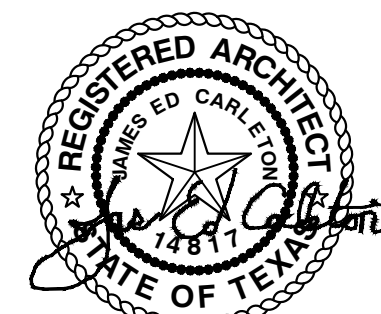
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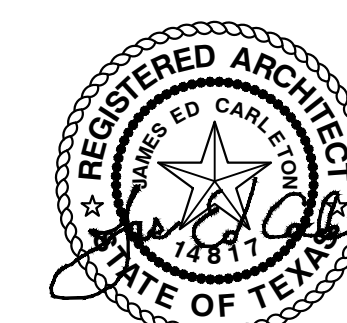
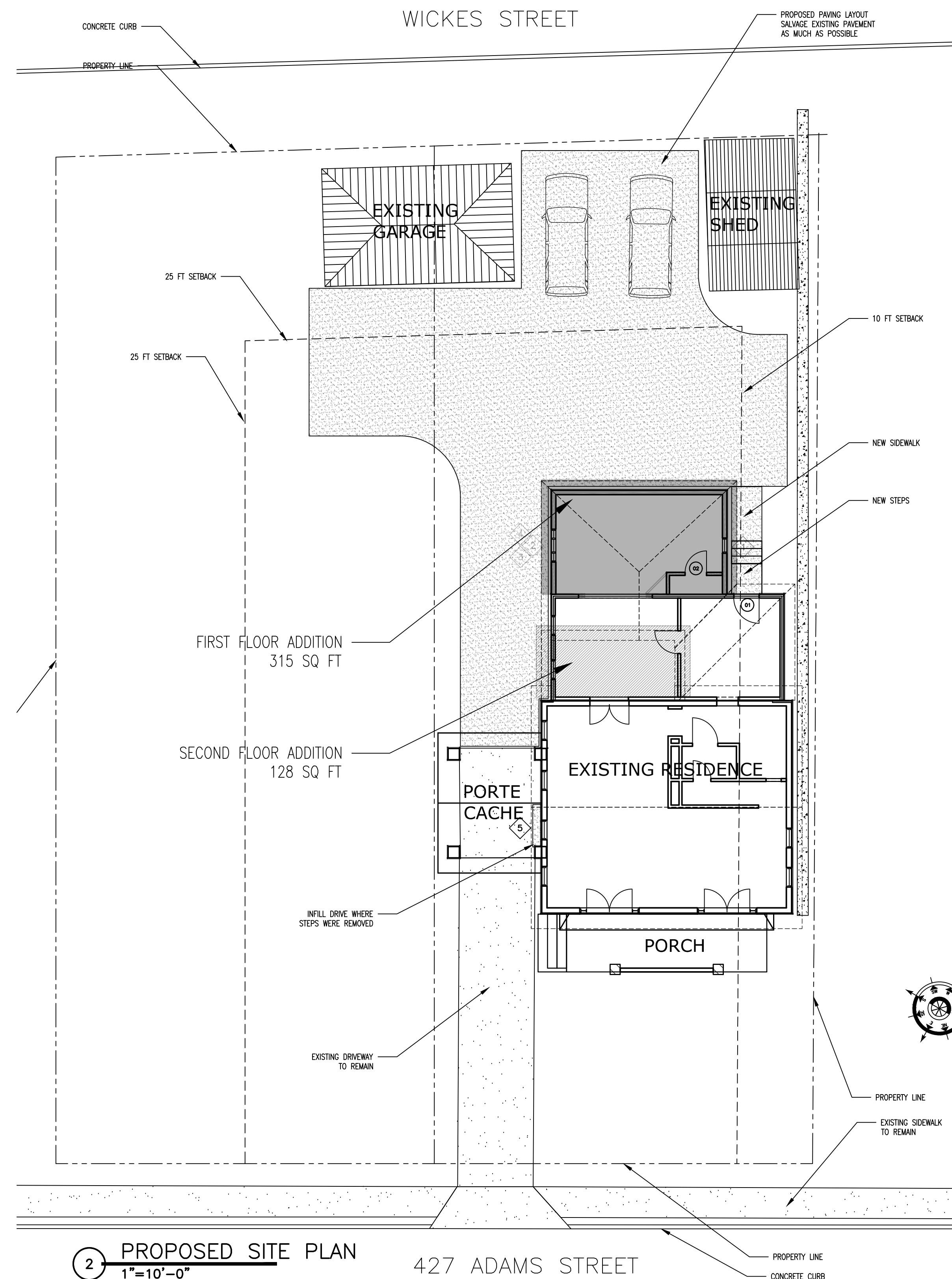
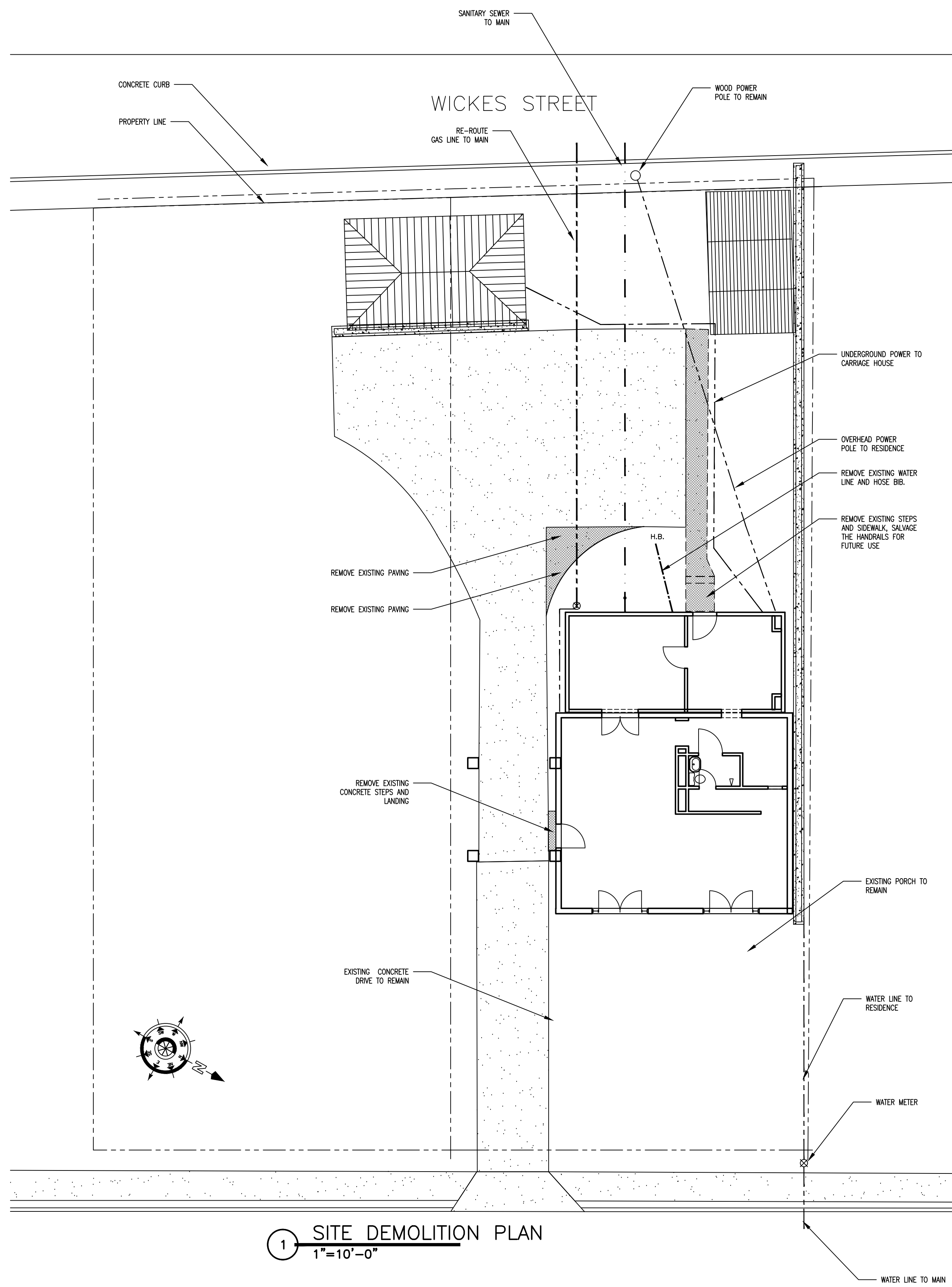
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Project	17 006	Sheet  D-100
Date	01.30.2018	
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01.30.2018

# General Notes

## PROPERTY INFORMATION

427 ADAMS STREET,  
CITY OF SAN ANTONIO,  
COUNTY OF BEXAR,  
STATE OF TEXAS, 78210

LOT SIZE .3053 ACRES  
...13,300 SQ FT

NCB 2880, BLOCK 5,  
LOT 7 & 8.  
ACEQUIA MADRE NAT/LOC HIST  
(SA)

KING WILLIAM HISTORICAL DISTRICT

KING WILLIAMS NEIGHBORHOOD  
ASSOCIATION

ZONING: RM-4

SAN ANTONIO INDEPENDENT  
SCHOOL DISTRICT

No.	Revision/Issue	Date

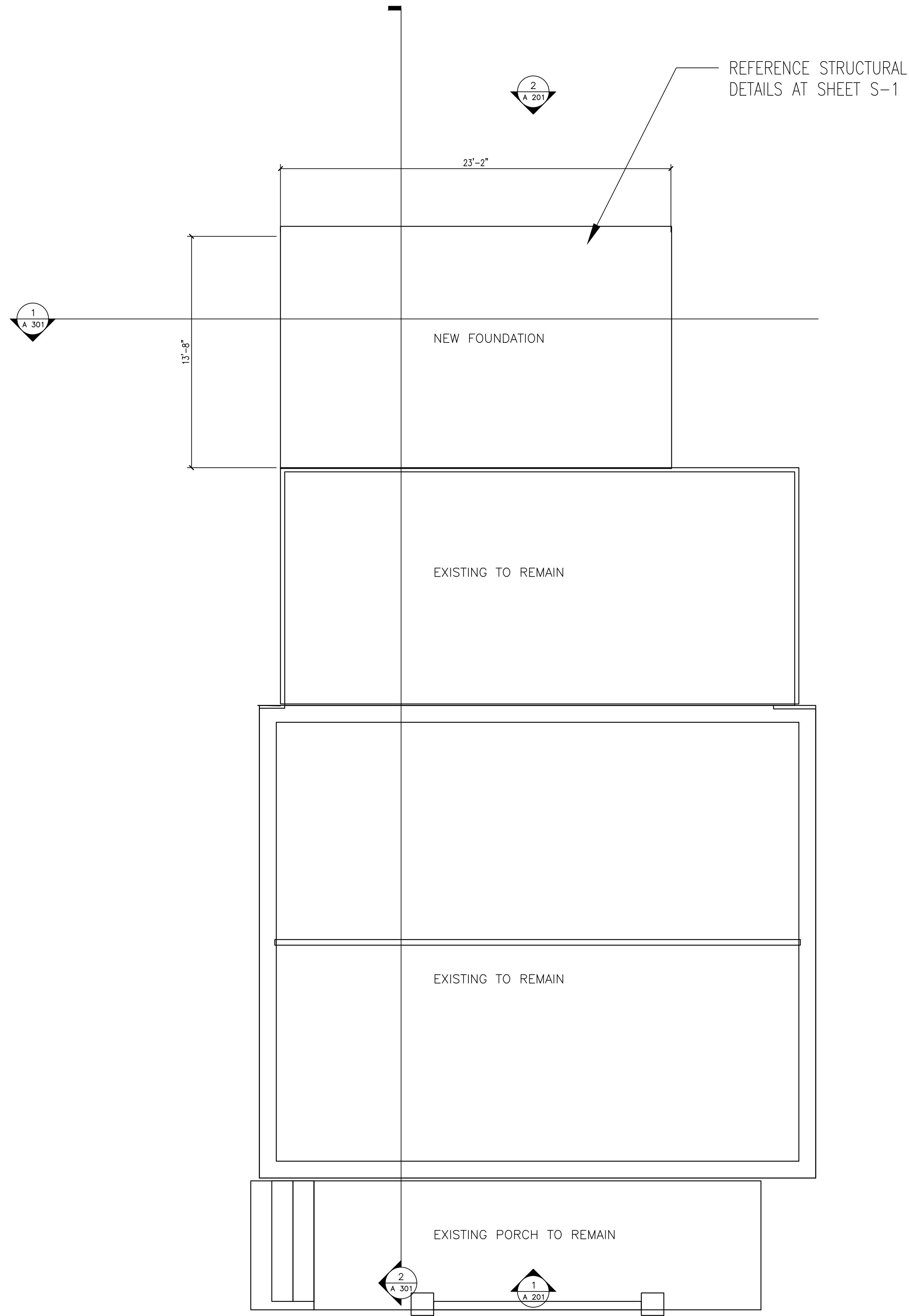
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Project	17 006	Sheet
Date	01.30.2018	A-100
Scale		



1 BASEMENT PLAN  
1/8" = 1'-0"



01.30.2018

General Notes

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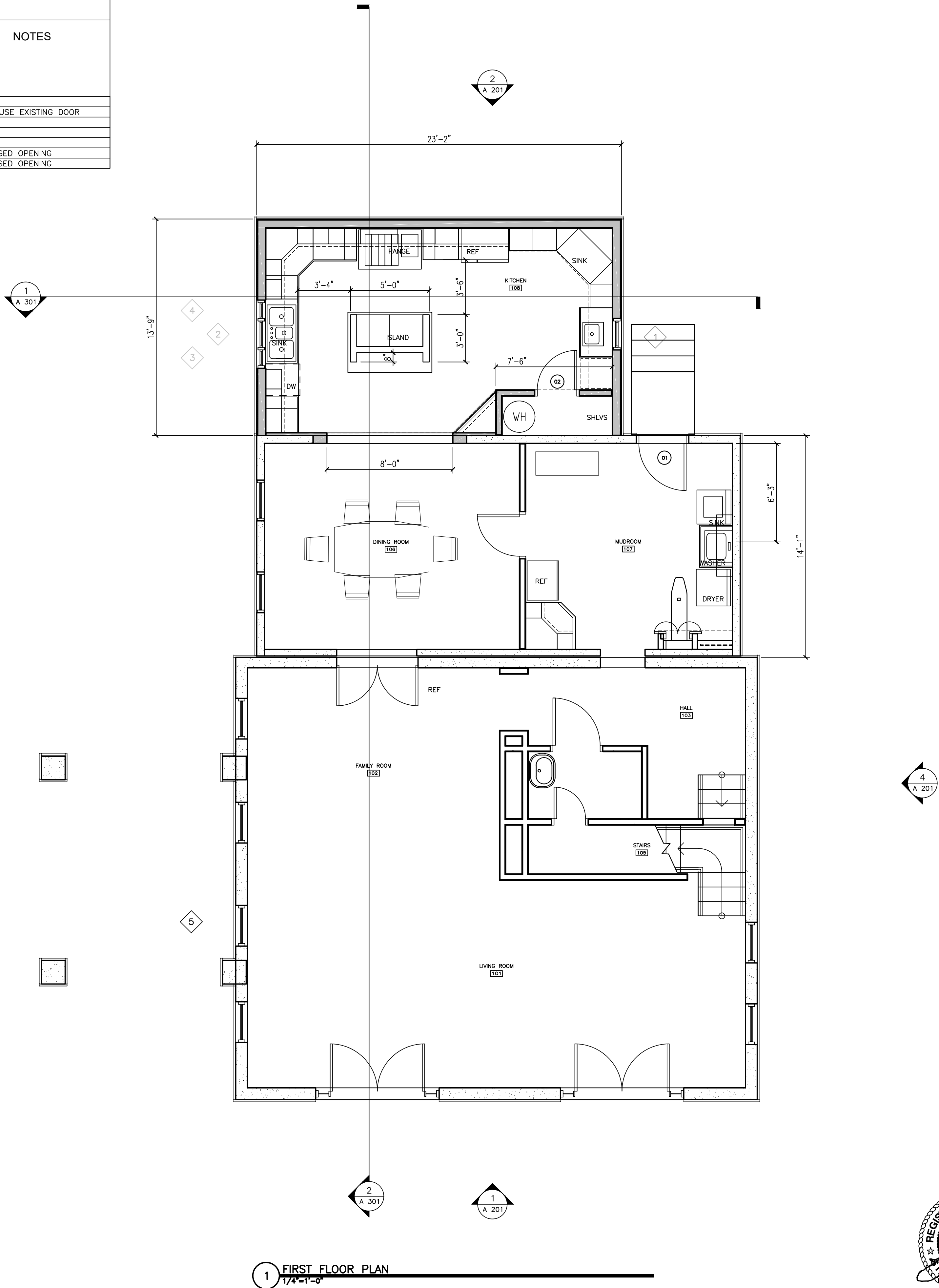
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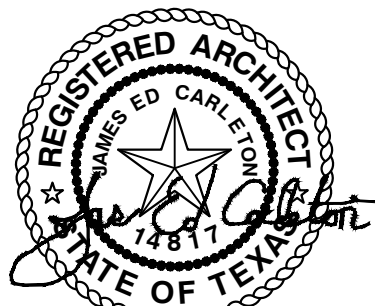
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Date	01.30.2018	A-101
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DOOR AND FRAME SCHEDULE															
DOOR							FRAME							HARDWARE	NOTES
MARK	SIZE			MATL	GLAZING	LOUVER		MATL	EL	DETAIL					
	WD	HGT	THK			WD	HGT			HEAD	JAMB	SILL			
1	3'-0"	7'-0"	1-3/4"	WD		NONE		WOOD						MATCH EXISTING	RE-USE EXISTING DOOR
2	2'-6"	7'-0"	1-3/4"	WD		NONE		WOOD							
3	2'-6"	7'-0"	1-3/4"	WD		NONE		WOOD							
4	2'-8"	7'-0"	1-3/4"	WD		NONE		WOOD							
5	3'-0"	7'-0"				NONE		WOOD							CASED OPENING
6	2'-6"	7'-0"													CASED OPENING

WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	Width	Height			
1	2'-0"	3'-8"	CMT	WOOD	
2	2'-0"	3'-8"	CMT	WOOD	
3	1'-4"	3'-8"	CMT	WOOD	
4	1'-4"	3'-8"	CMT	WOOD	
5	2'-7"	6'-4"	DH	WOOD	FURNISHED BY OWNER



1 FIRST FLOOR PLAN  
1/4"=1'-0"



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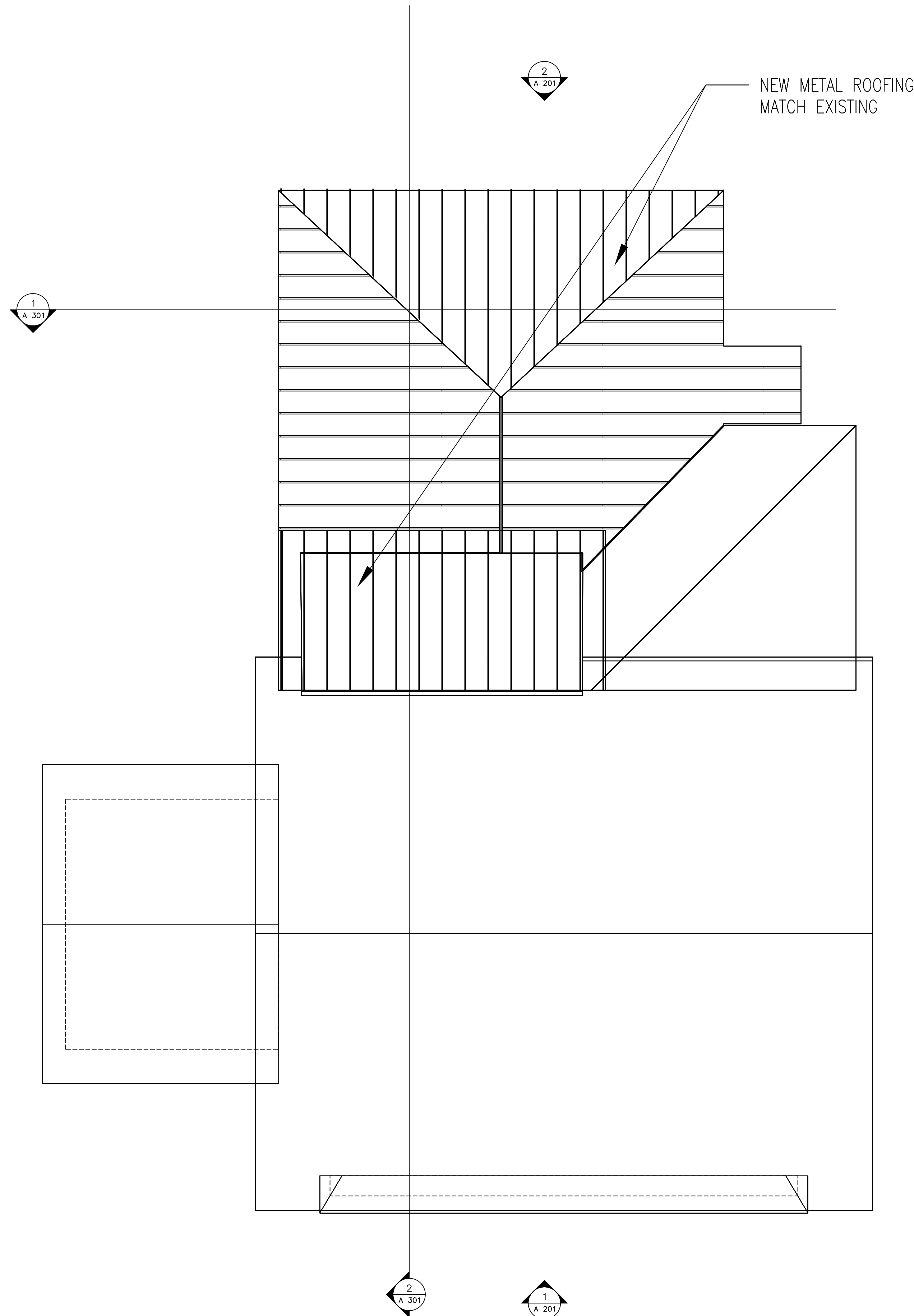
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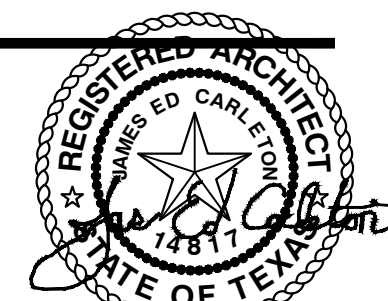
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1 ROOF PLAN  
1/4"=1'-0"



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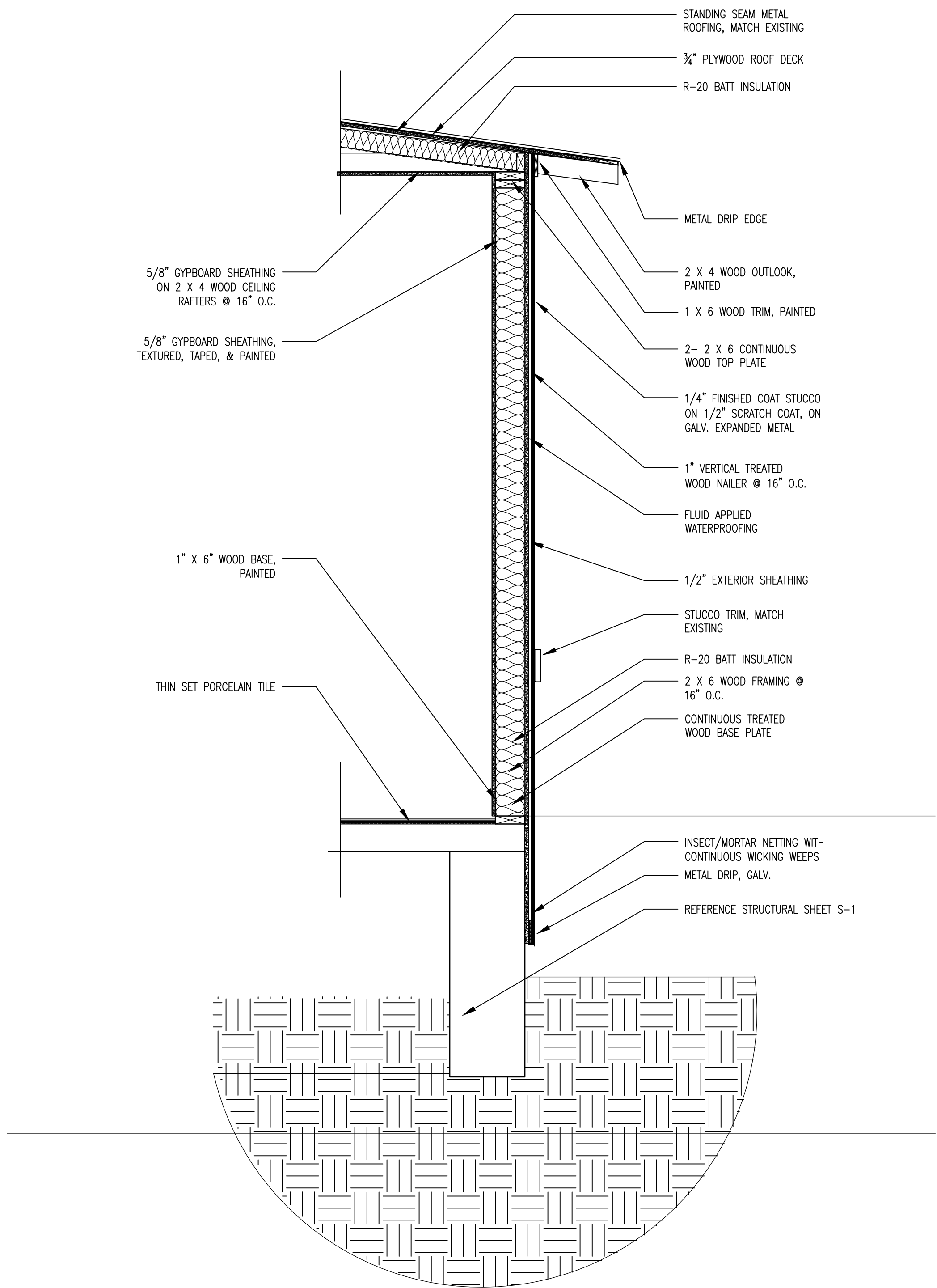
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1 TYPICAL WALL SECTION  
3/4"=1'-0"



01.30.2018

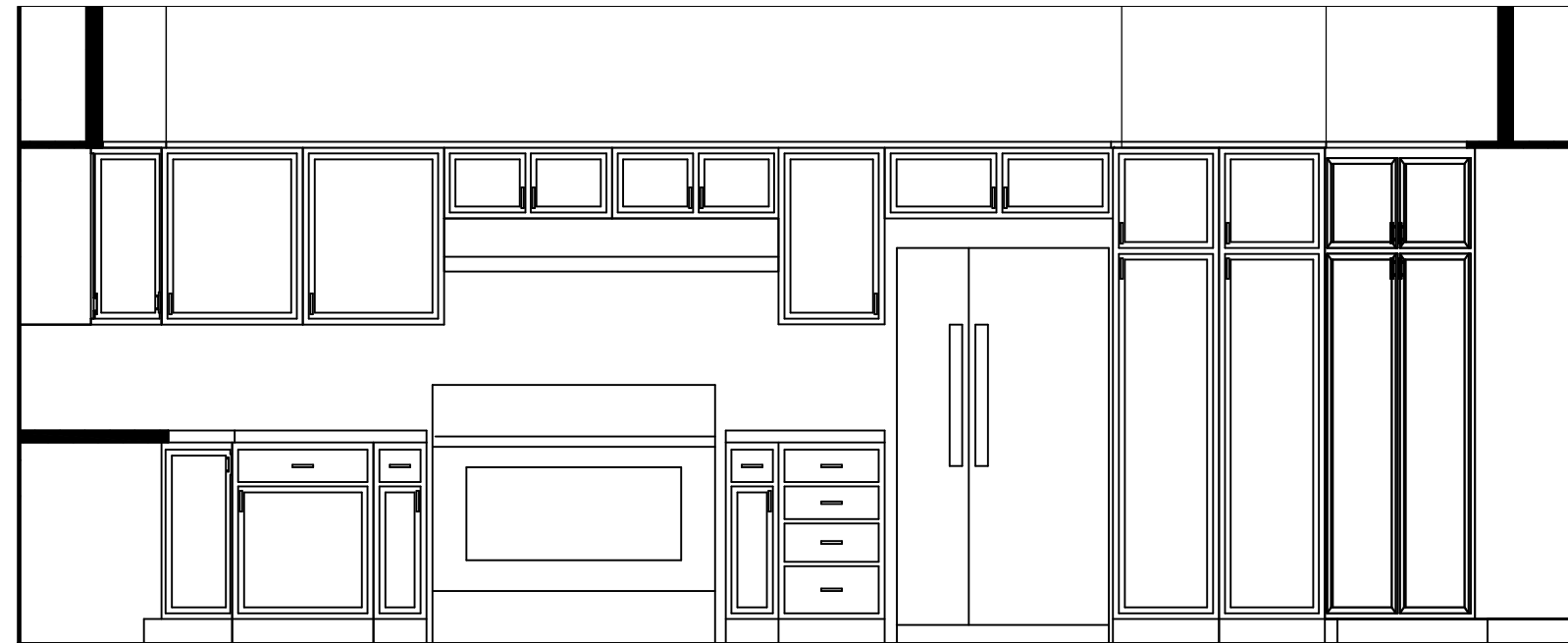
General Notes

No.	Revision/Issue	Date

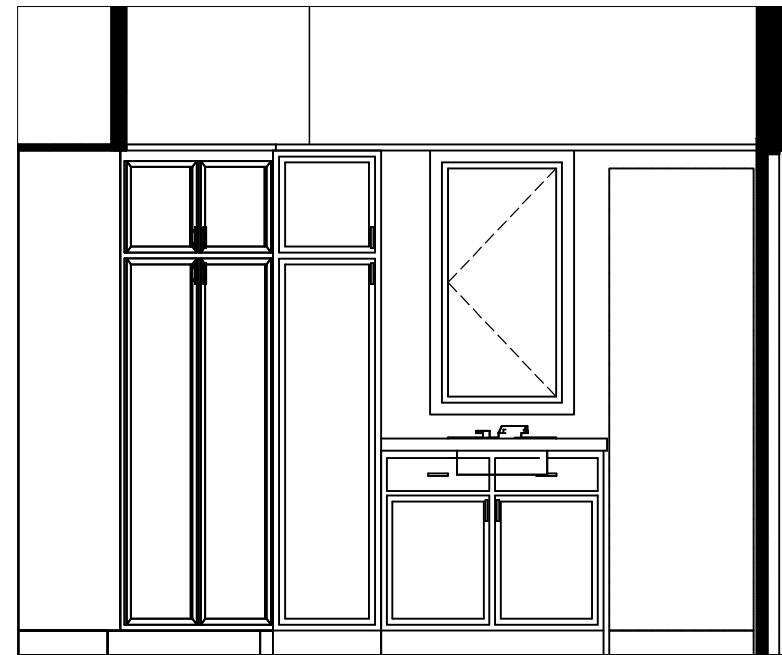
Firm Name and Address  
  
JAMES ED CARLETON AIA  
134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

Project Name and Address  
  
A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

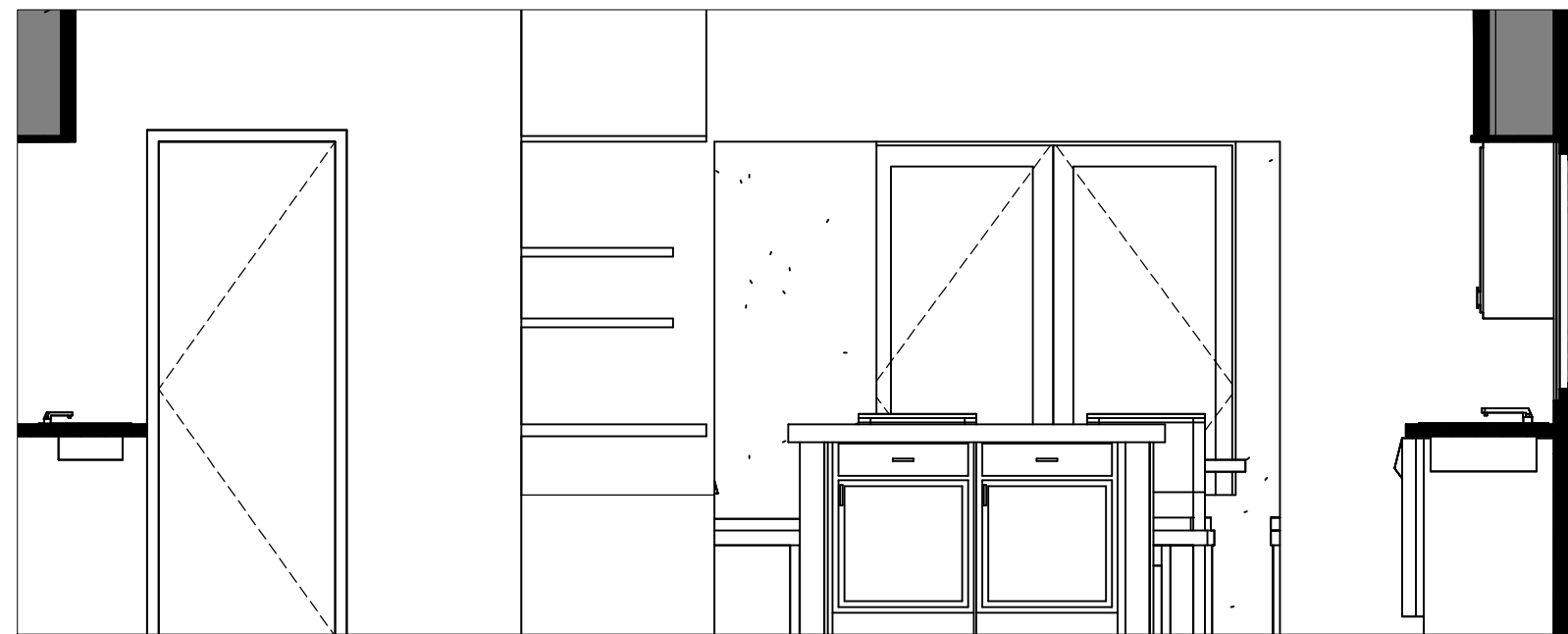
Project	17 006	Sheet  A-401
Date	01.30.2018	
Scale		



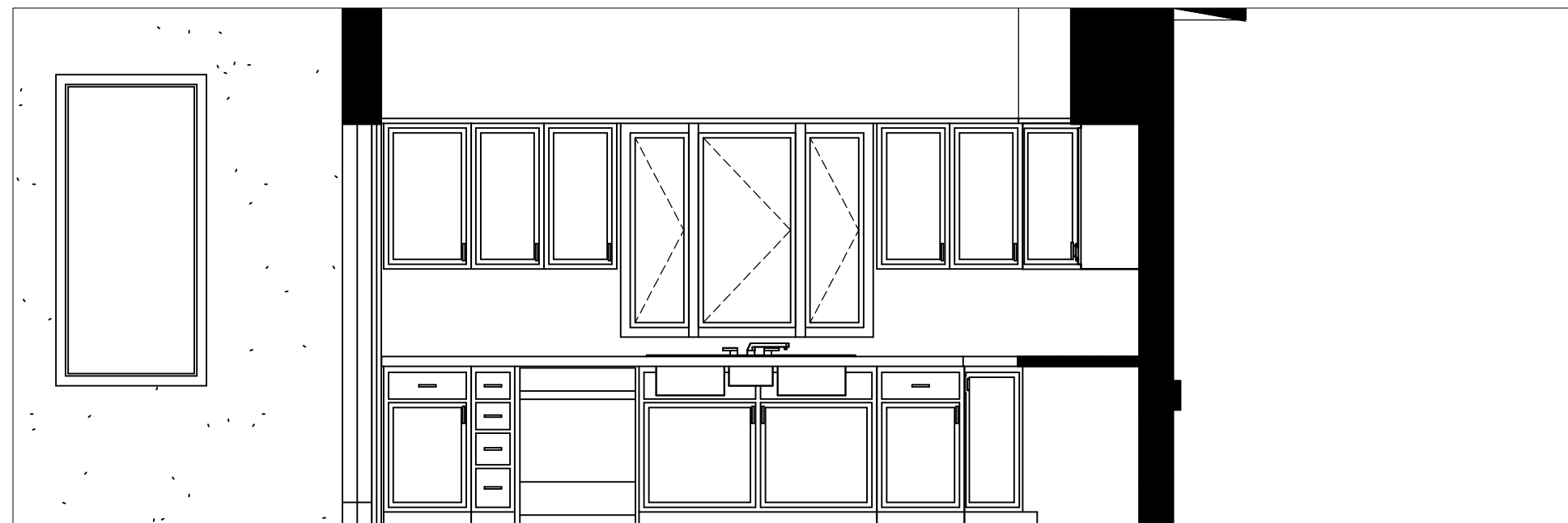
1 INTERIOR ELEVATION — KITCHEN  
3/8"=1'-0"



2 INTERIOR ELEVATION — KITCHEN  
3/8"=1'-0"



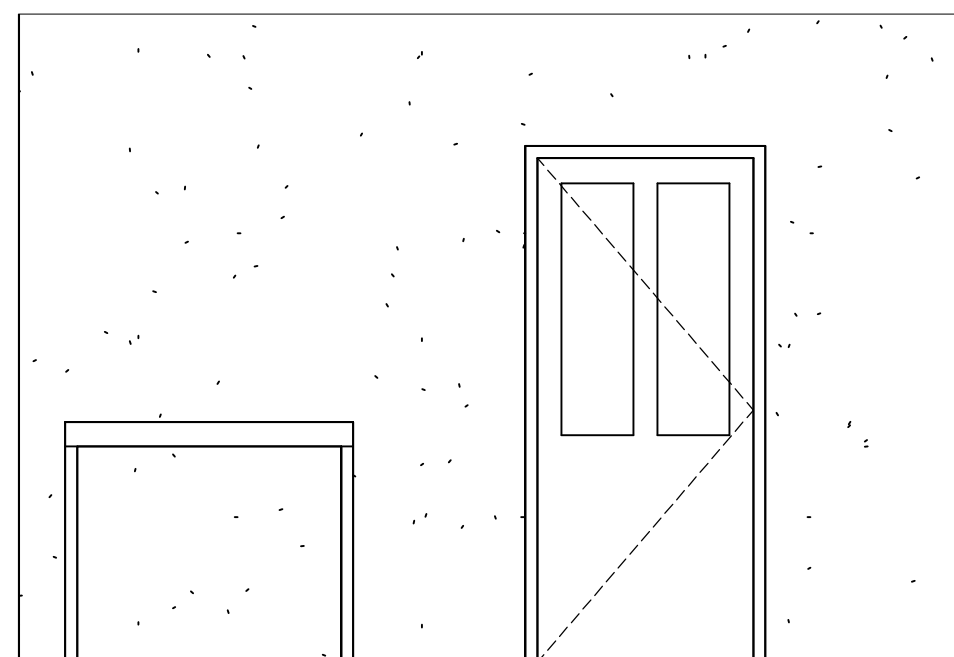
3 INTERIOR ELEVATION — KITCHEN  
3/8"=1'-0"



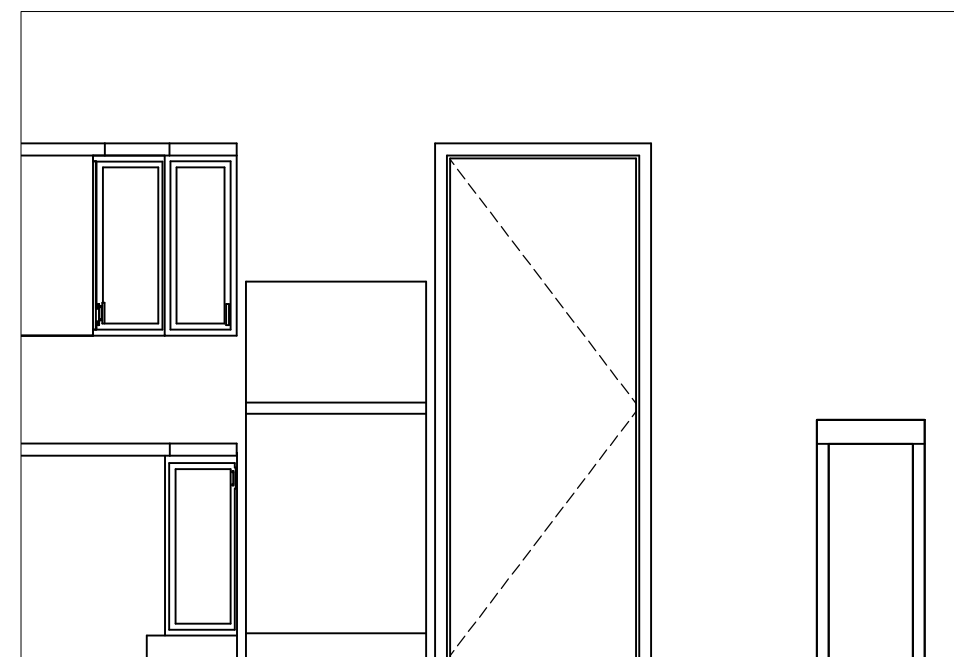
4 INTERIOR ELEVATION — KITCHEN  
3/8"=1'-0"



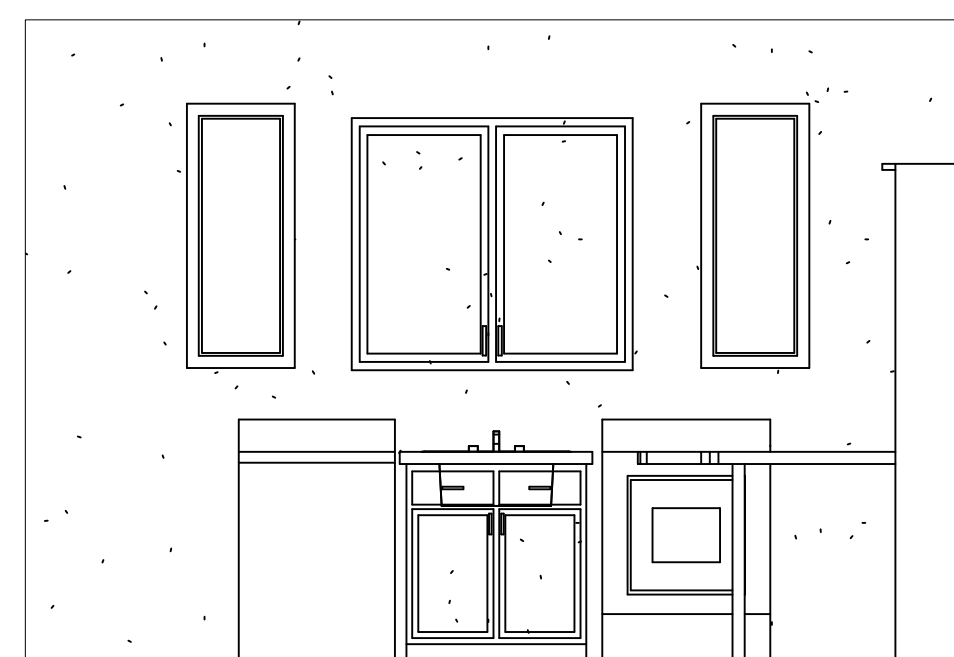
5 INTERIOR ELEVATION — MUDROOM  
3/8"=1'-0"



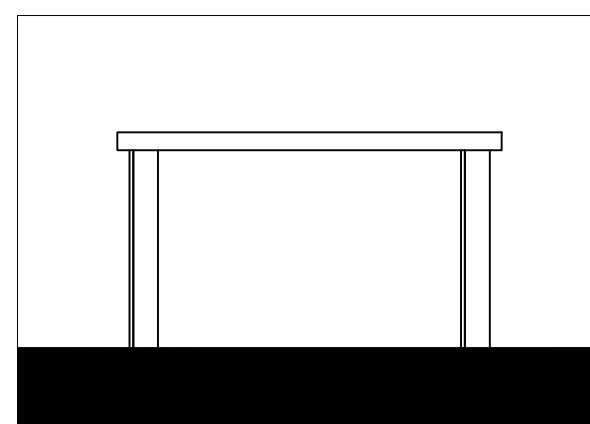
6 INTERIOR ELEVATION — MUDROOM  
3/8"=1'-0"



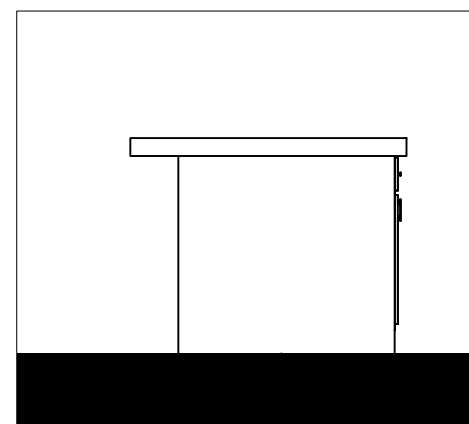
7 INTERIOR ELEVATION — MUDROOM  
3/8"=1'-0"



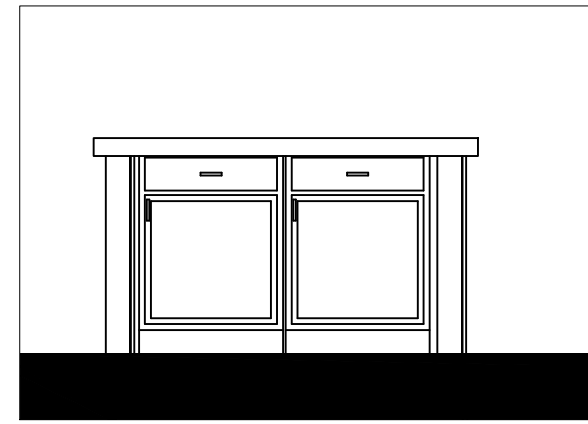
8 INTERIOR ELEVATION — MUDROOM  
3/8"=1'-0"



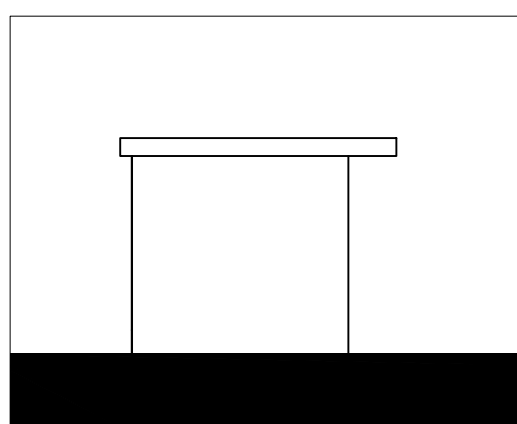
9 INTERIOR ELEVATION — ISLAND  
3/8"=1'-0"



10 INTERIOR ELEVATION — ISLAND  
3/8"=1'-0"



11 INTERIOR ELEVATION — ISLAND  
3/8"=1'-0"



12 INTERIOR ELEVATION — ISLAND  
3/8"=1'-0"

General Notes

No.	Revision/Issue	Date

Firm Name and Address

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134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

Project Name and Address

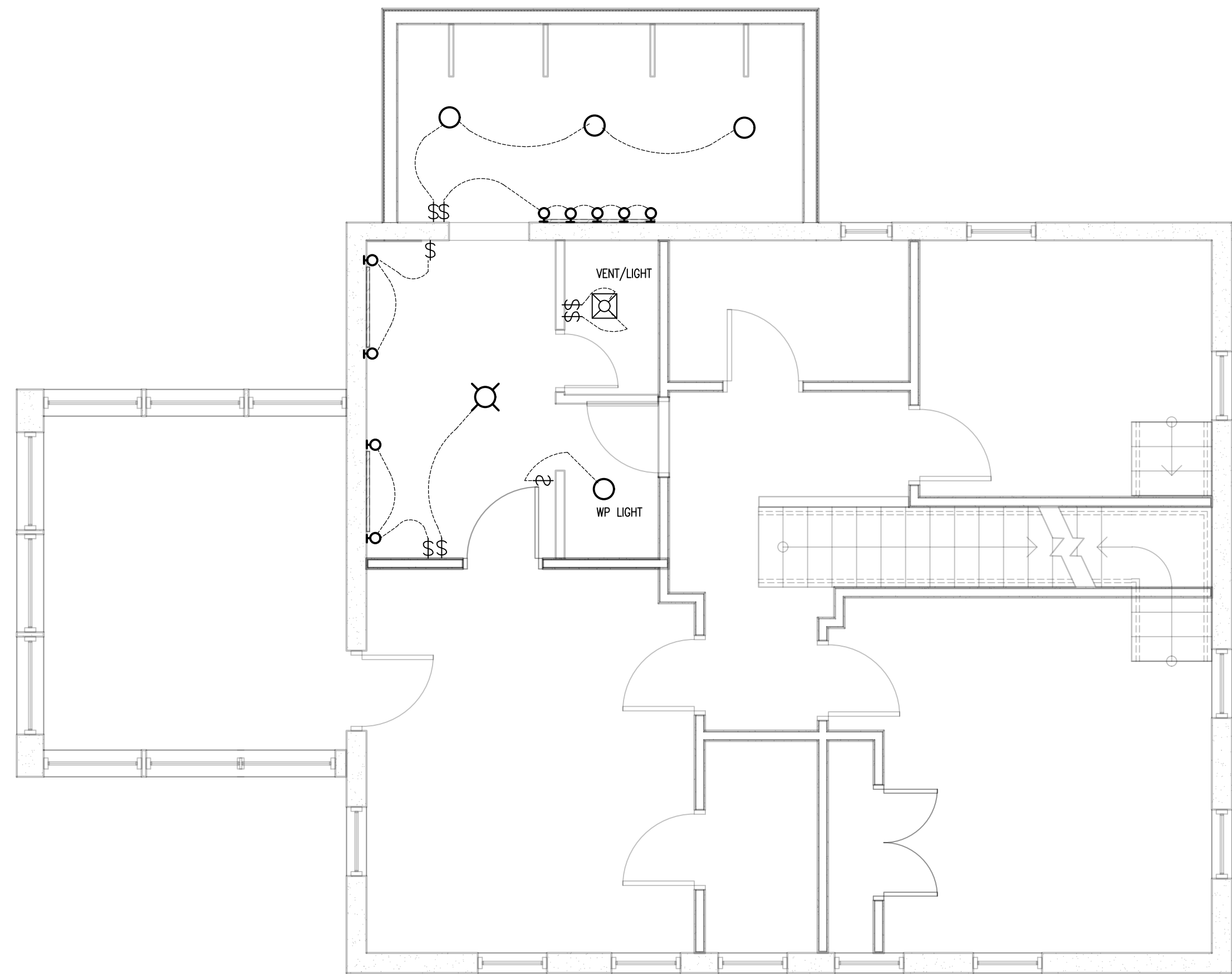
A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

Project	17 006
Date	01.30.2018
Scale	

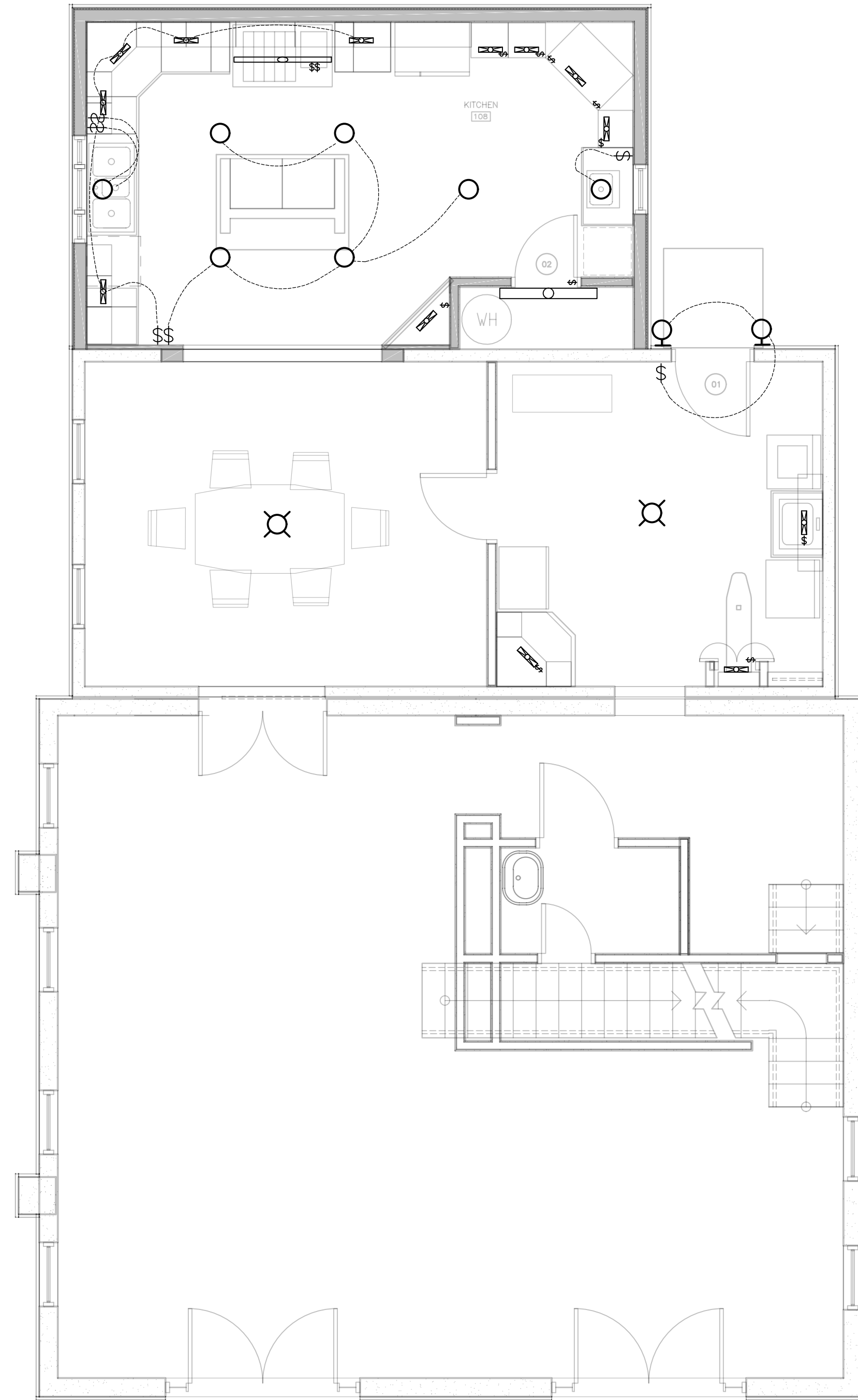
Sheet INTERIOR ELEVATIONS
A-402



01.30.2018



LIGHTING PLAN — SECOND FLOOR  
1/4"=1'-0"



1 LIGHTING PLAN — FIRST FLOOR  
1/4"=1'-0"

General Notes

1. CONTRACTOR IS TO VERIFY AMPERAGE AND CONFIGURATION AT SPECIAL OUTLET LOCATIONS (⚡)
2. UNLESS OTHERWISE INDICATED, ELECTRICAL DEVICES ARE TO REMAIN

THE INFORMATION INDICATED ON THIS PLAN IS DIAGRAMMATIC IN NATURE AND INDICATES THE DESIGN INTENT OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CITY OF SAN ANTONIO CONSTRUCTION REQUIREMENTS..

No.	Revision/Issue	Date

Firm Name and Address

JAMES ED CARLETON AIA  
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Project Name and Address

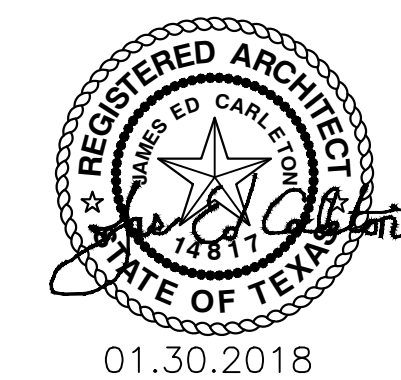
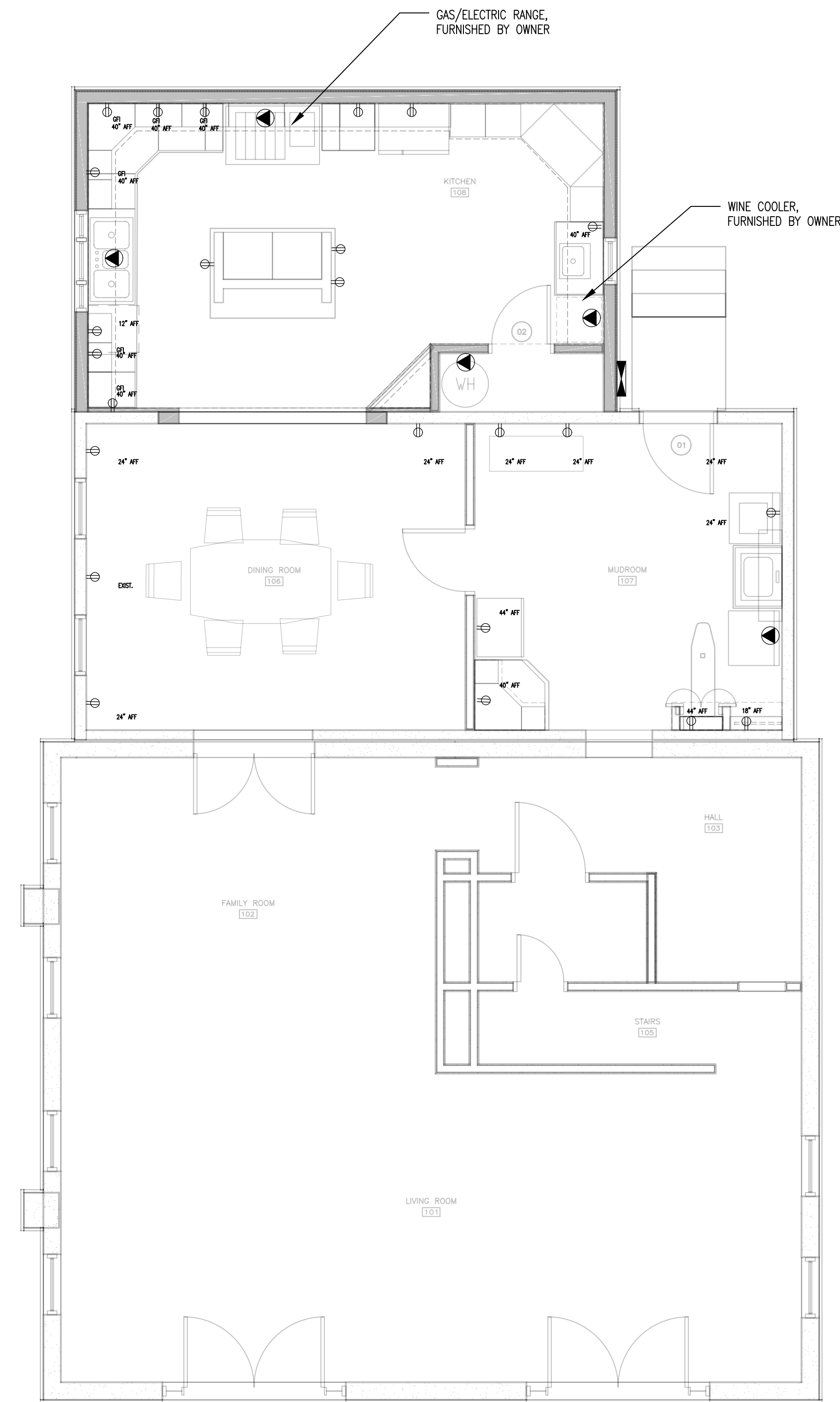
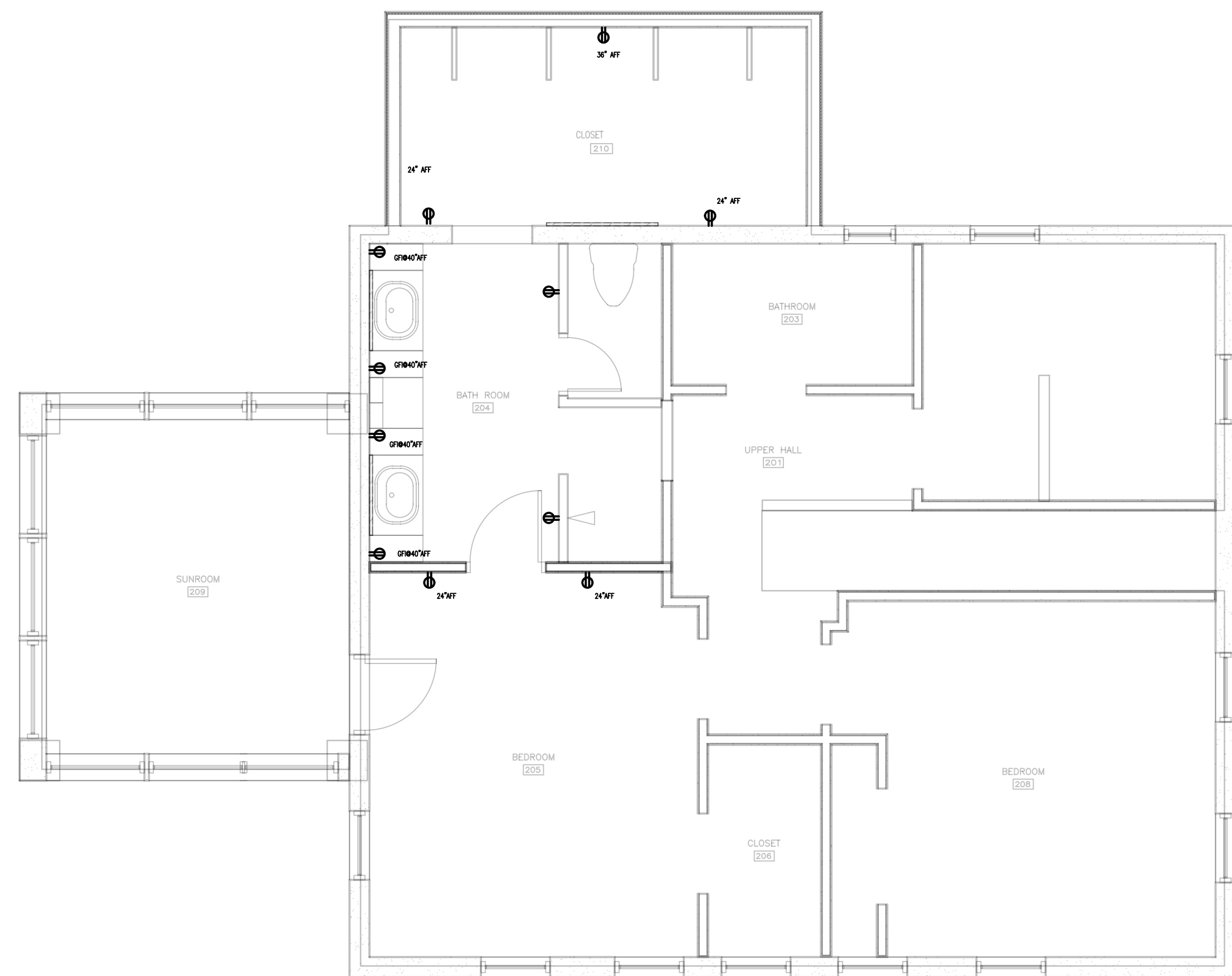
A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210



01.30.2018

Project	17 006	Sheet  E-100
Date	01.30.2018	
Scale		





General Notes

1. CONTRACTOR IS TO VERIFY AMPERAGE AND CONFIGURATION AT SPECIAL OUTLET LOCATIONS (◀)

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No.	Revision/Issue	Date

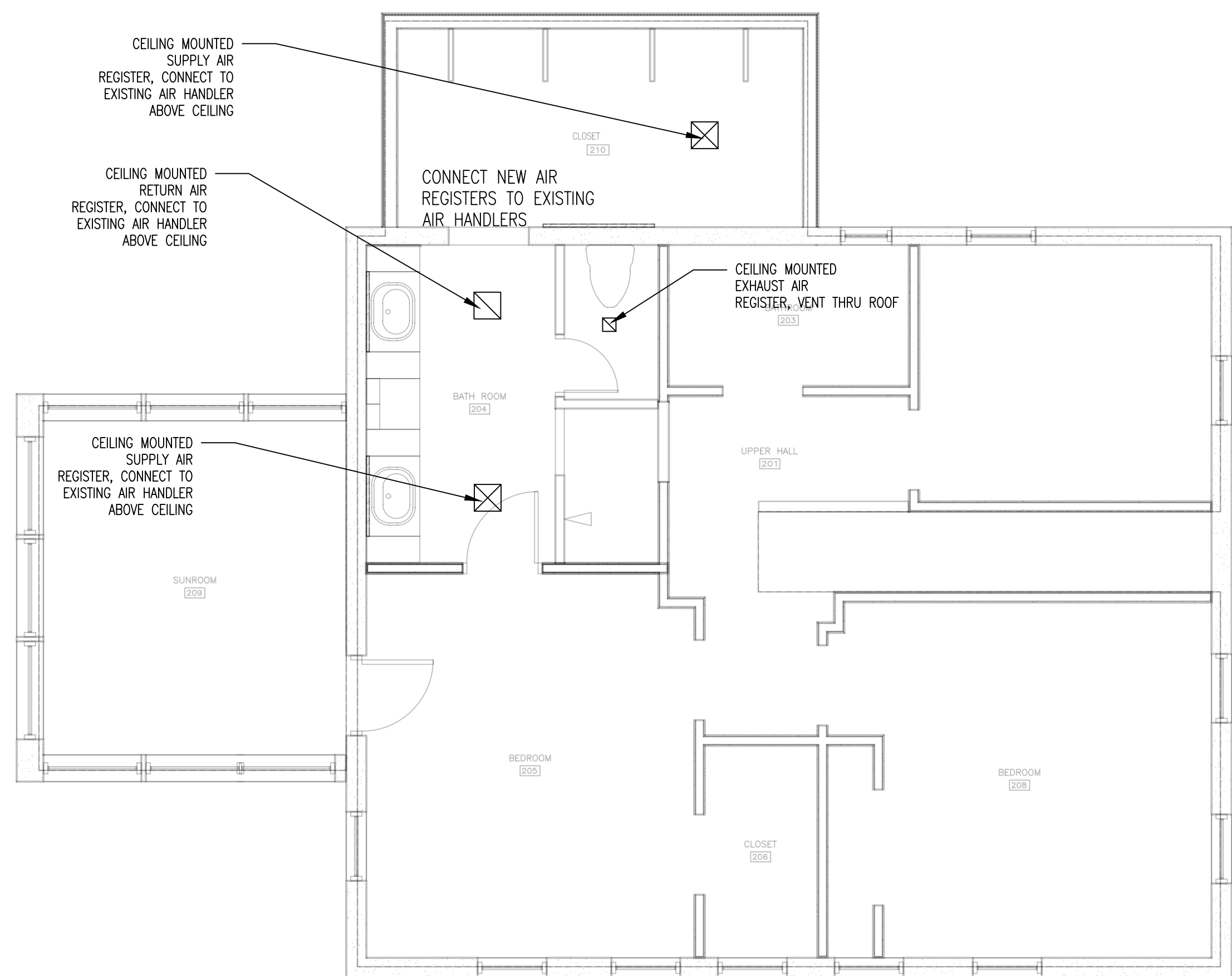
Firm Name and Address

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134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

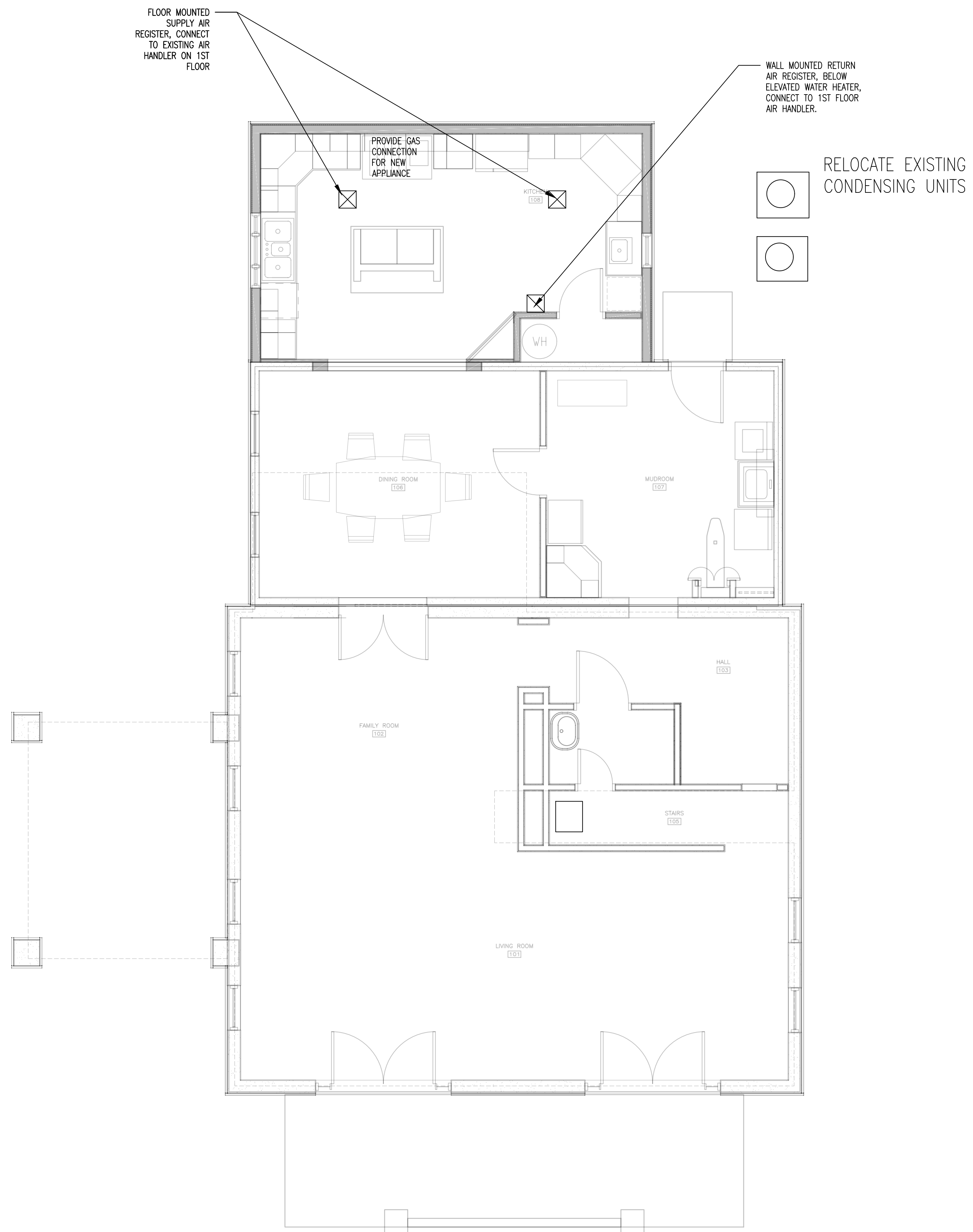
Project Name and Address

A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

Project	17 006	Sheet
Date	01.30.2018	
Scale		
		E-102



2 FIRST FLOOR MECHANICAL PLAN  
1/4"=1'-0"



1 FIRST FLOOR MECHANICAL PLAN  
1/4"=1'-0"



General Notes

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No.	Revision/Issue	Date

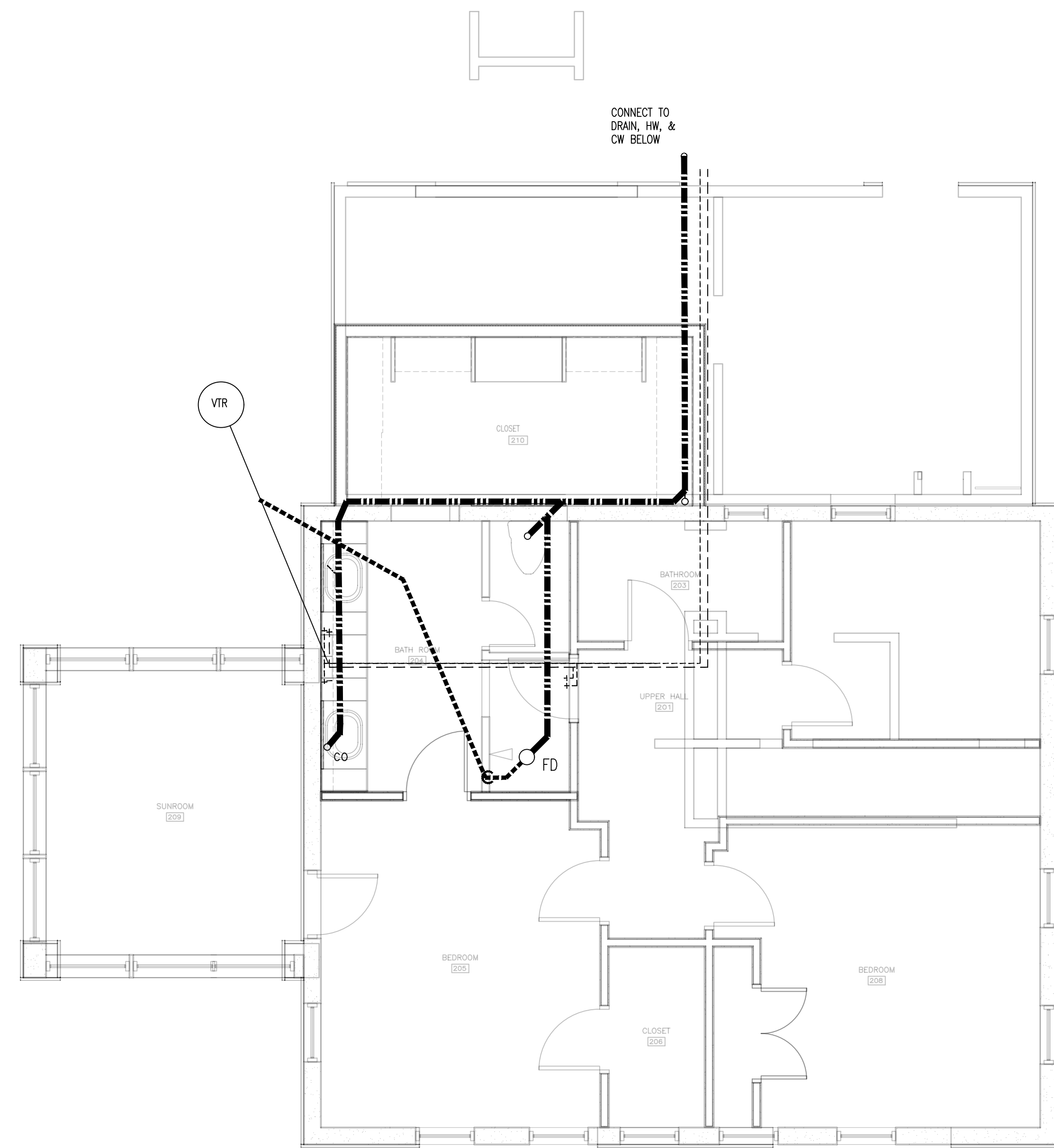
Firm Name and Address

JAMES ED CARLETON AIA  
134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

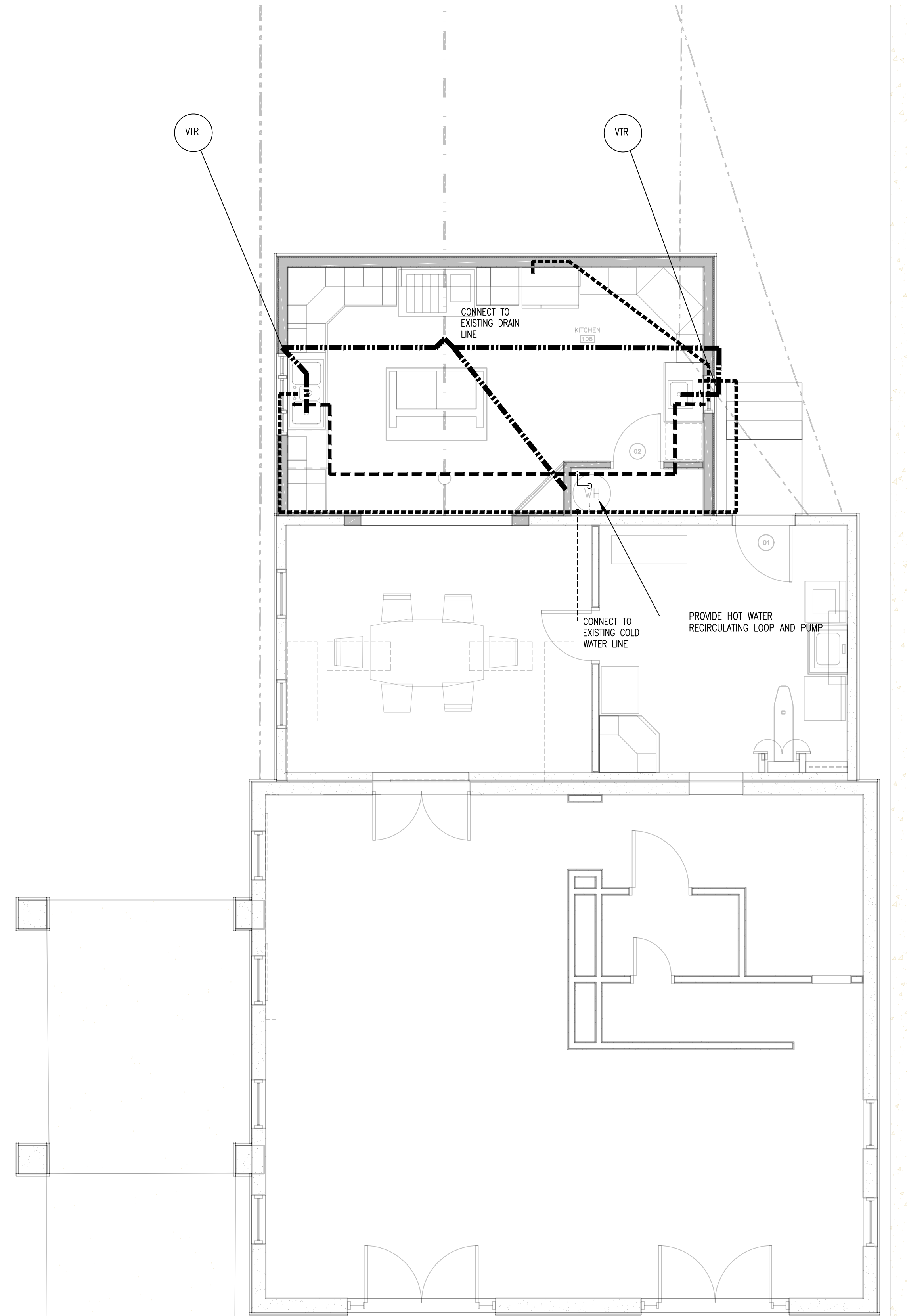
Project Name and Address

A RESIDENTIAL REMODEL FOR  
ELAINE AND RICK LUTTON  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

Project	17 006	Sheet
Date	01.30.2018	
Scale		
		M100



2 SECOND FLOOR PLUMBING PLAN  
1/4"=1'-0"



1 FIRST FLOOR PLUMBING PLAN  
1/4"=1'-0"



01.30.2018

General Notes

THE INFORMATION INDICATED ON THIS PLAN IS DIAGRAMMATIC IN NATURE AND INDICATES THE DESIGN INTENT OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CITY OF SAN ANTONIO CONSTRUCTION REQUIREMENTS..

No.	Revision/Issue	Date

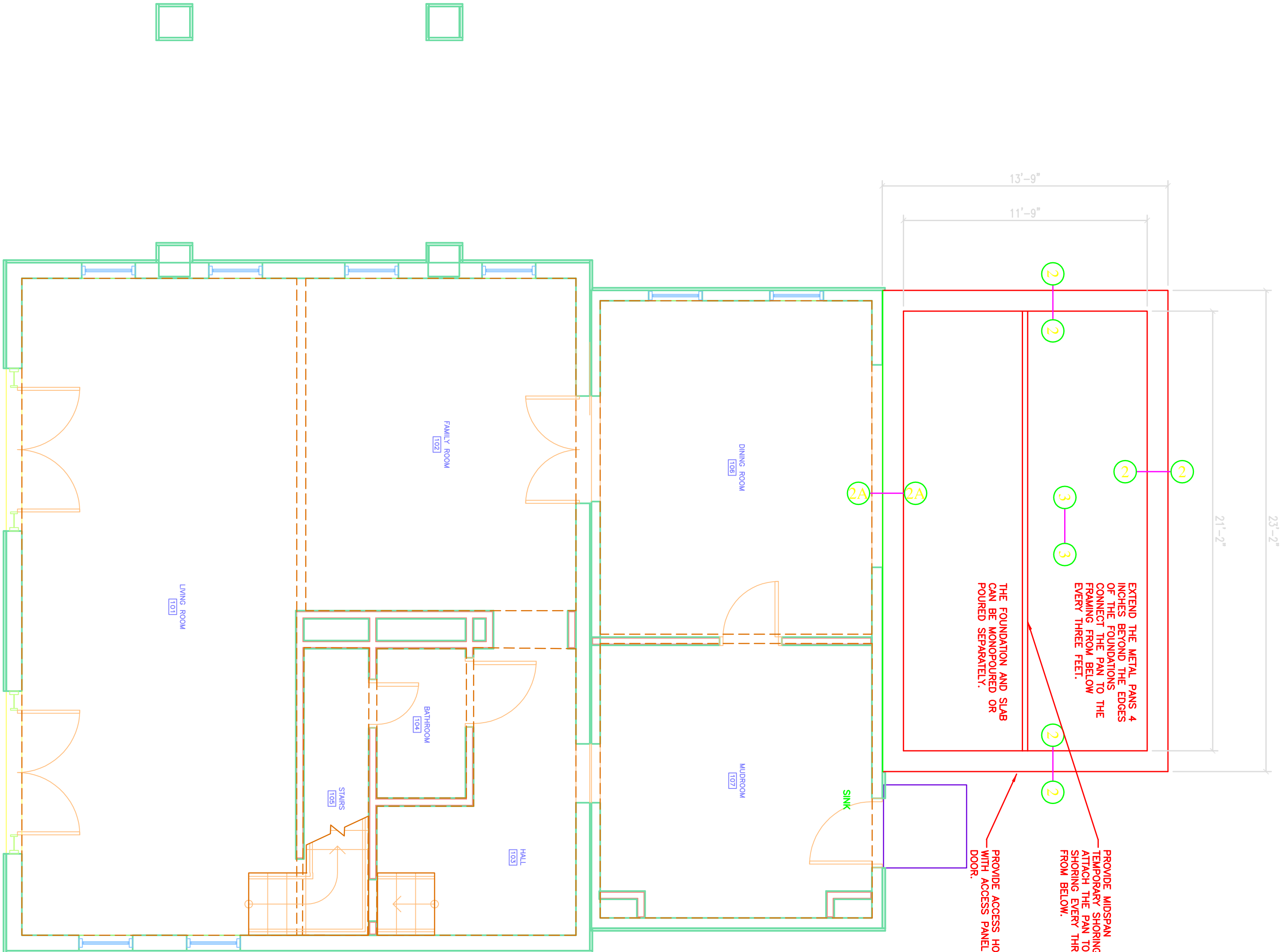
Firm Name and Address  
**JAMES ED CARLETON AIA**  
134 CHICHESTER  
SAN ANTONIO TEXAS, 78209

Project Name and Address  
**A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON**  
427 ADAMS STREET,  
SAN ANTONIO TEXAS, 78210

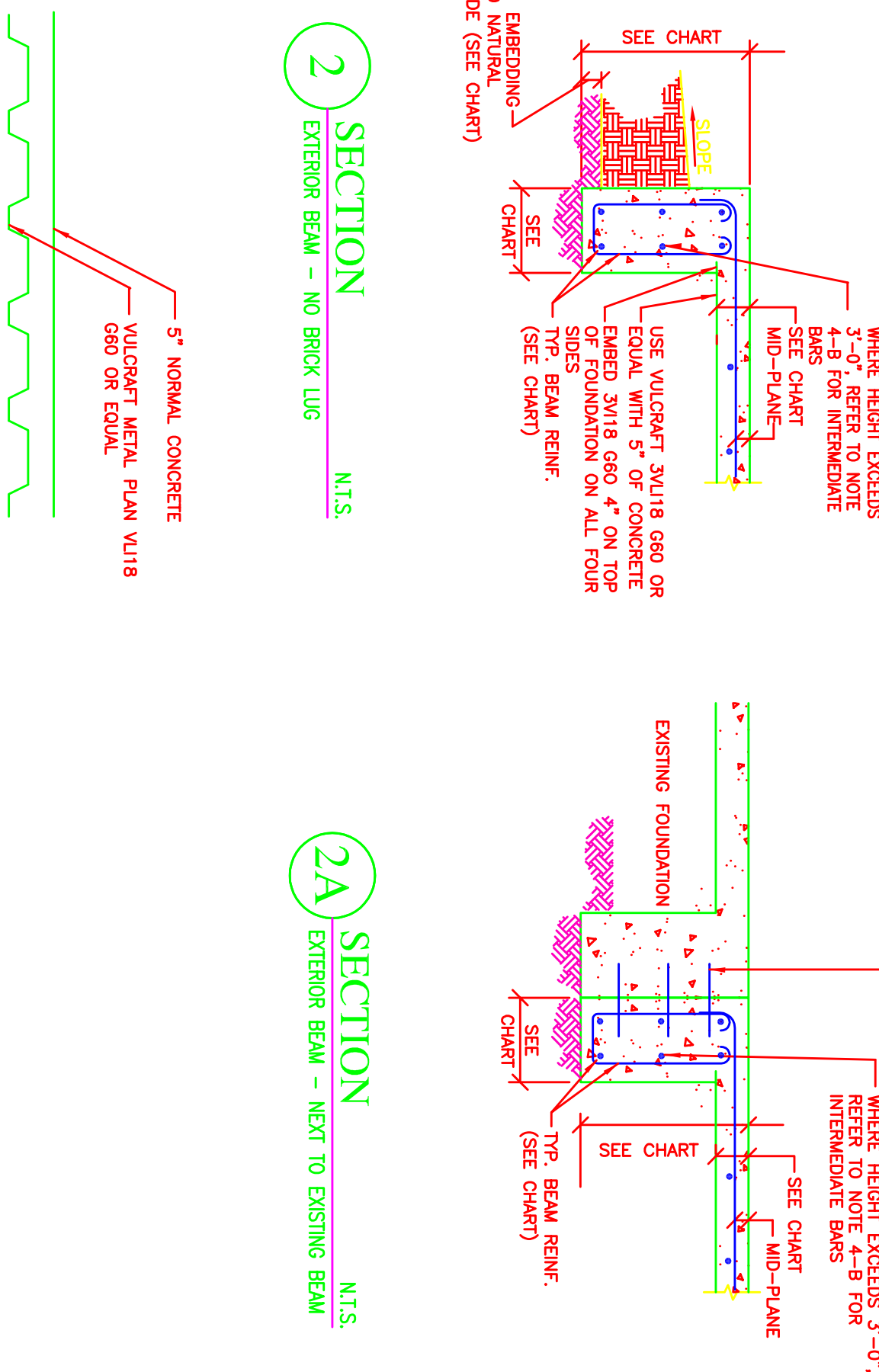
Project	Sheet
Date	01.30.2018
Scale	



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SECTION 1  
FOUNDATION DRAWINGS  
N.T.S.



REVISONS			
NO.	DESCRIPTION	DATE	APPR.

SEAI •



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**MORTENSEN ARCHITECTURAL ENGINEERING**  
 195 W. Arrowhead Dr.  
 San Antonio, Tx. 78228  
 (210) 801-4330  
 www.MAE-S.com

<h1 style="text-align: center;">FOUNDATION DESIGN FOR</h1> <h1 style="text-align: center;">ED CARLTON</h1>			
LOT:	7 & 8	BLOCK:	5
		N.C.B.:	2880
CITY:	SAN ANTONIO		COUNTY:
			BEXAR
<p>The use of this drawing is limited to the property described in the title block. Any other use of this drawing without the express approval of MTC, Inc. is prohibited.</p>			

# FOUNDATION DESIGN FOR ED CARLTON

SHEET TITLE:	
ADDRESS:	427 ADAMS ST
SUBDIVISION:	
PLAN NO.:	

**JOB NO:** 17-052

DATE: 01/29/2018

DESIGNER: SMA

CHECKED: SMM

**DRAWN:** **31/11/11**

SHIELD:

OF 1