HISTORIC AND DESIGN REVIEW COMMISSION February 21, 2018

HDRC CASE NO: 2018-067

ADDRESS: 427 ADAMS ST

LEGAL DESCRIPTION: NCB 2880 BLK 5 LOT 7&8

ZONING: RM-4, H

CITY COUNCIL DIST.: 1

DISTRICT: King William Historic District

APPLICANT: James Ed Carleton **OWNER:** Elaine and Rick Lutton

TYPE OF WORK: Construction of a rear addition

APPLICATION RECEIVED: February 02, 2018 **60-DAY REVIEW:** April 3, 2018

REQUEST:

The applicant is requesting conceptual approval for to:

- 1. Construct a two story rear addition.
- 2. Remove a second story side window opening.
- 3. Perform rehabilitative scopes of work to the rear, accessory structure.
- 4. Remove a first level, side door opening.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

B.. ROCKS OR HARDSCAPE

- *i. Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- *ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- *iii.* Rock mulch and gravel Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.
- 5. Sidewalks, Walkways, Driveways and Curbing

B. DRIVEWAYS

- i. Driveway configuration—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- *ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

FINDINGS:

- a. The historic structure at 427 Adams was constructed circa 1915 in the Craftsman style and features two stories in height and a façade of stuccoed masonry. The structure features a porte-cochere on its southern façade. This structure first appears on the 1951 Sanborn Map.
- b. ADDITION At the rear of the primary historic structure, the applicant has proposed to construct an addition to

feature two stories in height and a footprint of approximately 315 square feet. The applicant has noted that the second floor will feature approximately 128 square feet in size. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. Per application documents, the proposed addition will feature a height that is subordinate to that of the primary historic structure, will feature an appropriate roof form and will be inset from the walls of the primary historic structure. The proposed addition is consistent with the Guidelines.

- c. SCALE, MASS & FORM Regarding scale, mass and form, the proposed rear addition features an overall footprint and height that are subordinate to that of the primary historic structure and are not a departure from the historic context of the district.
- d. MATERIALS The applicant has proposed materials that include a stucco façade, a standing seam metal roof and wood casement windows. Staff finds that the stucco finish should match that of the primary historic structure. The standing seam metal roof should feature seams that are 1 to 2 inches in height, panels that are 18 to 21 inches in width and a crimped ridge seam. While inconsistent with the Guidelines, staff finds the proposed broze colored roof to be appropriate given the color of the existing roof.
- e. WINDOW MATERIALS As noted in finding d, the applicant has proposed wood casement windows; however, at this time the applicant has not provided specifics of the proposed windows. Generally, staff finds the installation of windows that match the profile of those found in the historic structure, one over one, to be most appropriate. The proposed wood windows should feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- f. ARCHITECTURAL DETAILS Generally, the proposed addition is appropriate for the style of the primary historic structure and consistent with the Guidelines. Prior to returning for final approval, the applicant should provide additional information regarding window profiles and exterior elevations of each side of the proposed structure.
- g. WINDOW REMOVAL To the immediate rear of the side porte cochere, the applicant has proposed to infill an existing window opening. The Guidelines for Exterior Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. The applicant's proposed window removal is not consistent with the Guidelines; however, given its location and low visibility due to the existing porte cochere, staff finds that its removal may be appropriate if the existing window is repaired and installed in the proposed addition.
- h. DOOR REMOVAL Beneath the porte cochere the applicant has proposed to remove an existing door opening. The Guidelines for Exterior Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. The applicant's proposed door removal is inconsistent with the Guidelines. This door, serving as a historic side entrance location contributes significantly to the architectural integrity of the structure and the historic use of the porte cochere.
- i. MAINTENANCE The applicant has noted repairs to both the historic structure and a historic accessory structure including stucco repair, gutter and downspout replacement and painting of the wood fascia and trim. The proposed scopes of work are to be completed in kind.

RECOMMENDATION:

Staff recommends approval of items #1 through #3 based on findings a through g and i with the following stipulations:

- i. That the proposed standing seam metal roof features seams that are 1 to 2 inches in height, panels that are 18 to 21 inches in height and a crimped ridge seam.
- ii. That the proposed stucco finish matches that of the primary historic structure.
- iii. That one over one wood windows be installed that feature specifications noted in finding e.
- iv. That elevations of each of the addition's facades be submitted when returning for final approval.
- v. That the removed wood window be salvaged and installed in the proposed addition.

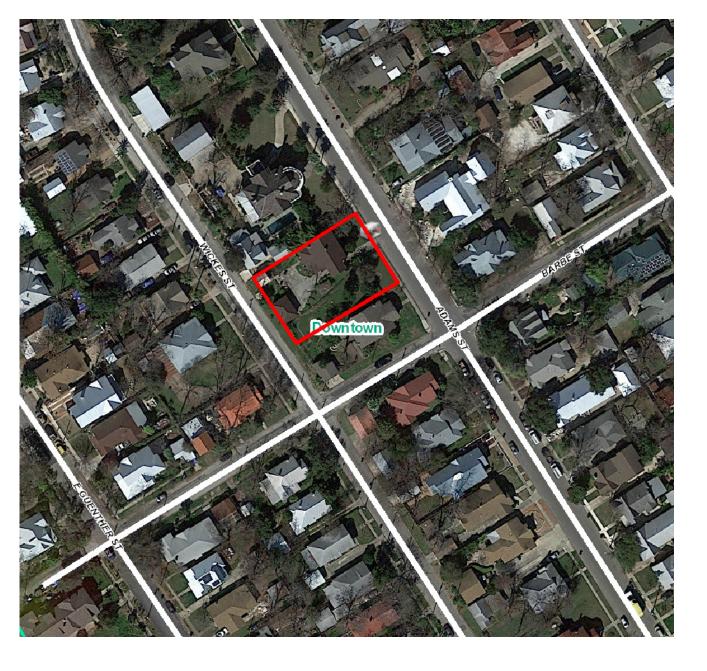
Staff does not recommend approval of item #4, door removal based on finding h.

CASE MANAGER:

Edward Hall

CASE COMMENT:

A site visit is to be scheduled with staff to inspect roofing materials prior to installation. A site visit can be scheduled by calling (210) 207-0035.





Flex Viewer

Powered by ArcGIS Server

Printed:Feb 13, 2018

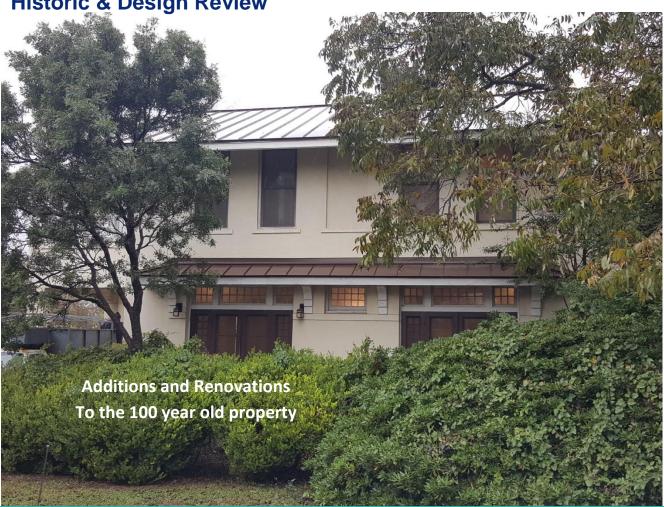
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427 Adams

Historic & Design Review



FEBRUARY 2

James Ed Carleton AIA Authored by: jec



Project Description

315 sq ft 1st Floor Kitchen Addition

- Suspended Concrete Foundation
- Wood Framed Structure
- Rain-Screen veneer with stucco exterior
- Standing Seam metal roofing
- The added space will open to the existing Dining Room
- Interior finishes are to be painted drywall on walls and ceiling, ceramic tile flooring, and stained wood cabinets

128 sq ft 2nd Floor Closet

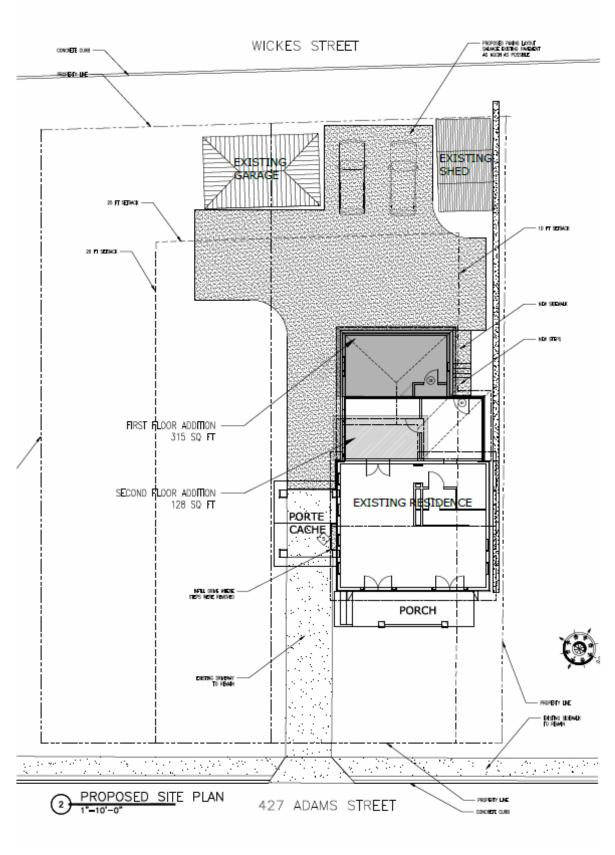
- Wood Framing Structure
- Rain-Screen veneer with stucco exterior
- Standing Seam metal roofing
- The added space will open a renovated Master Bathroom
- Interior finishes are to be painted drywall on walls and ceiling, wood flooring, and stained wood cabinets

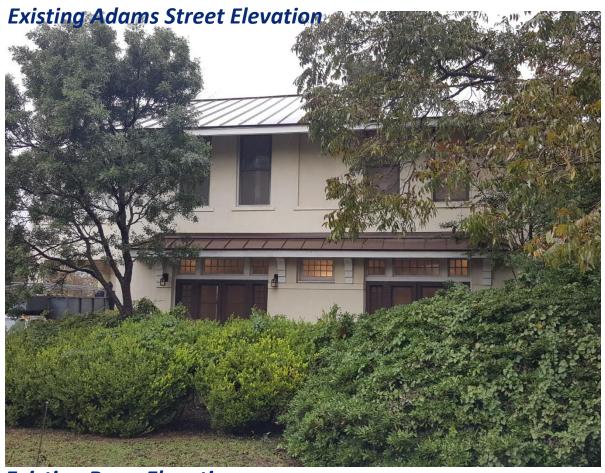
Exterior renovations

- Landscape Clean up
- Stucco Repair
- Gutter & Downspout replacement
- Paint wood fascia and trim
- No signage will be provided

Our concept is to make additions to the home with similar design elements and not detract from the original design.

Proposed Site Plan





Existing Rear Elevation



Existing Side Yard Elevation:



Existing Carriage House



EXTERIOR FINISH UPGRADES TO BE APPLIED TO THIS BUILDING

Existing Shed

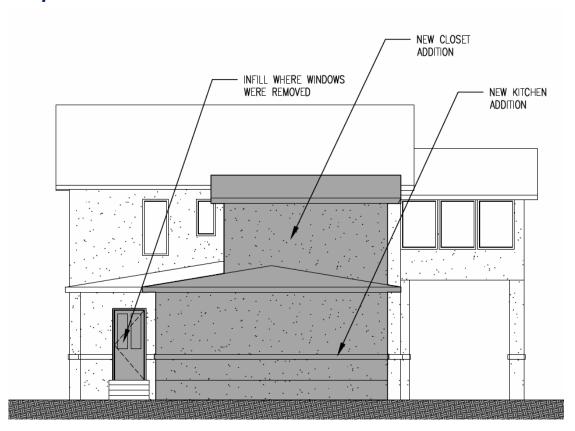


NO CHANGES TO THIS BUILDING

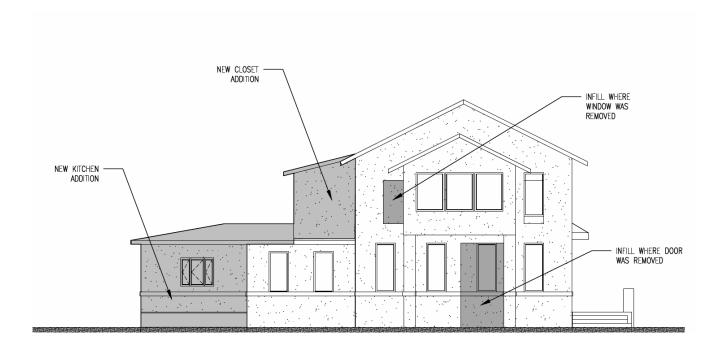
Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation



Materials to be used:

- Stucco is to be a mixture of portland white cement, sand, water, and binders...installed over a galvanized expanded metal lathe on treated wood nailers. Stucco will be painted.
- Roofing to be installed will match the existing bronze standing seam roofing.
- New Windows will be casement wood frame with insulated glazing.
- Wood fascia and trim will be painted with exterior latex paint.
- An existing door will be relocated to the rear elevation of the home.
- Thin Set ceramic floor tile will be installed in the Kitchen.
- Engineered Wood flooring will be installed in the Closet.
- Interior drywall will be painted with latex paint

ADAMS STREET RENOVATION

427 ADAMS STREET SAN ANTONIO, TEXAS 78212

01 30 2018 Date:

ELAINE AND RICK LUTTON

427 ADAMS STREET

SAN ANTONIO, TEXAS 78212

Architect: JAMES ED CARLETON AIA

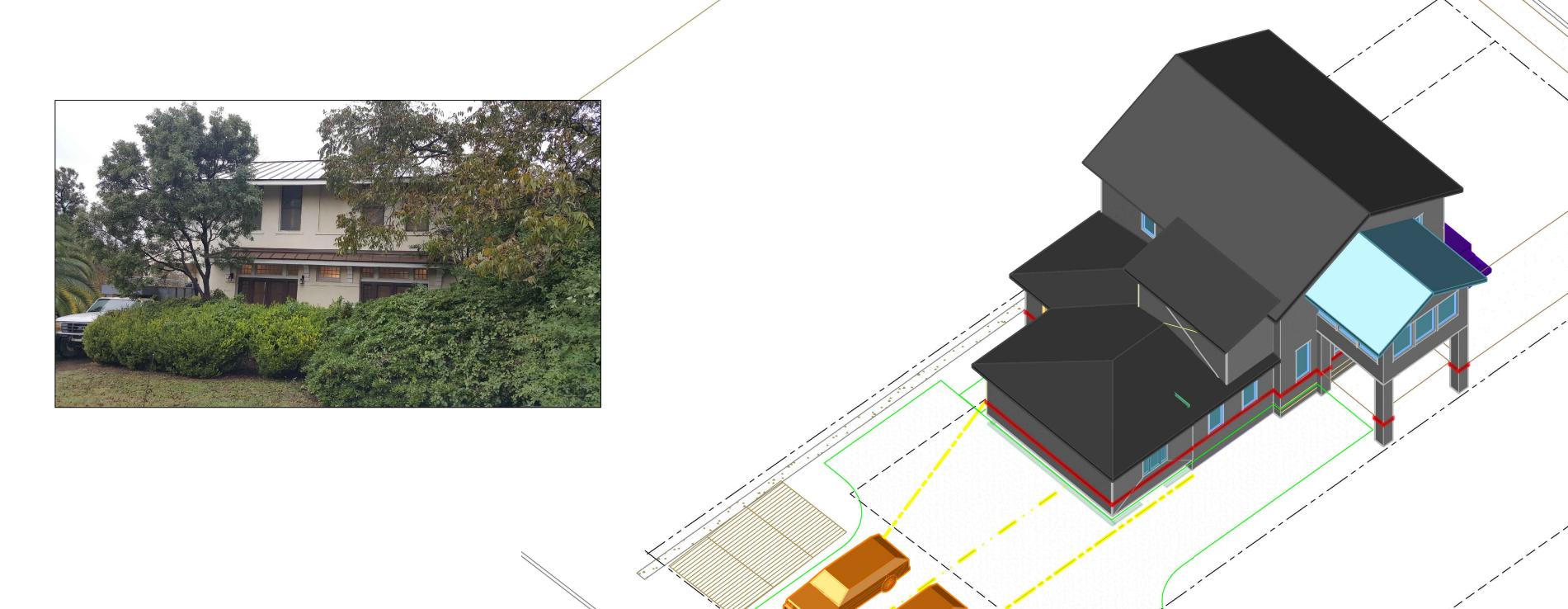
Sheet List Table

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G-100	Cover Shee
Architectural: Gener	ral
A-100	Site Plan
Architectural: Plans	
A-101	Floor Plans
A-102	Floor Plans
A-103	Floor Plans
A-104	Floor Plans

Architectural:	Elevations		
A-201		Building	Elevat
A-202		Building	Elevat
Architectural:	Sections		

Enlarged Plans

E-100	ELECTRICAL LIGHTING PLA
E-101	ELECTRICAL POWER PLANS
M - 100	MECHANICAL PLANS
P-100	PLUMBING PLANS
S-1	STRUCTURAL PLAN





Building Sections

Interior Elevations

WHEN REFERENCE IS MADE TO A MATERIAL SYSTEM, ALL PARTS AND MATERIALS PERTINENT TO THE MANUFACTURER'S SYSTEM SPECIFIED SHALL BE FURNISHED

AND INSTALLED. ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE ARCHITECT BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY. ON SITE,, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIE IMMEDIATELY TO THE ARCHITECT . EXISTING CONDITIONS PRIOR TO

COMMENCING CONSTRUCTION THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS OF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS, ARCHITECTURAL AND ENGINEERING - ARE TO BE USED

CONSTRUCTION.. FOR ANY ITEM IDENTIFIED IN THE CONTRAC DOCUMENTS THAT IS REASONABLY INERRABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE GENERAL CONTRACTOR SHALL INCLUDE ALL COMPONENTS IN THE

GENERAL DESIGN INTENT, BUT DO NOT AND COMPLETION. THE CONTRACTOR SHALI

EXECUTION AND COMPLETION OF THE WORK

CONTRACTOR OF THE WORK SHALL VERIFY CONSTRUCTION, EXISTING AND NEW, OR ANY OTHER UNKNOWN TOXIC MATERIAL DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF

JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSAL OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE

WORK OR ANY PART RELATED THERETO. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN THE SCOPE OF THE CONTRACT DOCUMENTS. LOCATION OF EXISTING EQUIPMENT SHOWN ON THE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE, CONTRACTOR

	ALL VERIFY THE EXACT LOCATION FORE STARTING CONSTRUCTION.	ÖF	ALL
No.	Revision/Issue	D	ate

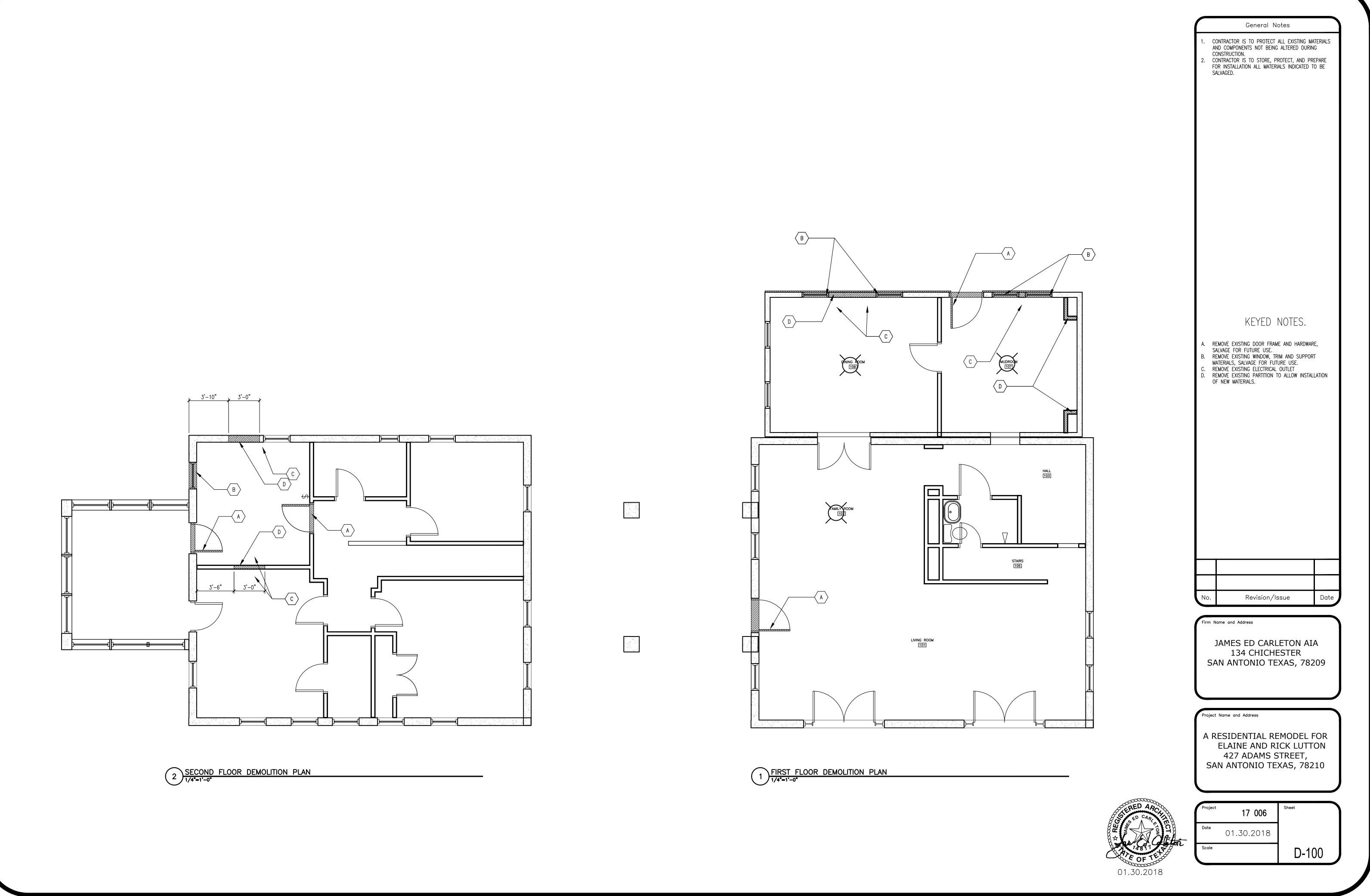
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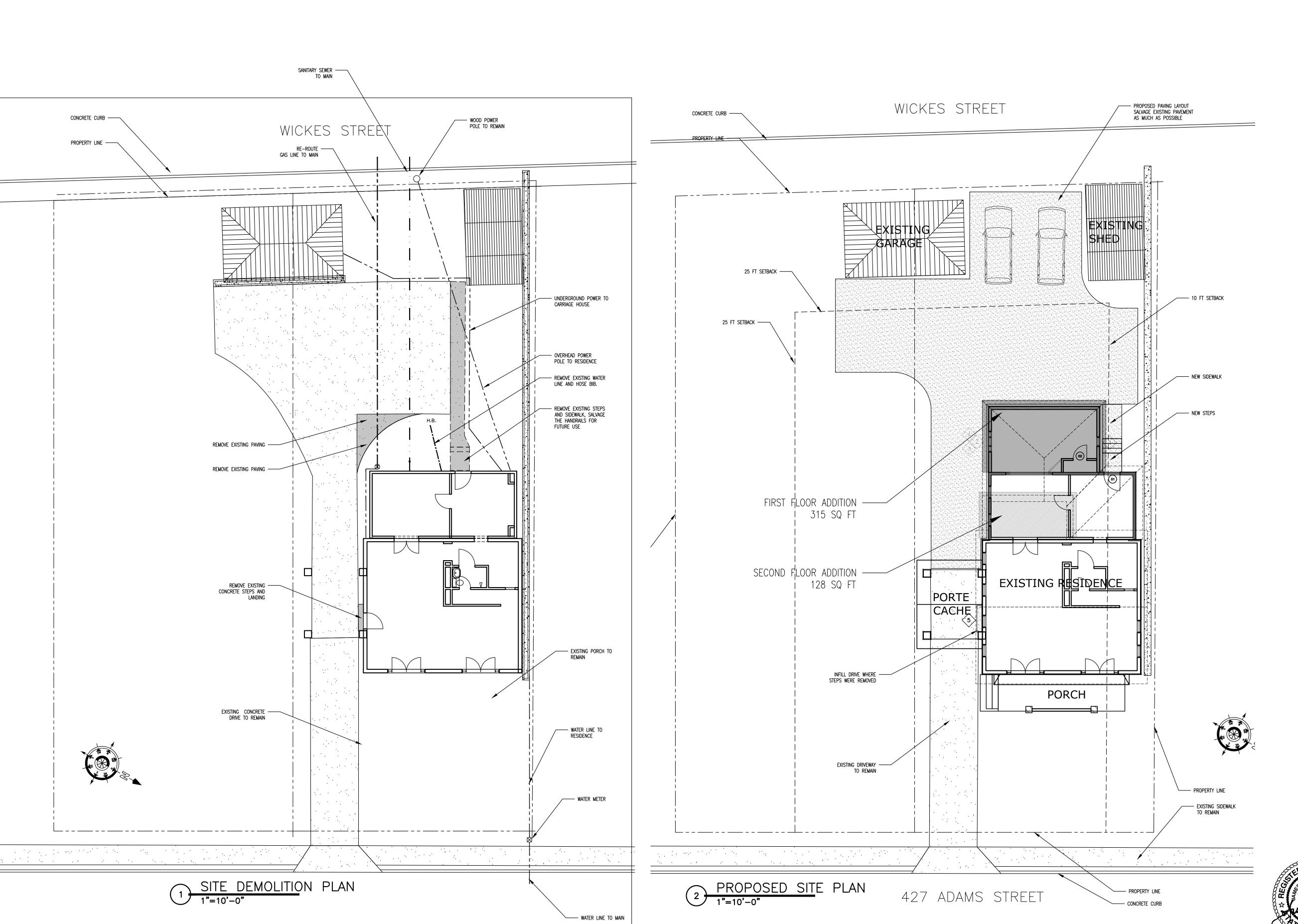
JAMES ED CARLETON AIA 134 CHICHESTER SAN ANTONIO TEXAS, 78209

A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON 427 ADAMS STREET, SAN ANTONIO TEXAS, 78210



Project		Sheet
Date	01.30.2018	
Scale		







General Notes

PROPERTY INFORMATION

427 ADAMS STREET, CITY OF SAN ANTONIO, COUNTY OF BEXAR, STATE OF TEXAS, 28210

LOT SIZE .3053 ACRES ...13,300 SQ FT

NCB 2880, BLOCK 5, LOT 7 & 8. ACEQUIA MADRE NAT/LOC HIST (SA)

KING WILLIAM HISTORICAL DISTRICT

KING WILLIAMS NEIGHBORHOOD ASSOCIATION

ZONING: RM-4

SAN ANTONIO INDEPENDENT SCHOOL DISTRICT

No.	Revision/Issue	Date

Firm Name and Address

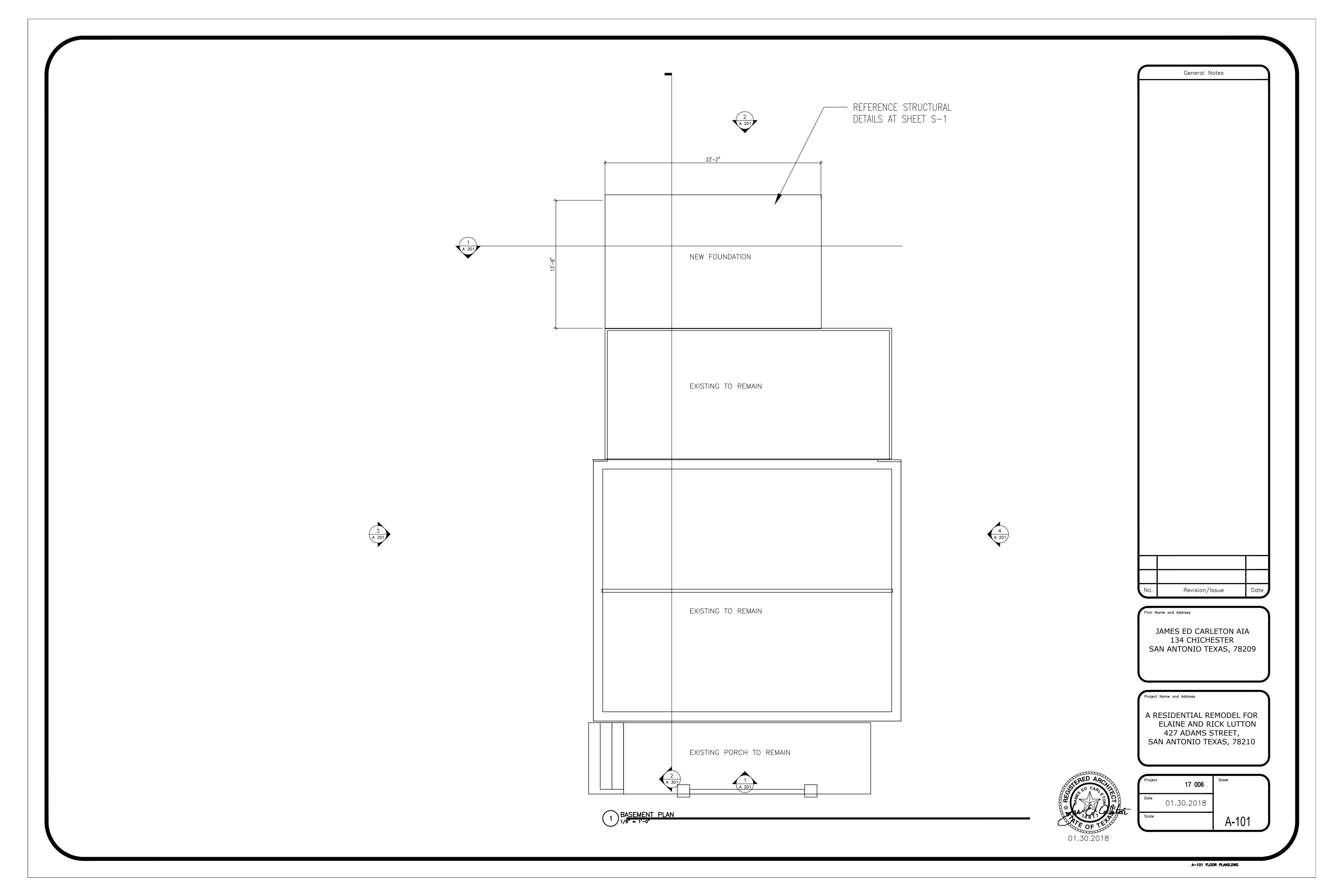
JAMES ED CARLETON AIA 134 CHICHESTER SAN ANTONIO TEXAS, 78209

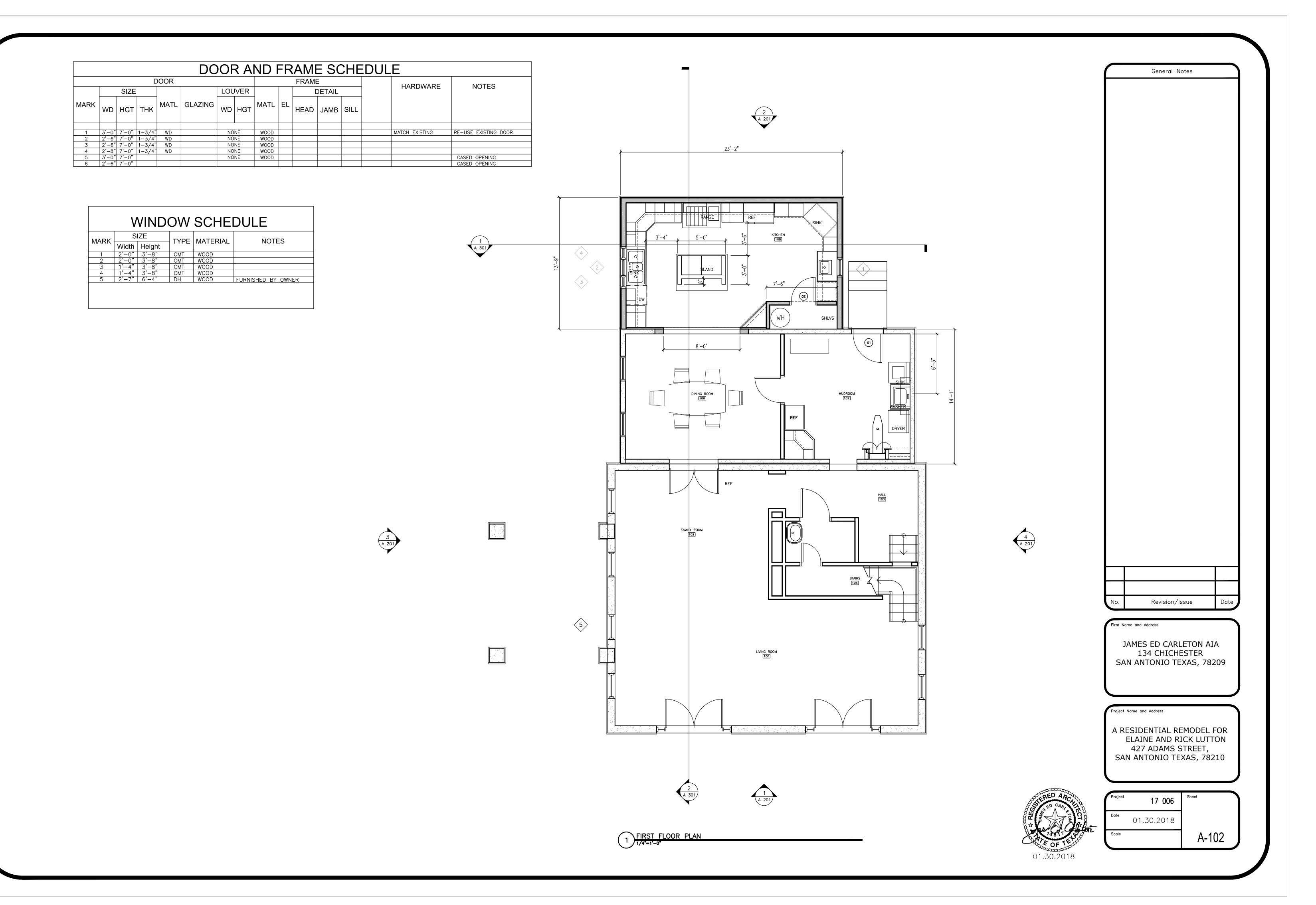
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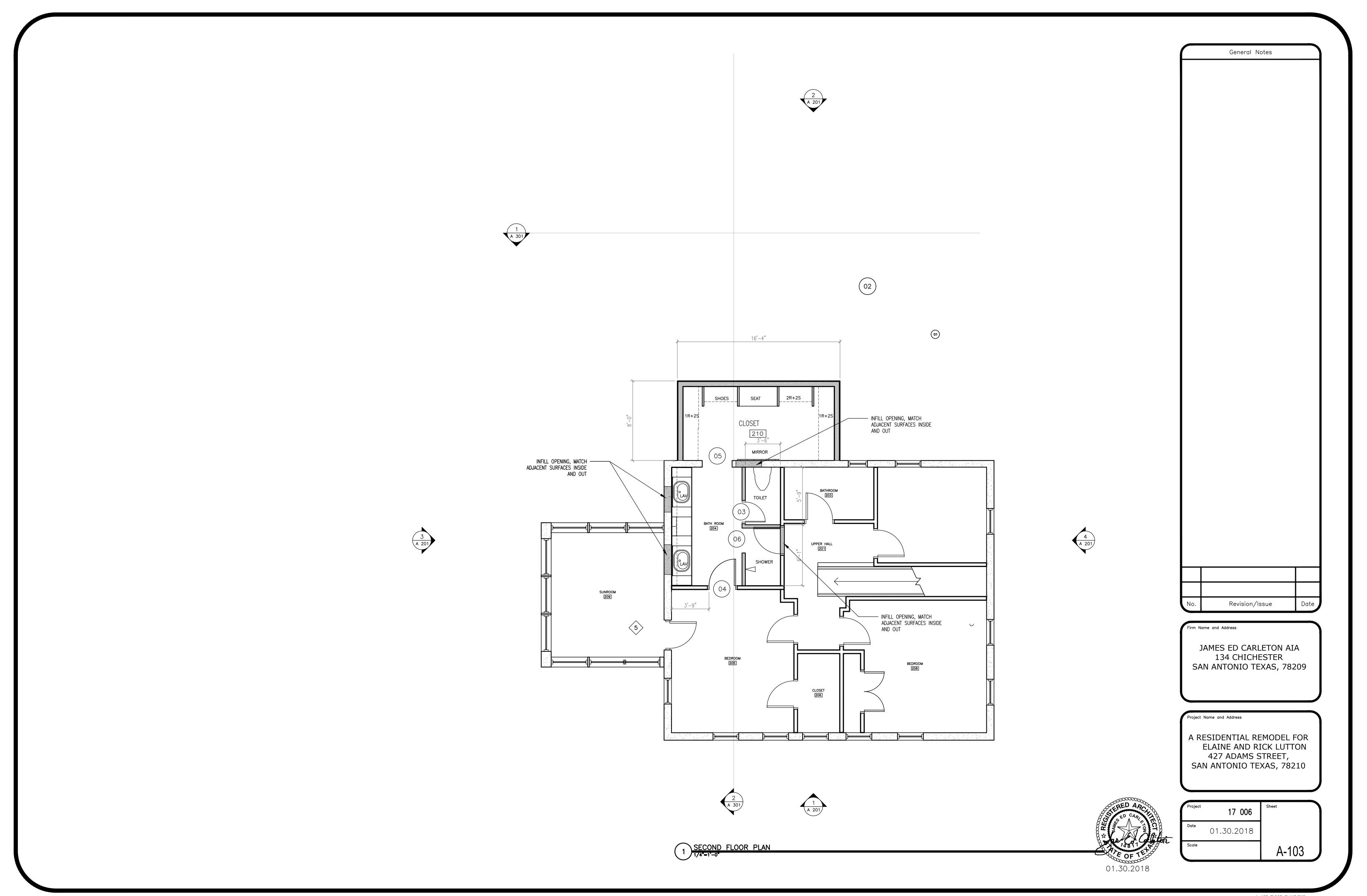
A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON 427 ADAMS STREET, SAN ANTONIO TEXAS, 78210

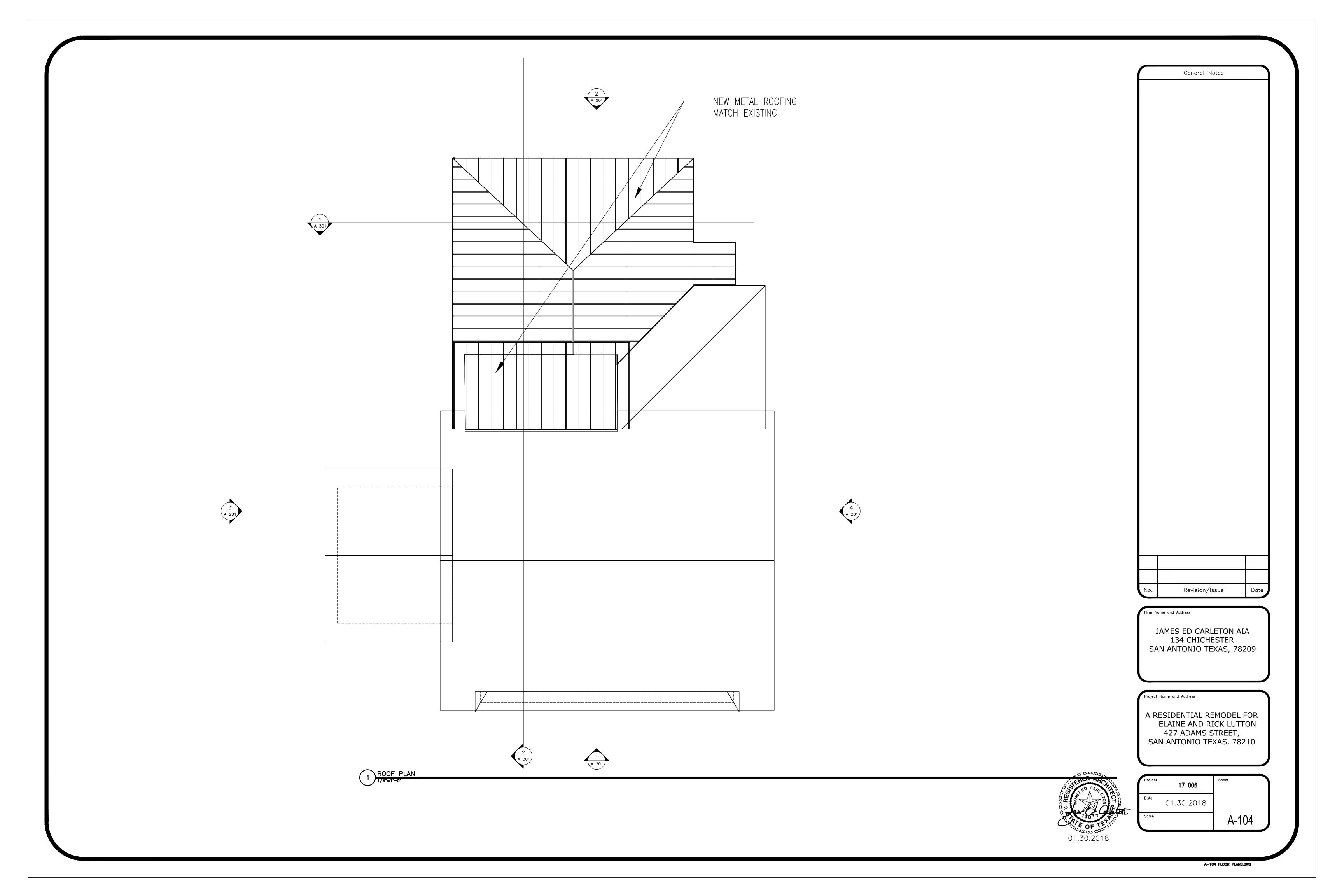


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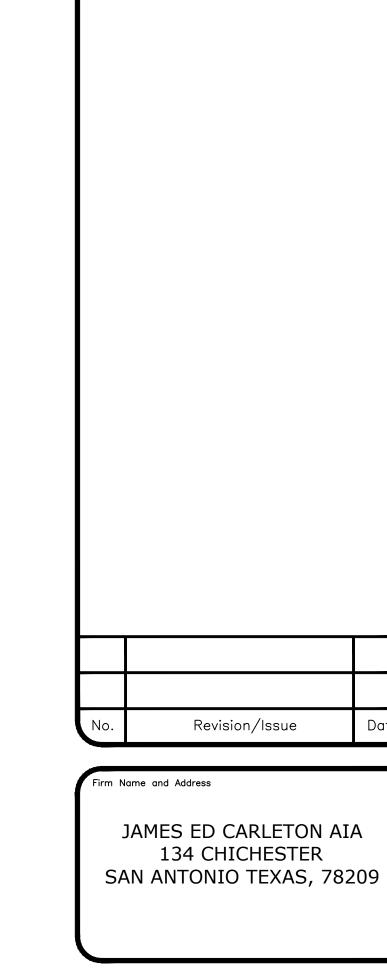












General Notes

─ ¾" PLYWOOD ROOF DECK --- R-20 BATT INSULATION ---- METAL DRIP EDGE 5/8" GYPBOARD SHEATHING — 2 X 4 WOOD OUTLOOK, ON 2 X 4 WOOD CEILING RAFTERS @ 16" O.C. PAINTED 1 X 6 WOOD TRIM, PAINTED 5/8" GYPBOARD SHEATHING, — — 2- 2 X 6 CONTINUOUS TEXTURED, TAPED, & PAINTED WOOD TOP PLATE —— 1/4" FINISHED COAT STUCCO ON 1/2" SCRATCH COAT, ON GALV. EXPANDED METAL — 1" VERTICAL TREATED WOOD NAILER @ 16" O.C. — FLUID APPLIED WATERPROOFING 1" X 6" WOOD BASE, ——— PAINTED —— 1/2" EXTERIOR SHEATHING --- STUCCO TRIM, MATCH EXISTING R-20 BATT INSULATION 2 X 6 WOOD FRAMING @ THIN SET PORCELAIN TILE ——— 16" O.C. CONTINUOUS TREATED WOOD BASE PLATE - INSECT/MORTAR NETTING WITH CONTINUOUS WICKING WEEPS — METAL DRIP, GALV. ---- REFERENCE STRUCTURAL SHEET S-1

STANDING SEAM METAL ROOFING, MATCH EXISTING

Date

Project Name and Address

A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON
427 ADAMS STREET,
SAN ANTONIO TEXAS, 78210

01.30.2018 A-401



Date Revision/Issue Firm Name and Address JAMES ED CARLETON AIA

General Notes

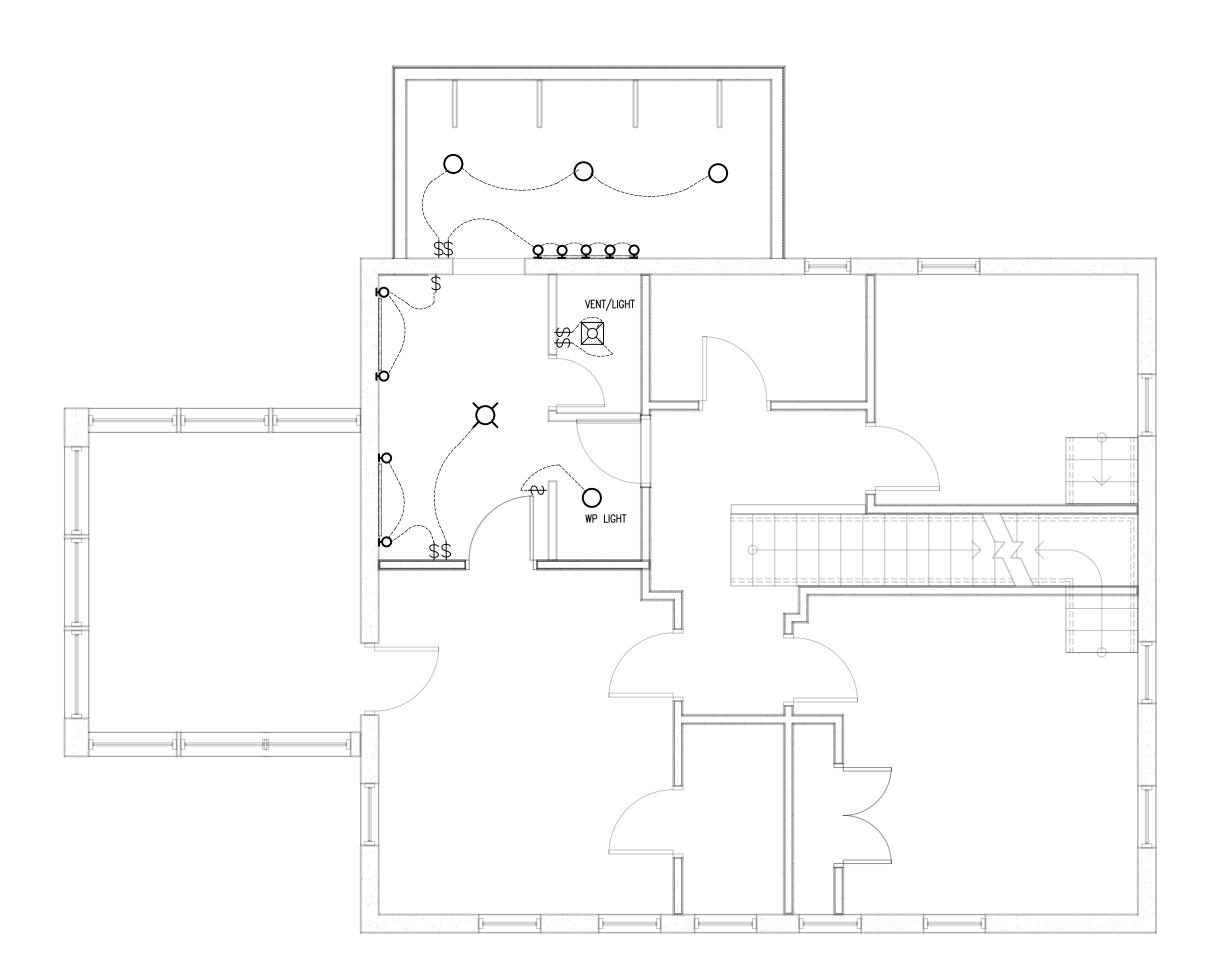
134 CHICHESTER SAN ANTONIO TEXAS, 78209

Project Name and Address

A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON
427 ADAMS STREET,
SAN ANTONIO TEXAS, 78210



Sheet INTERIOR 17 006 **ELEVATIONS** 01.30.2018



<u>LIGHTING PLAN — SECOND FLOOR</u>
1/4"=1'-0"

1 LIGHTING PLAN - FIRST FLOOR

General Notes

- CONTRACTOR IS TO VERIFY AMPERAGE
 AND CONFIGURATION AT SPECIAL
- OUTLET LOCATIONS (♠)

 2. UNLESS OTHERWISE INDICATED,
 ELECTRICAL DEVICES ARE TO REMAIN

THE INFORMATION INDICATED ON THIS PLAN IS DIAGRAMMATIC IN NATURE AND INDICATES THE DESIGN INTENT OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CITY OF SAN ANTONIO CONSTRUCTION REQUIREMENTS..

No.	Revision/Issue	Date

Firm Name and Address

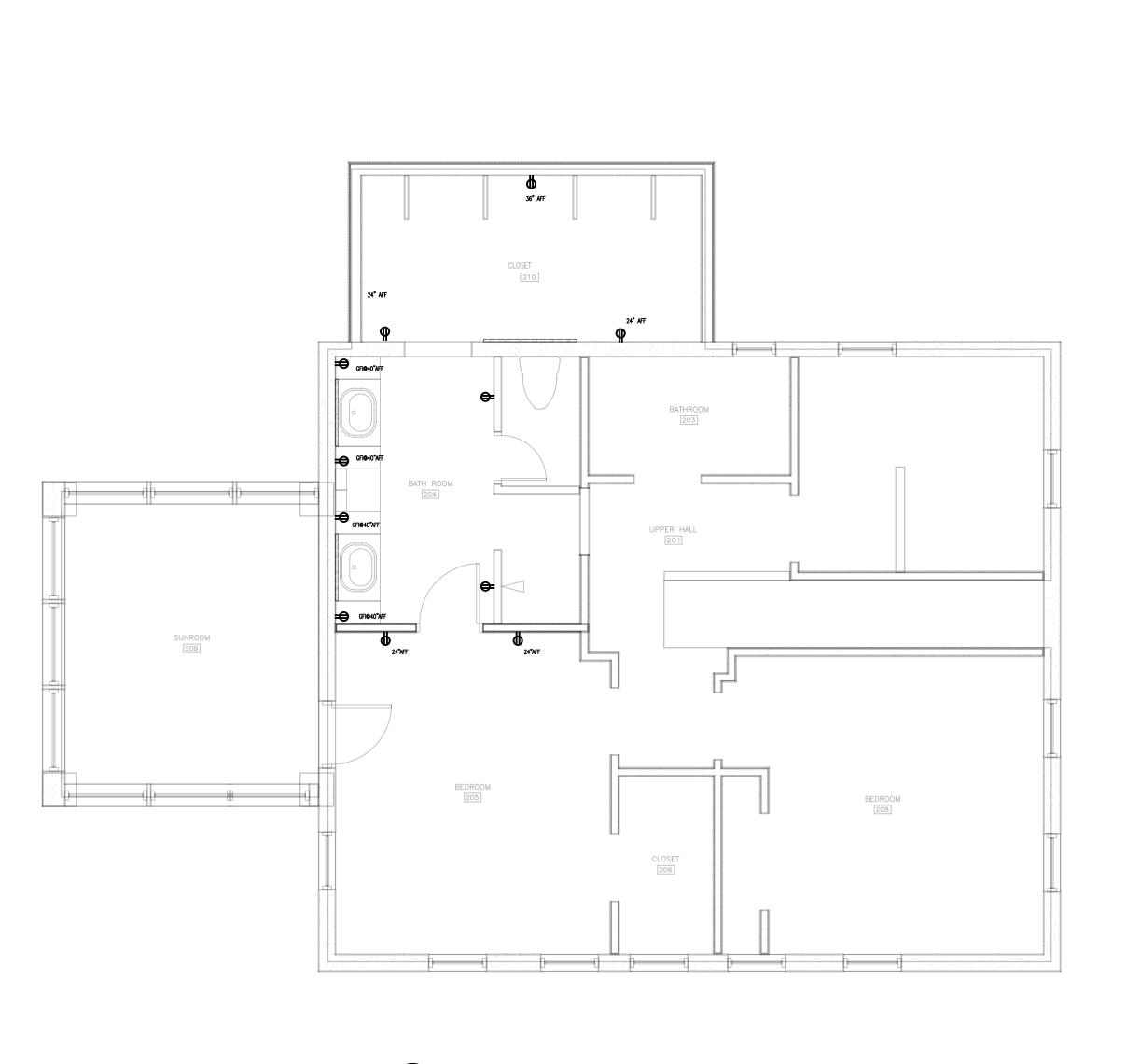
JAMES ED CARLETON AIA 134 CHICHESTER SAN ANTONIO TEXAS, 78209

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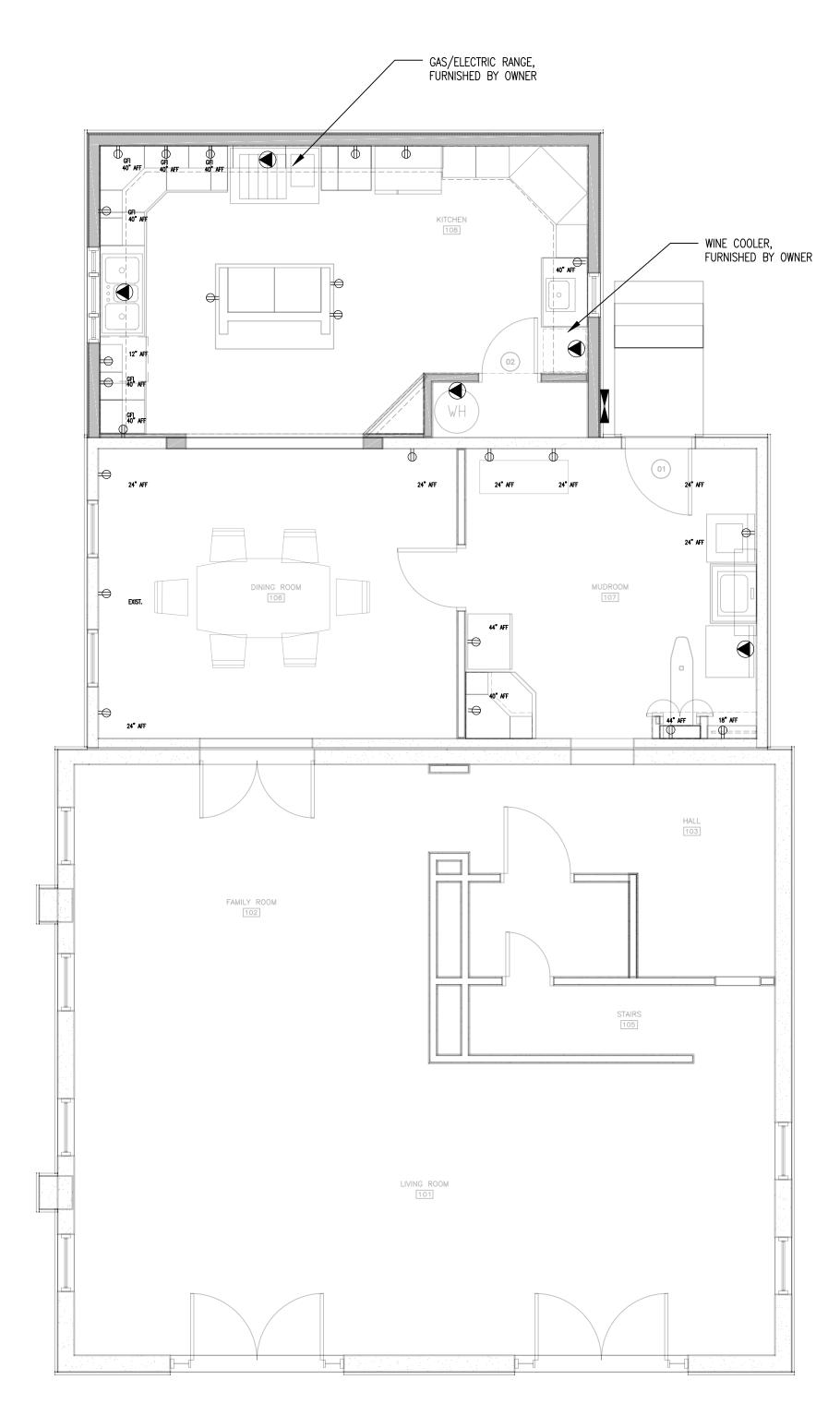
A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON 427 ADAMS STREET, SAN ANTONIO TEXAS, 78210



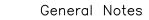
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2 SECOND FLOOR ELECTRICAL POWER PLAN
1/4"=1'-0"



1 FIRST FLOOR ELECTRICAL POWER PLAN
1/4"=1'-0"



 CONTRACTOR IS TO VERIFY AMPERAGE AND CONFIGURATION AT SPECIAL OUTLET LOCATIONS (
)

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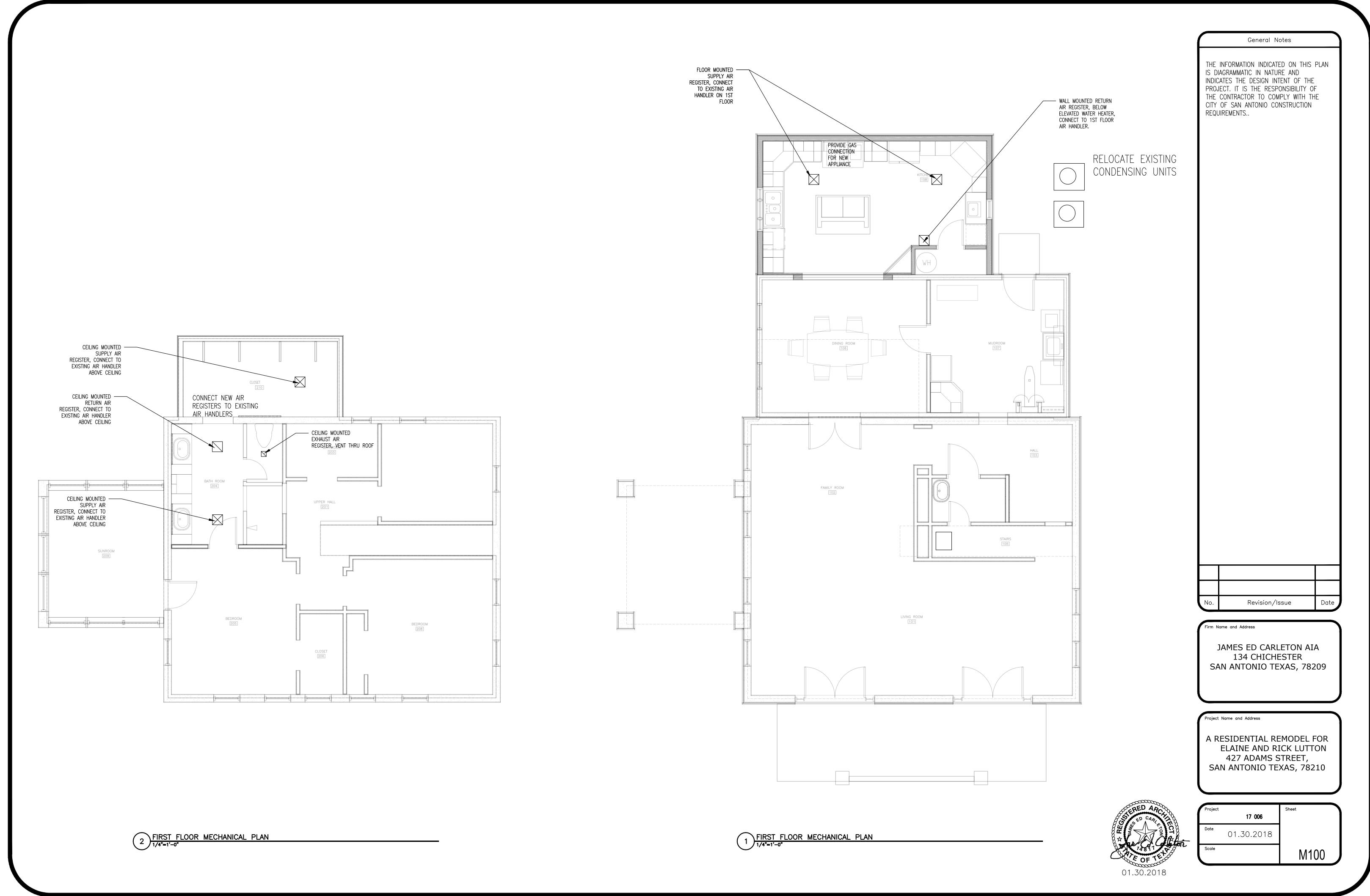
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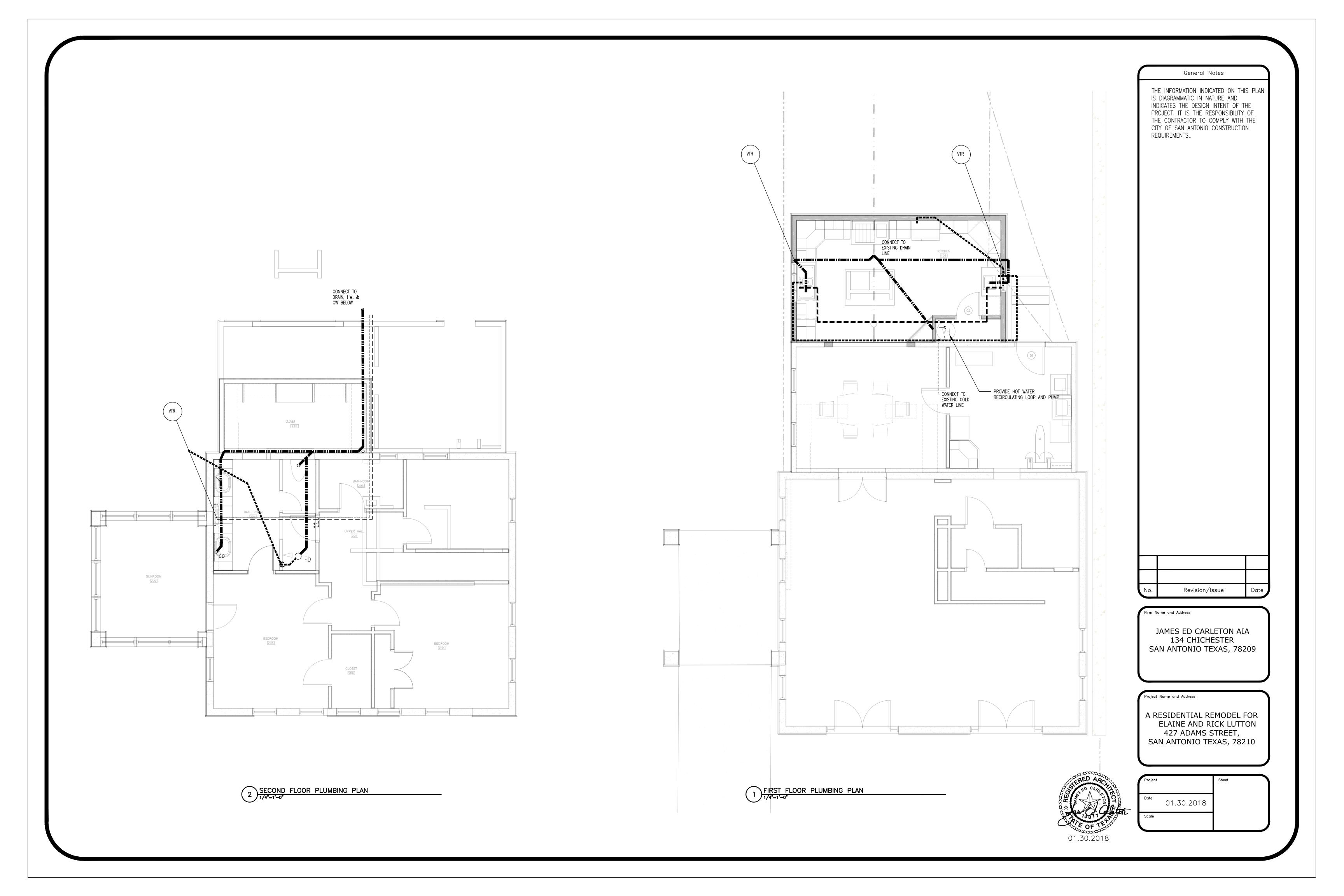
Project Name and Address

A RESIDENTIAL REMODEL FOR ELAINE AND RICK LUTTON 427 ADAMS STREET, SAN ANTONIO TEXAS, 78210



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Date	01.30.2018	
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ADMIXTURES OF ANY NATURE SHALL BE INTRODUCED INTO THE CONCRETE DESIGN MIX WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGN ENGINEER. NO AIR ENTRAINMENT OR CALCIUM CHLORIDE SHALL BE USED. THE CONCRETE SHALL APPROVE THE CONCRETE DESIGN MIX AS ACCEPTABLE FOR THE INTENDED USE.

B. CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI 302.1R. FINISH TOLERANCE SHALL BE IN ACCORDANCE WITH ACI 117. A MINIMUM SET OF TWO TEST CYLINDERS FOR 28-DAY COMPRESSIVE STRENGTH TESTS ARE RECOMMENDED TO BE PERFORMED IN ACCORDANCE WITH ASTM C39.

C. PLACE 1/2" X 7" EMBEDMENT ANCHOR BOLTS FOR ALL WOOD SILL PLATES ON EXTERIOR WALLS NOT EXCEEDING 4-0" O.C. AND A MINIMUM OF 2 ANCHOR BOLTS PER WALL AND NOT FURTHER THAN 12-INCHES FROM WALL ENDS.

. GRADE BEAMS:
ALL GRADE BEAM DEPTHS MAY BE REDUCED TO A MINIMUM OF 14—INCHES IF OLID ROCK.
FOR GRADE BEAMS WITH DEPTHS EQUAL TO OR IN EXCESS OF 36—INCHES, II EINFORCING STEEL BY ADDING TWO—#4 BARS HORIZONTALLY EVERY 18—INCHES RADE BEAMS EXCEED 8—FEET IN DEPTH, CONTACT MAE PLLC. -INCHES IF THE BEAM IS BEARING ON INCREASE THE AMOUNT OF S OF VERTICAL. IF THE EXTERIOR

REINFORCING STEEL:

REINFORCING BARS SHALL BE NEW BILLET STEEL, DEFORMED BARS, CONFORMING TO ASTM A615 GRADE 60.

LAPS AND SPLICES: MINIMUM 40 BAR DIAMETERS.

ALL BARS TO BE SUPPORTED IN THE FORMS AND SLAB WITH CHAIRS OR WIRE BOLSTERS, AND SHALL BE TIED

EVERY OTHER INTERSECTION.

ALL BARS SHALL HAVE A MINIMUM CLEAR COVER OF 3—INCHES FROM THE BOTTOM AND SIDES OF THE BEAMS.

AB REINFORCEMENT SHALL BE IN MID PLANE.

CORNER REINFORCING BARS: TWO CORNER BARS AT EACH CORNER OF THE PERIMETER GRADE BEAM/WALL, AS RETAIL 17, AND FOUR CORNER BARS AT THE INTERSECTION OF ALL INTERIOR GRADE BEAMS WITH THE PRIMETER GRADE BEAM/WALL, AS PER DETAIL 18.

A. FOR ALL SLAB DROPS GREATER THAN 36-INCHES, THE CONTRACTOR SHALL CONSTRUCT A FRENCH DRAIN SYSTEM OF CAPACITY SUFFICIENT TO INTERCEPT AND TRANSPORT WATER FROM BENEATH THE FOUNDATION TO A POINT AWAY FROM THE FOUNDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE DIRECTION OF FLOW AND POINT OF DISCHARGE TO DAYLIGHT. DISCHARGE OUTLET TO BE A MINIMUM OF 5-FEET AWAY FROM FOUNDATION. SOLID WALL PIPE MAY BE USED OUTSIDE OF FOUNDATION. WRAP ALL PERFORATED PIPE WITH MIRAFI N-SERIES FILTER FABRIC. REFER TO DETAIL 20.

B. ALL FOUNDATIONS THAT ARE TO HAVE A FILL DEPTH GREATER THAN 2-FEET BELOW BOTTOM OF INTERIOR GRADE BEAMS MAY BE DEFFENED TO MAINTAIN 2-FEET MAXIMUM DEPTH OF FILL BELOW BOTTOM OF BEAM. INTERMEDIATE BARS PER NOTE 4-B SHALL BE ADDED IF REQUIRED.

2. TO ACHIEVE BEARING THROUGH FILL TO SOLID ROCK, 14-INCH DIA. PIERS, FORMED WITH SONO-TUBES, SHALL BE PLACED AT ALL INTERIOR BEAM INTERSECTIONS. PIERS ARE TO BE REINFORCED WITH A MINIMUM OF FOUR-#4 VERTICAL BRAS WITH #3 TIES @ 12-INCHES O.C. VERTICALLY.

3. IF EARTH SUPPORTED - SELECT FILL EQUAL TO TADOT TYPE A BASE SHALL BE PROVIDED AND COMPACTED. FILL IS TO BE PLACED IN 8" LIFTS AND TESTED BY A SOILS TESTING LAB.

C. WHERE PIPES PASS THROUGH BEAMS, INCREASE BEAM SIZE AT PIPE PENETRATIONS TO MAINTAIN MINIMUM BEAM WIDTH AND HIGHT. PLACEMENT OF OVERSIZED DIAMETER SLEEVES IS ALSO RECOMMENDED.

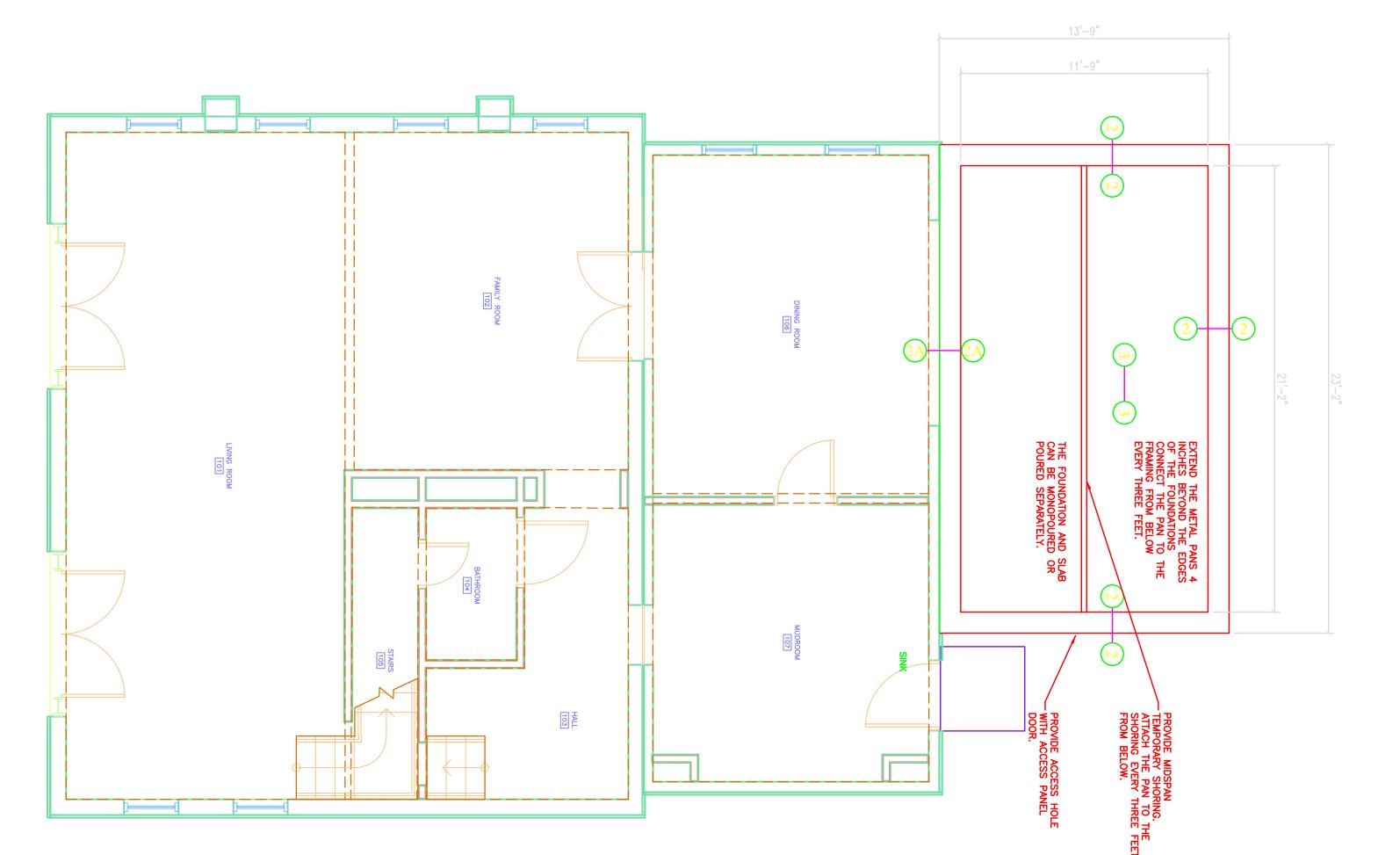
D. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE SLAB PERIMETER DURING CONSTRUCTION.

E. CONCRETE SHALL NOT BE PLACED ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL OR SEEPAGE, AND ALL BEARING SUPFACES SHALL BE FREE OF LOOSE SOIL, PONDED WATER, AND DEBRIS PRIOR TO PLACING THE CONCRETE.

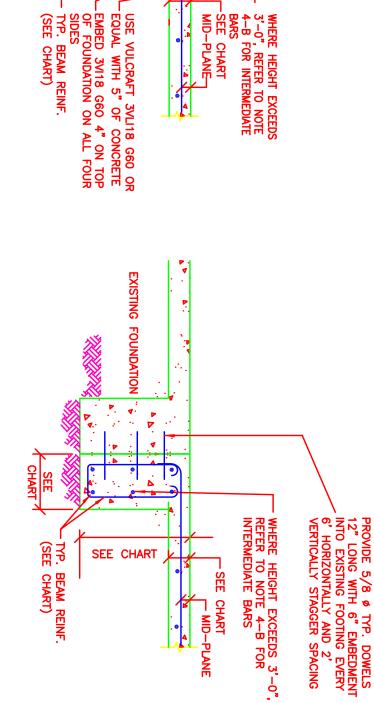
ANCHOR BOLTS:
FOUNDATION ANCHOR BOLTS SHALL BE OF ASTM GRADE 307 STEEL, AND SHALL BE PLACED PRIOR TO INCRETING. PLACE BOLTS 12" FROM THE EDGES AND 48" O.C. STABBING OF ANCHOR BOLTS IS EXPRESSLY COHIBITED BY THE DESIGN ENGINEER.

			,						
DESIGN		SOIL TYPE	PΕ	70	P.L		ВУ		DATE
Ξ		HOUSTON BLACK CLAY	BLACK	50-78	-78	SO SO	BEXAR COUNTY SOIL SURVEY	MAY	MAY 2007
			BEAM	BEAM AND SLAB INFORMATION	BINE	ORMAT	ION		
BEAM WIDTH	EXT. BEAM DEPTH	EXT.BM. DEPTH IN GRADE	INT. BEAM DEPTH	BEAM BARS	Z _S	STIRRUP EXT. BEAM	STIRRUP INT. BEAM	PAD BARS	SLAB THICKNESS
12"MIN.	36"MIN.	18"MIN.	32"MIN.	2-#8 TOP 2-#8 BOT.		#3 @12*0.C.	#3 @12 [*] 0.C.	#4 @12"0.C.	Cī 2
B P	UILDE	R/CONTI ATIONS,	RACTOR DROP A	TO VERI REAS, AI	FY AL ND BL	L DIME	BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, FLOOR PENETRATIONS, DROP AREAS, AND BLOCKOUT LOCATIONS OF	BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, FLOOR PENETRATIONS, DROP AREAS, AND BLOCKOUT LOCATIONS ON SITE	TE.

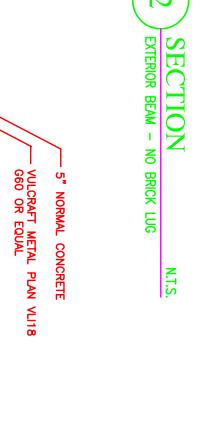
OMMERCIAL FOUNDATION GENERAL CONDITIONS:
CONTRACTOR STALL VENIT AND DEVALUE FROM THE INFORMATION ON THIS FOUNDATION DESIGN WITH E PLLC THE CONTRACTOR SHALL NOT PLACE ANY CONCRETE UNTIL MAE PLLC ENGINEERING, INC. HAS CONDUCTED A E-POUR INSPECTION AND HAS GIVEN APPROVAL TO PLACE THE CONCRETE. CONTRACTOR IS TO CALL MAE PLLC ENGINEERING STRUCTURAL DEPT. IF FOUNDATION REQUIRES MULTIPLE
INCRETE POURS OF THREE (3) OR MORE. CONTRACTOR SHALL FURNISH THE LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO PERFORM L WORK SHOWN ON PLANS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO NOTIFY THE OWNER OF THE IMPORTANCE OF LMS 2D AND 2E BELOW AND OF THE LIMITATIONS AS EXPRESSED IN ITEM NO. 1 ABOVE. NO OTHER WARRANTIES LEXPRESSED OR IMPLIED.
FOUNDATION SITE PREPARATION & FINISH: THE OWNER HAS RETAINED A LOCAL GEOTECHNICAL FIRM TO PERFORM A SUBSURFACE EXPLORATION OF THE OPOSED SITE OF CONSTRUCTION, SITE WORK AS REQUIRED FOR THE SUBJECT FOUNDATION SHALL BE OPEN THE ACCORDANCE WITH THE "FOUNDATION EVALUATION" AND "DESIGN RECOMMENDATIONS" SECTIONS OF DESIGN REPORT. THE GEOTECH'S RECOMMENDATIONS PLUS THE PROVISIONS SET FORTH IN THE CONTRACTORS SCOPE OF WORK
THE LOCATION OF THE FOUNDATION IS TO BE CLEARED AND GRUBBED OF ALL TREE ROOTS AND OTHER GETATION AND OTHER ORGANIC AND DELETERIOUS MATERIALS DOWN TO A SOLID BASE. SURFACE CLAYS SHALL BE EXCAVATED AND REMOVED TO A MINIMUM DEPTH OF 8" OVER THE ENTIRE AREA OF IE FOUNDATION AS SHOWN IN THE ENGINEERING'S PLANS, AND SUCH REMOVAL SHALL EXTEND OUTWARD A NIMIMUM OF 8 FFFT FROM THE ROLINDARIES OF THE PROPOSED FOLINDATION
FOLLOWING SURFACE SOILS EXCAVATION, THE SITE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6", AND IEREAFTER RE—COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH DOT TEST METHOD TEX—114—E, WITH ANY VOIDS OR SURFACE DEPRESSIONS FILLED WITH THE SPECIFIED GREGATE FILL MATERIAL AND SUBJECTED TO FINAL COMPACTION. THE EXCAVATED SURFACE CLAYS SHALL BE REPLACED WITH STRUCTURAL FILL MATERIAL CONSISTING OF USHED LIMESTONE IN 8" LIFTS PER TXDOT ITEM 247 TYPE A, GRADE 1, WITH EACH LIFT COMPACTED WITH A INSOLIDATOR TO A MINIMUM 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH TXDOT SPECIFICATION ITEM X—113E. FILL PLACEMENT SHALL INCORPORATE SPRINKLING IN ACCORDANCE WITH TXDOT SPECIFICATION ITEM
14. L MATERIAL PLACEMENT AND COMPACTION SHALL BE PERFORMED IN A CONTINUOUS AND UNINITERRUPTED INVINER, AND SHALL DEVELOP A COMPACTED PAD OF THE OVERALL DEPTH AS REQUIRED TO PROVIDE A MINIMUM NUMBATION SIDE EXPOSURE OF 10" ABOVE FINAL GRADE, INCLUDING DEPTH OF PAVING ADJACENT TO THE DILLING, OR AS SPECIFIED BY THE ARCHITECT FOR FINISHED FLOOR ELEVATION AND THE NECESSARY BUILDING
AD SIDEWALK EXPOSURE. PROVIDE A VAPOR BARRIER BENEATH THE FLOOR SLAB BY USING A WATERPROOFING MEMBRANE OF 6 MIL PROVIDE A VAPOR BARRIER BENEATH THE FLOOR SLAB BY USING A WATERPROOFING MEMBRANE SHALL EXTEND LYETHYLENE. THE MEMBRANE SHALL BE TAPED AT ALL SPLICES AND TEARS. THE MEMBRANE SHALL EXTEND WITHIN 6-INCHES OF THE BOTTOM OF THE BEAM TRENCHES. POSITIVE DRAINAGE AWAY FROM THE PERIMETER OF THE FINISHED FOUNDATION MUST BE PROVIDED. THE TOP POSITIVE DRAINAGE AWAY FROM THE PERIMETER OF THE FINISHED FOUNDATION MUST BE PROVIDED. THE TOP THE FOUNDATION SLAB SHOULD BE A MINIMUM OF 10-INCHES ABOVE THE FINISHED/PAVED EXTERIOR GRADE. E GROUND ADJACENT TO THE FOUNDATION SHOULD SLOPE AWAY A MINIMUM OF 6-INCHES IN THE FIRST
-FEET. ANY TREES PLANTED AFTER PLACEMENT OF THE FOUNDATION SHOULD BE PLANTED NO CLOSER TO THE JUNDATION THAN ONE—HALF THE POTENTIAL HEIGHT OF THE TREE. ALL AIR CONDITIONING CONDENSER DRAIN LINES SHOULD DISCHARGE A MINIMUM OF 5—FEET FROM THE RIMETER OF THE FOUNDATION.
CONCRETE: CONCRETE TO BE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, AND SHALL BE ROPORTIONED AS A DESIGN MIX IN ACCORDANCE WITH ACI 301. CEMENT SHALL BE TYPE 1, AND NO MIXTURES OF ANY NATURE SHALL BE INTRODUCED INTO THE CONCRETE DESIGN MIX WITHOUT THE EXPRESSED.





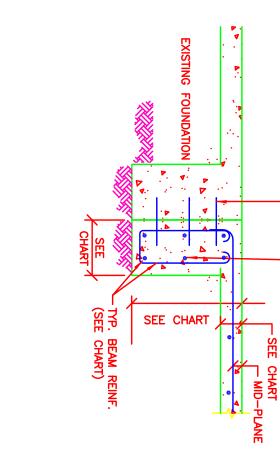


ED CARLTON



SECTION N.T.S. INTERIOR SLAB WITH VULCRAFT VLIZO G60

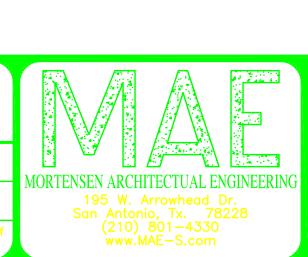




MIN. EMBEDDING—> INTO NATURAL GRADE (SEE CHART)

SEE CHART

JOB NO:	FOUNDATION DESIGN FOR ED CARLTON								
	ADDRESS:	427 ADAMS ST		LOT: 7 & 8	BLOCK: 5	N.C.B.: 2880			
17-	SUBDIVISION:			SAN ANTONIO		COUNTY: BEXAR			
052	PLAN NO.:		The use of this drawing is limited to the property described in the title block. Any other use of this drawing is prohibited without the expressed written consent of MAE PLLC, OR RSWarner						



	E: C:\MAE\ED CARLTON\427 ADAMS \) COPYRIGHT 2016, MAE I	
NO.	DESCRIPTION		DATE	APPR.
	REVISIONS	S		

S-1	SHEET: